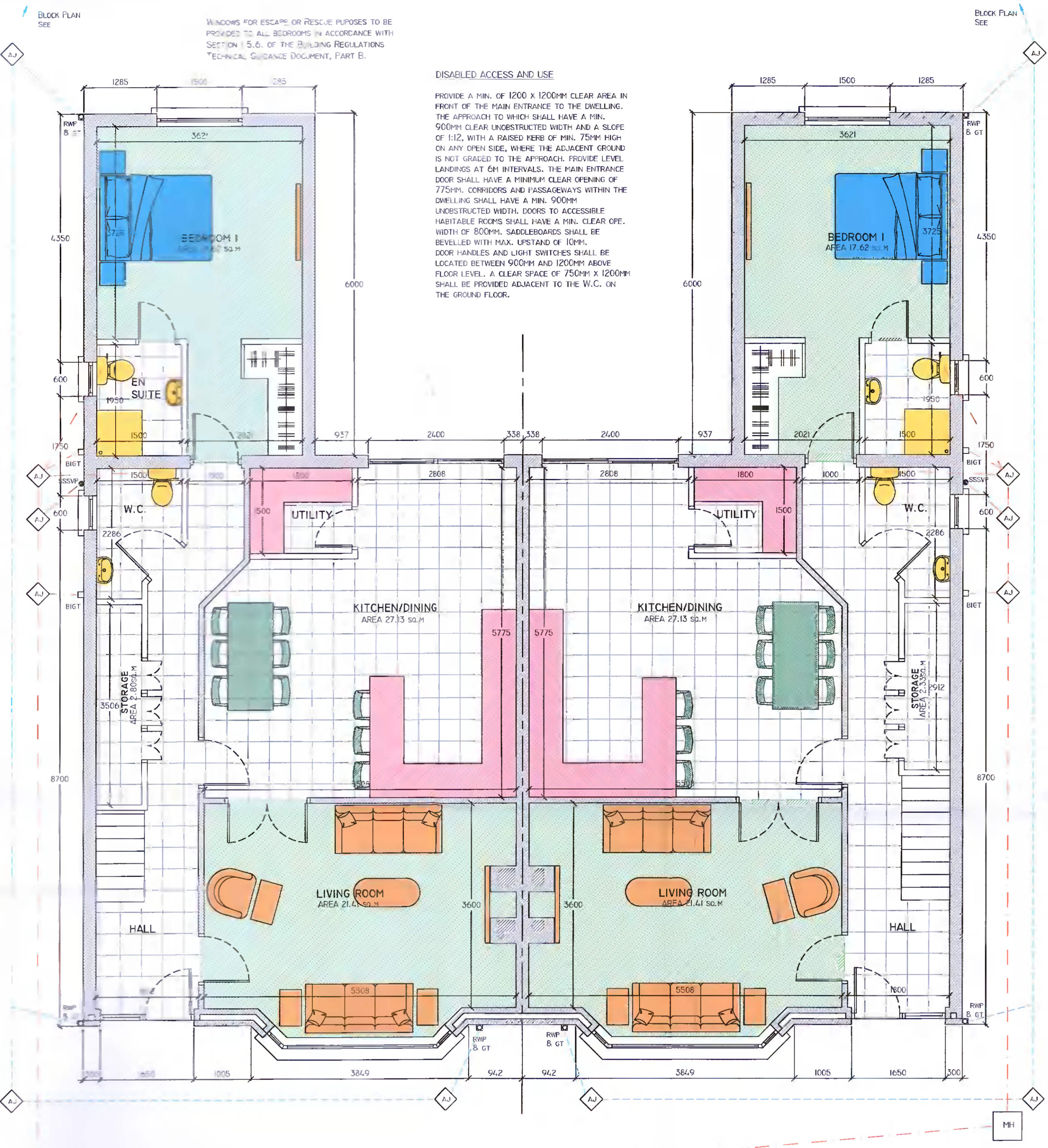


GENERAL NOTES
 THE DEVELOPER/CONTRACTOR/BUILDER IS TO ENSURE THAT THE BUILDING UNDER CONSTRUCTION IS TO COMPLY FULLY WHERE APPLICABLE WITH THE BUILDING REGULATIONS 1997 WITH RESPECT TO ALL TRADES INVOLVED IN THE CONSTRUCTION OF THIS DEVELOPMENT.
 THE DEVELOPER/CONTRACTOR/BUILDER SHOULD NOTIFY A.J. WHITTAKER & ASSOCIATES LIMITED OF ANY INTENDED DEVIATIONS FROM THESE PLANS PRIOR TO COMMENCEMENT OF DEVELOPMENT.
 CONTRACTORS MUST VERIFY ALL DIMENSIONS IN SITE BEFORE COMMENCING ANY WORK. NO WORKING DIMENSIONS TO BE SCALED. DIMENSIONS WHERE SHOWN TO BLOCKWORK ONLY.
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DISABLED ACCESS AND USE
 PROVIDE A MIN. OF 1200 X 1200MM CLEAR AREA IN FRONT OF THE MAIN ENTRANCE TO THE DWELLING. THE APPROACH TO WHICH SHALL HAVE A MIN. 500MM CLEAR UNOBSTRUCTED WIDTH AND A SLOPE OF 1:12, WITH A RAISED KERB OF MIN. 75MM HIGH ON ANY OPEN SIDE, WHERE THE ADJACENT GROUND IS NOT GRADED TO THE APPROACH. PROVIDE LEVEL LANDINGS AT 6M INTERVALS. THE MAIN ENTRANCE DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 775MM. CORRIDORS AND PASSAGEWAYS WITHIN THE DWELLING SHALL HAVE A MIN. 900MM UNOBSTRUCTED WIDTH. DOORS TO ACCESSIBLE HABITABLE ROOMS SHALL HAVE A MIN. CLEAR O.P.F. WIDTH OF 800MM. SADDLEBOARDS SHALL BE BEVELLED WITH MAX. UPSTAND OF 10MM. DOOR HANDLES AND LIGHT SWITCHES SHALL BE LOCATED BETWEEN 900MM AND 1200MM ABOVE FLOOR LEVEL. A CLEAR SPACE OF 750MM X 1200MM SHALL BE PROVIDED ADJACENT TO THE W.C. ON THE GROUND FLOOR.

INTERNAL S.S.S.V.P. TO BE PROVIDED WITH ENCLOSURE BOUNDED BY A CASING WITH ACCESS PANELS FOR CLEANING AND MAINTENANCE. THE CASING SHOULD BE IMPERFORATE THROUGHOUT EXCEPT FOR OPENINGS FOR PIPES OR ACCESS PANELS. IT SHOULD PROVIDE HALF HOUR FIRE RESISTANCE (INCLUDING ACCESS PANELS). THE CASING SHOULD NOT BE CONSTRUCTED OF SHEET METAL. ANY OPENINGS FOR PIPES SHOULD BE AS SMALL AS POSSIBLE AND FIRESTOPPED AROUND PIPES. (T.C.D.-E)

INTERCONNECTED MAINS POWERED SMOKE ALARM (DETECTOR & SOUNDER IN A SELF CONTAINED UNIT) WITH AN INTEGRAL STANDBY POWER SUPPLY TO BE FITTED TO LANDING AND HALL CEILINGS TO COMPLY WITH SECTION I.5.5, PART B, T.C.D. OF BUILDING REGULATIONS.

KITCHEN AND UTILITY TO BE PROVIDED WITH AUTO MECHANICAL EXTRACT VENT AND TO BE CAPABLE OF EXTRACTING AT A RATE OF 60 LITRES PER SECOND AND OPERATED INTERMITTENTLY (30 L/S WHERE VENTILATION IS IN COOKER HOOD)

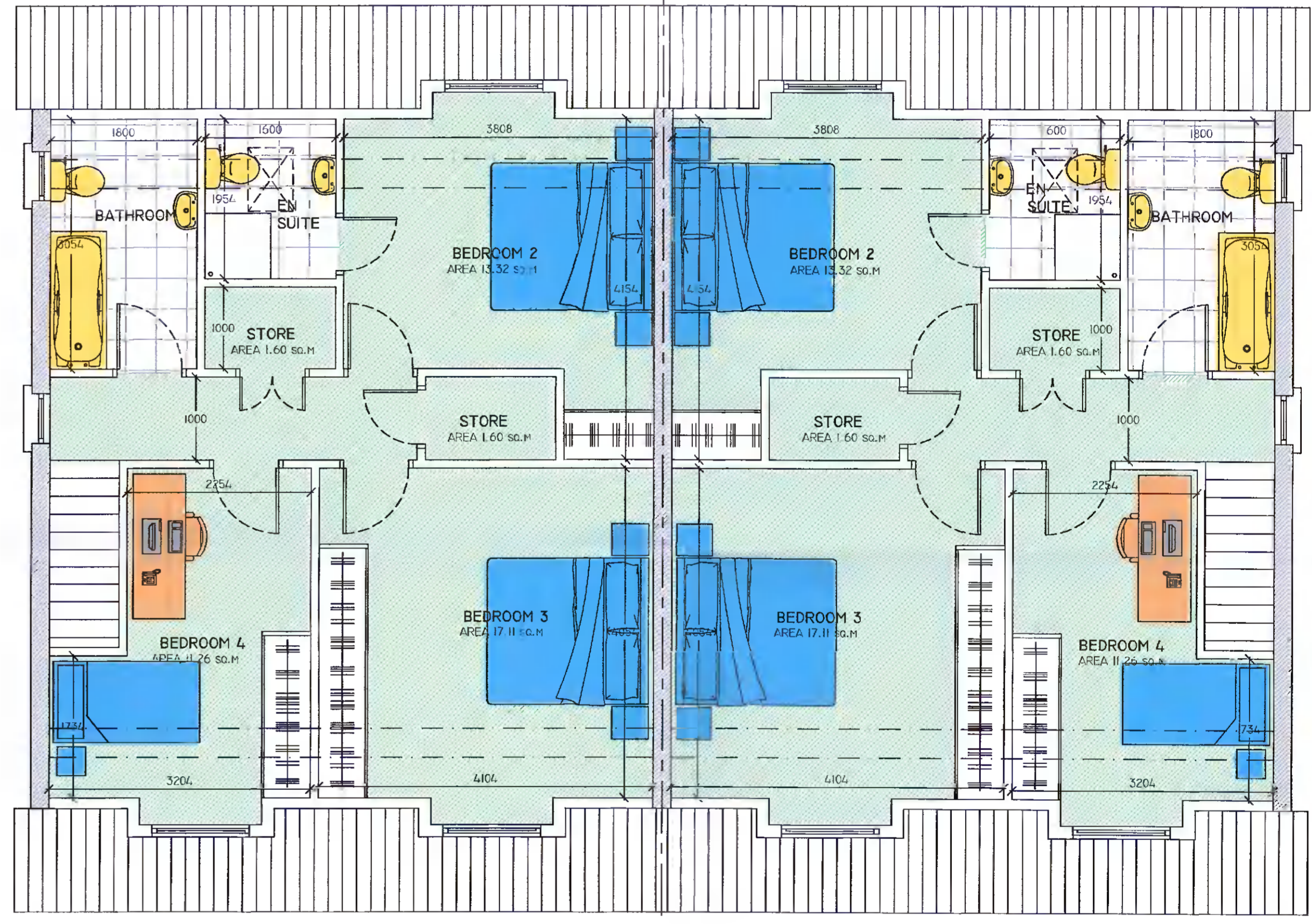
PARTY WALL TO BE PROVIDED WITH 12.5MM PLASTER BOTH SIDES AND TO HAVE AN AVERAGE MASS OF 4/15 KG/M SQ. (T.C.D.-E).

ALL BATHROOMS/W.C.'S TO BE PROVIDED WITH AUTO MECHANICAL EXTRACT VENT AND TO BE CAPABLE OF EXTRACTING AT A RATE OF 15 LITRES PER SECOND AND OPERATED INTERMITTENTLY WITH 15 MINUTES OVERLAP. (T.C.D.-F.)

225MM SOLID BLOCK PARTY WALL WITH MIN. 1 HR. FIRE RESISTANCE (T.C.D.) PARTY WALL TO BE CARRIED UP TO UNDERSIDE OF ROOF TILES AND FIRESTOPPED.

AUTO MECHANICAL EXTRACT VENT TO BE FIRE PROTECTED IN ACCORDANCE WITH B.S.5588 PART 9. (T.C.D.-B)

BACKGROUND VENTILATION TO BE PROVIDED IN ACCORDANCE WITH BUILDING REGULATIONS 1997, TECHNICAL GUIDANCE DOCUMENT, PART F, CONSISTING OF A WALL OR WINDOW VENTILATOR WITH A CONTROLLABLE VENTILATION GRILL AND LOCATED SO AS TO REDUCE DRAFTS.



PROPOSED DORMER FLOOR PLANS

Scale 1:50
 Ground floor area of each house= 62.98 sq.m

PROPOSED GROUND FLOOR PLANS

Scale 1:50
 Ground floor area of each house= 93.50 sq.m
 Total area of each house= 156.48 sq.m

Rev.	Date	By	Description
Scale	1:50		Job Title
Date	NOV. 2021		PROPOSED WORKS AT SIDE OF "THE BUNGALOW", LUCAN-NEWLANDS ROAD BALGADDY, LUCAN CO. DUBLIN.
Drawn by	D.C.		Drawing Title
Drng. No.	21/1437/03	Rev.	Client
			EDWARD BENNETT & PAUL BOYLE

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