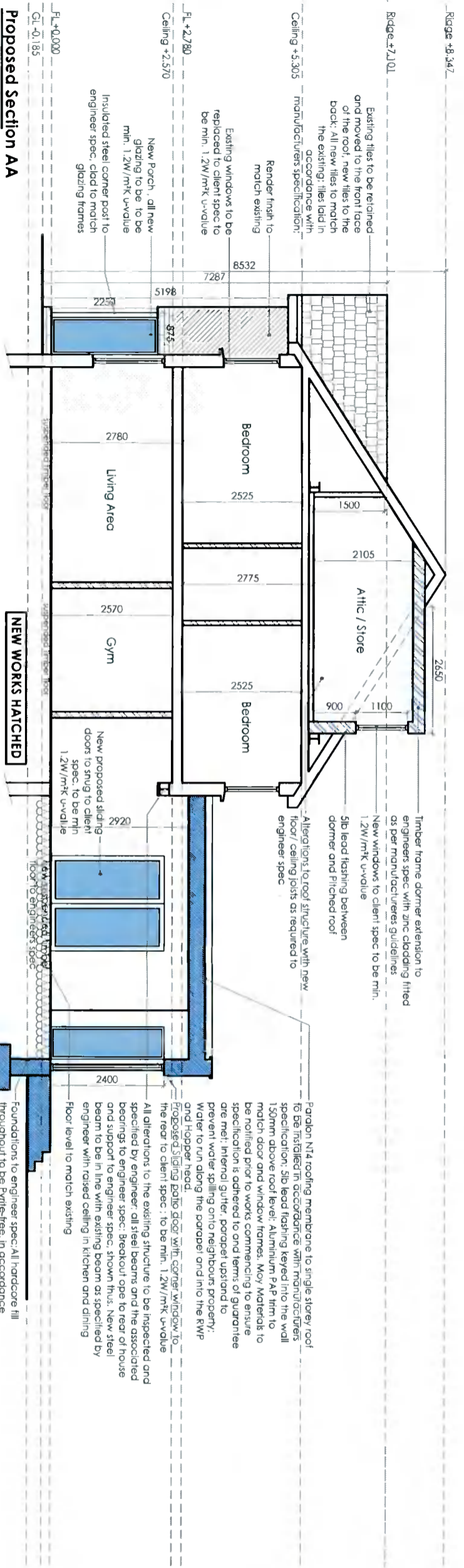


Existing Section AA
Scale 1:100 @ A3



Proposed Section AA
Scale 1:100 @ A3

- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S SPECIFICATION AND DETAILS
- ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND SPECIFICATIONS. COMPLIANCE OF SUCH TO BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR ON SITE OR CLIENT PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK
- DEVELOPMENT TO BE BUILT ON THE INSIDE OF THE BOUNDARY LINE OF THE BOUNDARY TO BE CONFIRMED PRIOR TO CONSTRUCTION BY CONTRACTOR. UNDERPINNING TO ENGINEER'S SPECIFICATION. NO ELEMENT OF THE CONSTRUCTION TO BE ENCRoACHING ON THE NEIGHBOURS PROPERTY.
- ALL EXISTING STRUCTURE TO BE INSPECTED BY ENGINEER. ANY ADDITIONS OR ALTERATIONS TO THE STRUCTURE BE SPECIFIED AND INSPECTED BY ENGINEER
- ALL DRAINAGE TO BE CONFIRMED ON SITE
- ALL DRAINAGE, BOTH NEW AND EXISTING, TO BE SPECIFIED AND INSPECTED BY ENGINEER
- PERMANENT PASSIVE VENT ALL ROOMS TO BE FITTED WITH PERMANENT PASSIVE VENT UNLESS ONE ALREADY EXISTS IN COMPLIANCE WITH TGD PART F AS SHOWN ON DRAWINGS
- ALL FLOOR, WALL AND CEILING FINISHES TO CLIENTS SPECIFICATION KITCHEN, UTILITY UNITS & WHITE GOODS TO CLIENTS SPECIFICATION ALL SANITARY WARE, FURNITURE & FITTINGS TO CLIENTS SPECIFICATION
- NEW Masonry Walls
- NEW Timber Frame
- NEW Stud Walls
- NEW Insulation
- PROPOSED Demolition
- EXISTING Foul Line
- EXISTING Surface Line
- NEW Foul Line
- NEW Surface Line

Timber frame dormer extension to engineer's spec with zinc cladding fitted as per manufacturers guidelines
New windows to client spec to be min. 1.2W/m²K u-value
5lb lead flashing between dormer and pitched roof
All alterations to roof structure with new floor/ceiling joists as required to engineer's spec
Parade N14 roofing membrane to single storey roof to be installed in accordance with manufacturers specification. 5lb lead flashing keyed into the wall 150mm above roof level. Aluminium PA2 film to match door and window frames. May Materials to be notified prior to works commencing to ensure specification is adhered to and terms of guarantee are met. Internal gutter, parapet upstand to prevent water spilling onto neighbours property. Water to run along the parapet and into the RWP and Hopper head.
Proposed sliding door with garage window to the rear to client spec: to be min. 1.2W/m²K u-value
All alterations to the existing structure to be inspected and specified by engineer. All steel beams and the associated bearings to engineer's spec. Breakout open to rear of house and support to engineer's spec. shown thus. New steel beam to be in line with existing beam as specified by engineer with raised ceiling in kitchen and dining
Floor level to match existing
Foundations to engineer's spec. All hardcore fill throughout to be Pyrite-free, in accordance with S.R.21 + IS EN 13242

Ridge +8.347
Ceiling +5.305
Existing tiles to be retained and moved to the front face of the roof, new tiles to the back. All new tiles to match the existing, tiles laid in accordance with manufacturers specification.
Render finish to match existing
Existing windows to be replaced to client spec to be min. 1.2W/m²K u-value
New Porch, all new glazing to be to be min. 1.2W/m²K u-value
Insulated steel corner post to engineer's spec. clad to match glazing frames
Ridge +2.201
Ceiling +2.570
FL +0.000
GL -0.185

<p>Client</p> <p>Claire Flynn 29 Springfield Rd. Templeogue, Dublin 6W, D6W EK59</p>	<p>Revisions</p> <p style="text-align: center;">STATUS OF DRAWING</p> <p style="text-align: center;">Planning Drawing</p>	<p style="text-align: center;">JOE FALLON DESIGN ARCHITECTURE</p> <p style="text-align: center;">1A Ryland Street, Bunclogh, Fingonorthy, Co. Wexford</p> <p style="text-align: center;">P: 01-5143688 M: 087-2566808 P: 053-9377633</p>
<p>notes</p> <p>Under THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER, REG NO. 80244 SCS1</p>		
<p>Project Extension & Renovation at 29 Springfield Road.</p> <p>drawing Existing and Proposed section AA</p> <p>Job no. 21050 scale As Shown date 12.12.21 drawn by GS/DOM checked DOM</p>		
<p>A3</p> <p>dwg no. 21050-PP-11</p>		

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions or notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. **Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand.** Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up-to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used.