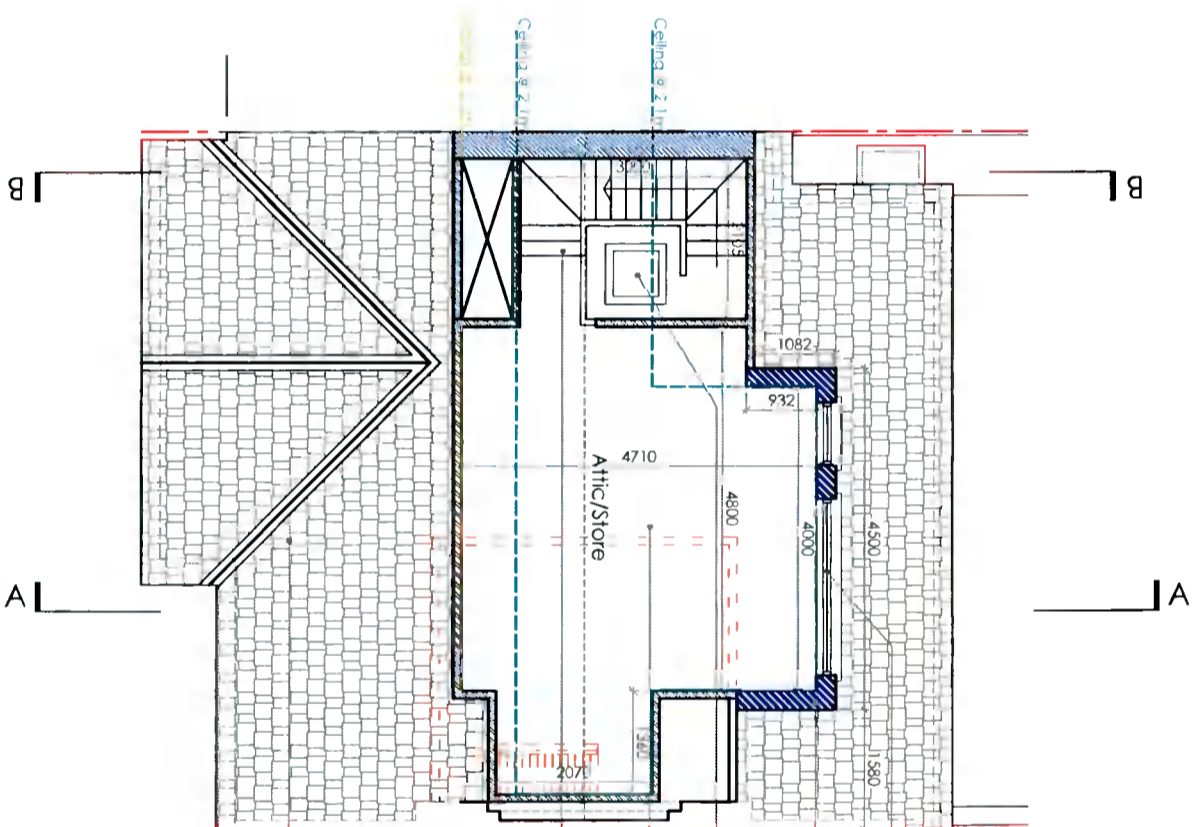
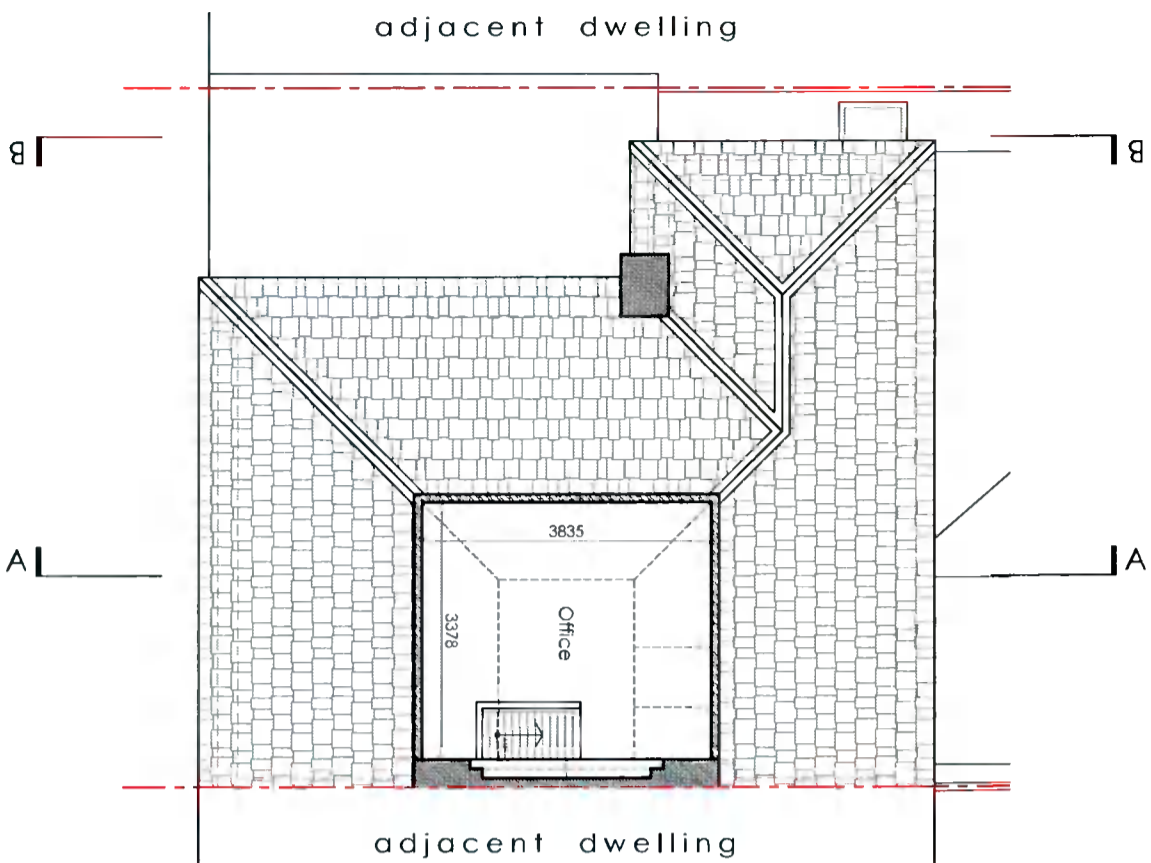


Client
 Claire Flynn
 29 Springfield Rd,
 Templeogue, Dublin
 6W, D&W EK59

Revisions



- All new windows to client spec to be min. 1.2W/m² U-value
- Timber frame dormer extension to engineer's spec with zinc cladding fitted as per manufacturer's guidelines
- Fakro FP-V-2:Wave size 05 (550x780mm) electrically opening centre-pivot rooflight or approved similar.
- All floor finishes to client spec.
- New stairs to attic to client spec.
- Existing roof to be altered to be gable roof. Existing tiles to be retained and moved to the front face of the roof. New tiles to the back. New tiles to match the existing.

NEW WORKS HATCHED

ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND SPECIFICATIONS. COMPLIANCE OF SUCH TO BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR ON SITE OR CLIENT PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK

DEVELOPMENT TO BE BUILT ON THE INSIDE OF THE BOUNDARY. LINE OF THE BOUNDARY TO BE CONFIRMED PRIOR TO CONSTRUCTION BY CONTRACTOR. UNDERPINNING TO ENGINEER'S SPECIFICATION. NO ELEMENT OF THE CONSTRUCTION TO BE ENCRoACHING ON THE NEIGHBOUR'S PROPERTY.

ALL EXISTING STRUCTURE TO BE INSPECTED BY ENGINEER. ANY ADDITIONS OR ALTERATIONS TO THE STRUCTURE BE SPECIFIED AND INSPECTED BY ENGINEER

ALL DRAINAGE TO BE CONFIRMED ON SITE

ALL DRAINAGE, BOTH NEW AND EXISTING, TO BE SPECIFIED AND INSPECTED BY ENGINEER

PERMANENT PASSIVE VENT
 ALL ROOMS TO BE FITTED WITH PERMANENT PASSIVE VENT UNLESS ONE ALREADY EXISTS IN COMPLIANCE WITH TGD PART F AS SHOWN ON DRAWINGS

ALL FLOOR, WALL AND CEILING FINISHES TO CLIENTS SPECIFICATION
 KITCHEN, UTILITY UNITS & WHITE GOODS TO CLIENTS SPECIFICATION
 ALL SANITARY WARE, FURNITURE & FITTINGS TO CLIENTS SPECIFICATION

	New Masonry Walls
	New Timber Frame
	New Stud Walls
	New Insulation
	Proposed Demolition
	Existing Foul Line
	Existing Surface Line
	New Foul Line
	New Surface Line

STATUS OF DRAWING
Planning Drawing

notes

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. **Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand.** Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up-to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations. If in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used. If in doubt, refer to the harmonised technical specifications. All materials and products to be fitted as per manufacturer's instructions.

JOE FALLON DESIGN

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A3

Project Extension & Renovation at 29 Springfield Road.

drawing Existing and Proposed Attic Plans

job no. 21050 **scale** As Shown **date** 12.12.21 **drawn by** GS/DOM **checked** DOM

UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1