

PLANNING REPORT



PFIZER IRELAND PHARMACEUTICALS

New Freezer Plant Platform, MRO Store, Data Center, Airlock, Pallet Store and Boiler Water Chemical Dosing Unit

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IPS-Integrated Project Services (Ireland) Limited



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1.0 DOCUMENT SIGN OFF

Current Issue				
Rev: 0	Date: 15Dec2021	Reason for Issue: Issue for Planning		
Sign Off	Originator	Checker	Approver	Customer Approval (if required)
Print Name	Ivan Cobbe	Brendan Ruth	Mark Dullaghan	Clinton Van Rooyen
Signature	 Ivan Cobbe	 RUTHB	 Mark Dullaghan	
Date				

Previous Issue						
Issue No	Date	Originator	Checker	Approver	Customer	Reasons for Issue

2.0 PROJECT OVERVIEW

2.1 Summary

Pfizer Ireland Pharmaceuticals have a requirement to obtain planning permission for 5 new structures as described below within the confines of their campus at Grange Castle Business Park to facilitate the ongoing development and operations of the manufacturing facility. This report is to be read in conjunction with the drawings which form part of the application listed in Appendix 7.

The structures will be constructed at:

Pfizer Pharmaceutical Campus,
Grangecastle Business Park
Dublin 22
Ireland

2.2 Site Location



Figure 1: Site Location (Google Maps)

Pfizer Grange Castle is located within the Grange Castle Business Park in the West of Dublin City. The Grange Castle Business Park accommodates a range of high technology and industrial uses, and is designed in a campus style with roads, public transport links, footpaths, cycle lanes and landscaping.

2.3 Pfizer Grange Castle Campus

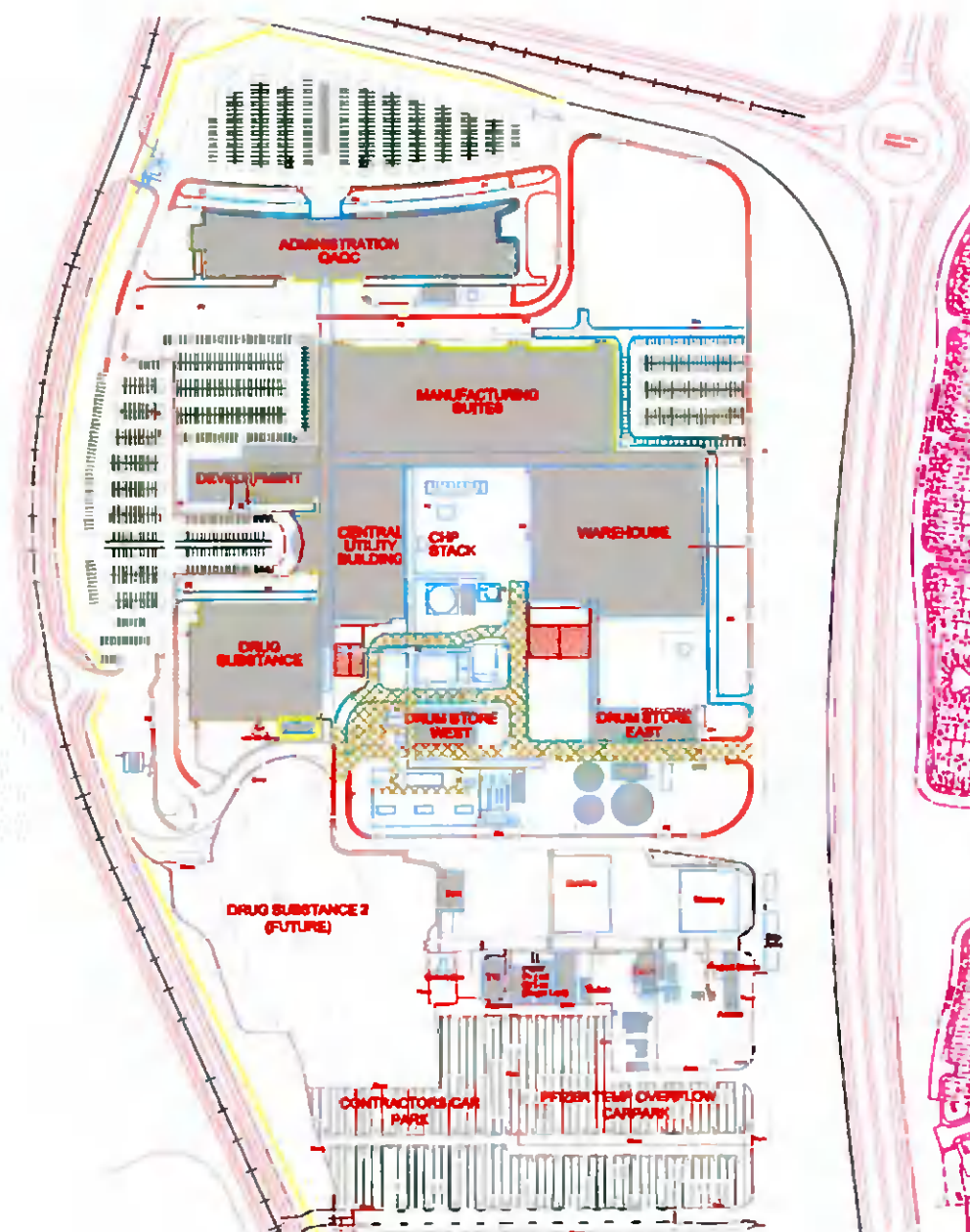


Figure 2: Existing Campus Plan

The current Pfizer Grange Castle Campus consists of the following:

- QA/QC Laboratories
- Development Building
- Product Building
- Substance Building
- CUB (Central Utilities Building)
- Warehouse Building
- Connecting Link
- Drum Store West Building
- Drum Store East Building
- Pilot Labs
- CHP/Cogen
- Fire Water Tank / Pumphouse

3.0 INDIVIDUAL ELEMENTS OF THE PLANNING APPLICATION

The five structures relating to this Planning Application are as follows:

- (1) A new external Freezer Plant Platform Structure and roadway re-alignment to the east side of the existing Warehouse building
- (2) A new single storey MRO Stores building within the existing construction compound
- (3) A new external Data Centre unit to the south of the existing Manufacturing Suites Building
- (4) A new Airlock extension & relocated external double emergency exit doors to the south of the existing Manufacturing Suites Building
- (5) A new Pallet Storage building adjacent to the existing Drum Store West building within the Utility Yard and all associated site works.
- (6) A new GRP Boiler Water Chemical Dosing Unit adjacent to the existing Chemical Dosing Unit within the Utility Yard and all associated site works.

All are individually described below

3.1 External Freezer Plant Platform Structure

The proposed Freezer Plant Platform comprises the erection of a steel gantry to hold refrigeration equipment necessary to reduce the internal temperature of the warehouse to -20° and -40° . There is a localised realignment required of the existing 6 metre wide internal circulation road to accommodate the proposed gantry.

The proposed gantry is constructed of steel framing and will support a refrigeration plant platform with exterior access ladder, and partial screening on the southern façade. Access for maintenance and operations will be provided directly from the building interior to the platform.

The gantry is approximately 8m in height above existing ground level, up to 7m wide, and 22m long. The proposed gantry will not be visible from the adjacent R136 and is screened by the existing berm and densely landscaped eastern boundary.

3.2 MRO Stores

The proposed MRO Stores building will be located within the curtilage of the existing contractor compound to the South-East corner of the site behind an existing storage building of a similar nature.

The proposed MRO Stores will be utilized for the storage and retrieval of maintenance and operational spares for the Pfizer facility.

The proposed building is a standalone steel framed structure with metal a pre-finished metal sheathing finish to the walls & roof. The building is approximately 493m² and 7.7m high to the ridge with roller shutter door access on the north side.

The proposed MRO Stores will not be visible from the adjacent R136 and is screened by the existing berm and densely landscaped eastern boundary.

3.3 Data Center

Pfizer Grange Castle site currently operates with one data centre which integrates the total requirements of data system, QBMS, & other process control systems within one server room. The site operations are prone to a significant risk if the main data centre shuts down during any emergency or general maintenance works. The New Data Centre is critical to maintaining ongoing operations and the retention of historical manufacturing data for the Grange Castle site.

It is proposed to locate the New Data Centre within the curtilage of the existing yard area to the south of the Manufacturing Suites building. The data centre is a standalone prefabricated building. The Building is approximately 32m² in area and measures 3.6m high to the ridge.

3.4 Airlock

A new Airlock is proposed to be located to the south of the Manufacturing Suites building and east of the proposed Data Center as described above. The proposed building is an extension directly off the link corridor between the yard & the Manufacturing Suites building providing a weathered lay-down area for items being moved directly into the Manufacturing Suites from the exterior yard.

As the existing emergency exit door location from the east-west circulation corridor are being utilized for the Airlock a new pair of double emergency exit doors are being provided directly to the east of the new Airlock.

The proposed Airlock is approximately 38m² in area and is 4.15m high to the flat roof parapet.

3.5 Pallet Store

It is proposed to replace an existing caged enclosure currently in use for storing pallets from the warehouse with this new structure ensuring that the pallets are protected from the elements and that they will be dry when put into use within the ambient warehouse.

The new Pallet Store building is proposed to be located within the yard adjacent to the existing Drum Store West building. The Pallet Store building is standalone steel framed structure with a pre-finished metal sheathing finish to the walls & roof.

The proposed Pallet Store building is approximately 41m² in area and is 4.2m high to the ridge.

3.6 Boiler Water Chemical Dosing Unit

It is proposed to erect a new Boiler Water Chemical Dosing Unit adjacent to the existing Chemical Dosing Unit within the Utility Yard.

The function of this GRP (Glass Reinforced Plastic) structure is to store and supply water treatment chemicals for the treatment of boiler water within the existing Boiler House. The function of the new unit is to augment the existing Chemical Dosing Unit in the Utility Yard and will be located adjacent to the existing plant. The unit will be bunded internally to contain the water treatment chemicals.

The building is a GRP (Glass Reinforced Plastic) structure which will be placed on a concrete plinth within the Yard. The building itself will not be occupied but will have access for periodic maintenance.

The proposed Boiler Water Chemical Dosing Unit is approximately 17m² in area and is 2.55m in height.

4.0 TRAFFIC & TRANSPORTATION

4.1 Traffic

It is anticipated that there will be no increase in goods traffic movements within the site as a result of these applications.

4.2 Car Parking

There is no requirement for any additional car parking for the wider site as none of the proposed structures relative to this application will result in additional site personnel. Construction

personnel are more than adequately served by the existing construction parking to the south side of the site utilizing the existing site entrance #3.

5.0 DRAINAGE

There is no requirement for any additional process or foul drainage associated with any of the proposed structures relative to this application.

All surface water draining from the proposed new structures will connect to the existing site surface water systems only.

6.0 PLANNING HISTORY

Planning reference	Proposal description	Decision date
S00A/0455	The development consists of the following: A three storey administration and laboratory building sized 15,000 sq. metres approx., a three storey secondary production and packaging building sized 36,000 sq. metres approx. a five storey primary production building sized 27,300 sq. metres approx. a five storey development building sized 26,000 sq. metres approx. a two storey warehouse and material management building sized 14,000 sq. metres approx. a two storey utilities building sized 5,800 sq. metres approx. together with external utilities such as a 110 kv electrical substation and switchgear, two number 5 MVA combined heat and power electrical turbines, external cooling towers, (11 metres high approx.) tank farms, and tanks, pipe bridges, drum stores, a waste water neutralisation tank and external stacks (45 metres high approx.) and items of plant and equipment. The development also includes extensive landscaping and planted berming, an internal road network, security fencing, site signage and ancillary external works, together with car parking and external docks, encompassing an overall area of 85 acres approx.	21 Sept 2000
S01A/0205	Construct alterations and extensions to existing permitted Biotechnology Campus (Planning Ref. No: S00A/0455) for the manufacture and development of pharmaceutical products. The development consists of the following: A two-storey extension to the combined utilities building sized 2,070 square metres approx. and roof mounted louvered screen, a three-storey extension to the administration and laboratory building sized 405 square metres approx, the relocation of a 110kV electrical sub-station and switch gear, drum store, tank farm and water tanks and items of plant and equipment, together with revised landscaping works and internal road locations.	21 Jun 2001
S01A/0790	Construct alterations and extensions to existing permitted Biotechnology Campus (Planning Ref. S00A/0455) for the manufacture and development of pharmaceutical products. The development consists of the following: A three-storey extension including a roof mounted louvred screen to the previously permitted product development building with new floor area of 2.230 square metres approx., a reduction in the footprint and floor area of the previously permitted product development building together with revised elevations, a change to the permitted phasing of the previously permitted development building together with revised elevations to the Link Spine Building.	14 Mar 2002
SD03A/0247	Retention and upgrading of a temporary construction warehouse as a warehouse and associated link structure at existing permitted Biotechnology Campus (Planning Ref: S00A/0455) for the manufacture and development of pharmaceutical products.	31 Jul 2003

SD04A/0658	5 no. flag poles to existing main entrance and revised site signage and 2 no. new bicycle and smoking shelters and the permanent use of construction related bicycle shelters at the existing permitted Biotechnology Campus (Planning Ref. S00A/0455 and Planning Ref. SD03A/0643) for the manufacture and development of pharmaceutical products.	26 Nov 2004
SD06A/0111	Construct alterations and extensions to the existing permitted Biotechnology Campus for the manufacture and development of pharmaceutical products (reference previous planning permission No's. S00A/0455 and S01A/0790). The development consists of the following: a three-storey extension including roof mounted louvred screens to the previously permitted Product Development Building with new floor area of 4,263 square metres approx., a reduction in the footprint and floor area of the previously permitted Product Development Building together with revised elevations and a change to the permitted phasing of the previously permitted Product Development Building.	25 May 2006
SD07A/0308	Alterations to the existing previous planning permission, no's S00A/0455 and S01A/0790, consisting of the following; proposed single storey Recycling Facility to include compactor, balers, skip and pallet handling within an enclosed yard of 624m ² approximately including a roofed area of 110m ² approximately with a height of 3.8m., minor alterations to site works, utilities, site lighting and the like.	31 Jul 2007
SD16A/0236	A new 5 storey bio-pharmaceutical manufacturing building to be built in two phases. Phase 1 sized 20,320sq.ms and 28.2 meters high including a single storey link sized 1,203sq.m, and Phase 2 sized 14,320sq.m and 28.2 meters high, including a single storey link sized 750sq.m, located to the south of their existing Drug Substance Building. A single storey warehouse extension located to the south of the existing warehouse including new docking facilities sized 1,142sq.m and 11.2 meter high. A three storey extension located to the east of the existing laboratory building sized 1,328sq.m and 17.6 meters high. A new south elevation with new windows on the fourth floor of the existing drug substance building. New site works including 565 new car parking spaces of which 282 are relocated car parking spaces - 282 spaces lost due to the development footprint - located to the north of the site, together with a new bicycle parking facility, a new permanent heavy goods entrance at the current construction entrance to the south boundary of the campus and new fencing, 2.1 meters high, to the east, west and south side boundaries. Permanent car parking of 350 spaces for sustaining construction and contract personnel utilising a portion of the existing temporary contractor car park. Upon completion of the construction and commissioning activities, the remainder of the contractor car park will be decommissioned. A new single storey security building sized 56sq.m and revisions and alterations to the existing road, services and landscaping and new items of plant and equipment located in the existing and proposed yards, and associated pipe bridges. All associated site works.	10 Oct 2016

SD17A/0192	Single storey Modular Laboratory extension sized 470sq. m and 4.5m high and located to the south of the existing QA/QC building. This Laboratory will be built in two equal phases. Single storey Modular Warehouse extension sized 476sq.m and 5.2m high located to the south of the existing warehouse. This consists of six equally sized modular cold storage units and associated external plant. This facility will be built in phases according to need. The conversion of the existing temporary construction related car park to a permanent car park for 220 car parking spaces including lighting and ancillary works located to the south of the existing QA/QC building. A new screen wall constructed of metal cladding around the existing waste handling yard located to the south of the existing yard on site. The new screen wall is 2m high on top of an existing screen wall 2.7m high. Minor modifications to the existing 2.3m high security fence to the north of the site.	18 Sep 2017
SD18A/0004	Construction of an internal storage mezzanine, sized 75sq.m with an access stairs, located on the first floor of the existing Central Utility Building (C.B.U.) within an existing storage area.	06 Apr 2018
SD18A/0269	Extension to an above ground natural gas installation consisting: of regulator/meter kiosk, boiler/generator kiosk, underground and aboveground pipework, 2.4m high chainlink and palisade fencing, light columns and all ancillary services and associated site works.	30 Oct 2018

7.0 APPENDIX

7.1 List of Planning Application Documents & Drawings

ARCHITECTURAL: IPS

Planning Report

21414-EE011-ARE-B00-NL-0006 Rev 0 @A4

List of Architectural drawings:

21414_00/ASK/0025 SITE LOCATION MAP @A1

21414_00/ASK/0026 SITE LAYOUT PLAN @A1

21414_00/ASK/0027 PROPOSED DATA CENTRE PLAN, SECTION & ELEVS @A1

21414_07/ASK/0005 PROPOSED AIR LOCK PLAN & ELEVS @A1

CIVIL & STRUCTURAL ENGINEERING: MALONE O'REGAN

List of Engineering drawings:

PGCMOR-ZZZ-DR-MOR-SE-00201

MRO STORAGE BUILDING PROPOSED PLANS & SECTION @A1

PGCMOR-ZZZ-DR-MOR-SE-00202

MRO STORAGE BUILDING PROPOSED ELEVATIONS @A1

PGCPPB-XXX-DR-MOR-CE-00210

PALLET STORAGE BUILDING PLANS & ELEVATIONS & SECTION @A1

PGCMFL5-ZZZ-SK-MOR-SE-00750

MFL5 FREEZER PROJECT PROPOSED FREEZER PLANT PLATFORM @A1

SPECIALIST SUPPLIER: IRISH FLUID CONTROLS

List of Engineering drawings:

QD 21121301

GRP WATER TREATMENT UNIT GENERAL ARRANGEMENT

PROPOSED PLANS & ELEVATIONS @A1

END OF DOCUMENT

