

The Planning Department,
South Dublin County Council,
County Hall,
Tallaght,
Dublin 24,
D24 YNN5



2nd December, 2021.

Project: **Planning Application,**
50 Heatherview Avenue, Tallaght, Dublin 24.

Bell Associates,
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Dear Sir or Madam,

We wish to apply on behalf of Trevor and Natalie Wilde for planning permission for: 1/ Demolition of existing garage to side.
2/ Construction of a new two-storey dwelling to the side of the Existing dwelling house, new storm water percolation to rear, New car parking provision for 2no. Vehicles accessible from Heatherview Avenue, and associated site works.

Please find enclosed the following drawings & information:

1. 53-36-01 -Existing Elevations, Proposed Elevations., Existing Plans Proposed Floor Plans, Proposed Contiguous Building Line, Proposed Elevation Driveway / Vehicle Entrance.
2. 53-36-02 - Proposed Site Plan, Proposed Section, Proposed Plan Driveway / Vehicle Entrance
3. Site Location map -Ordnance Survey
4. Site Notice
5. Planning advert
6. Application form & fee

1 – Proposal

The proposal is for a residential development of a single, end of terrace, two storey, two bedroomed, infill dwelling house with a floor area of 79.8m².

The site area is approximately 167m².

2 – Site / Site Location

The lands are currently the side garden of an existing semi-detached dwelling house at 50 Heatherview Avenue.

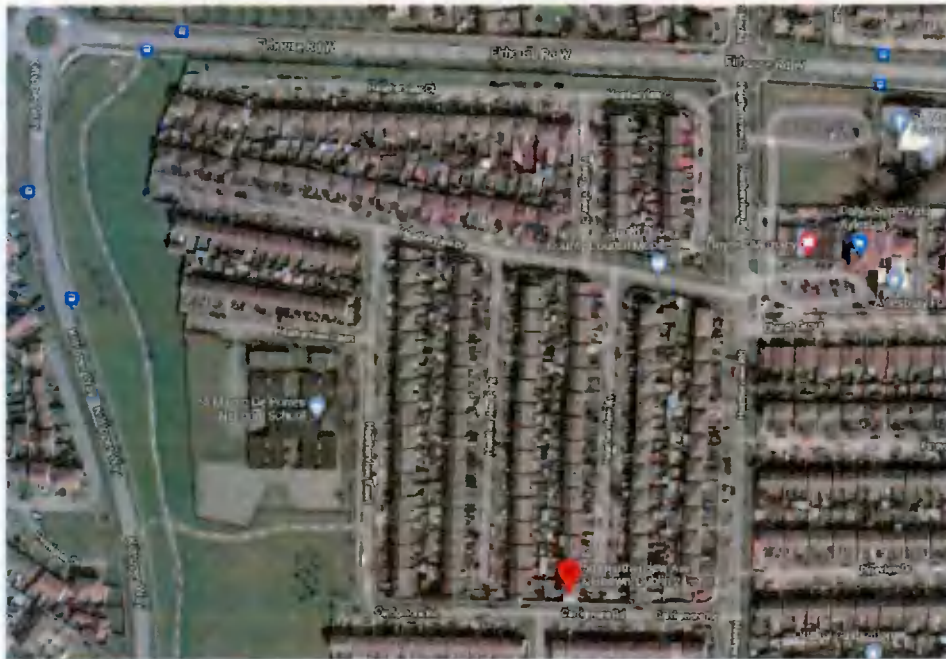
The zoning Objective is 'RES' To protect and/or improve residential amenity.

The subject site is within the Heatherview residential housing estate, and is surrounded by predominantly two storey, semi-detached dwelling houses.

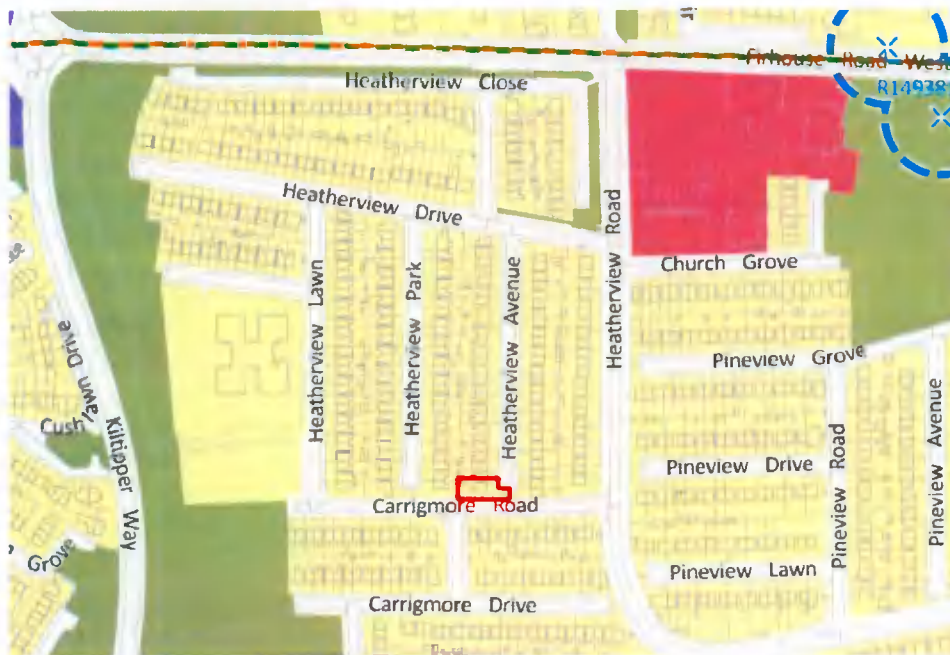


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Site location – aerial photograph



Site location – zoning map

3 – Planning History

We have researched the subject site at the offices of the planning authority, and only one application appears to pertain to the property.

SD03B/0057

Garage constructed to front and side of house with flat corrugated roof.

The application was granted on the 4th June, 2003.

This project proceeded, and was completed.

SD04B/0070

Demolish garage to side of house and construct two storey extension attached to front and side of house with pitch roof ridge height same as existing.

The application was granted on the 2nd June, 2004.

This project was never acted on and the application subsequently expired.

3a – Adjacent Planning History

SD02A/0341

49 Heatherview Avenue, Aylesbury, Tallaght, Dublin 24.

The application was for a 2-storey detached house and driveway.

The application was granted on 16th April, 2003.

The project was subsequently constructed, and completed.

4 – Transport

The subject site is approximately 2.0km from the town centre of Tallaght, and 500m from the nearest bus service on Firhouse Road, which is served by the 49, 65, and 77 bus routes.

The subject site is located adjacent to national, and secondary schools, churches, as well as local amenities including Scoil Maelruin National School, St. Martin De Poores National School, St. Martin De Poores Parish Church, Precious Days Childcare Preschool, Aylesbury Park, Saint Annes GAA Tallaght Town AFC Carolan Park, all within a 1.0km radius of our proposals.

5 - Planning Objectives

Policy H9 Objective 3 states that:

'To ensure that new residential developments immediately adjoining existing one and two storey housing incorporate a gradual change in building heights with no significant marked increase in building height in close proximity to existing housing (see also Section 11.2.7 Building Height).'

Policy H17 Objective 3 states that:

To favourably consider proposals for the development of corner or wide garden sites within the curtilage of existing houses in established residential areas, subject to appropriate safeguards and standards identified in Chapter 11 Implementation. – specifically

Section 11.2.7 building height

Section 11.3.1 Residential

Section 11.3.1(v) Dwelling Standards



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Table 11.20 Minimum Space Standards for Houses
Section 11.3.2 Residential Consolidation
Section 11.3.2 (i) Infill Sites

Development on infill sites should meet the following criteria:

Be guided by the Sustainable Residential Development in Urban Areas – Guidelines for Planning Authorities DEHLG, 2009 and the companion Urban Design Manual. A site analysis that addresses the scale, siting and layout of new development taking account of the local context should accompany all proposals for infill development. On smaller sites of approximately 0.5 hectares or less a degree of architectural integration with the surrounding built form will be required, through density, features such as roof forms, fenestration patterns and materials and finishes. Larger sites will have more flexibility to define an independent character. Significant site features, such as boundary treatments, pillars, gateways and vegetation should be retained, in so far as possible, but not to the detriment of providing an active interface with the street.

Where the proposed height is greater than that of the surrounding area a transition should be provided (see Section 11.2.7 Building Height).

(ii) Corner/Side Garden Sites

Development on corner and/or side garden sites should meet the criteria for infill development in addition to the following criteria: The site should be of sufficient size to accommodate an additional dwelling(s) and an appropriate set back should be maintained from adjacent dwellings, The dwelling(s) should generally be designed and sited to match the building line and respond to the roof profile of adjoining dwellings, The architectural language of the development (including boundary treatments) should respond to the character of adjacent dwellings and create a sense of harmony. Contemporary and innovative proposals that respond to the local context are encouraged, particularly on larger sites which can accommodate multiple dwellings, Where proposed buildings project forward of the prevailing building line or height, transitional elements should be incorporated into the design to promote a sense of integration with adjoining buildings, and Corner development should provide a dual frontage in order to avoid blank facades and maximise surveillance of the public domain.

6 – Site Design Criteria – Private Open Space

Our proposals are for 1no. dwelling house which will front directly on to Heatherview Avenue.

Under Section 11.3.1 of the development plan, H13 Objective 3 states that *'To ensure that private amenity spaces for houses are designed in accordance with the quantitative standards set out in Chapter 11.0 Implementation and the qualitative standards set out under the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas (2009) including the accompanying Urban Design Manual – A Best Practice Guide (2009).'*

The proposed private open space for the dwelling will be 55m², which we believe meets the open space requirement for a two bedrooomed residential dwelling.



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7 – Development Plan Design Standards – Room areas

Under H14 Objective 1, the development plan states that

'To ensure that all residential units and residential buildings are designed in accordance with the relevant quantitative standards, qualitative standards and recommendations contained in Sustainable Urban Housing: Design Standards for New Apartments (2015), the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas (2009), the companion Urban Design Manual and have regard to the standards and targets contained in Quality Housing for Sustainable Communities (2007), particularly the standards and recommendations that relate to internal amenity/layout, overall unit size, internal room sizes, room dimensions, aspect, sound insulation, communal facilities, storage, sustainability and energy efficiency'

The following is a breakdown of the design criteria applied to the subject dwelling which we believe meets the current criteria:

Design Criteria - 2 bedroom 4 person dwelling		
	devt. Plan criteria	ppsed subject dwelling
Number of floors	2	2
Min. Gross floor area (m2)	80	80.2
Dwelling main living room (m2)	13	14.5
Dwelling aggregate living area (m2)	30	32.6
Dwelling aggregate bedroom area (m2)	25	26
Storage area (m2)	4.5	4.9
Proposed New dwelling rear garden space(m2)	48	55
Proposed Existing dwelling rear garden(m2)	60	77

8 – Overlooking and boundary Issues

Policy H15 Objective 4 states:

'To ensure that opposing balconies and windows at above ground floor level have an adequate separation distance, design or positioning to safeguard privacy without compromising internal residential amenity.'

The proposed dwelling overlooks public roads to the east, and the South. The property will be adjoined to the existing dwelling to the north, and will overlook the rear garden of the adjacent property (51 Heatherview Park) to the west. We have indicated overlooking dimensions of 22.0m between rear opposing first floor windows between the subject dwelling, and the rear first floor windows of No. 51 Heatherview Park, with a rear garden length of 11.0m as per development plan standards.



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The south / gable elevation of the property will provide natural daylight to the first floor bathroom. This window will be fitted with obscure glazing to ensure privacy both within, and outside the dwelling.

7 – Location / Streetscape

The proposed development is located on a streetscape formed predominantly by two storey, semi-detached dwelling houses.

We believe that our proposals for an attached dwelling in a corner site on Heatherview Avenue are in keeping with a pattern of development for the area (SD02A/0341) and will not detract from the existing building line, and ridge height of the parent dwelling.

8 – Vehicular Access

From Table 11.24: Maximum Parking Rates (Residential Development), we can establish that the maximum parking provision requirement is 1.5 spaces for a two bed dwelling.

The new dwellings will have in-curtilage parking provision for 2no. cars.

The property will have 0.9m high garden walls to front with 1.2m high piers to entranceway to ensure correct visibility, on to Heatherview Avenue.

9 - Water Services

Foul Drainage

The proposed new dwelling will all connect to the public foul sewer running South to North across the front driveway of the dwelling.

Surface Drainage

We are proposing surface water discharge from the property to a surface water percolation area in the rear garden, in compliance with SUDS.

The driveway will be constructed of porous asphalt in compliance with SUDS.

Please find test reports, and drawings prepared for on-site surface water treatment including percolation testing, prepared by Percolationtests.ie. in support of this application.

Please find proposed foul drain, and mainswater supply connections indicated on drawings submitted with this application.

12 – Landscaping

We have indicated a height of 1.8m for all rear garden walls to the property.

We have indicated a height of 0.9m for front driveway boundary walls, with 1.2m high vehicle entrance pillars.

The properties will include permeable paving to driveways, with grassed area to rear garden.



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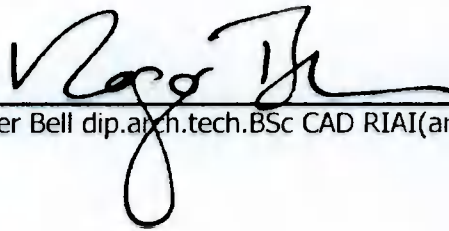
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It is respectfully submitted that the proposed development is consistent with the proper planning, and sustainable development of the area, and complies with relevant national, regional and local planning policies and guidelines.

We hope the information given is adequate for you to reach an affirmative decision.

Should you have any queries, please do not hesitate to contact us.

Yours sincerely,



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