

THESE DRAWINGS ARE
FOR PLANNING PERMISSION
ONLY

Planning Application for the
Conversion of the Attic

SITE NOTICE TO BE
PLACED IN FRONT GARDEN

space to a Bedroom and Ensuite
This will involve the Construction of a Dormer Type
Extension With Two Windows to the Rear of the Existing Roof,
The construction of a Porch to
the side and the installation of 10 Solar Panels (20sq.m)
to the front of the existing roof.
at 33 Floraville Avenue, Clondalkin, Dublin 22

For

Maritta and James Mullins

AREA OF SITE - 333.0 sq. M.

FLOOR AREA OF ORIGINAL GRD. FLR.
- 44.5sq. M. INTERNAL. EXCLUDING EXTENSIONS

FLOOR AREA OF EXISTING EXTENSIONS - 31.5 sq.M INTERNAL

FLOOR AREA OF EXISTING FIRST FLOOR
- 44.5 sq.M INTERNAL

FLOOR AREA OF PROPOSED ATTIC
CONVERSION - 30.0 sq. M

FLOOR AREA OF PROPOSED PORCH - 2.5 sq. M

LEVELS SHOWN ON
SHEET 3
T.B.M. TAKEN AT FOOTPATH
TO FRONT OF HOUSE

*10 SOLAR PV PANELS
INSTALLED AT FRONT SECTION
OF EXISTING ROOF.
EACH PANEL MEASURING 1M X 2M
TOTAL AREA OF PANELS - 20 SQ.M
SURFACE AREA OF EXISTING
FRONT SECTION OF ROOF - 31.5 SQ.M*

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ALSO ATTACHED TO THIS PLANNING
APPLICATION

6*COPIES OF SCHEDULE OF AREAS AND USES

6 COPIES OF SCHEDULE OF DOCUMENTS

1 COPY OF NEWSPAPER NOTICE (NOTICE OUTLINED IN RED)

6 COPIES OF SITE NOTICE

COMPLETED PLANNING APPLICATION FORM

RECIEPT FROM ORDNANCE SURVEY FOR PLANNING PACK

Date Dec. 2021

SEE O.S. PLANNING PACK
ATTACHED TO SHEET 1

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LEVELS SHOWN
T.B.M TAKEN AT ROAD
TO FRONT OF
CAR PARKING

-1.01

+0.22

HOUSE No. 31
MONASTERY RISE

BOUNDARY

BOUNDARY

-1.10

+0.15

9.4M

14.7M

8.9M

13.8M

+0.24

-1.02

2.7

SITE
(HOUSE No. 33)
OUTLINED RED

BOUNDARY

BOUNDARY

+0.20

+0.20

EXISTING SITE LAYOUT
SCALE 1 TO 100

HOUSE No. 31

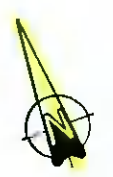
HOUSE No. 35

FOOTPATH

ROAD

T.B.M.
+0.00

F.F.L. EXISTING
GROUND FLOOR +0.54



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the side and the installation of
10 Solar Panels (20sqm)
to the front of the existing roof.
at 33 Floraville Avenue, Clonsilla, Dublin 22
For
Maritta and James Mullins

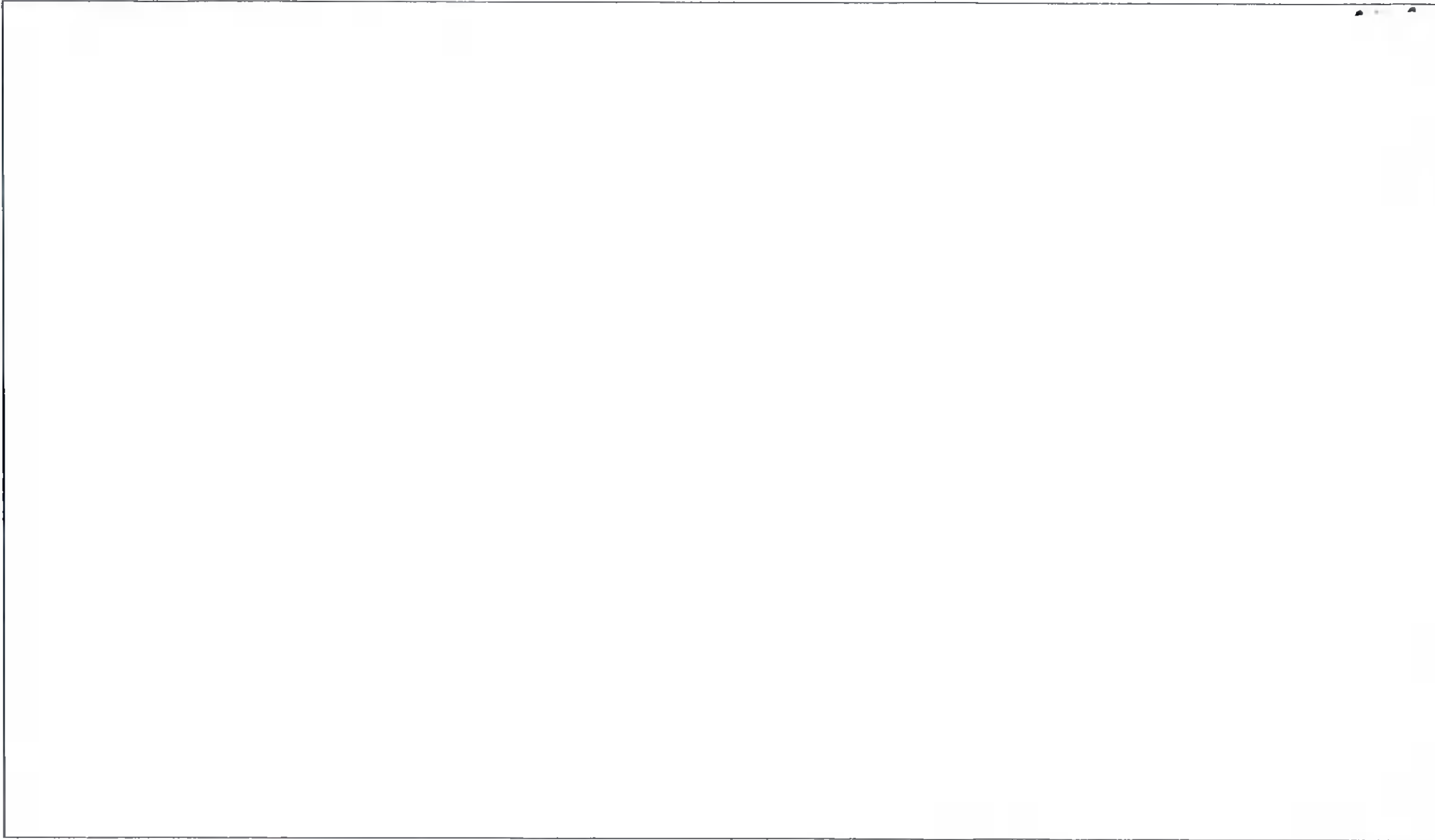
Drawing No. Title
sheet 3 EXISTING SITE DETAILS
SHOWING LEVELS

Scale 1 to 100
Date Oct. 2021
Issue 'A'

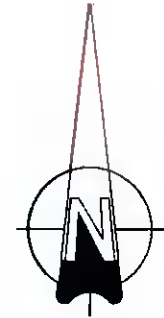
Drawn: J.J. Martin
15 Castletown Lawn,
Celbridge, Co. Kildare
Ph. 01-6271372

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FOR PLANNING PERMISSION
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O.S. PLANNING PACK ATTACHED



SITE NOTICE TO
BE PLACED IN
FRONT GARDEN



ORDNANCE SURVEY RECEIPT
ATTACHED

LOCATION MAP TAKEN FROM O.S. SHEET
3326-10 SCALE 1 TO 1000

AREA OF SITE - 333.0 sq. M.

FLOOR AREA OF ORIGINAL GRD. FLR.
- 44.5sq. M. INTERNAL. EXCLUDING EXTENSIONS

FLOOR AREA OF EXISTING EXTENSIONS - 31.5 sq.M INTERNAL

FLOOR AREA OF EXISTING FIRST FLOOR
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FLOOR AREA OF PROPOSED ATTIC
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to the front of the existing roof.
at 33 Floreville Avenue, Clondalkin, Dublin 22
For
Maritta and James Mullins

| | |
|------------------------|---|
| Drawing No. sheet 1 | Title LOCATION MAP O.S. PLANNING PACK |
|------------------------|---|

Scale 1 to 1000

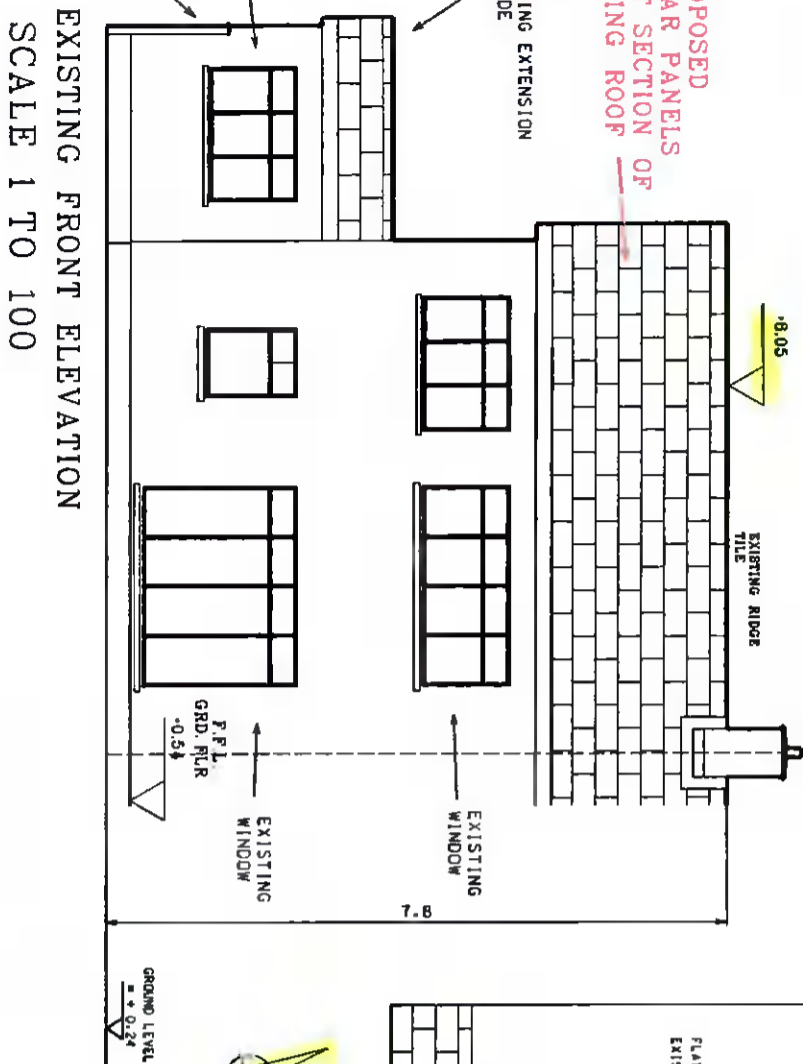
Date Oct. 2021

Issue 'A'

Drawn:- J.J.Martin
15 Castletown Lawn,
Celbridge, Co. Kildare.
Ph.01-6271372

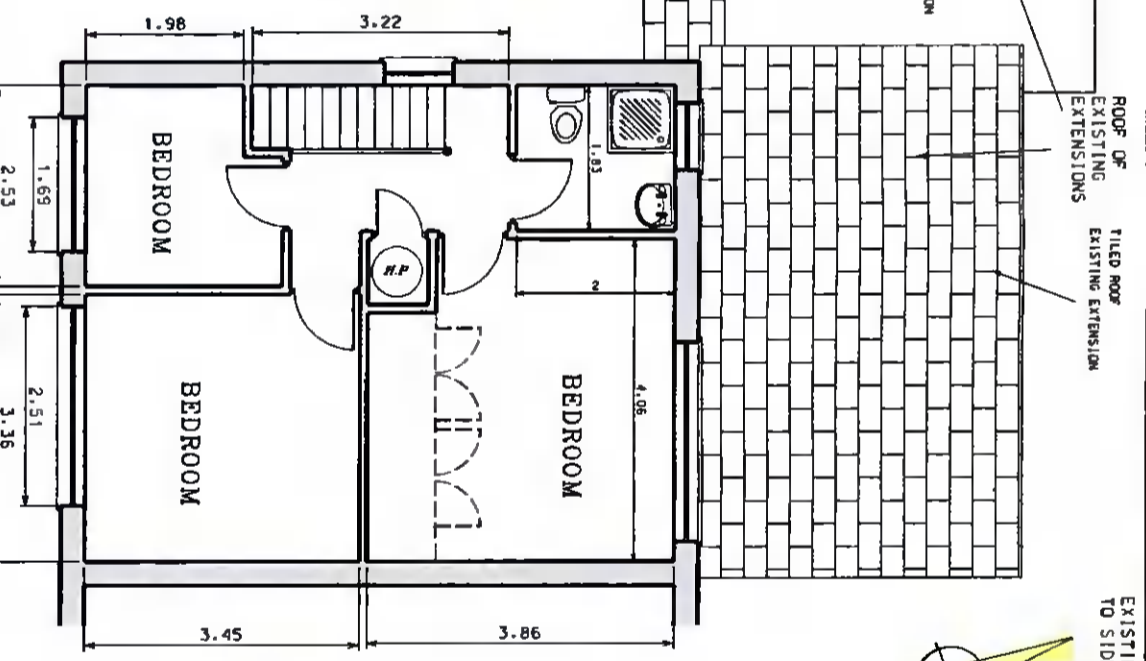
**BUILDER TO CHECK ALL MEASUREMENTS
PRIOR TO BUILDING**

**PROPOSED
10 SOLAR PANELS
TO FRONT SECTION OF
EXISTING ROOF**

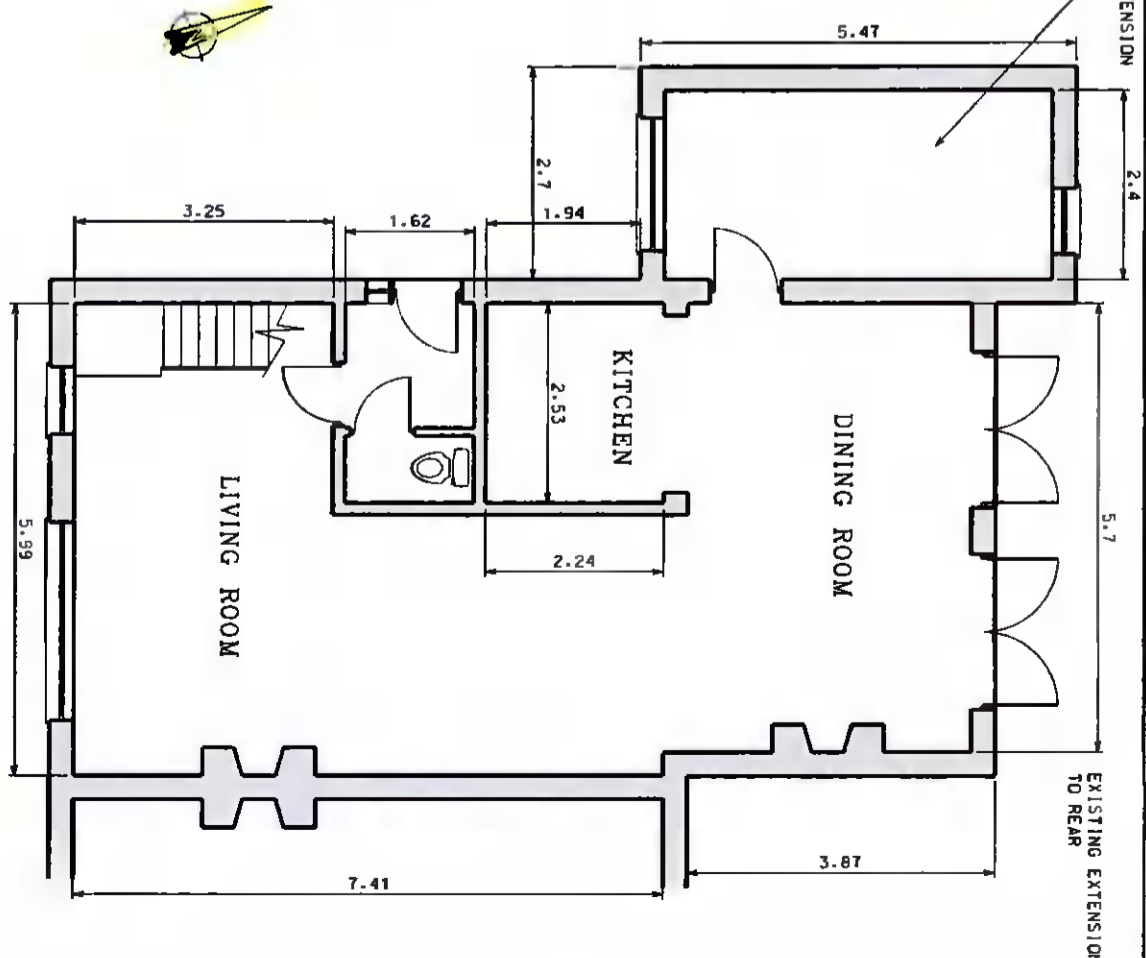


**FOR LEVELS
AND T.B.M.
SEE SHEETS 3**

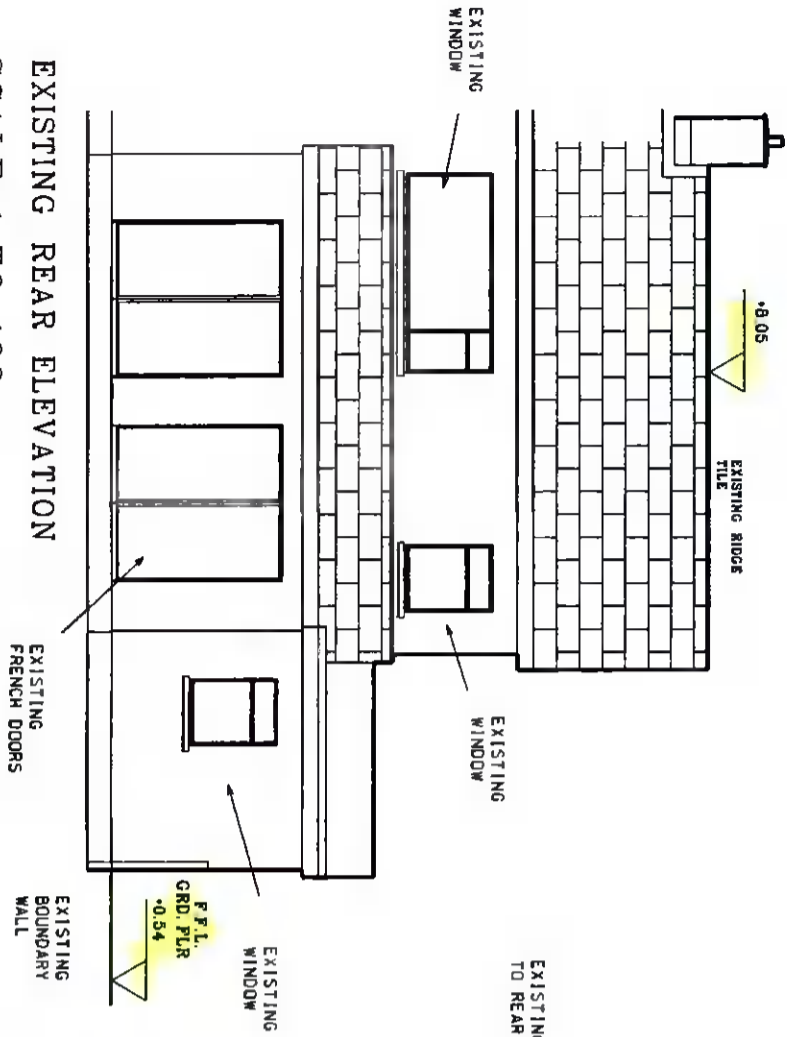
**EXISTING FIRST FLOOR PLAN
SCALE 1 TO 100**



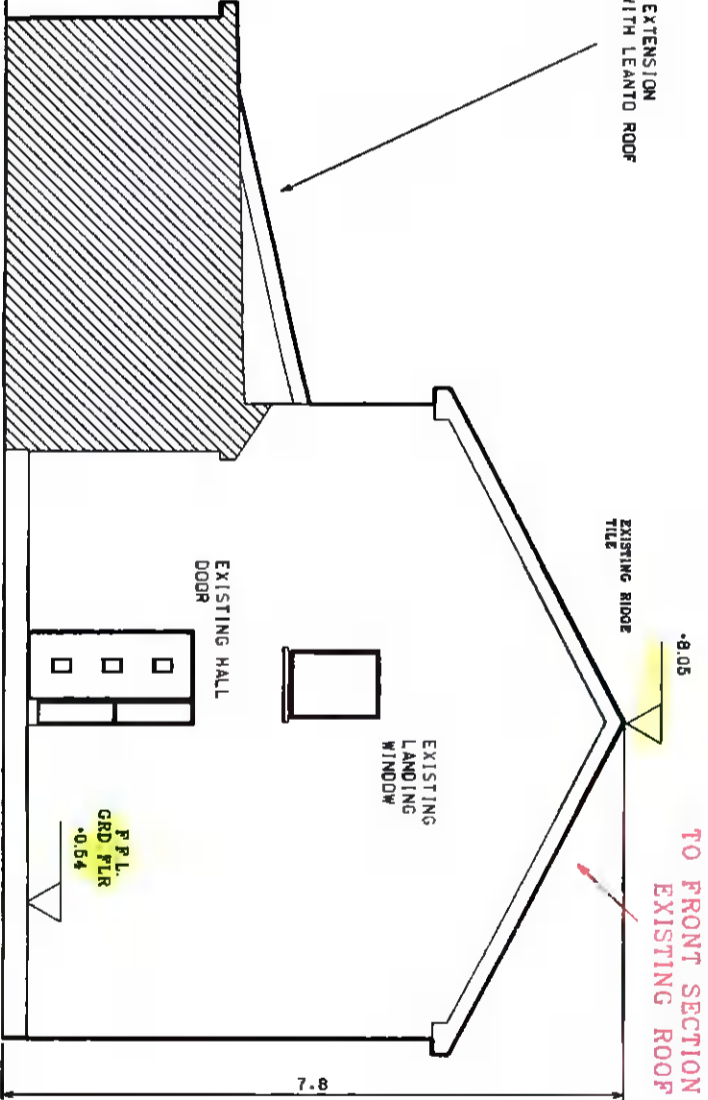
**EXISTING GROUND FLOOR PLAN
SCALE 1 TO 100**



**EXISTING REAR ELEVATION
SCALE 1 TO 100**



**EXISTING SIDE ELEVATION
SCALE 1 TO 100**



**PROPOSED
10 SOLAR PANELS
TO FRONT SECTION OF
EXISTING ROOF**

**T.B.M TAKEN AT FOOTPATH
TO FRONT**

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For Meritta and James Mullins

Drawing No. Title
sheet 4 EXISTING PLANS AND ELEVATIONS

Scale 1 to 100
Date Oct. 2021

Drawn:- J.J.Martin
15 Castletown Lawn,
Celbridge, Co. Kildare.
Ph.01-6271372

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GROUND LEVEL

RAISE EXISTING REAR AND SIDE GABLE WALL TO IN CAVITY BLOCK AS PER EXISTING TO FORM DORMER EXTENSION

ROOF OF EXISTING EXTENSIONS

FINISHED FLOOR LEVEL OF PROPOSED ATTIC CONVERSION = + 5.85 FOR LEVELS AND T.B.M. SEE SHEET 3

NOTE:- STUDED PARTITION IN CONVERTED ATTIC AND AT NEW STAIR CASE IS TO BE CONSTRUCTED SO AS TO COMPLY WITH B.S.476 MIN 30 MINUTE RATING AS PER BUILDING REGULATIONS 2006. TECHNICAL GUIDANCE DOCUMENT 'B' FIRE SAFETY.

NOTE THE TWO NEW WINDOWS IN THE PROPOSED DORMERED EXTENSION TO THE REAR TO COMPLY WITH BUILDING REGULATIONS 2006 TECHNICAL DOCUMENT 'B' FIRE ESCAPE

EXTERNAL FINISH TO MATCH EXISTING

FLOOR AREA OF PROPOSED PORCH - 2.5 sq. M

EXISTING BOUNDARY WALL
PROPOSED PORCH

PROPOSED PORCH TO BE INSULATED

PROPOSED DORMER WALL TO BE TIMBERFRAME STRUCTURE, LINED WITH PLYWOOD, CEMENT BOARD FIXED AND PLASTERED TO MATCH EXISTING EXTERNAL FINISH

CONVERTED ATTIC TO BE INSULATED

PROPOSED 10 SOLAR PANELS TO FRONT SECTION OF EXISTING ROOF SEE SHEETS 6, 9 AND 10

ROOF OF PROPOSED PORCH

STORAGE AREA FOR WATER TANKS HEATING EXPANSION ETC

PROPOSED ATTIC CONVERSION PLAN SCALE 1 TO 100

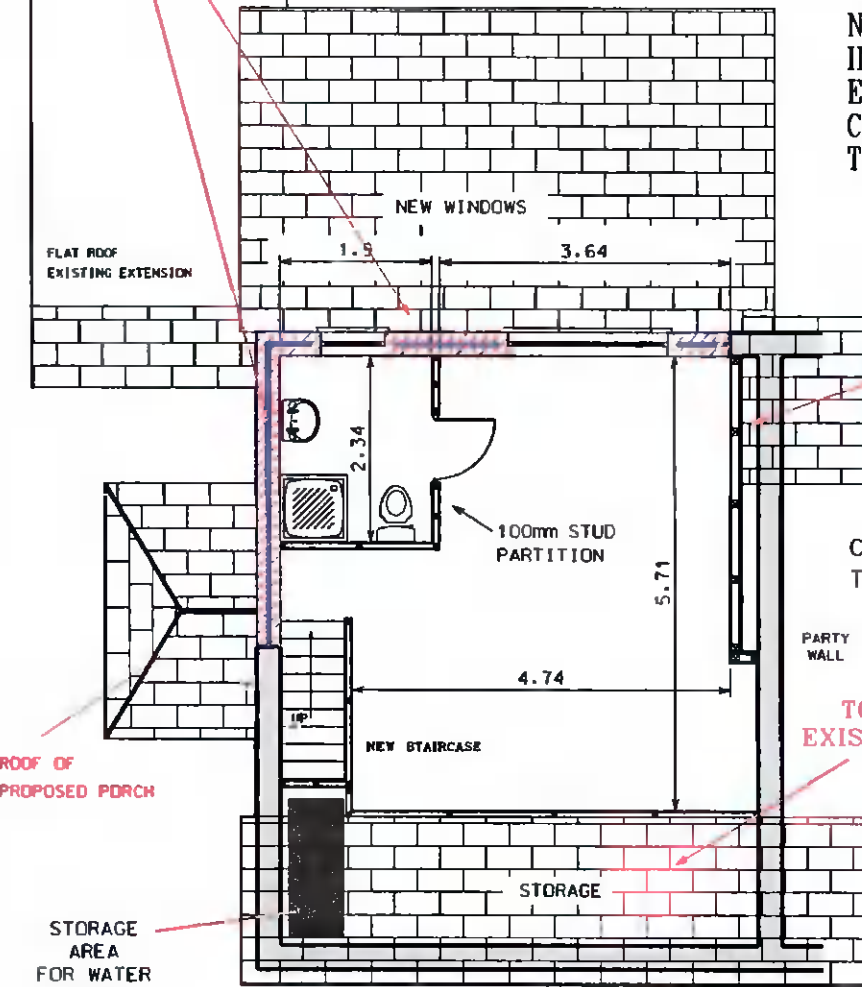
ACCESS TO CRAWLSPACE TO BE PROVIDED. CRAWL SPACE TO BE USED AS STORAGE

SMOKE AND HEAT DETECTORS (INTERCONNECTED) TO BE FITTED AS PER FIRE BUILDING REGULATIONS 2006 TECHNICAL GUIDANCE DOCUMENT 'B'

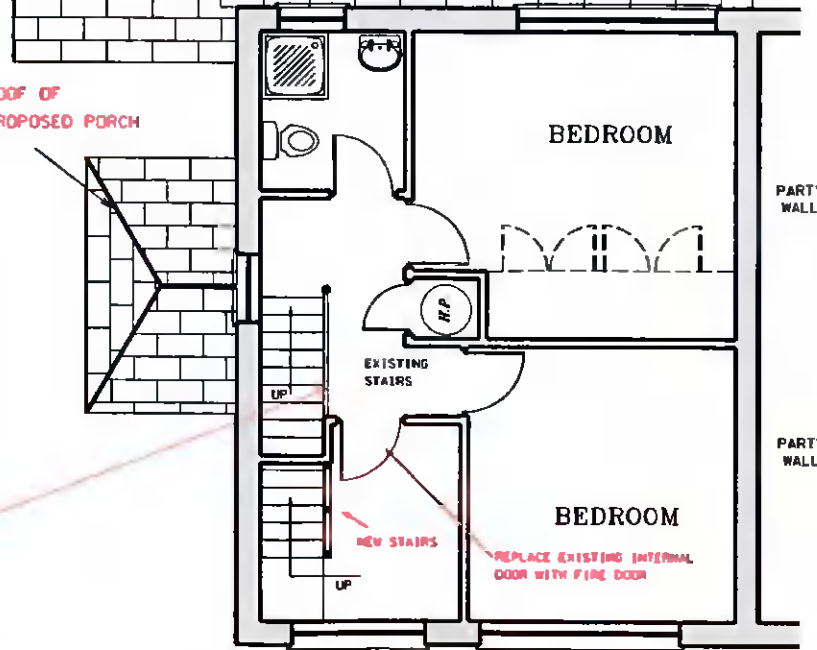
CONSTRUCT NEW STAIR CASE AS FOLLOWS:-
RISERS TO BE 175mm
GOINGS TO BE 250mm
PITCH OF STAIR CASE TO BE 35 Degrees Approx.
CLEAR WIDTH OF STAIR CASE TO BE 800mm Min.
HEADROOM TO BE 2M Min.
AS PER BUILDING REGULATIONS 2014 TECHNICAL GUIDANCE DOCUMENT 'K'

ALL WORK TO COMPLY WITH CURRENT LOCAL AUTHORITY BUILDING REGULATIONS

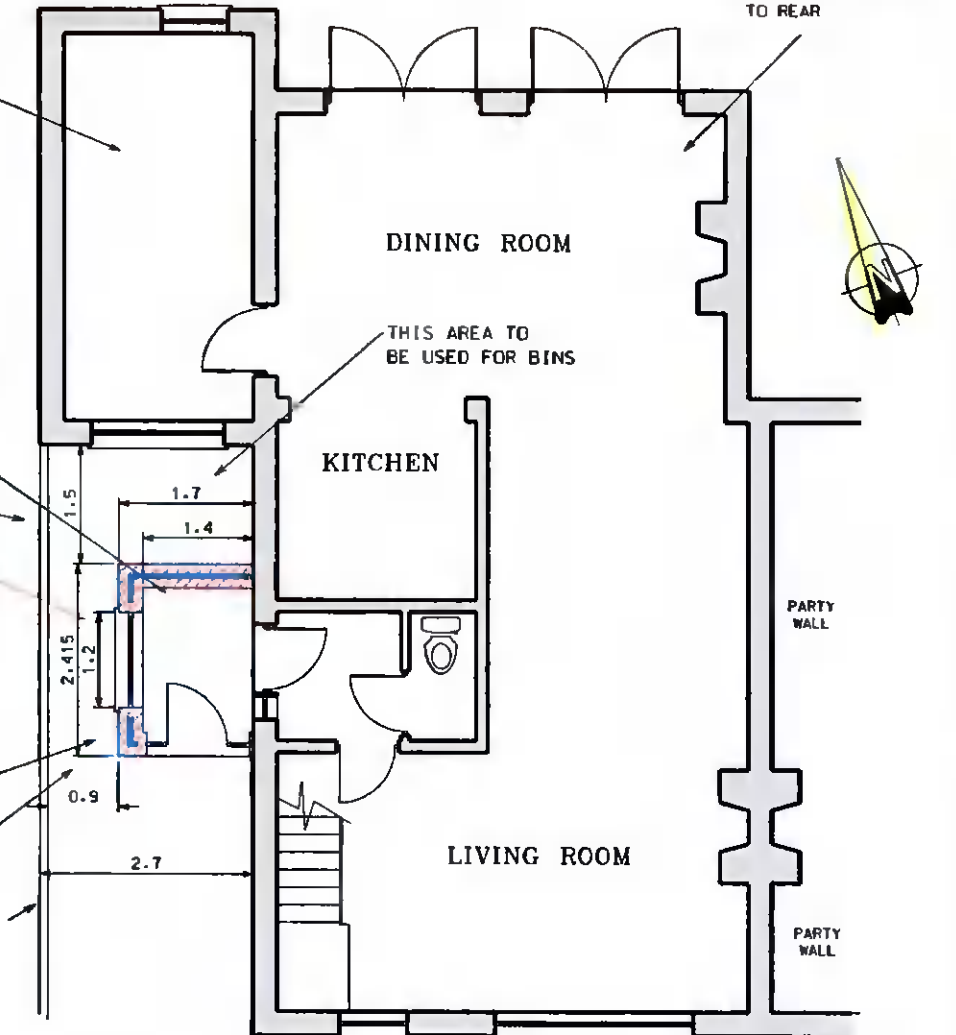
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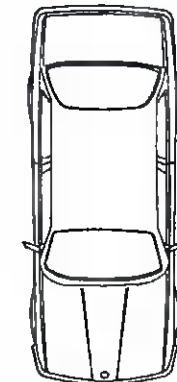
ROOF OF PROPOSED PORCH



PROPOSED FIRST FLOOR PLAN SCALE 1 TO 100



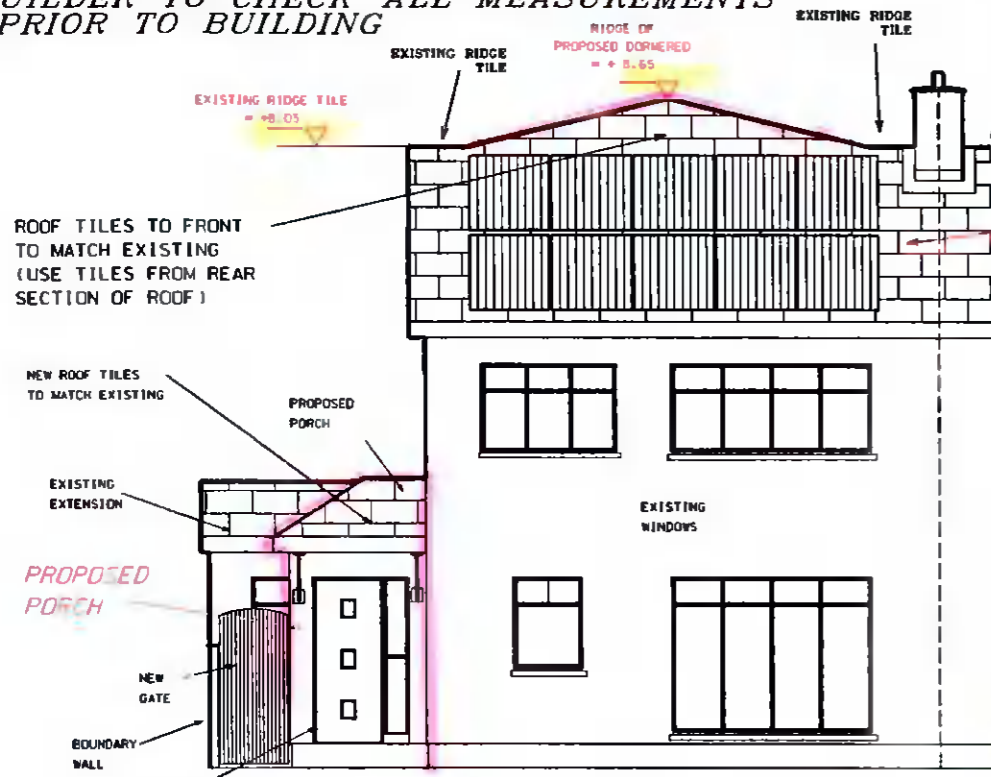
PROPOSED GROUND FLOOR PLAN SCALE 1 TO 100



T.B.M TAKEN AT FOOTPATH TO FRONT SEE SHEET 3

| | | |
|---|----------------|---|
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| Drawing No. sheet 5 | Title | PROPOSED PLANS |
| Scale 1 to 100 | Date Oct. 2021 | Drawn:- J.J.Martin 15 Castletown Lawn, Celbridge, Co. Kildare. Ph.01-6271372 |
| Issue 'A' | | |

BUILDER TO CHECK ALL MEASUREMENTS PRIOR TO BUILDING



**PROPOSED FRONT ELEVATION
SCALE 1 TO 100**

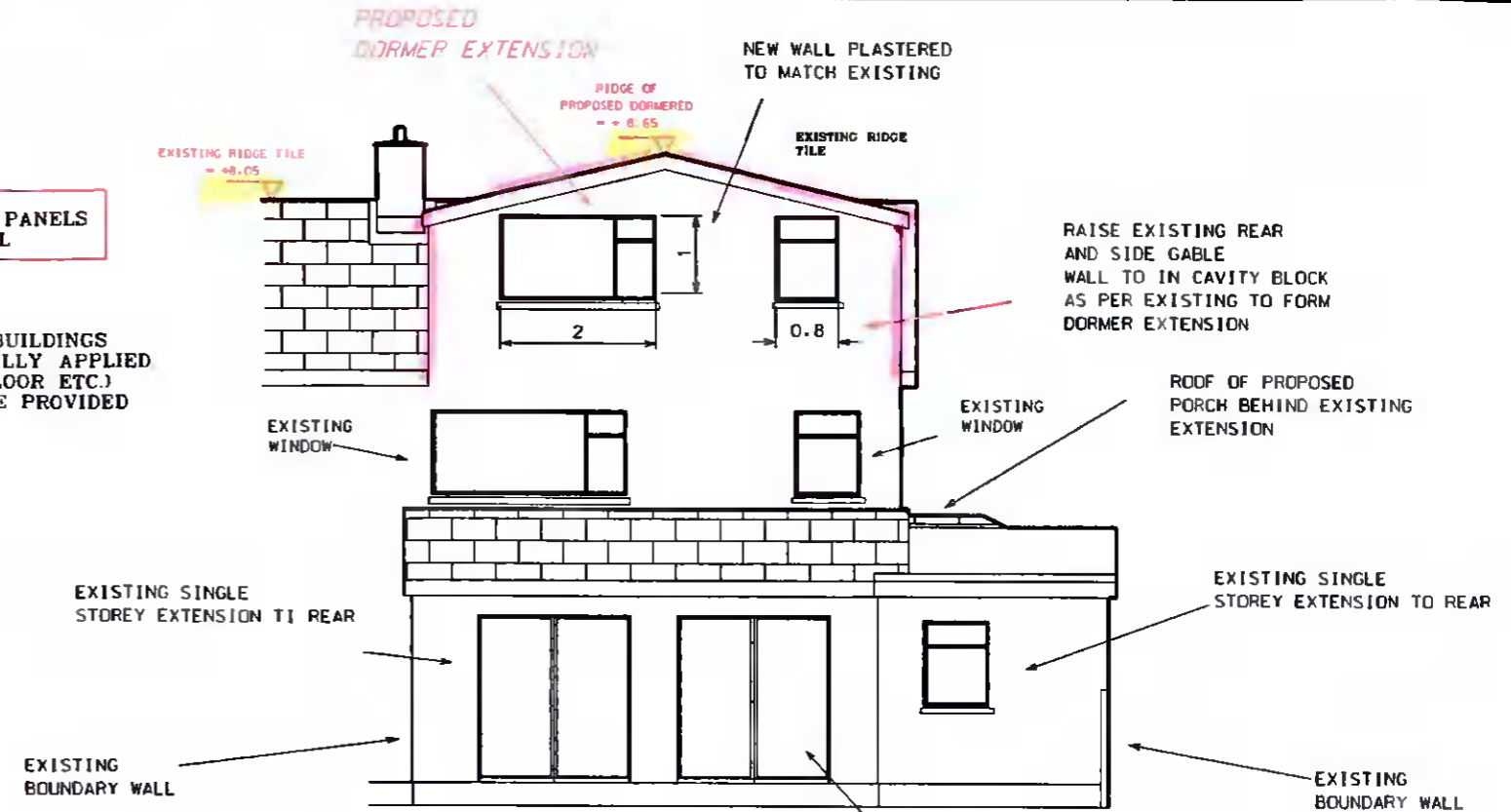
EXTERNAL FINISH OF PROPOSED NEW WORK TO MATCH EXISTING HOUSE

900mm BETWEEN PROPOSED PORCH AND EXISTING BOUNDARY WALL

ALL WORK TO COMPLY WITH CURRENT LOCAL AUTHORITY BUILDING REGULATIONS

10 (1m X 2m) SOLAR PANELS
20.0.SQ.M TOTAL

ENERGY PERFORMANCE OF BUILDINGS REGULATIONS TO BE FULLY APPLIED (WALLS, CEILING, FLOOR ETC.)
RADON BARRIER TO BE PROVIDED



**PROPOSED REAR ELEVATION
SCALE 1 TO 100**

RAISE EXISTING REAR AND SIDE GABLE WALL TO IN CAVITY BLOCK AS PER EXISTING TO FORM DORMER EXTENSION

ROOF OF PROPOSED PORCH BEHIND EXISTING EXTENSION

EXISTING SINGLE STOREY EXTENSION TO REAR

EXISTING SINGLE STOREY EXTENSION TO REAR

EXISTING BOUNDARY WALL

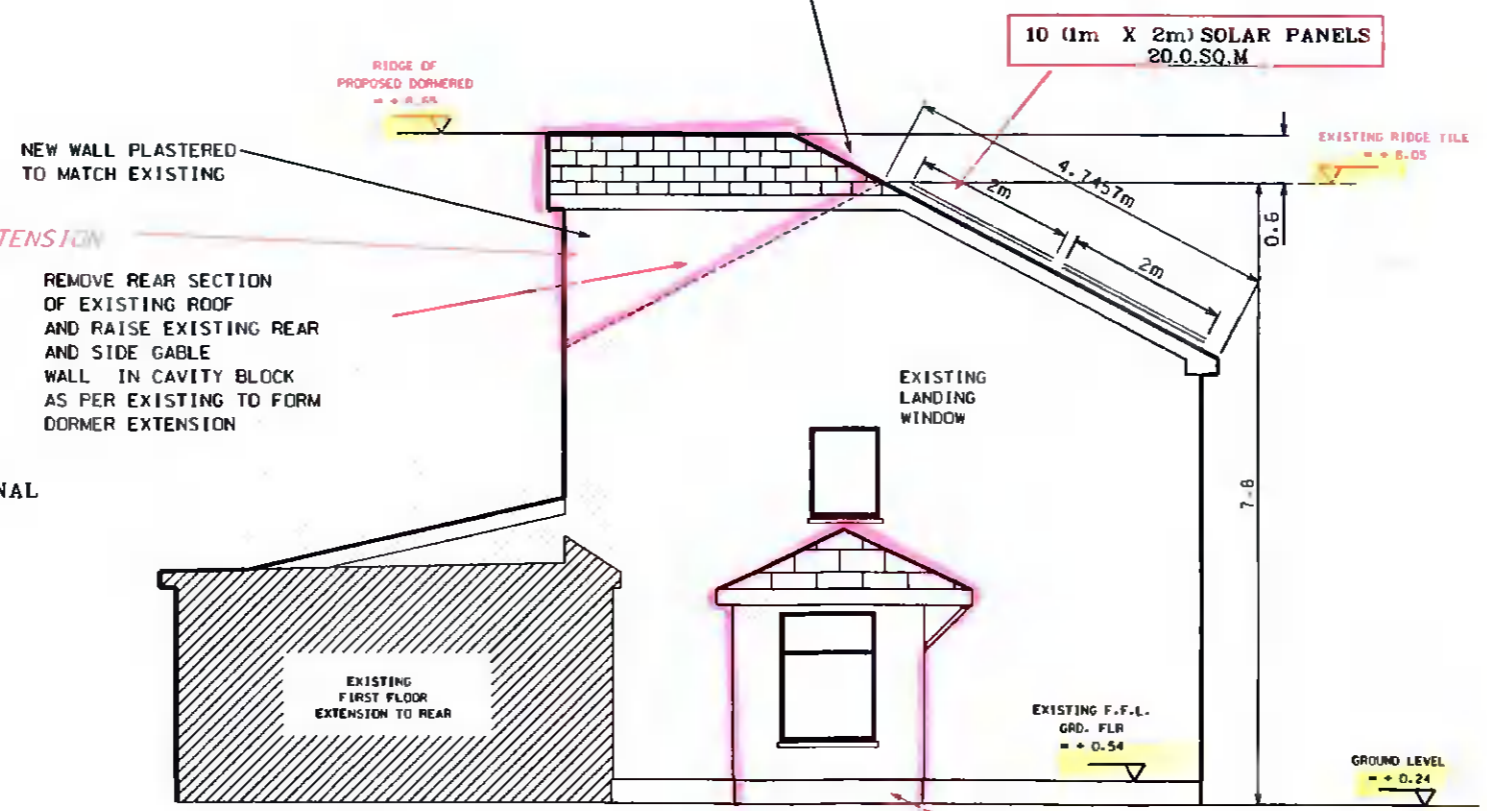
EXISTING FRENCH DOORS

FOR LEVELS AND T.B.M. SEE SHEETS 3

RISE SECTION OF EXISTING RIDGE 500mm AS SHOWN SEE FRONT AND REAR ELEVATIONS

ERECT SCAFFOLDING
SUPPORT ROOF, REMOVE TILES, FELT AND RAFTERS IN AREA OF PROPOSED DORMER EXTENSION.
CONSTRUCT / ERECT NEW EXTENSION (RAISE WALLS AS SHOWN)
PITCH OF ROOF TO BE A MINIMUM AS TO ALLOW FOR MAX INTERNAL CEILING HEIGHT. PITCH TO SUIT TILES / ROOF OR OTHER ROOF COVERING (TO BE DISCUSSED WITH DESIGNER)

AREA OF SITE - 333.0 sq M
FLOOR AREA OF ORIGINAL GRD. FLR. - 44.5sq. M INTERNAL EXCLUDING EXTENSIONS
FLOOR AREA OF EXISTING EXTENSIONS - 31.5 sq.M INTERNAL
FLOOR AREA OF EXISTING FIRST FLOOR - 44.5 sq.M INTERNAL
FLOOR AREA OF PROPOSED ATTIC CONVERSION - 30.0 sq. M
FLOOR AREA OF PROPOSED PORCH - 2.5 sq. M



**PROPOSED SIDE ELEVATION
SCALE 1 TO 100**

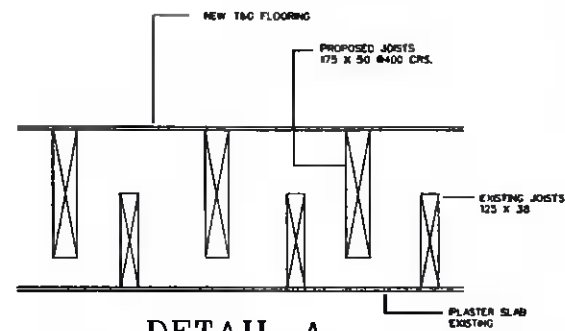
PROPOSED PORCH

T.B.M TAKEN AT FOOTPATH TO FRONT

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| | |
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| Drawing No. sheet 6 | Title PROPOSED ELEVATIONS |
| Scale 1 to 100 | Drawn:- J.J.Martin 15 Castletown Lawn, Celbridge, Co. Kildare. Ph.01-6271372 |
| Date Oct. 2021 | |
| Issue 'A' | |

BUILDER TO CHECK ALL MEASUREMENTS PRIOR TO BUILDING



DETAIL A
NOT TO SCALE

Lintols:-
Precast, Prestressed Reinforced Spanlite Lintols With 225mm Bearing each End. With 2 Courses of Solid Block Over Same to be Used.

ROOF TILES OR FELT ON DORMER TO BE DECIDED AS TO SUIT ROOF PITCH

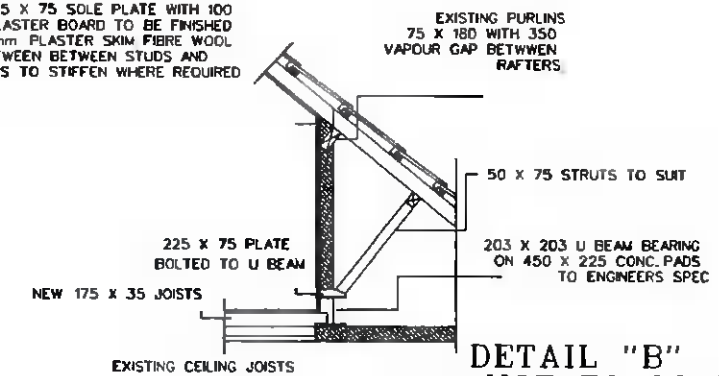
ERECT SCAFFOLDING

SUPPORT ROOF, REMOVE TILES, FELT AND RAFTERS IN AREA OF PROPOSED DORMER EXTENSION.

CONSTRUCT / ERECT NEW EXTENSION (RAISE WALLS AS SHOWN)

PITCH OF ROOF TO BE A MINIMUM AS TO ALLOW FOR MAX INTERNAL CEILING HEIGHT. PITCH TO SUIT TILES / ROOF OR OTHER ROOF COVERING. (TO BE DISCUSSED WITH DESIGNER)

12mm PLASTER BOARD WITH 100 x 75 STUDS @ 400 CRS. OVER 225 x 75 SOLE PLATE WITH 100 x 75 HEAD. PLASTER BOARD TO BE FINISHED WITH 3 - 5 mm PLASTER SKIM FIBRE WOOL INSULATION BETWEEN STUDS AND NOGGING PIECES TO STIFFEN WHERE REQUIRED



DETAIL "B"
NOT TO SCALE

NOTE THE TWO NEW WINDOWS IN THE PROPOSED DORMERED EXTENSION TO THE REAR TO COMPLY WITH BUILDING REGULATIONS 2006 TECHNICAL DOCUMENT 'B' FIRE ESCAPE

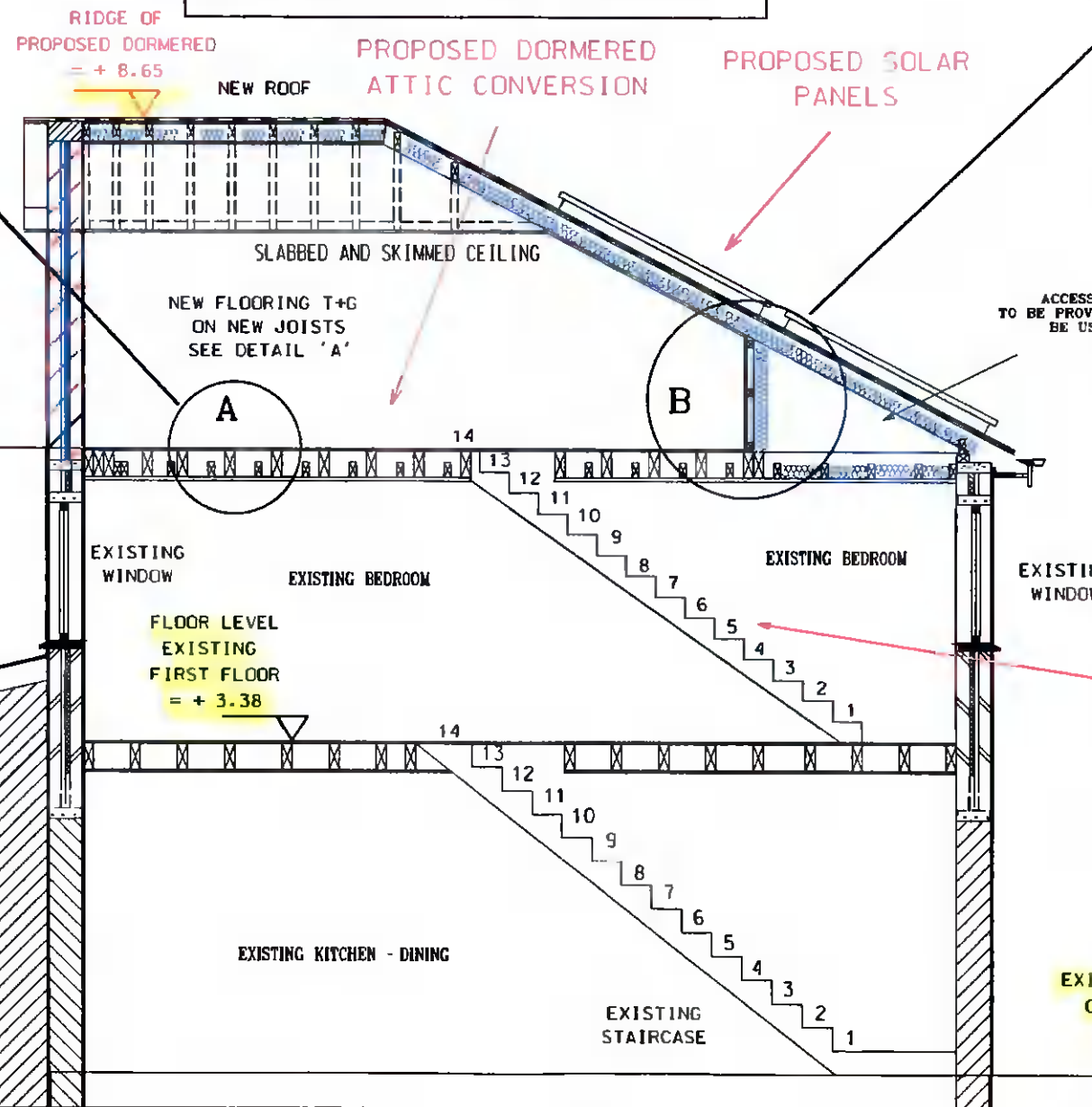
225mm Hollow Block Wall

Cills:-
R.C. Cills Wrapped in D.P.C. Membrane to be Used

FINISHED FLOOR LEVEL OF PROPOSED ATTIC CONVERSION = + 5.85 FOR LEVELS AND T.B.M. SEE SHEET 3

PROPOSED FLOOR LEVEL CONVERTED ATTIC = + 5.85

NEW STAIRCASE TO BE CONSTRUCTED ABOVE EXISTING STAIRCASE SEE SHEET 5



NOTE:- STUDDED PARTITION IN CONVERTED ATTIC IS TO BE CONSTRUCTED SO AS TO COMPLY WITH B.S.476 MIN 30 MINUTE RATING AS PER BUILDING REGULATIONS 2006. TECHNICAL GUIDANCE DOCUMENT 'B' FIRE SAFETY.

ACCESS TO CRAWLSPACE TO BE PROVIDED. CRAWL SPACE TO BE USED AS STORAGE

NOTE TO BUILDER FOR FULL DETAILS OF PROPOSED STEEL (STRUCTURAL) SEE ENGINEERS SPEC AND DRAWINGS

SMOKE AND HEAT DETECTORS (INTERCONNECTED) TO BE FITTED AS PER FIRE BUILDING REGULATIONS 2006 TECHNICAL GUIDANCE DOCUMENT 'B'

CONSTRUCT NEW STAIR CASE AS FOLLOWS:-
RISERS TO BE 175mm
GOINGS TO BE 250mm
PITCH OF STAIR CASE TO BE 35 Degrees Approx.
CLEAR WIDTH OF STAIR CASE TO BE 800mm Min.
HEADROOM TO BE 2M Min.
AS PER BUILDING REGULATIONS 2014 TECHNICAL GUIDANCE DOCUMENT 'K'

CONVERTED ATTIC TO BE INSULATED

EXISTING F.F.L. GROUND FLOOR = + 0.54

ALL WORK TO COMPLY WITH CURRENT LOCAL AUTHORITY BUILDING REGULATIONS

SECTION X - X
SCALE 1 TO 50

NEW WORK OUTLINED RED

EXTERNAL FINISH TO MATCH EXISTING

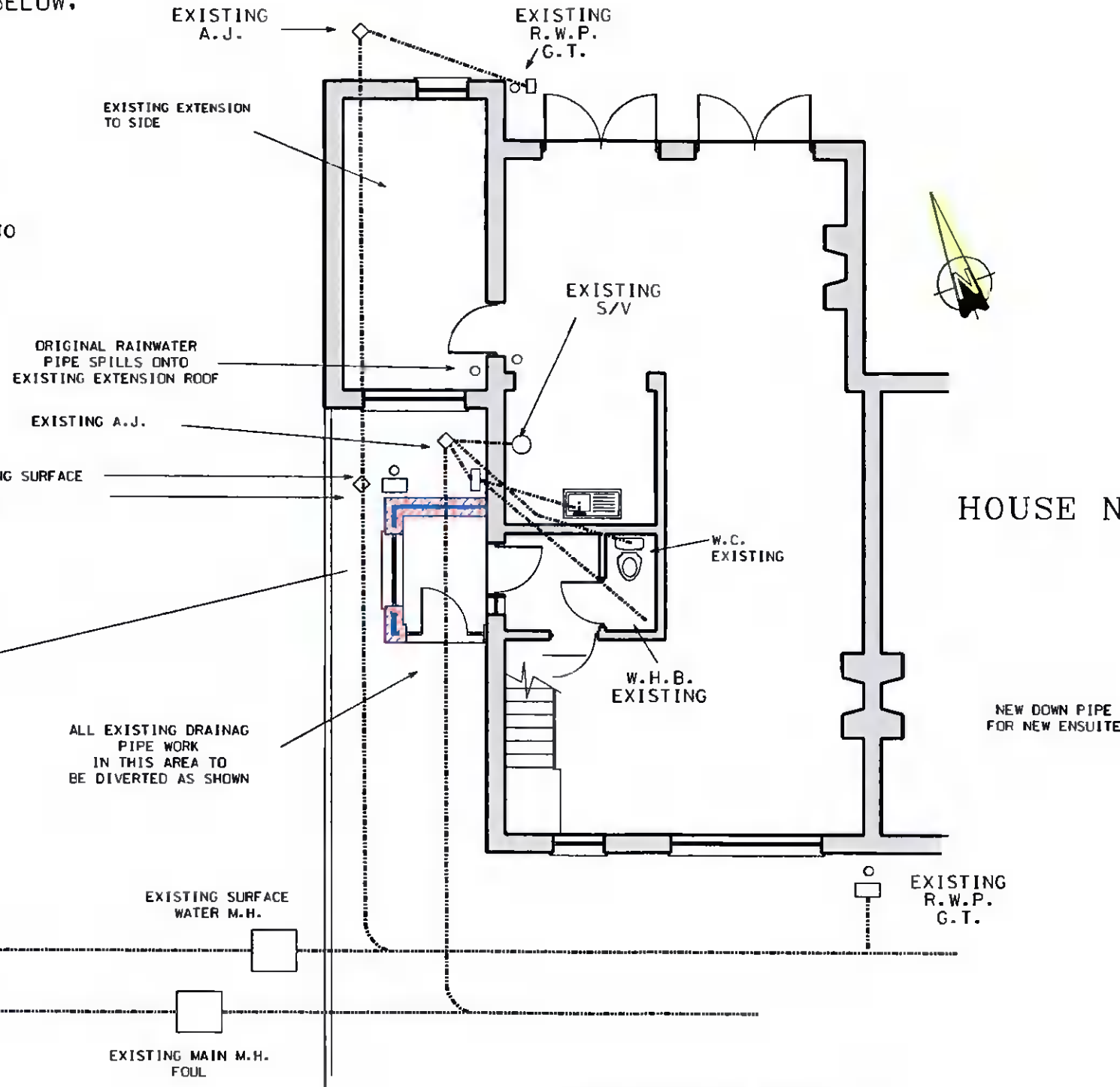
| | |
|--|---|
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| Drawing No. sheet 7 | Title PROPOSED SECTION |
| Scale 1 to 50 | Drawn:- J.J.Martin |
| Date Oct. 2021 | 15 Castletown Lawn, Celbridge, Co. Kildare. |
| Issue 'A' | Ph 01-8271372 |

**BUILDER TO CHECK ALL MEASUREMENTS
PRIOR TO BUILDING**

DRAINAGE FROM
PROPOSED ENSUITE IN
CONVERTED ATTIC SHOULD FEED
INTO EXISTING BATHROOM
WASTE BELOW.

RAINWATER FROM TILED ROOF
(ORIGINAL ROOF)
SPILLS ONTO EXTENSION ROOF
AND TO THIS R.W.P. AND G.T.
THIS WILL REMAIN T AS IS AFTER CONSTRUCTION OF
DORMER EXTENSION
SEE PART SIDE ELEVATIONS

REMOVE ALL EXISTING DRAINAGE
PIPES AND FITTINGS
IN AREA OF EXCAVATION
ALL NEW DRAINS TO BE P.V.C. TO
RECOMMENDED FALLS AND CONNECTED TO
GULLYS, A.J.'s, SOIL PIPES AND MANHOLES
IN SUCH A MANNER THAT ALL LINES ARE
STRAIGHT FROM POINT TO POINT AND WITH NO
OBSTRUCTIONS AT NEW JOINTS
PROVIDE NEW A.J.'s, G.T.'s, AND PIPES AND
FITTINGS AS PER PLANS AND
TO MEET SDCC APPROVAL.



HOUSE No. 35

ENERGY
PERFORMANCE OF BUILDINGS
REGULATIONS TO BE FULLY APPLIED.
(WALLS, CEILING, FLOOR ETC.)
RADON BARRIER TO BE PROVIDED

EXISTING 100mm RAINWATER
SYSTEM TO BE EXTENDED
AT PROPOSED EXTENSION
AND NEW GUTTER TO SPILL
TO EXISTING DOWNPIPES

PROTECT EXISTING DRAINAGE
PIPES AS THEY PASS THROUGH
PROPOSED FOUNDATIONS
OF PORCH BY MEANS OF
A LINTOL WITH
300mm MIN BEARING
EACH END. THE PIPES SHOULD BE ENCASED
IN 150 mm MIN CONC.

ALL WORK TO
COMPLY WITH
CURRENT LOCAL
AUTHORITY BUILDING
REGULATIONS

DRAINAGE DETAILS
SCALE 1 TO 100

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For
Maritta and James Mullins

| | |
|------------------------|---------------------------|
| Drawing No. sheet 8 | Title DRAINAGE DETAILS |
|------------------------|---------------------------|

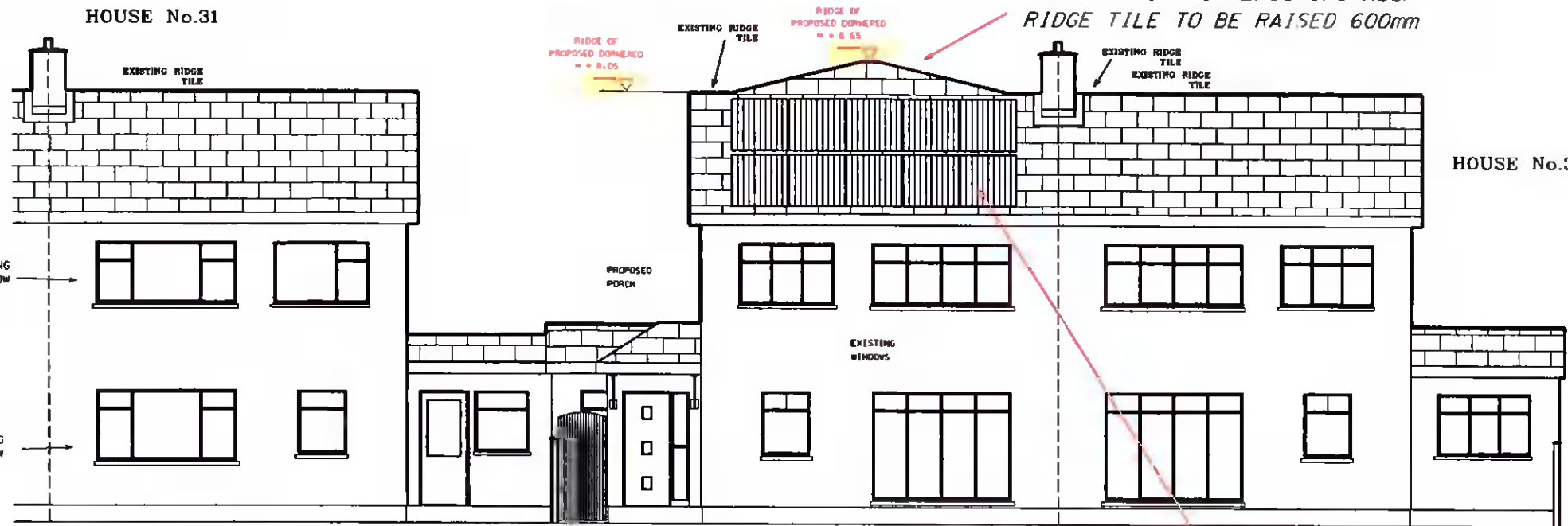
Scale 1 to 100

Date Oct. 2021

Issue 'A'

Drawn:- J.J.Martin
15 Castletown Lawn,
Celbridge, Co. Kildare.
Ph.01-6271372

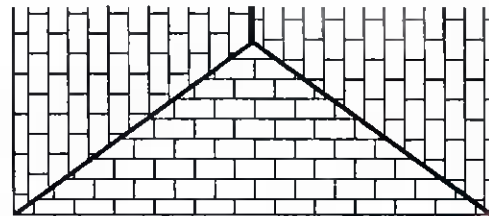
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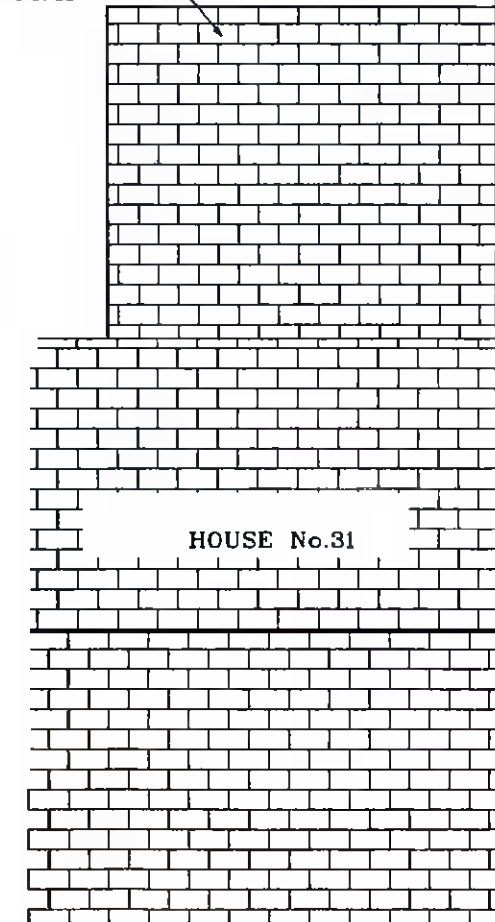
PROPOSED FRONT ELEVATION
SHOWING HOUSES No,s 31 AND 35
SCALE 1 TO 100

PROPOSED
10 SOLAR PV PANELS
(EACH 1M X 2M TOTAL AREA - 20 SQ M
TO FRONT SECTION OF
EXISTING ROOF

EXISTING STRUCTURE
IN REAR GARDEN
OF HOUSE No. 31



SINGLE STOREY
EXTENSION
AT REAR
OF HOUSE
No. 31

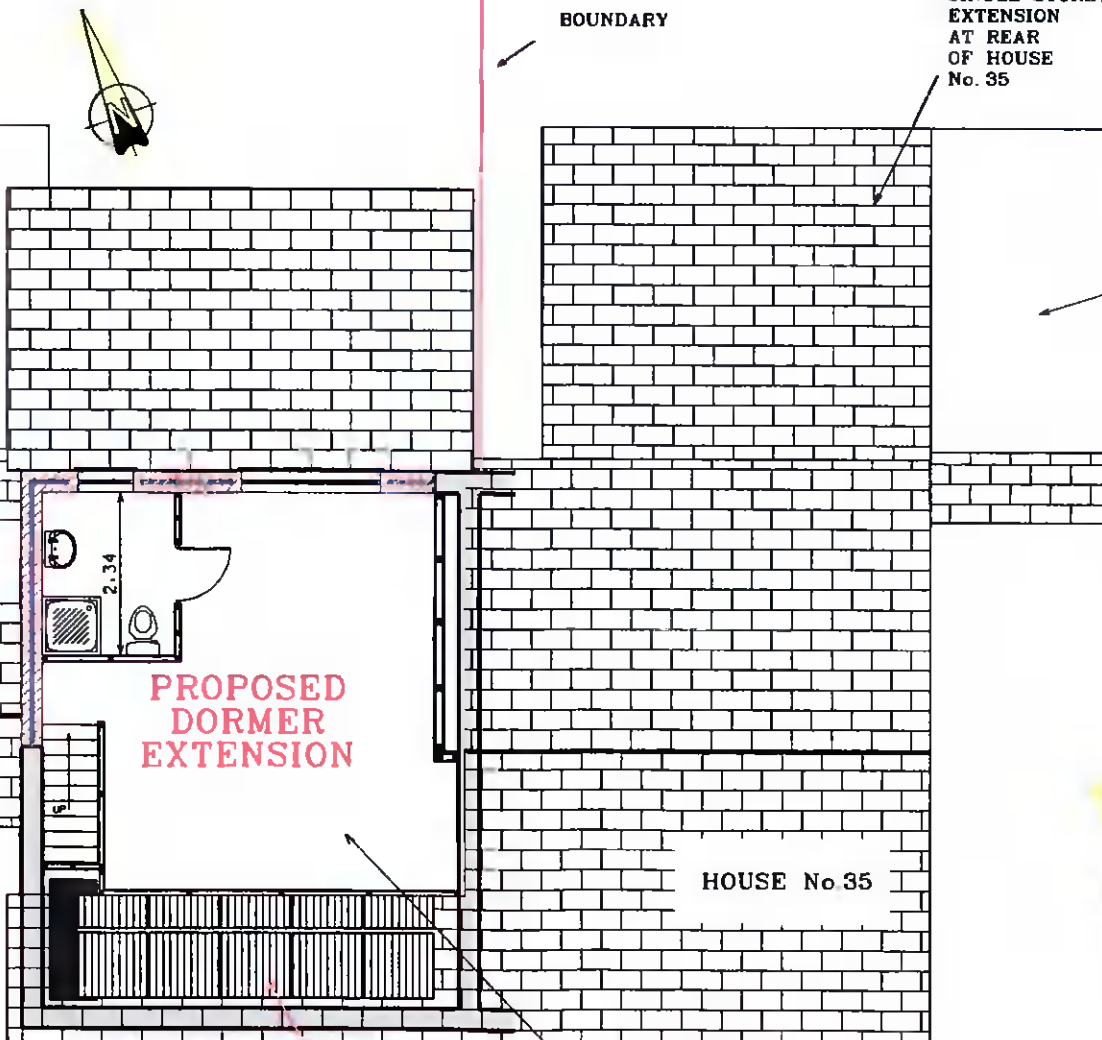


HOUSE No.31

BOUNDARY

BOUNDARY

ROOF OF
PROPOSED PORCH



PROPOSED
DORMER
EXTENSION

PROPOSED
10 SOLAR PV PANELS

PROPOSED ATTIC
CONVERSION

HOUSE No.35

SINGLE STOREY
EXTENSION
AT REAR
OF HOUSE
No. 35

EXISTING
SINGLE STOREY
EXTENSION
AT SIDE AND REAR GARDEN
OF HOUSE No. 35

AREA OF SITE - 333.0 sq. M.
FLOOR AREA OF ORIGINAL GRD FLR
- 44.6sq M INTERNAL EXCLUDING EXTENSIONS
FLOOR AREA OF EXISTING EXTENSIONS - 31.5 sq.M INTERNAL
FLOOR AREA OF EXISTING FIRST FLOOR
- 44.0 sq.M INTERNAL
FLOOR AREA OF PROPOSED ATTIC
CONVERSION - 30.0 sq M
FLOOR AREA OF PROPOSED PORCH - 2.6 sq M

PROPOSED PLAN (ATTIC LEVEL)
SHOWING HOUSES No,s 31 AND 35

THIS DRAWING IS
FOR PLANNING PERMISSION
ONLY

Planning Application for the
Conversion of the Attic
space to a Bedroom and Ensuite
This will involve the Construction
of a Dormer Type
Extension With Two Windows to the
Rear of the Existing Roof.
The construction of a Porch to
the side and the installation of
10 Solar Panels (20sq.m)
to the front of the existing roof.
at 33 Floraville Avenue, Clondalkin, Dublin 22
For
Maritta and James Mullins

| | |
|------------------------|---|
| Drawing No. sheet 9 | Title FRONT ELEVATION AND PLAN SHOWING NEIGHBOURING DWELLINGS |
|------------------------|---|

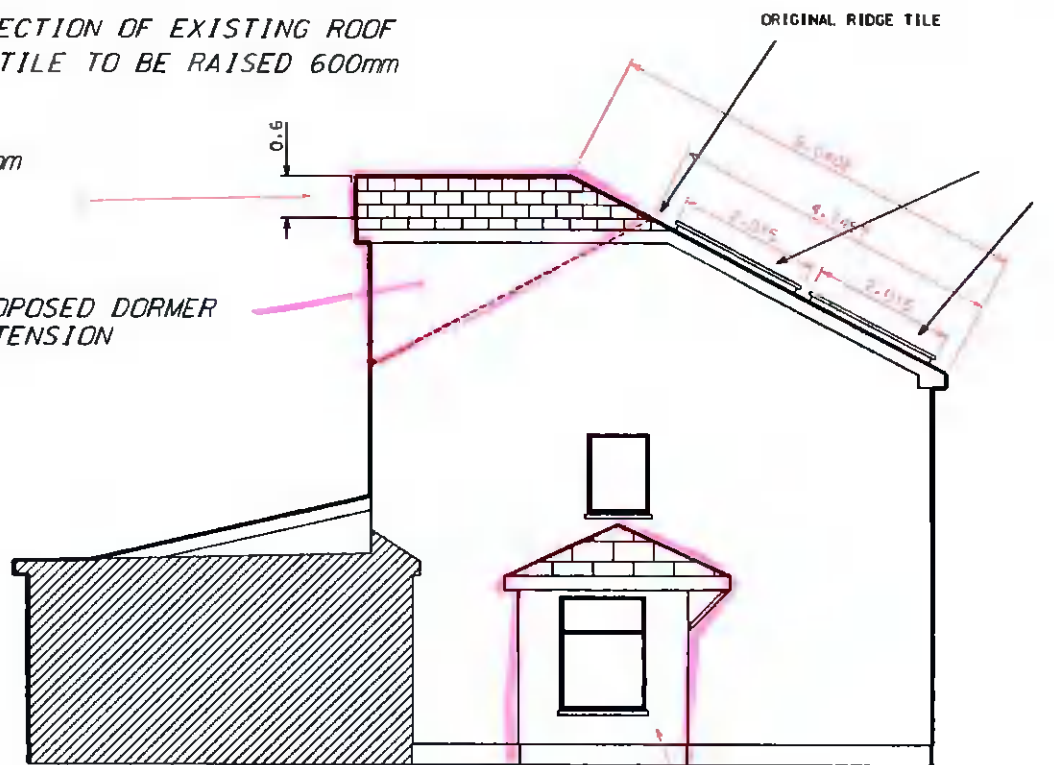
| | |
|----------------|---|
| Scale 1 to 100 | Drawn:- J.J.Martin 15 Castletown Lawn, Celbridge, Co. Kildare. Ph.01-6271372 |
| Date Oct. 2021 | |

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THIS SECTION OF EXISTING ROOF
RIDGE TILE TO BE RAISED 600mm

RIDGE TILE
RAISED 600mm
AS SHOWN

PROPOSED DORMER
EXTENSION



EXISTING SIDE ELEVATION
SCALE 1 TO 100

PROPOSED PORCH

THIS SECTION OF EXISTING ROOF
RIDGE TILE TO BE RAISED 600mm

PROPOSED
SOLAR
PANELS

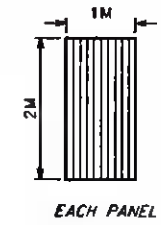
ORIGINAL RIDGE TILE

PROPOSED
SOLAR
PANELS

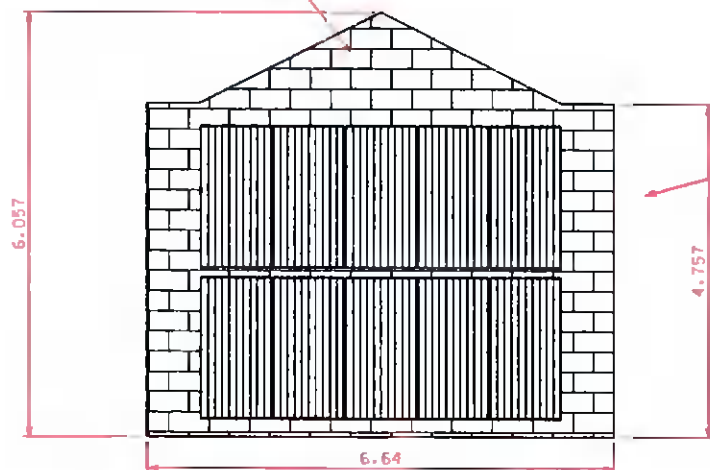


PROPOSED FRONT ELEVATION
SCALE 1 TO 100

PROPOSED PORCH



RIDGE TILE
RAISED 600mm
AS SHOWN



ACTUAL SURFACE AREA
OF EXISTING ROOF
SCALE 1 TO 100

ACTUAL SURFACE AREA
OF FRONT SECTION OF EXISTING
ROOF = 31.5 SQ. METRES

SURFACE AREA OF EACH PANEL = 2.0 SQ. METRES

SURFACE AREA OF 10 PANELS 20 SQ. METRES

THE 10 PROPOSED PANELS WILL COVER 64% OF
THE ORIGINAL FRONT SECTION OF THE ROOF

AREA OF SITE - 333.0 sq. M.

FLOOR AREA OF ORIGINAL GRD. FLR.
- 44.5sq. M. INTERNAL EXCLUDING EXTENSIONS

FLOOR AREA OF EXISTING EXTENSIONS - 31.5 sq.M INTERNAL

FLOOR AREA OF EXISTING FIRST FLOOR
- 44.5 sq.M INTERNAL

FLOOR AREA OF PROPOSED ATTIC
CONVERSION - 30.0 sq. M

FLOOR AREA OF PROPOSED PORCH - 2.5 sq. M

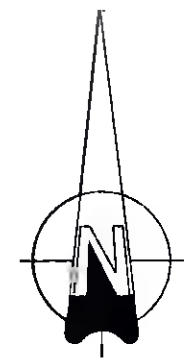
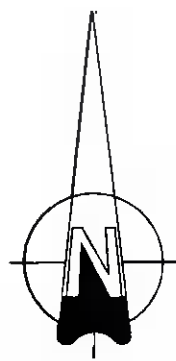
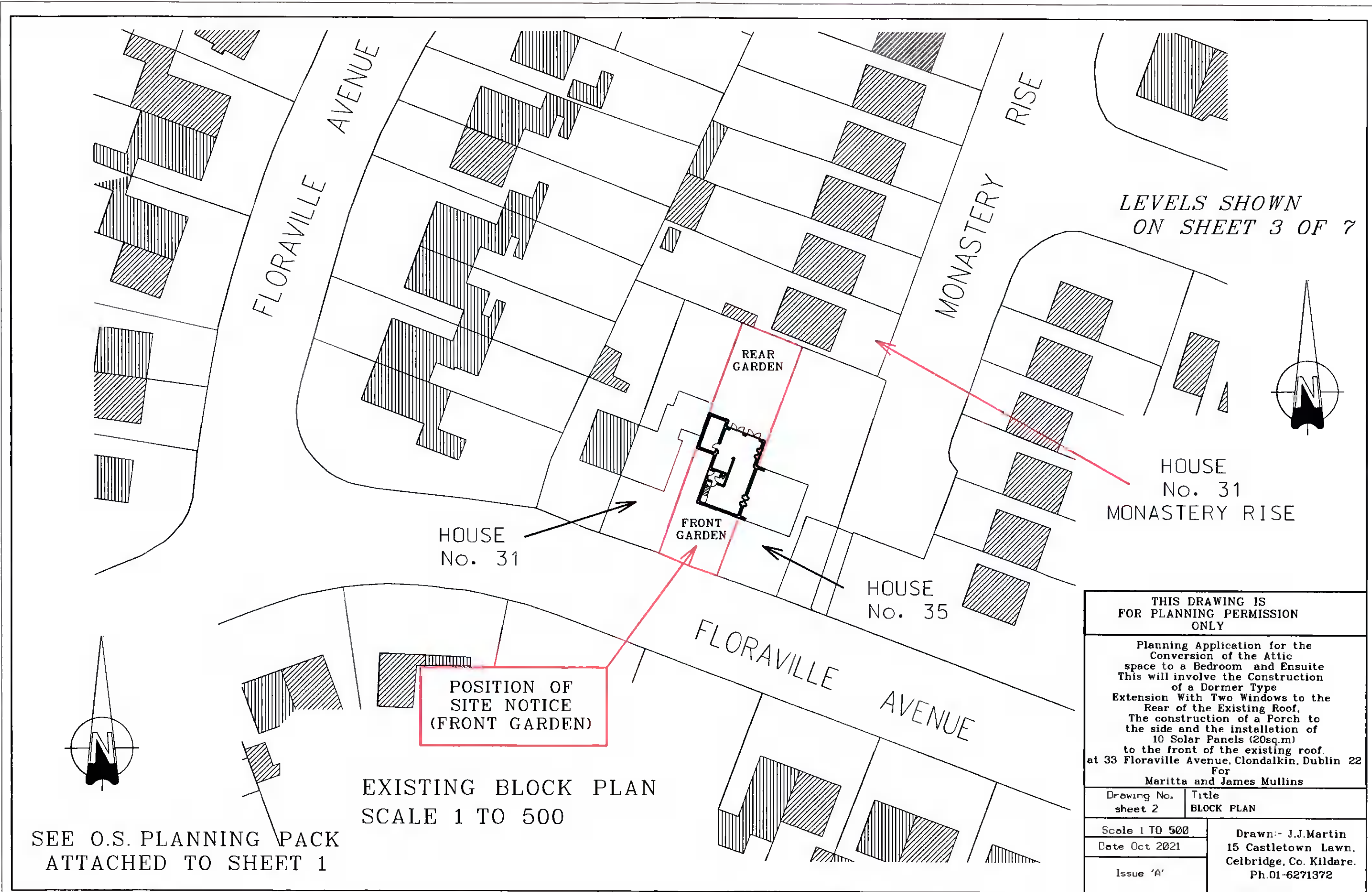
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at 33 Floraville Avenue, Clondalkin, Dublin 22
For
Maritta and James Mullins

| | |
|-------------------------|-----------------------|
| Drawing No. sheet 10 | Title SOLAR PANELS |
|-------------------------|-----------------------|

| | |
|----------------|---|
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| Date Oct. 2021 | |

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SEE O.S. PLANNING PACK
ATTACHED TO SHEET 1

| | |
|---|---|
| THIS DRAWING IS FOR PLANNING PERMISSION ONLY | |
| Planning Application for the Conversion of the Attic space to a Bedroom and Ensuite This will involve the Construction of a Dormer Type Extension With Two Windows to the Rear of the Existing Roof, The construction of a Porch to the side and the installation of 10 Solar Panels (20sq.m) to the front of the existing roof. at 33 Floraville Avenue, Clondalkin, Dublin 22 For Maritta and James Mullins | |
| Drawing No. sheet 2 | Title BLOCK PLAN |
| Scale 1 TO 500 | Drawn:- J.J.Martin 15 Castletown Lawn, Celbridge, Co. Kildare. Ph.01-6271372 |
| Date Oct 2021 | |
| Issue 'A' | |