

Comhairle Chontae Atha Cliath Theas

PR/1622/21

Record of Executive Business and Chief Executive's Order

Reg. Reference: SD21B/0549 **Application Date:** 29-Oct-2021
Submission Type: New Application **Registration Date:** 29-Oct-2021

Correspondence Name and Address: Patrycja Rogala 81, Barton Road Extension,
Rathfarnham, Dublin 14

Proposed Development: First floor extension over existing garage and utility
to counter lever to the rear with hip roof extension to
match existing; garage conversion; new canopy over
front door and some alterations to the front facade; 4
'Velux' type window to the front and 1 to the rear; 1
dormer type of window to the rear to allow for attic
conversion; some internal alterations; widen existing
vehicular access gate and associated site works.

Location: 3, Newlands Park, Newlands Cross, Clondalkin,
Dublin 22

Applicant Name: Orla & Andrew McKeon

Application Type: Permission

(EW)

Description of Site and Surroundings:

Site visit: 22/11/2021

Site Area: as stated 0.0501 Hectares as stated on application.

Site Description:

The site is located in a suburban residential area on Newlands Road, south of Clondalkin Village and north of the N7 Naas Road. The site contains an existing two-storey, semi-detached dwelling. There is a flat roof garage to the side of the dwelling and an extended porch extension to the front of the building. Hipped roof profiles forms part of the western end of the streetscape of Newlands Park and the dwellings are characterised by semi-detached houses of similar form and appearance, some with later modifications.

Proposal:

- First floor extension over the existing garage and utility to counter lever to the rear with gable end;
- roof extension from hip to over gable end;
- garage conversion;
- new canopy over the front door and some alterations to the front façade;

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- 4 'Velux' type window to the front and 1 to the rear;
- 1 dormer type of window to the rear to allow for attic conversion; some internal alterations;
- widen existing vehicular access gate and associated site works.

Zoning:

The subject site is subject to zoning objective RES - 'To protect and/or improve Residential Amenity'.

Consultations:

Surface Water Drainage: No objections, subject to conditions.

Irish Water: No objections, subject to conditions.

Roads: No objections, subject to conditions.

SEA Sensitivity Screening: No overlap indicated.

Submissions/Observations /Representations

No submissions received.

Relevant Planning History

SD21B/0378 - **Refused Permission** for first floor extension over the existing garage and utility to counter level to the rear with gable end; roof extension from hip to over gable end; garage conversion; new canopy over the front door and some alterations to the front façade; 4 'Velux' type window to the front and 1 to the rear; 1 dormer type of window to the rear to allow for attic conversion; some internal alterations; widen existing vehicular access gate and associated site works.

REASON

The proposed development, comprising of a change in roof profile in an area where existing roof profiles are strongly characterised by hipped-roofs, by way of its design, that neither matches or complements the original style and detail of the main house and where no good architectural reasons for doing otherwise exists would be contrary to Policy H18 Objective 1 and standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 of South Dublin County Council Development Plan 2016-2022 and if granted would seriously injure the visual amenities of property in the vicinity and be contrary to the proper planning and sustainable development of the area.

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Adjacent sites:

SD21B/0295- 17, Newlands Park, Clondalkin, Dublin 22. **Granted Permission** for a single storey domestic extension to the rear incorporating an extended dining, sitting and kitchen area; conversion of the existing garage to a living room; porch to the front and all associated site works.

SD17B/0218-9 Newlands Park, Clondalkin, Dublin 22. **Granted Permission** for Single storey, 29sq.m workshop extension to the rear of existing 21sq.m shed to include a new pitched roof to the overall building. A 4sq.m porch to the front and a 34sq.m ground floor extension to the rear of existing dwelling.

SD16B/0291 - 5, Newlands Park, Dublin 22. **Granted Permission** for the demolition of existing 19sq.m side room (ex. garage) and construction of a single-storey, 38sq.m extension to the side and front of existing dwelling.

Relevant Enforcement History

None on record.

Pre-Planning Consultation

PP052/21- Side extension over the garage with gable end, attic conversion, rear dormer window, 'Velux' type roof light to the front roof. House is semi-detached, Existing garage to be converted is 22sq.m, there is no increase of the ground floor, Extension over the garage is 25sq.m and it counter levers 1m to the back. Attic conversion of usable space comes to 40sq.m. Some alterations to the façade, and associated site works.

Relevant Policy in South Dublin County Council Development Plan 2016 - 2022

Section 2.4.1 Residential Extensions

Policy H17 – Residential Consolidation:

It is the policy of the Council to support residential consolidation and sustainable intensification at appropriate locations, to support ongoing viability of social and physical infrastructure and services and meet the future housing needs of the County.

H17 Objective 1: To support residential consolidation and sustainable intensification at appropriate locations and to encourage consultation with existing communities and other stakeholders.

Policy H18 Residential Extensions:

- It is the policy of the Council to support the extension of existing dwellings subject to the protection of residential and visual amenities.

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Policy H18 Objective 1:

- To favourably consider proposals to extend existing dwellings subject to the protection of residential and visual amenities and compliance with the standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 (or any superseding guidelines).

The design of residential extensions should accord with the South Dublin County Council House Extension Guide (2010) or any superseding standards.

Side extensions:

- Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise. Where the style and materials do not seamlessly match the main house, it is best to recess a side extension by at least 50cm to mark the change.
- Do not include a flat roof to a prominent extension unless there is good design or an architectural reason for doing so.
- Do not incorporate blank gable walls where extensions face onto public footpaths and roads.
- Avoid the use of prominent parapet walls to the top of side extensions.

Relevant Government Guidelines

Sustainable Residential Development In Urban Areas - Guidelines for Planning Authorities, Department of the Environment, Heritage and Local Government (2008).

Quality Housing for Sustainable Communities-Best Practice Guidelines, Department of the Environment, Heritage and Local Government, (2007).

Project Ireland 2040 National Planning Framework, Government of Ireland, 2018.

Assessment

The main issues for assessment relate to:

- Zoning and Council policy,
- Residential and visual amenity,
- Service water and drainage.

Zoning and Council Policy

The development comprising a side and rear extension is consistent in principle with zoning objective 'RES' – 'To protect and/or improve residential amenity', subject to the relevant provisions in the County Development Plan 2016-2022 and the House Extension Design Guide.

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Overcoming Previous Reasons for Refusal

A similar type development was refused planning permission on the 12th Oct 2021 for one related reasons with regards to the roof design. The following is an assessment of the refusal reasons against the current proposal:

Refusal Reason

The proposed development, comprising of a change in roof profile in an area where existing roof profiles are strongly characterised by hipped-roofs, by way of its design, that neither matches or complements the original style and detail of the main house and where no good architectural reasons for doing otherwise exists would be contrary to Policy H18 Objective 1 and standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 of South Dublin County Council Development Plan 2016-2022 and if granted would seriously injure the visual amenities of property in the vicinity and be contrary to the proper planning and sustainable development of the area.

The applicant has now proposed a fully hipped gable roof profile that harmonises and is seamless with surrounding roof profiles and remains in character of a hipped-roof, by way of its design, and complements the original style and detail of the main house. The proposal is now consistent with Policy H18 Objective 1 and standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 of South Dublin County Council Development Plan 2016-2022. It is considered that Refusal Reason has now been overcome.

Residential & Visual Amenity

Front Canopy

It is noted from the drawings submitted that the new canopy over the front door and the alterations to the front façade integrates with the new proposed side extension. The proposal is consistent with the guidance set out in Section 4 'Front Extensions' of the South Dublin County Council House Extension Design Guide (2010).

Side Extension

The proposed two storey side extension projects westerly over the existing garage to 3.2m in width. The gable proposal is built within the existing footprint of the garage. The proposal reflects the contemporary design and character of the existing house with contemporary matching materials and fenestration and is considered to integrate cohesively to the visual and residential amenities of the area. The proposal is pitched roofed at 8.9m in height and the side extension is considered seamless in scale, size and context to the main dwelling.

It is not considered that the proposal would cause overbearing impact or overshadowing to the neighbouring properties to the east. The proposal is considered consistent with the guidance set out in Section 4 'Side Extensions' of the South Dublin County Council House Extension Design Guide (2010)

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Change in roof profile

Having regard to the proposed modification of the existing roof structure and overcoming the refusal reasons under SD21B/0378, it is noted that a visual cohesion with surrounding roofs would result from this proposal as is addressed above, the proposal is now consistent to the recommendations of the Council's House Extension Design Guide.

The four front 'Velux' windows are considered to be generally acceptable with regards to visual and residential amenity.

The attic conversion is proposed as a habitable space; a **note** should be attached stating that to use the attic for habitable space it must comply with the Building Regulations. The new attic gable window shall be obscured by **condition** to prevent any overlooking to neighbouring properties.

Rear Dormer Window

The proposed rear dormer window is now positioned below the ridgeline of the existing dwelling and is three tile courses above the eaves of the existing dwelling as per drawing No. 2104-D-7. The scale/design and the two windows used in the proposed flat-roofed dormer window is considered to be broadly consistent to the recommendations of the Council's House Extension Design Guide in relation to design of dormer extensions and as such, subject to conditions would be in accordance with the proper planning and sustainable development of the area.

Roads

Having regard to the widening of the existing vehicular access gate. The Roads Department has no objection and state the following in their report:

1. The vehicular access points shall be limited to a width of 3.5 meters, or as granted in previous permissions.
2. The entrance apron shall be dished and widened to the full width of the proposed widened driveway entrance and shall be constructed to the satisfaction of South Dublin County Council's Road Maintenance Department, and at the applicant's expense.
3. Any gates shall open inwards and not outwards over the public domain.
4. All vehicles parked in the driveways shall exit the site in a forward direction. No vehicles shall reverse onto the public roadway at any time.
5. The boundary walls at vehicle access points shall be limited to a maximum height of 0.9m, and any boundary pillars shall be limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles.

It is deemed that the above can be obtained by **condition** in the event of a grant of permission.

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Services & Drainage

Water Services has no objections and standard conditions to apply accordingly.
Irish Water requirements will apply as a new wc connection is proposed at attic level.

Screening for Appropriate Assessment

Having regard to the scale and nature of the development, connection to public services and the distance from Natura sites, it is considered that the development would not be likely to have a significant effect individually or in combination with other plans or projects on a European site.

Environmental Impact Assessment

Having regard to the modest nature of the development, and the distance of the site from nearby sensitive receptors, there is no real likelihood of significant effects on the environment arising from the proposed development. The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination is not required.

Development Contributions

Development Contributions Assessment Overall Quantum

Proposed Side/Rear Extension:	25sq.m
Habitable attic conversion:	45sq.m
Garage conversion:	12.75sq.m
Assessable Area:	42.75sq.m

SEA Monitoring Information

Building Use Type Proposed:	
Floor Area:	70sq.m
Land Type: Urban Consolidation.	
Site Area:	0.0501 Hectares.

Conclusion

Having regard to the provisions of the South Dublin County Council Development Plan and the overall design and scale of the development proposed it is considered that, subject to the conditions set out below, the proposed development would not seriously injure the amenities of the area or of property in the vicinity and would, therefore, be in accordance with the proper planning and sustainable development of the area. It is considered that the proposed extension would be in compliance with Council policy in relation to extensions to dwelling houses.

Recommendation

I recommend that a decision be made pursuant to the Planning & Development Act 2000, as amended, for the reasons set out in the First Schedule hereto, to Grant Permission for the said development in accordance with the said plans and particulars, subject to the condition(s)

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specified in the Second Schedule hereto, the reasons for the imposition of the said condition(s) being as set out in the said Second Schedule.

FIRST SCHEDULE

It is considered that the proposed development accords with the policies and objectives of South Dublin County Council, as set out in the South Dublin County Council Development Plan 2016 - 2022 and subject to the conditions set out hereunder in the Second Schedule is hereby in accordance with the proper planning and sustainable development of the area.

SECOND SCHEDULE

Conditions and Reasons

1. Development in accordance with submitted plans and details.
The development shall be carried out and completed in its entirety fully in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. Dormer Extension.
The rear dormer extension shall be constructed in accordance with the 'Proposed East (side) Elevation' drawing (for clarity, not in accordance with the Proposed Section B-B drawing). The dormer extension shall be set a minimum of 100mm below ridge level.
REASON: To ensure that the dormer extension is set a minimum of 100mm below ridge level in accordance with policy and objectives of the County Development Plan and the South Dublin House Extension Design Guide.
3. Roads.
 - (1) The vehicular access point shall be limited to a maximum width of 3.5 meters.
 - (2) The entrance apron shall be dished and widened to the full width of the proposed widened driveway entrance and shall be constructed to the satisfaction of South Dublin County Council's Road Maintenance Department, and at the applicant's expense.
 - (3) Any gates shall open inwards and not outwards over the public domain.
 - (4) The boundary walls at vehicle access points shall be limited to a maximum height of 0.9m, and any boundary pillars shall be limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles.REASON: In the interest of public safety and the proper planning and sustainable development of the area.

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4. Surface Water.

(a) The disposal of surface water, shall fully comply with all of the technical requirements of the Council's Water Services Section.

(b) All works shall comply with the Building Regulations -Technical guidance document-Part H Drainage and Wastewater disposal.

(c) All drainage works for this development shall comply fully with the Greater Dublin Regional Code of Practice for Drainage Works.

REASON: In the interests of public health, safety, the proper planning and sustainable development of the area and in order to ensure adequate and appropriate surface water drainage provision.

5. (a) External Finishes.

All external finishes shall harmonise in colour or texture that is complementary to the house or its context.

REASON: In the interest of visual amenity.

(b) Restriction on Use.

The house and the proposed extension shall be jointly used as a single dwelling unit for residential purposes and shall not be sub-divided or used for any commercial purposes, and the extension shall not be sold, let (including short-term letting), leased or otherwise transferred or conveyed, by way of sale, letting or otherwise save as part of the single dwelling unit.

REASON: To prevent unauthorised development.

(c) Drainage - Irish Water.

(i) The water supply and drainage infrastructure, shall comply with the requirements of Irish Water.

(ii) There shall be complete separation of the foul and surface water drainage systems, both in respect of installation and use.

(iii) All drainage works for this development shall comply fully with the Greater Dublin Regional Code of Practice for Drainage Works.

REASON: In the interests of public health, the proper planning and sustainable development of the area and in order to ensure adequate water supply and drainage provision.

(d) Minimise Air Blown Dust.

During the construction and or demolition phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust

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nuisances. The applicant/developer shall comply with British Standard B.S. 5228 Noise Control on Construction and Open sites and British Standard B.S. 6187 Code of Practice for demolition.

REASON: In the interest of public health and to uphold the Council's policies set out in the South Dublin County Council Development Plan.

(e) Construction Noise and Hours.

To control, limit and prevent the generation of unacceptable levels of Environmental Noise Pollution from occurring during construction activity, Equipment or Machinery (to include pneumatic drills, on-site construction vehicles, generators, etc.) that could give rise to unacceptable levels of noise pollution as set out generally for evening and night-time in S.I. No. 140/2006 - Environmental Noise Regulations 2006 shall only be operated on the site between 7.00 hours and 19.00 hours weekdays and between 9.00 hours and 13.00 hours on Saturdays. No works shall take place at any time on Sundays, Bank Holidays or Public Holidays.

Any construction work outside these hours that could give rise to unacceptable levels of noise pollution shall only be permitted following a written request to the Planning Authority and the subsequent receipt of the written consent of the Planning Authority, having regard to the reasonable justification and circumstances and a commitment to minimise as far as practicable any unacceptable noise outside the hours stated above. In this respect, the applicant or developer shall also comply with BS 5228:2009 Noise and Vibration Control on Construction and Open Sites, and have regard to the World Health Organisation (WHO) – Guidelines for Community Noise (1999).

The applicant or developer shall also endeavour to engage in local consultation in respect of any noise sensitive location within 30 metres of the development as approved prior to construction activity commencing on site. Such noise sensitive locations should be provided with the following:

- Schedule of works to include approximate timeframes
- Name and contact details of contractor responsible for managing noise complaints
- Hours of operation- including any scheduled times for the use of equipment likely to be the source of significant noise.

REASON: In the interest of public health by the prevention of unacceptable levels of noise pollution which could interfere with normal sleep and rest patterns and/or when people could reasonably expect a level of quietness, the proper planning and sustainable development of the area and to uphold the Council's amenity policies set out in the South Dublin County Council Development Plan.

6. Financial Contribution.

The developer shall pay to the Planning Authority a financial contribution of €4,120.67 (four thousand one hundred and twenty euros and sixty seven cents), in respect of public infrastructure and facilities benefiting development within the area of the Planning Authority, that is provided, or intended to be provided by or on behalf of the authority, in

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accordance with the terms of the Development Contribution Scheme 2021 - 2025, made under Section 48 of the Planning and Development Acts 2000-2011 (as amended). The contribution shall be paid prior to commencement of development, or in such phased payments as the Planning Authority may facilitate. Contributions shall be payable at the rate pertaining to the year in which implementation of the planning permission is commenced as outlined in the South Dublin County Council Development Contribution Scheme 2021 - 2025.

REASON: The provision of such facilities will facilitate the proposed development. It is considered reasonable that the payment of a contribution be required, in respect of public infrastructure and facilities benefiting development in the area of the Planning Authority and that is provided, or that is intended will be provided, by or on behalf of the Local Authority.

NOTE RE: CONDITION - Please note that with effect from 1st January 2014, Irish Water is now the statutory body responsible for water services. Further details/clarification can be obtained from Irish Water at Tel. 01 6021000 or by emailing customerservice@water.ie.

NOTE: The applicant is advised that under the provisions of Section 34 (13) of the Planning and Development Act 2000 (as amended) a person shall not be entitled solely by reason of a permission to carry out any development.

NOTE: The applicant or developer should ensure that all necessary measures shall be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works and to ensure that any such instances arising are remedied immediately.

NOTE: The applicant is advised that, in order to use the attic conversion as a habitable room, it must comply with the Building Regulations.

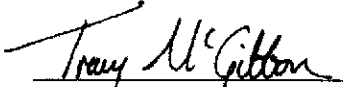
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REG. REF. SD21B/0549

LOCATION: 3, Newlands Park, Newlands Cross, Clondalkin, Dublin 22


Tracy McGibbon,
A/Senior Executive Planner

ORDER: A decision pursuant to Section 34(1) of the Planning & Development Act 2000, as amended, to Grant Permission for the reasons set out in the First Schedule above, in accordance with the said plans and particulars, subject to the condition(s) specified in the Second Schedule above, the reasons for the imposition of the said condition(s) being as set out in the said Second Schedule is hereby made.

Date: 16/12/21


Eoin Burke, Senior Planner