

# Comhairle Chontae Atha Cliath Theas

**PR/1626/21**

## **Record of Executive Business and Chief Executive's Order**

**Reg. Reference:** SD21B/0542      **Application Date:** 26-Oct-2021  
**Submission Type:** New Application      **Registration Date:** 26-Oct-2021

**Correspondence Name and Address:** EMD Architects 107 Ludford Road, Ballinteer, Dublin 16.

**Proposed Development:** Removal of existing single storey extension and sheds to side and rear of house; construction of two storey extension to side of house and single storey extension to front of house; new vehicle entrance to front; new boundary treatments.

**Location:** 27, Ballyboden Road, Dublin 14

**Applicant Name:** Alan Walsh

**Application Type:** Permission

(CS)

### **Description of Site and Surroundings:**

Site Area: 0.043 Hectares as stated per application.

### **Site Description:**

This corner site contains a two storey, semi-detached dwelling with pitched roof and attached shed and single storey extension to side and rear which abuts the eastern site boundary with the immediate neighbour to the east (No. 2 Willbrook Park). There is a low block wall and hedge boundary treatment to front and side with a higher hedge to the side and part of the rear. The streetscape in the immediate vicinity of the dwelling is characterised by dwellings of similar form and appearance with a mainly uniform building line.

### **Proposal:**

The proposed development comprises of the following:

- Demolition and removal of existing single storey extension and sheds to side and rear (c.1.5sq.m.).
- Construction of two storey extension to side of house.
- Construction of single storey extension to front.
- New vehicular entrance to front and new side and rear boundary treatments.
- Total proposed works measure c.82sq.m (as stated).

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### **Zoning:**

The subject site is subject to zoning objective RES - 'To protect and/or improve Residential Amenity'.

### **Consultations:**

*Surface Water Drainage* – **Additional Information** recommended.

*Irish Water* – **Additional Information** recommended.

*Roads Department* – **Additional Information** recommended.

*Parks Department* – Concerns raised regarding impact on grass verge.

### **SEA Sensitivity Screening**

No overlap identified with SEA screening tool layers.

### **Submissions/Observations /Representations**

None.

### **Relevant Planning History**

None recorded for subject site.

#### *Adjacent sites*

**SD20B/0523:** 2, Willbrook Park, Dublin 14.

(a)Two storey extension to side and rear and (b) single storey extension to front and rear.

Decision: **GRANT PERMISSION.**

**SD20B/0170:** 2, Willbrook Park, Dublin 14.

(a)Two storey extension to side and rear and (b) single storey extension to front and rear.

Decision: **GRANT PERMISSION.**

### **Relevant Enforcement History**

None recorded for the subject site.

### **Pre-Planning Consultation**

None.

### **Relevant Policy in South Dublin County Council Development Plan 2016-2022**

*Section 2.4.1 Residential Extensions*

*Policy H18 Residential Extensions*

It is the policy of the Council to support the extension of existing dwellings subject to the protection of residential and visual amenities.

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### *Policy H18 Objective 2:*

To favourably consider proposals to extend existing dwellings subject to the protection of residential and visual amenities and compliance with the standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 (or any superseding guidelines).

### *Section 2.5.8 Rural House & Extension Design*

#### *Policy H27 Rural House & Extension Design*

### *Section 11.2.7 Building Height*

#### *Section 11.3.1 Residential*

#### *Section 11.3.1 (iv) Dwelling Standards*

#### *Section 11.3.1 (v) Privacy*

### *Section 11.3.3 Additional Accommodation*

#### *Section 11.3.3 (i) Extensions*

### *Section 11.4.2 Car Parking Standards*

#### *Table 11.24 Maximum Parking Rates (Residential Development)*

### *Section 11.4.4 Car Parking Design and Layout*

### *Section 11.7.2 Energy Performance in New Buildings*

### *Section 11.8.2 Appropriate Assessment*

## ***South Dublin County Council House Extension Design Guide (2010)***

### **Relevant Government Guidelines**

#### ***Sustainable Residential Development In Urban Areas - Guidelines for Planning***

***Authorities***, Department of the Environment, Heritage and Local Government (2008).

***Quality Housing for Sustainable Communities-Best Practice Guidelines***, Department Environment, Heritage, and Local Government, (2007).

### **Assessment**

The main issues for the assessment are:

- Zoning and Council Policy
- Residential & Visual Amenity
- Parks & Landscaping
- Access & Parking

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- Services and Drainage
- Screening for Appropriate Assessment (AA)
- Screening for Environmental Impact Assessment (EIAR).

#### *Zoning and Council Policy*

The site is located in an area that is zoned 'RES' 'to protect and/or improve residential amenity.' A residential extension is permitted in principle subject to its accordance with the relevant provisions in the Development Plan with specific reference to Section 11.3.3 (i) which relates to Extensions.

#### *Visual and Residential Amenity*

*Demolition of existing single storey extension (1.5sq.m) and sheds to side and rear.*

The demolition of the existing single storey extension (1.5sq.m) and sheds to side and rear is considered to be acceptable in this instance. It is noted that the existing shed abuts the eastern site boundary with No.2 Willbrook Park.

*Construction of two storey side extension.*

The extension will span a width of c.5.725m and at c.7.14m will project the full length of the existing dwelling. The ridge height of the extension will match the ridge height of the existing dwelling and will be finished in a pitch roof profile. There will be no undue overlooking and a reasonable level of private open space will remain post completion. The two storey side extension approximately measures the area of the existing two storey dwelling however, the extension will integrate reasonably well with the character of the existing house and with the character of the area. The proposal would not have a significant adverse impact on residential and visual amenity and would comply with the SDCC House Extension Design Guide 2010. The proposal is substandard in relation to providing a dual frontage at this prominent corner site and the provision of a 2.2m wall bounding Willbrook Park is inappropriate. A lower wall and a relocated 1.8m wall to provide privacy to the rear amenity space shall be sought by additional information.

*Construction of single storey front extension.*

The extension will span a width of c.8.891m and will have a flat parapet roof with a parapet height of c.3.32m. It will be inset by c.2.0m from the boundary with the immediate adjoining neighbour to the south (No.29 Ballyboden Road). The extension will project outwards from the main front building line established by the existing dwelling by c.1.8m. To comply with the SDCC House Extension Design Guide 2010 this projection shall be limited to 1.5m and it is considered this may be dealt with by way of a request for **Additional Information**.

*New Vehicular Access & Boundary treatment.*

A new vehicular entrance shall be constructed measuring a width of 4.0m to the front of the subject site on Ballyboden Road. In the interest of visual amenity and to preserve the availability of on street parking it is considered that the width be limited to 3.5m by way of a request for **Additional**

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**Information.** This element of the proposal is explored further in the Access & Parking section of the report.

The rear block party boundary wall is proposed to have a height of 2.2m and will run along to the front of No. 2 Willowbrook Park which will present a traffic hazard as drivers egressing from No. 2 will not be able to see oncoming traffic from the west. For this reason the rear party boundary wall that projects out in front of the front building line established by No. 2 Willington Park shall be limited to a height of 0.9m. It is considered this can be dealt with by way of a request for **Additional Information.**

The side boundary wall proposed along the northern and western site boundary will have a height of 2.2m and will present a traffic hazard as drivers egressing from No. 2 will not be able to see oncoming traffic from the west. For this reason the side boundary wall (northern and western) shall be limited to a height of 0.9m. It is considered this can be dealt with by way of a request for **Additional Information.**

The proposed 2.2m high boundary wall that will divide the front and rear garden will present a traffic hazard as drivers egressing from No. 2 will not be able to see oncoming traffic from the west. For this reason the boundary dividing the front and rear garden shall be limited to a height of 0.9m. It is considered this can be dealt with by way of a request for **Additional Information.**

This aspect of the application is explored further in the Access & Parking section of the report.

#### ***Parks & Landscaping***

A report was received from the Parks Department raising concerns regarding the removal of part of the grass verge. An extract taken from the Parks report states the following:

#### ***COMMENTS:***

*In relation to the above proposed development, this section has reviewed the application and has the following comment*

#### ***Reduction of grass margin to facilitate a driving entrance***

*The Public Realm Section would not be in favour in allowing a resident to remove or reduce a grass margin which are in the public domain to accommodate the provision of a driving entrance. We believe this sets an unwanted precedent and grass margins should be retained where possible in the urban setting.*

*Grass margins in urban areas provide a full range of ecosystem services such as regulating the water cycle by promoting infiltration, thus facilitating regeneration of ground-water stocks and evapotranspiration. In addition, they mitigate the heat-island effect through transpiration and evaporation and provide cooler. Another important ecosystem service is habitat provision for some*

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*urban fauna species. Grass margins are very important as they allow space and a growing medium for trees to be planted.*

The above is noted, however partial removal of the grass verge is not considered to have a significant adverse impact on biodiversity or on the environment.

### **Access & Parking**

A report was received from the Roads Department recommending **Additional information** be requested regarding Roads requirements. An extract taken from the Roads report states the following:

*Prior to commencement of any works in the public domain, and in order to comply with The Roads Act 1993 Section 13 Paragraph 10, a Road Opening Licence must be secured from South Dublin County Council, Roads Maintenance Department.*

### *Description:*

*Removal of existing single storey extension and sheds to side and rear of house; construction of two storey extension to side of house and single storey extension to front of house; new vehicle entrance to front; new boundary treatments.*

*Roads recommends that **additional information** be requested from the applicant:*

*The applicant is requested to submit a revised layout of not less than 1:100 scale showing;*

*1.The proposed vehicular access point limited to a width of 3.5 meters.*

*2.The proposed 2.2m high rear block party wall limited to a max. height of 0.9m where it projects in front of property at 2 Willbrook Park in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.*

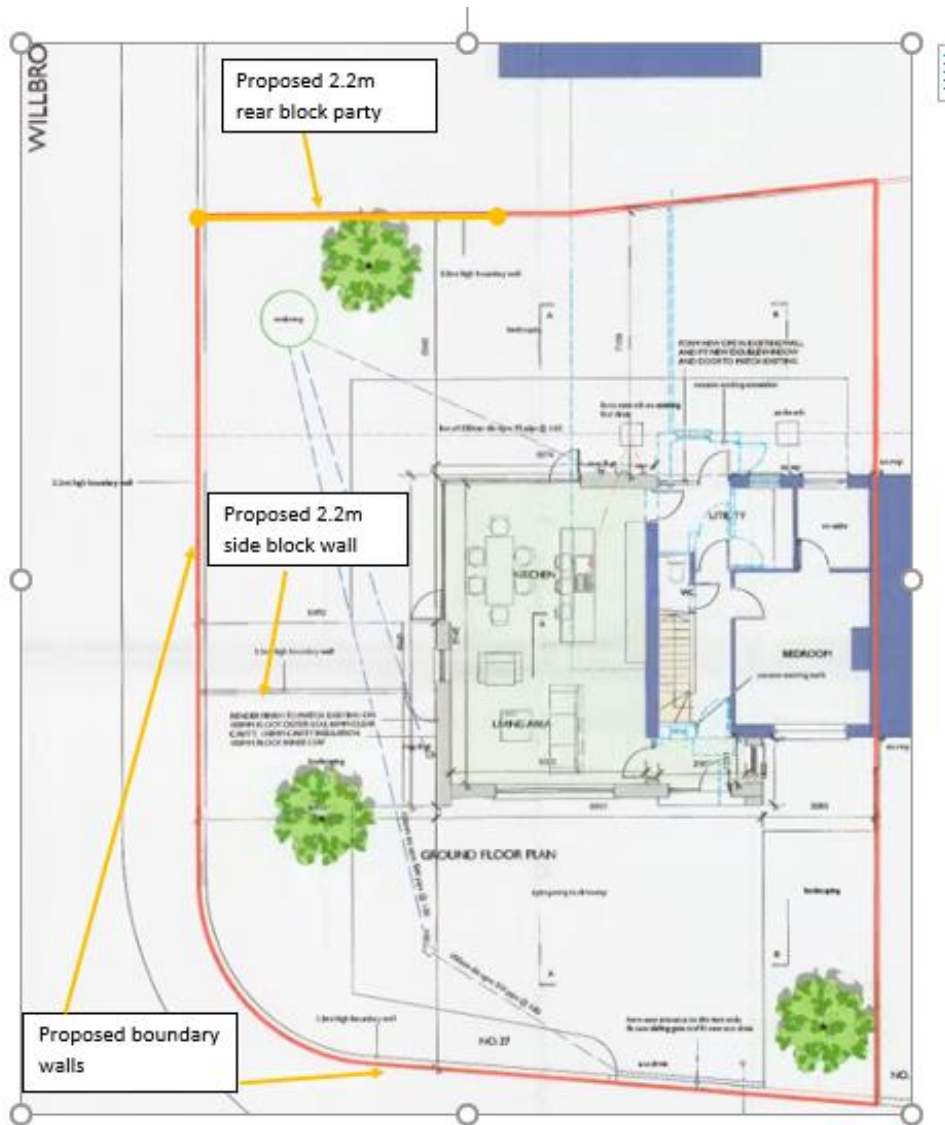
*3.The proposed 2.2m high side block wall dividing the front and rear gardens limited to a max. height of 0.9m in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.*

*4.All other proposed boundary treatment limited to a maximum height of 0.9m, and any boundary pillars limited to a maximum height of 1.2m, in the interest of traffic safety and to improve forward visibility for vehicles.*

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It is considered appropriate to request the above items by way of **additional information**.

### *Services and Drainage*

Both Irish Water and Surface Water Drainage have issued reports recommending **Additional Information** be requested regarding requirements for Irish Water and Surface Water Drainage.

An extract taken from the Irish Water report states the following:

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#### *1 Water*

*1.1 All development shall be carried out in compliance with Irish Water Standards codes and practices.*

#### *2 Foul*

*2.1 Irish Water records show that there is an existing 225mm foul sewer traversing the site underneath the existing dwelling and proposed development. The applicant is required to submit a drawing showing and plan and cross section view of the existing sewer and the proposed development. The drawing shall also show the invert levels of the existing sewer. The applicant is required to contact South Dublin County Council Drainage Operations section to determine the exact location and depth of this sewer.*

*2.2 The proposed development is in close proximity to a 225mm public foul water sewer. Irish Water Standard Details for water Infrastructure require 3m clear distance from a main of this size. The applicant shall engage with Irish Water's diversions section to assess feasibility of existing design and an alternative design which may accommodate Irish Water's minimum required separation distances from public infrastructure. The outcome of this engagement with Irish Water's diversions shall be submitted to the planning authority as a response to Request for Further Information*

*2.3 The applicant is required to submit a drawing showing existing and proposed private foul water drainage layouts up to and including the point of connection to the public foul water sewer. The drawing shall include the location of all Aj's, manholes, pipe size, material type and direction of flow. The drawing shall clearly show that the foul and surface water systems are discharging to separate pipe networks. Maps of the public watermains and Wastewater drainage networks may be obtained, if available, for required locations in by emailing: [datarequests@water.ie](mailto:datarequests@water.ie).*

*2.4 All development shall be carried out in compliance with irish water standards codes and practices.*

*Reason: In the interest of public health and to ensure adequate water and wastewater facilities.*

It is considered appropriate to request the above **Additional Information**.

An extract taken from the Surface Water Drainage report states the following:

Surface Water Report:**Further Information** Required:

*1.1 The applicant has not proposed any SuDS (Sustainable Drainage Systems) features for the proposed development. The applicant is required to submit a drawing in plan and cross sectional views clearly showing proposed Sustainable Drainage Systems (SuDS) features for the development. Sample SuDs devices include green roofs, water butts, and permeable paving amongst others.*



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*1.2 The applicant has not submitted surface water drainage plans for the proposed development. The applicant is required to submit a drawing showing existing and proposed surface water drainage layouts up to and including the point of connection to the public surface water sewer. The drawing shall include the location of all AJs, manholes, pipe size, material type and direction of flow. The drawing shall clearly show that the foul and surface water systems are discharging to separate pipe networks. Maps of the mains foul and surface water drainage networks may be obtained, if available, for required locations in South Dublin County Council by emailing: servicemaps@sdblincoco.ie. All works are to comply with the Greater Dublin Regional Code of Practice for Drainage Works.*

*All works shall comply with the Building Regulations -Technical guidance document- Part H Drainage and Wastewater disposal*

*The Developer shall ensure that there is complete separation of the foul and surface water drainage for the proposed development.*

*All works for this development shall comply with the requirements of the Greater Dublin Regional Code of Practice for Drainage Works.*

It is considered appropriate to request the above **Additional Information**.

#### ***Screening for Appropriate Assessment (AA)***

Having regard to the distance of the proposed development from any Natura 2000 sites, the nature and scale of the proposed development in the context of the surrounding developments, it is not considered that the proposed development is likely to have a negative effect on a Natura 2000 site and therefore a Stage 2 Appropriate Assessment is not required.

#### ***Environmental Impact Assessment (EIAR)***

Having regard to the nature and scale of the proposed development and pursuant to Schedule 5 of the Planning and Development Regulations 2001 (as amended), the proposal is not a class of development for which a mandatory Environmental Impact Assessment Report is required. Additionally, having regard to the distance of the site from nearby sensitive receptors, the need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination is not required.

#### ***Other Considerations***

##### ***Development Contributions***

- Construction of two storey extension to side of house & construction of single storey extension to front measuring (c.82sq.m).
- Existing extension to be demolished.

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- No previous extension.
- 40sq.m. exemption remains.
- Assessable area is 42sq.m.

<b>SEA Monitoring Information</b>	
<b>Building Use Type Proposed</b>	<b>Floor Area (sq.m)</b>
Residential – Extension	82sq.m.
<b>Land Type</b>	<b>Site Area (Ha.)</b>
Brownfield/Urban Consolidation	0.043

### **Conclusion**

Further Information should be requested.

### **Recommendation**

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:

1. The applicant is requested to submit revised drawings as follows:
  - (i) The proposed vehicular access point limited to a width of 3.5 meters.
  - (ii) The proposed 2.2m high rear block party wall limited to a max. height of 0.9m where it projects in front of property at 2 Willbrook Park in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.
  - (iii) The proposed 2.2m high block wall dividing the front and rear gardens limited to a max. height of 0.9m in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.
  - (iv) All other proposed boundary treatment including side boundary treatment to the north and west of subject site be limited to a maximum height of 0.9m, and any boundary pillars limited to a maximum height of 1.2m, in the interest of traffic safety and to improve forward visibility for vehicles.
2. In conjunction with Item no.1 above, the applicant is advised that the amenity space to the side (north) of the proposed extension should be bounded as part of the front garden with a low boundary wall to provide a dual frontage into Willbrook Park in accordance with Council policy for prominent corner sides. Further windows at first floor should be included to increase the passive surveillance of the public realm and provide increased dual frontage.  
A 1.8m wall should be constructed from the rear corner of the new extension to the boundary with No. 2 to the east to provide privacy to the rear private amenity space.
3. (i) The applicant has not proposed any SuDS (Sustainable Drainage Systems) features for the proposed development. The applicant is requested to submit a drawing in plan and

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cross sectional views clearly showing proposed Sustainable Drainage Systems (SuDS) features for the development. Sample SuDs devices include green roofs, water butts, and permeable paving amongst others.

(ii) The applicant has not submitted surface water drainage plans for the proposed development. The applicant is requested to submit a drawing showing existing and proposed surface water drainage layouts up to and including the point of connection to the public surface water sewer. The drawing should include the location of all Aj's, manholes, pipe size, material type and direction of flow. The drawing should clearly show that the foul and surface water systems are discharging to separate pipe networks. Maps of the mains foul and surface water drainage networks may be obtained, if available, for required locations in South Dublin County Council by emailing: [servicemaps@sdblincoco.ie](mailto:servicemaps@sdblincoco.ie). All works are to comply with the Greater Dublin Regional Code of Practice for Drainage Works.

4. (i) Irish Water records show that there is an existing 225mm foul sewer traversing the site underneath the existing dwelling and proposed development. The applicant is requested to submit a drawing showing and plan and cross section view of the existing sewer and the proposed development. The drawing should also show the invert levels of the existing sewer. The applicant is requested to contact South Dublin County Council Drainage Operations section to determine the exact location and depth of this sewer.  
(ii) The proposed development is in close proximity to a 225mm public foul water sewer. Irish Water Standard Details for water Infrastructure require 3m clear distance from a main of this size. The applicant is requested to engage with Irish Water's diversions section to assess feasibility of existing design and an alternative design which may accommodate Irish Water's minimum required separation distances from public infrastructure. The outcome of this engagement with Irish Water's diversions should be submitted to the planning authority as a response to Request for Further Information.  
(iii) The applicant is requested to submit a drawing showing existing and proposed private foul water drainage layouts up to and including the point of connection to the public foul water sewer. The drawing should include the location of all Aj's, manholes, pipe size, material type and direction of flow. The drawing should clearly show that the foul and surface water systems are discharging to separate pipe networks. Maps of the public watermains and Wastewater drainage networks may be obtained, if available, for required locations in by emailing: [datarequests@water.ie](mailto:datarequests@water.ie).
5. The extension will project outwards from the main front building line established by the existing dwelling by c.1.8m. To comply with the SDCC House Extension Design Guide 2010 this projection should be limited to a maximum projection of 1.5m outwards from the main front building line established by the existing dwelling. Revised drawings should be submitted accordingly.

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**REG. REF. SD21B/0542**

**LOCATION: 27, Ballyboden Road, Dublin 14**

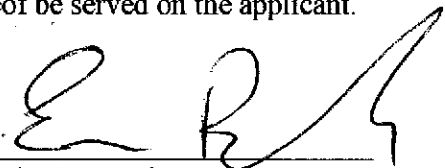
*jjohnston*

**Jim Johnston,  
Senior Executive Planner**

**ORDER:** I direct that **ADDITIONAL INFORMATION** be requested from the applicant as set out in the above report and that notice thereof be served on the applicant.

**Date:**

16/12/21



**Eoin Burke, Senior Planner**