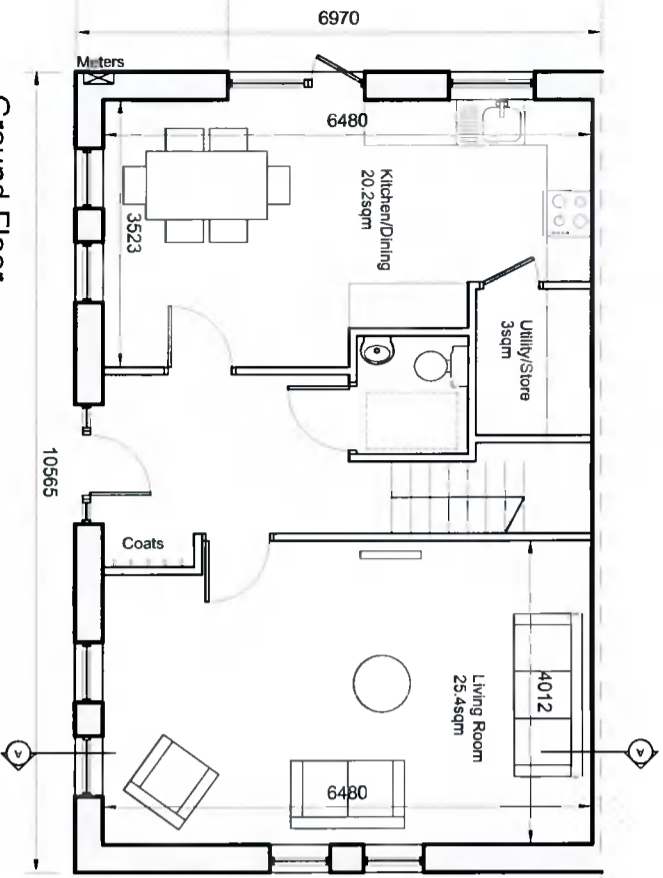
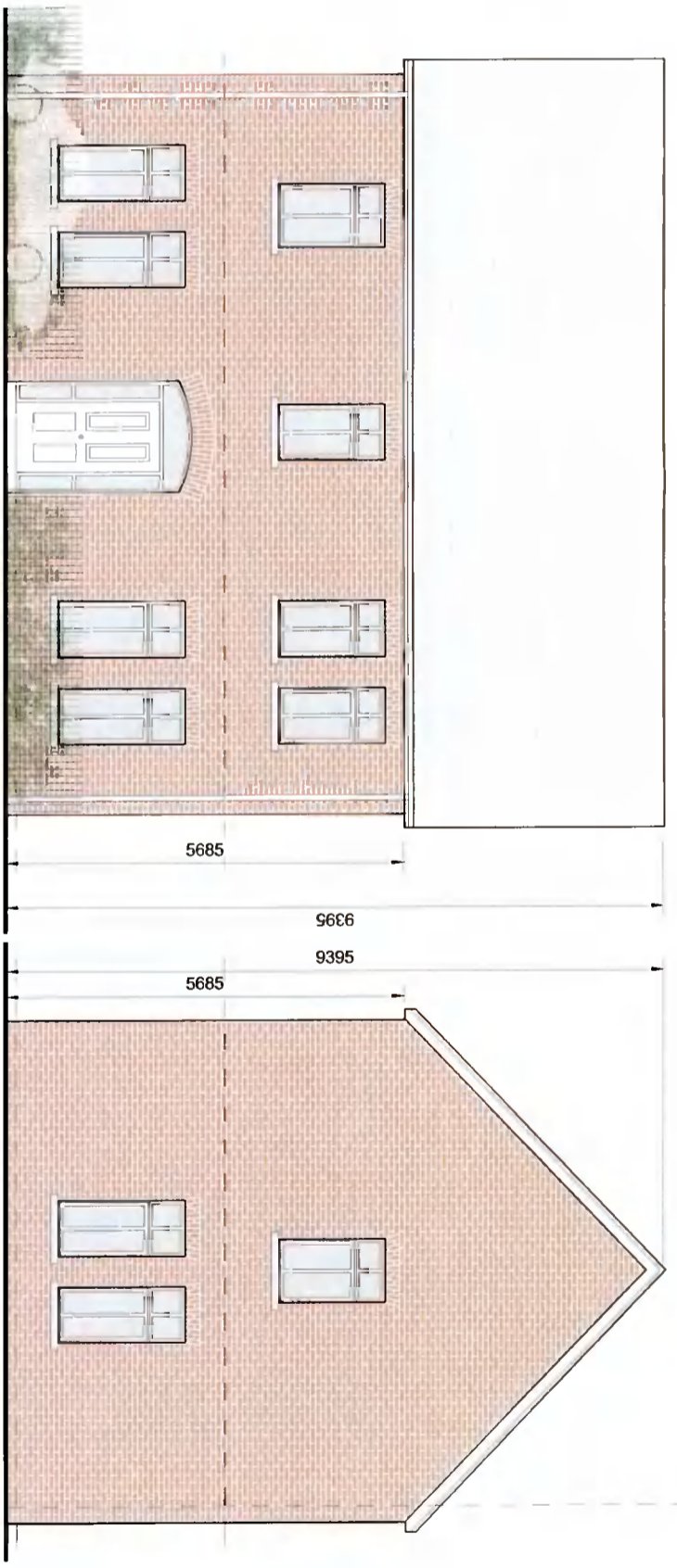


First Floor
63.7sqm



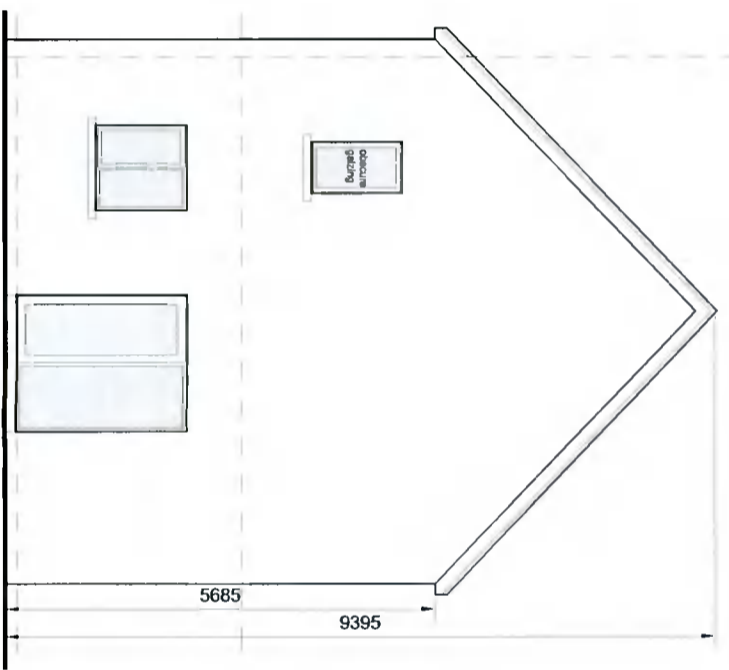
Ground Floor
63.7sqm
Total Floor Area 127.4sqm

3-bed/5-person, 2-storey:			
Achieved	DOE/CLG/SDCC Min.		
Agg. Living	45.6	34	
Agg. Bedrooms	38	32	
Storage	5	5	

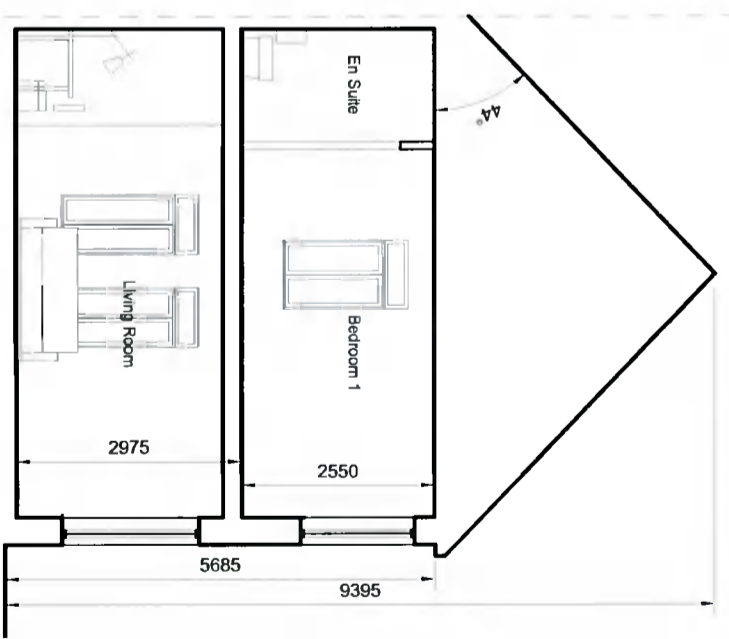


Front Elevation

Front Gable Elevation



Rear Elevation



Section A-A

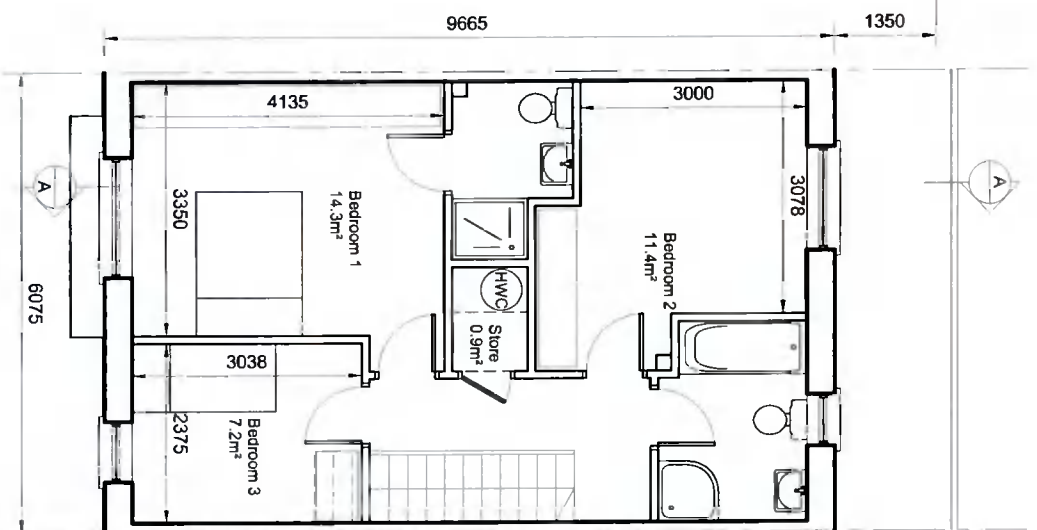
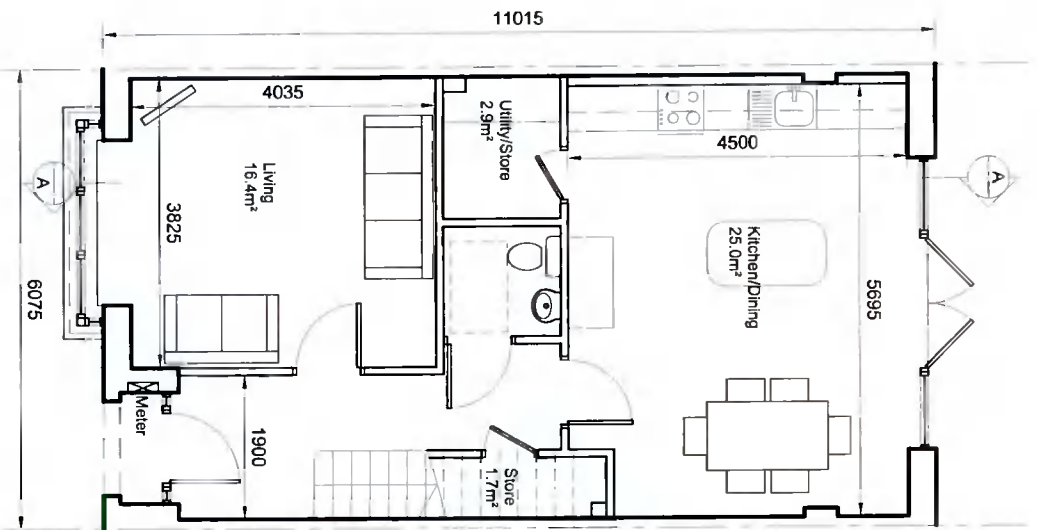
- Notes:**
- All dimensions in millimetres
 - No north point shown as orientation varies. See site layout plan.
 - This house type may be handed. See site layout plan.
 - This house type may also occur as a semi-detached or end-of-terrace. See site layout plan.

External Finishes:
 Roof: Clay or concrete tiles or slates with solar thermal or photovoltaic panels subject to orientation and detailed design. Optional chimneys.
 Walls: Dash finish to rear. Selected facing brick to street.
 Windows: UPVC or timber framed
 Gutters/downpipes: UPVC or aluminium

Front Door:
 Selected coloured composite or painted timber door with fanlight and/or sidelight and/or glazed light in leaf
Front threshold zone:
 Brick bin walls. Strud and/or tree planting. Optional railings.

revisions	date	by
1	21/12/21	100@AK
2	21/12/21	100@AK
3	21/12/21	100@AK
4	21/12/21	100@AK
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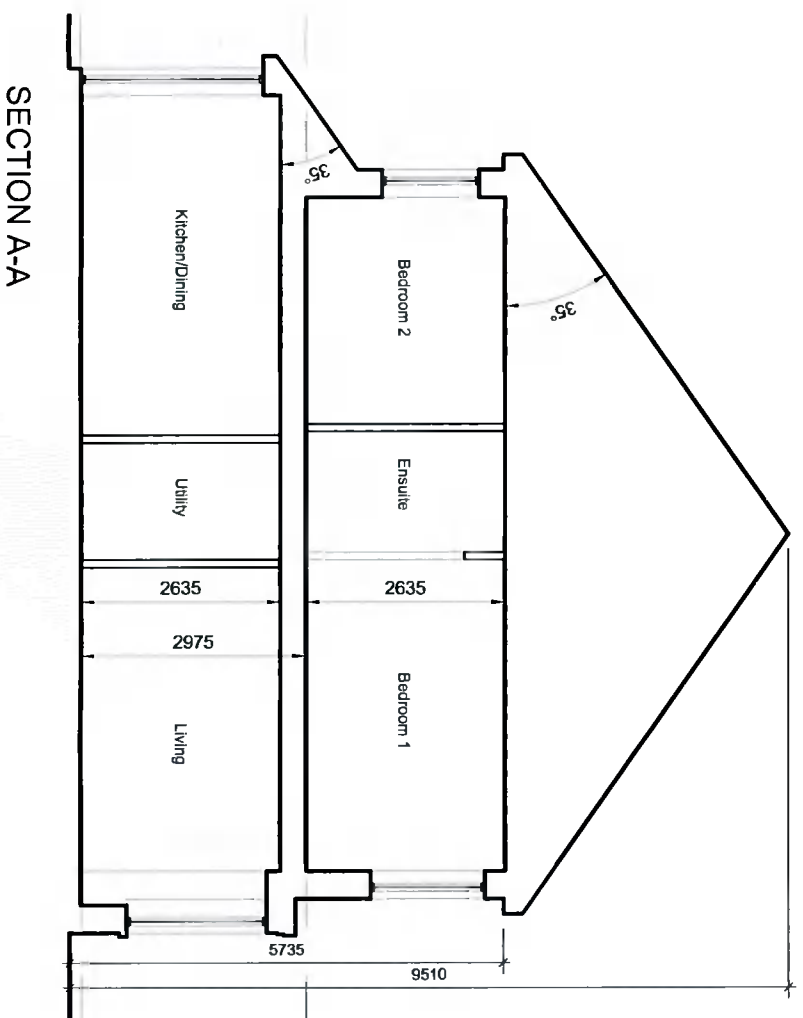
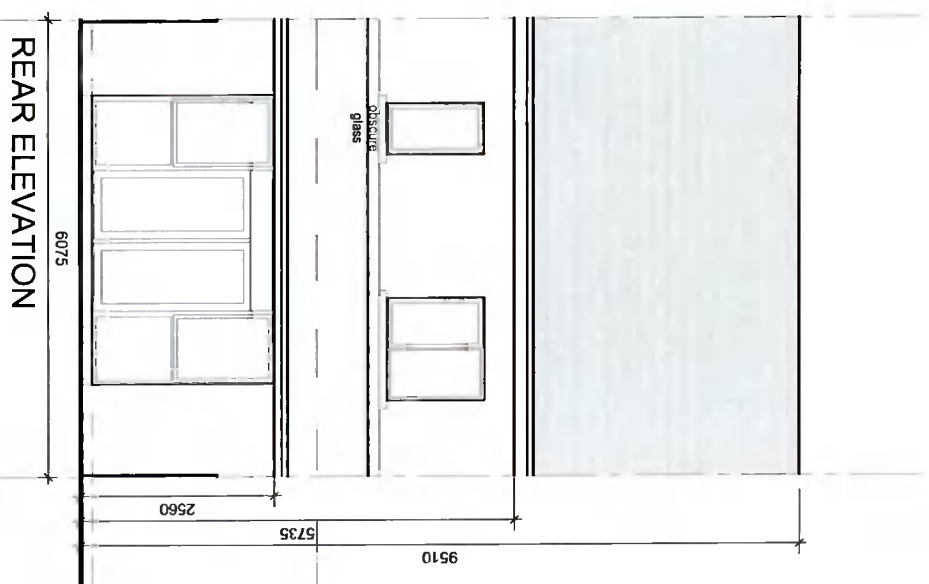
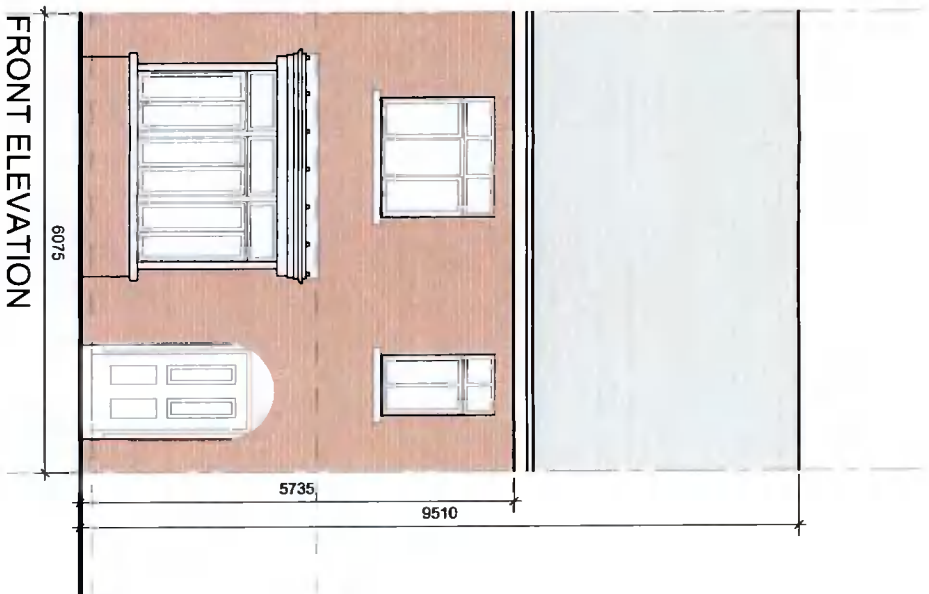
HOUSE TYPE E3
PLANS, SECTION & ELEVATIONS
 Drawing no: 2112 P E3-100
 client: Greenwalk Development Ltd.
 job: Proposed Residential Development at Gordon Park
 architect: CONROY CROWE KELLY ARCHITECTS & URBAN DESIGNERS
 address: 65 MERRION SQUARE DUBLIN 2
 phone: 01 661 3990 fax: 01 6765715
 email: info@cck.ie



Ground Floor
59.6sqm
Total Floor Area 111.6m²

First Floor
52.0sqm

3-bed/5 person, 2 storey:		
Agg. Living	Achieved 41.4	QHSC Min. 34
Agg. Bedrooms	32.9	32
Storage	5.5	5



- © This drawing is copyright
1. Do not scale this drawing
2. Errors and omissions to be immediately notified to Architects
3. All dimensions to be detailed on site
4. To be read with relevant European drawings

Notes:

- All dimensions in millimetres.
- North point orientation / levels as per site plan.
- This House type may be handed. See site layout plan.

External Finishes:

Roof: Fibre-cement slates.
Walls: Dash finish
Selected facing brick
Windows: uPVC or timber framed
Gutters/downpipes: uPVC or aluminium

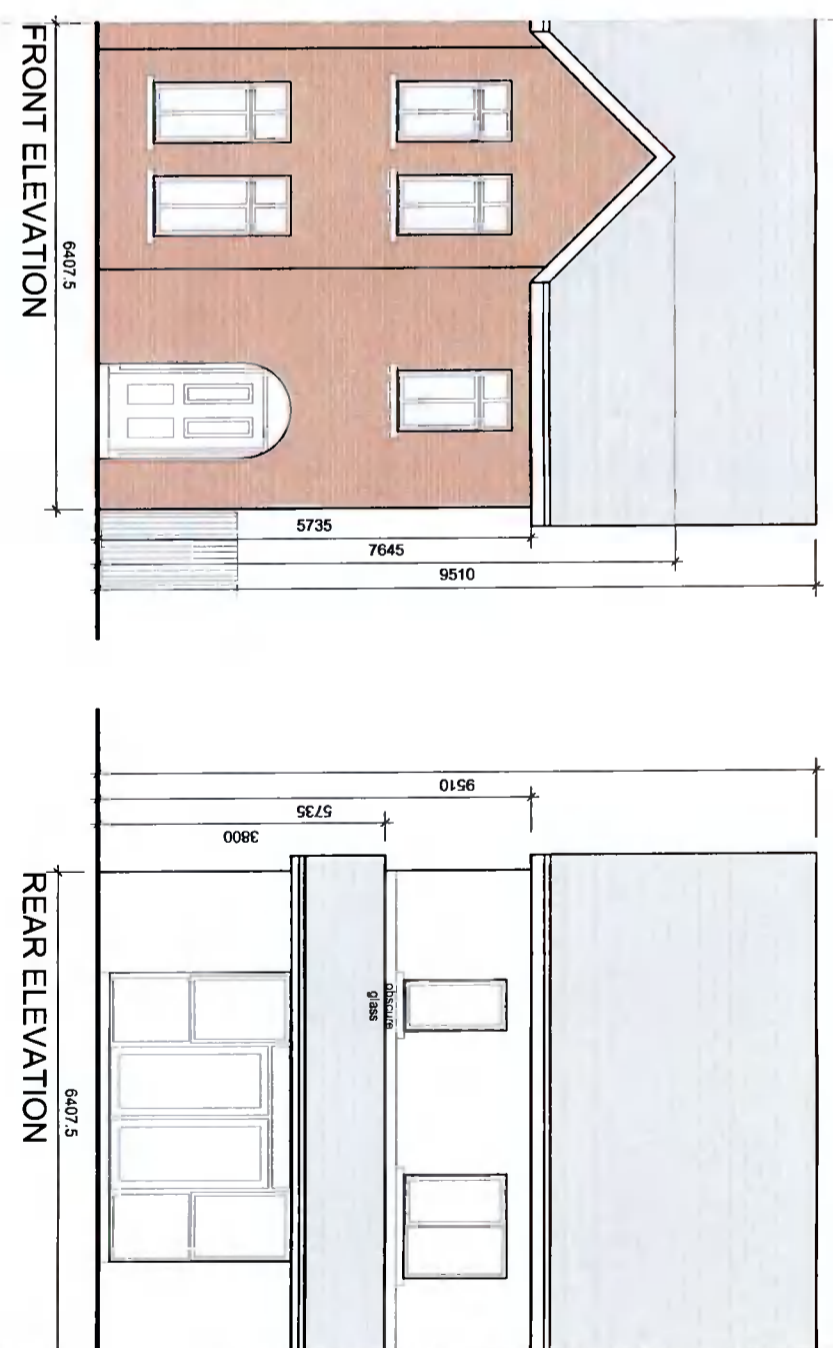
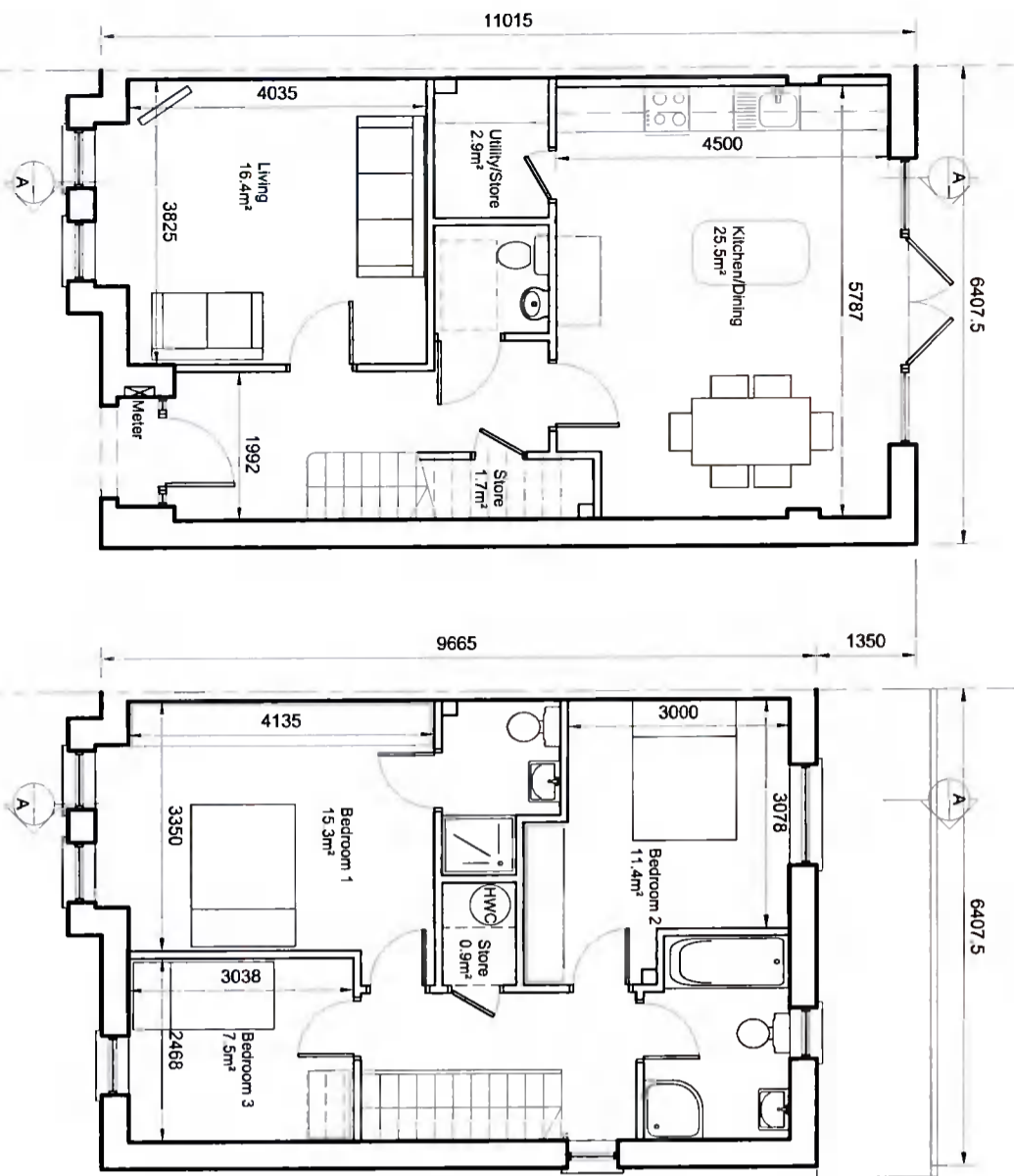
Front Door: Selected coloured composite or painted timber door with fanlight and/or sidelight and/or glazed light in leaf

revision	date	initials
description	drawing no.	
HOUSE TYPE N1	2112 P N1-100	
PLANS, SECTION & ELEVATIONS	REV.	

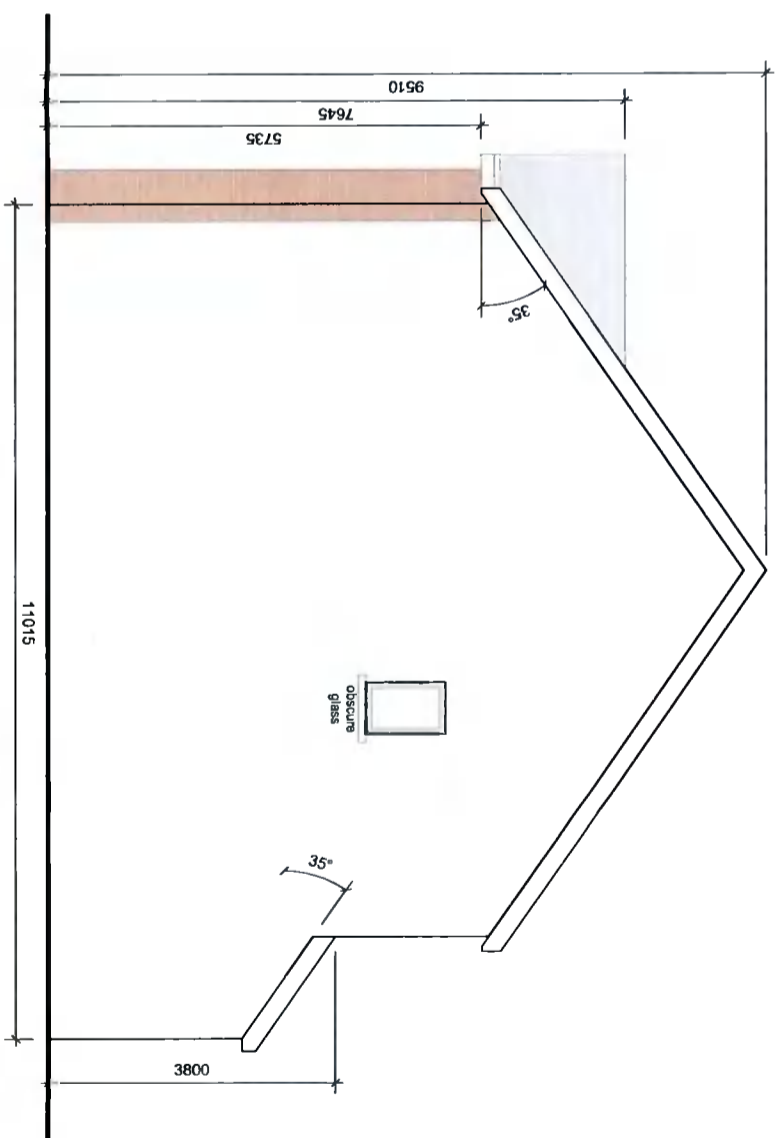
client	Greenwalk Development Ltd.
job	Proposed Residential Development at Gordon Park
name	1100@AS
date	JUL Y 21
drawn	AD
checked	MC

issue	Planning
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CONROY CROWE KELLY
ARCHITECTS & URBAN DESIGNERS
65 MERRION SQUARE
DUBLIN 2
phone 01 661 3090 fax 01 6765715
email info@ckk.ie



3-bed/5 person, 2 storey:			
Agg Living	Achieved	QHSC Mill.	
Agg Bedrooms	41.9	34	
Storage	34.2	32	
	5.5	5	



- © This drawing is copyright
1. Do not scale this drawing
2. Errors and omissions to be immediately notified to Architects
3. All dimensions to be checked on site
4. To be read with relevant Engineering Drawings

- Notes:**
- All dimensions in millimetres.
 - North point orientation / levels as per site plan.
 - This HouseType may be handed. See site layout plan.

External Finishes:
Roof: Fibre-cement slates
Walls: Dash finish
Selected facing brick
Windows: uPVC or timber framed
Gutters/downpipes: uPVC or aluminium
Front Door: Selected coloured composite or painted timber door with fanlight and/or sidelight and/or glazed light in leaf

<p>client: Greenwalk Development Ltd.</p> <p>job: Proposed Residential Development at Gordon Park</p> <p>issue: Planning</p> <p>date: 10/07/21</p> <p>drawn: JULY 21</p> <p>checked: AD</p> <p>approved: MC</p>	<p>drawing no: 2112 P N2-100</p> <p>description: HOUSE TYPE N2</p> <p>PLANS, SECTION & ELEVATIONS</p>	<p>date: 10/07/21</p> <p>by: [Signature]</p> <p>checked: [Signature]</p> <p>approved: [Signature]</p>
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phone 01 661 3950 fax 01 6755 715 email info@ckab.ie