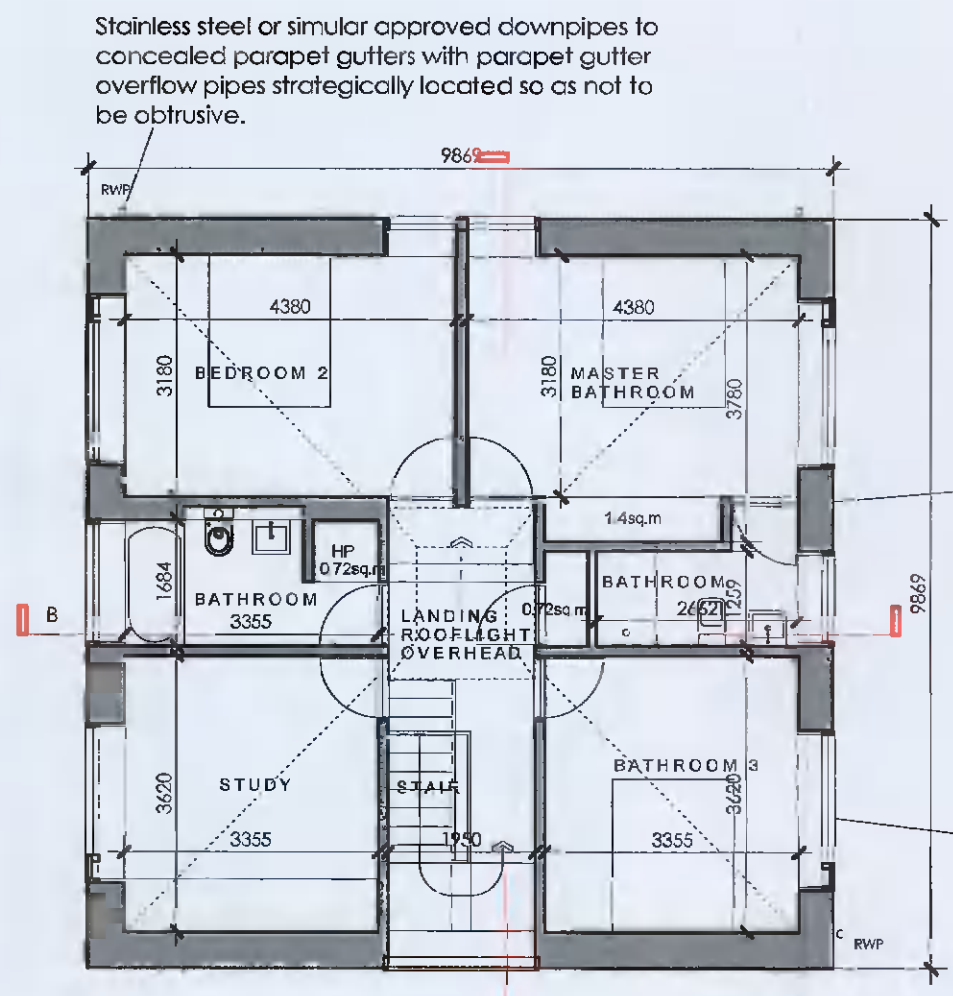
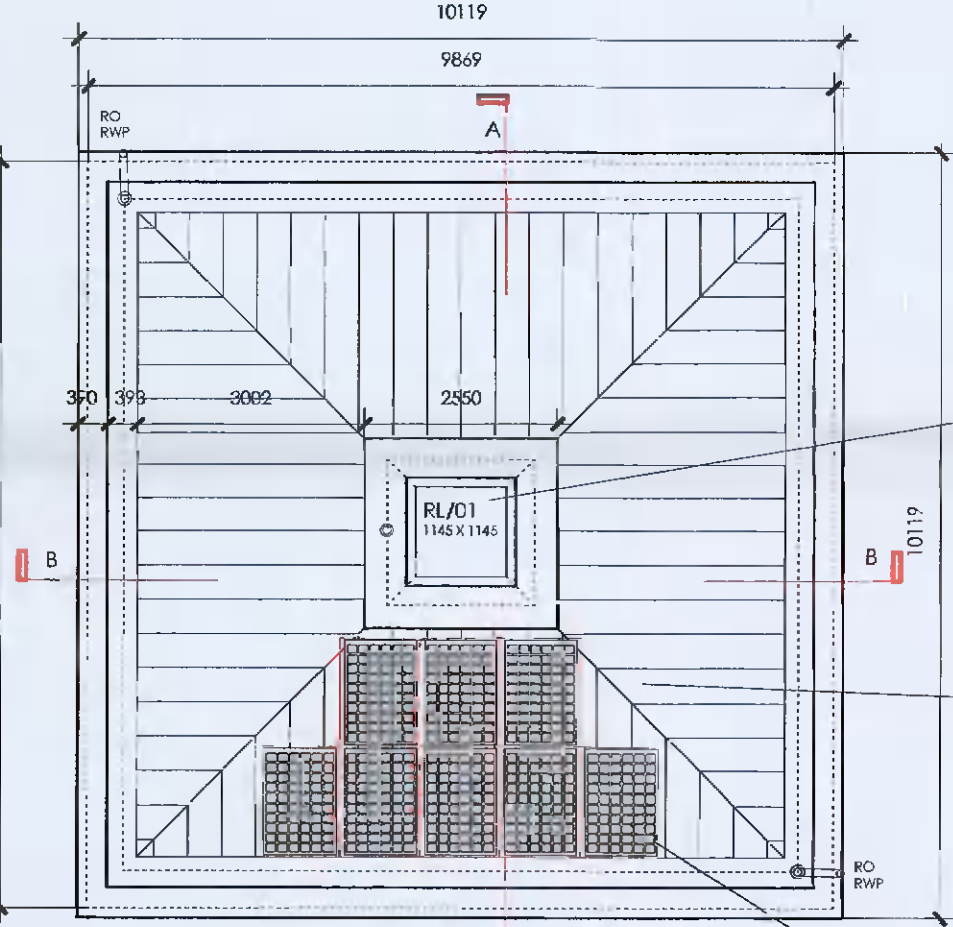


**PROPOSED SITE + GROUND FLOOR PLAN**  
 SCALE: 1=100 @A1  
 Ground Floor Area: 79.85sq.m  
 New Site for Detached House : 339.54sq.m.  
 Original Site Area: 556.87sq.m.



**PROPOSED FIRST FLOOR PLAN**  
 Option 1 - 3 bedrooms, one ensuite, shared bathroom, one study  
 SCALE: 1=100 @A1



**PROPOSED ROOF PLAN**  
 SCALE: 1=100 @A1

Diatonite Thermactive 0.37 insulating lime render finish 'chalk' on extruded clay block external walls with Diason internal lime plaster. Overall roof construction to achieve a U-Value of 0.14 w/m<sup>2</sup>k. Wall construction is of low carbon embodied extruded un-insulated clay block all to achieve Passivhouse compliant construction.

Powder coated treble glazed aluminium windows with projecting drip at the head and sill all to the architects detail. Two types one with full opening casement the other with side vent opening sections.

Roofmacker or similar approved Passivhouse openable rooflight to achieve 0.6w/m<sup>2</sup>k in Anthracite Grey (RAL 7016) to provide passive ventilation and illumination to the central spaces within the house.

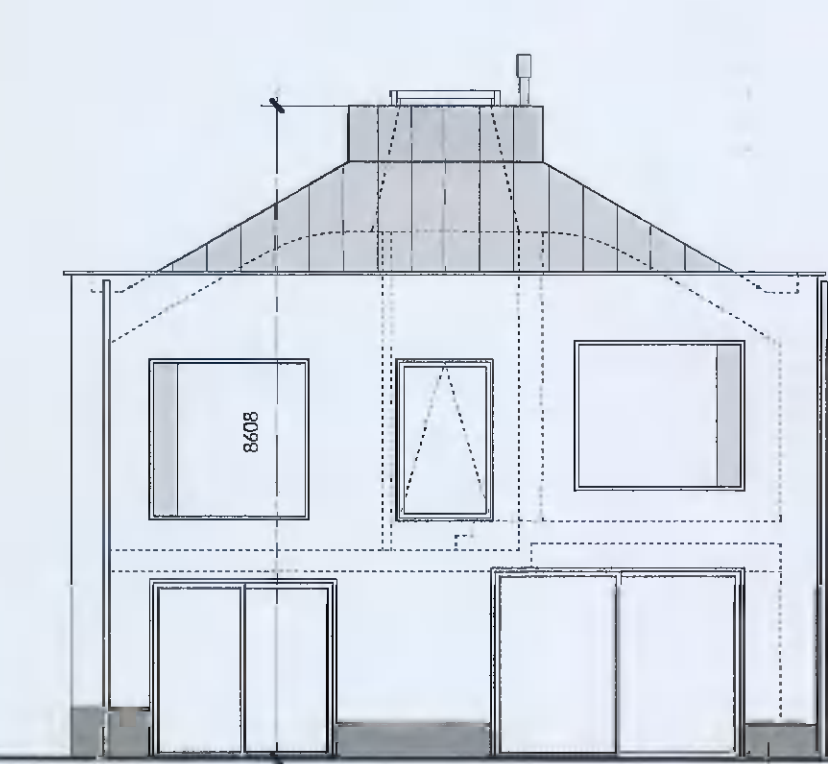
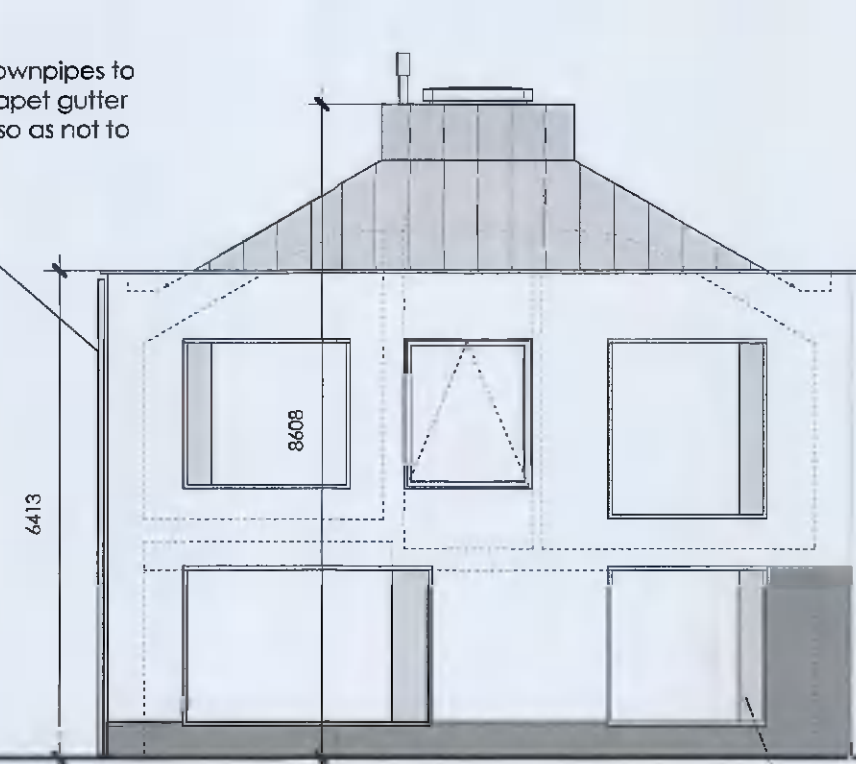
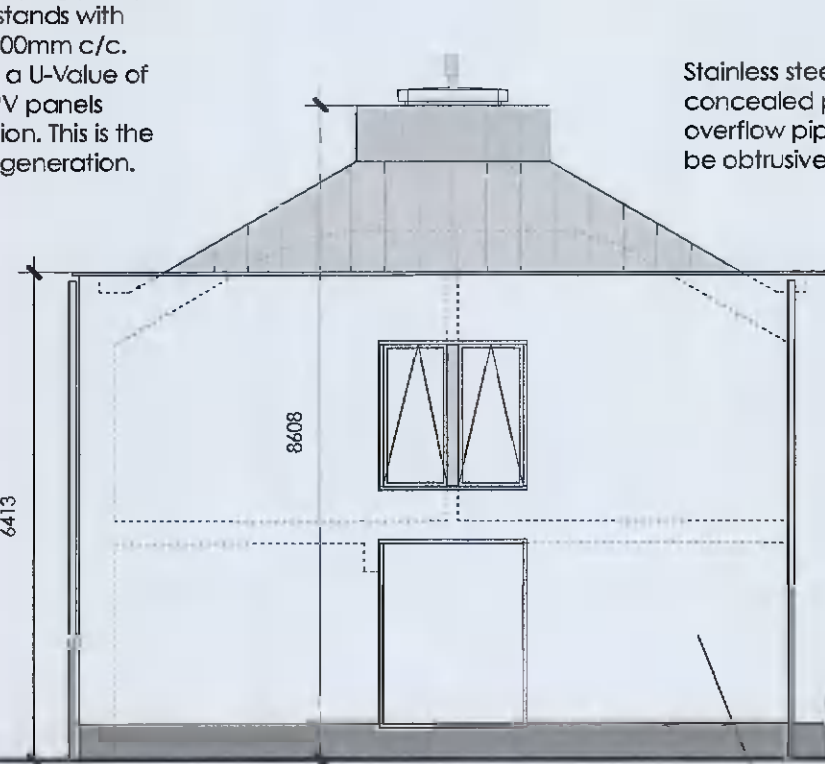
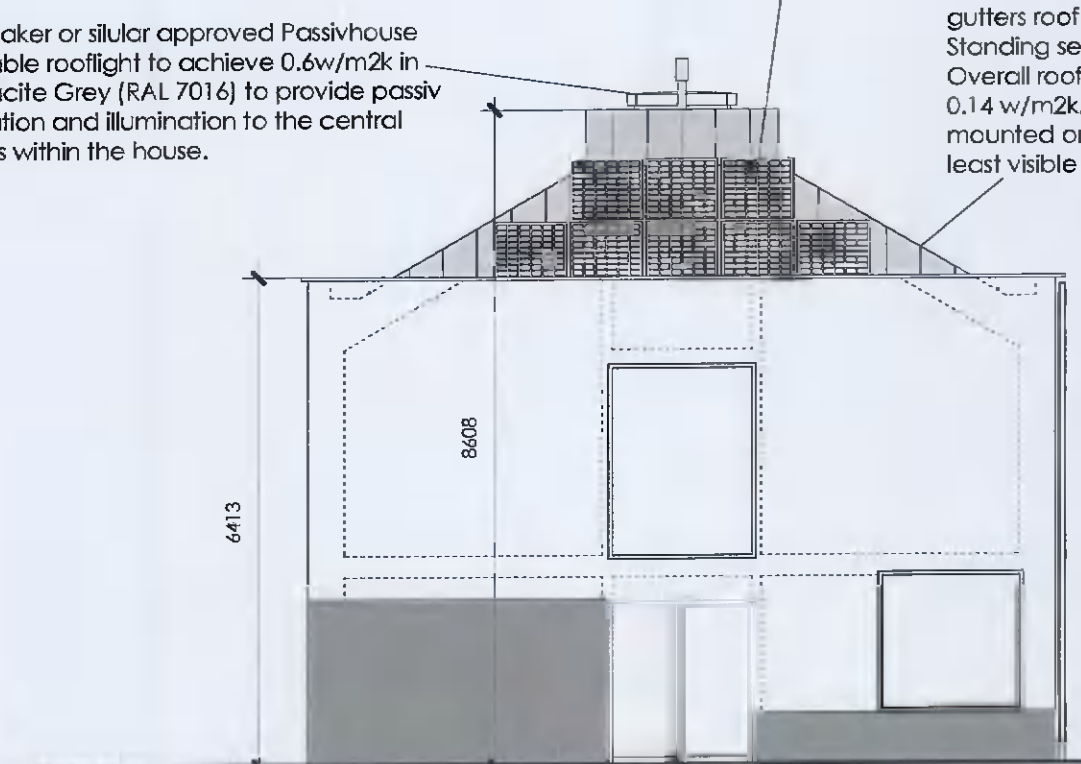
Renolit single membrane roofing, Light grey (71004) zinc like finish, forming the parapet coping parapet gutters roof pitches and rooflight upstands proprietary with Standing seam profile of nominally 400mm c/c. Overall roof construction to achieve a U-Value of 0.14 w/m<sup>2</sup>k. Roof to include 8 solar PV panels mounted on the south facing elevation. This is the least visible and optimum for power generation.

8 Solar PV Modules 1700mm x 1000mm mounted on proprietary aluminium rail system for single membrane roof with Alcosolar reinforced fixing rails to support 10.3sq.m. array generating circa 2.00kWp.

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Stainless steel or similar approved downpipes to concealed parapet gutters with parapet gutter overflow pipes strategically located so as not to be obtrusive.



**PROPOSED ELEVATIONS**  
 SCALE: 1=100 @A1

SOUTH

NORTH

WEST

EAST

Diatonite Thermactive 0.37 insulating lime render finish 'chalk' on extruded clay block external walls with Diason internal lime plaster. Overall wall construction to achieve a U-Value of 0.14 w/m<sup>2</sup>k. Wall construction is of low carbon embodied extruded un-insulated clay block all to achieve Passivhouse compliant construction.

Powder coated aluminium windows with projecting drip at the head and sill all to the architects detail. Two types one with full opening casement the other with side vent opening sections.

Honec limestone, or similar approved, plinth of varying height or similar approved finish all to the architects details and specifications.

**REVISIONS**  
 REV A DATE: 17 AUG 2021 AUTHOR: DH  
 DRAINAGE AND SUDS STRATEGIES INCLUDED, DOWNPIPES RELOCATED, REVISIONS TO ELEVATIONS TO INCLUDE WINDOWS TO BOTH FIRST FLOOR BATHROOMS, SOLAR PANELS, SPECIFICATIONS TO BE CORRECTED.  
 REV B DATE: 2 DEC 2021 AUTHOR: DH  
 SUDS LOCATION AND DISTANCES FROM BUILDINGS, ROADS AND DRAINS INDICATED, EXISTING ENTRANCES TO THE EXISTING AND PROPOSED SITES REDUCED TO 3500MM MAX.

**DONAL HICKEY ARCHITECTS**

1 NUNS' LANE, ABBEYFIELD, KILLESTER, DUBLIN 5.  
 T: 00353 1 8328666  
 E: info@donalhickey.ie W: www.donalhickey.ie

**No 1 Killakee Park Firhouse D24.**

ISSUE: PLANNING  
 DRG TITLE: PROPOSED SITE, FLOOR PLANS & ELEVATIONS  
 DRG NO: PL - 101.  
 SCALE: 1:100 as shown @ A1  
 DATE: 28th April 2021  
 DRAWN: DH.



**NOTES**  
 1. Copying reserved.  
 2. Work to figured dimensions only.  
 3. The contractor is responsible for checking all levels and dimensions on site and shall refer any discrepancies to the architect and engineer or designer and designer.  
 4. Where appropriate, for details of the structure, fire or mechanical and electrical details, drawings, information, specifications or discrepancies the engineer must be consulted.  
 5. All proprietary items or products must be level and constructed in strict accordance with the manufacturers details specifications and instructions.  
 6. Status and performance of proprietary items must be checked with the manufacturers and suppliers.  
 7. The contractor shall be responsible for the co-ordinating of the works, structure, finishes and services to ensure that the works are compliant with the Building Regulations.  
 8. If in doubt please check.