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22<sup>nd</sup> November 2021

Planning Department  
South Dublin County Council  
Town Centre  
Tallaght  
Dublin 24

Dear Sirs

**PLANNING PERMISSION SOUGHT FOR (1) DEMOLITION OF PREVIOUS FLAT ROOF REAR EXTENSION (2) SINGLE STOREY MONO PITCHED ROOF FRONT EXTENSION FOR THE FULL WIDTH OF THE EXISTING HOUSE (3) SINGLE STOREY FLAT ROOF REAR EXTENSION (4) CONVERSION OF THE EXISTING GARAGE TO A HABITABLE USE AND INTERNAL ALTERATIONS AT GROUND AND FIRST FLOOR LEVELS (5) ATTIC CONVERSION TO INCLUDE THE RECONFIGURATION OF THE SIDE ROOF PROFILE FROM HIPPED TO HALF HIPPED AND TO INCLUDE A DORMER WINDOW STRUCTURE WITHIN THE REAR ROOF SLOPE, AND ROOFLIGHTS WITHIN THE FRONT AND REAR ROOF SLOPES (6) DETACHED SINGLE STOREY FLAT ROOF SHED / HOME GYM BUILDING WITHIN THE REAR GARDEN, AND (7) ALL NECESSARY ANCILLARY SITE DEVELOPMENT WORKS TO FACILITATE THIS DEVELOPMENT**  
**AT**  
**23 NEWLANDS PARK, CLONDALKIN, DUBLIN 22, D22 WP95**  
**FOR**  
**DAVE AND JESSICA DOHERTY**

**ADDITIONAL INFORMATION**

**PLANNING REF: SD21B/0504**

We refer to your letter dated 15<sup>th</sup> November 2021, requesting **ADDITIONAL INFORMATION** in respect of the above planning application.

We make comment as follows:

1. The applicant is requested to submit a revised design for the detached shed structure to the rear whereby a revised design may include for reduction in the height of the shed structure and a reduction in the depth of projection of the shed to address the issues of overbearing and overshadowing impact on immediate neighbours to the east and to the west.

Response

Please find attached 6 copies of revised drawings 442/03A, 04A and 05A.

These drawings indicates the following:

- o Reduction in the projection of the shed structure (towards the house) by 690mm.

- Increase in clear width between boundary wall and shed structure side walls, from 600mm to 750mm, this provides a reduction in width of shed structure.
- Reduction in floor area by 3m<sup>2</sup>.
- Increase in private open space area by 3m<sup>2</sup>.
- Reduction in height of shed structure to 3.0m high measured from ground level to top of roof parapet. This provides a height of 2.85m from finished floor level to top of roof parapet.

NOTE: As per Planning And Development Regulations 2001 Schedule 2 – Part 1 / Exempted Development – General (Article 6) March, 2002 / Class 3 / Conditions and Limitations for: The construction, erection or placing within the curtilage of a house of any tent, awning, shade or other object, greenhouse, garage, store, shed or other similar structure.  
Condition 5, states: The height of any such structure shall not exceed, in the case of a building with a tiled or slated pitched roof, 4 metres or, in any other case, 3 metres.  
We submit that the reduced shed structure height is in accordance with the Exempted Development Regulations.

2. The applicant is advised that the SDCC House Extension Design Guide 2010 recommends a that the depth of projection from the main front building line is limited to a maximum of 1.5m in order to prevent adverse impact on residential amenity of neighbouring properties. The applicant is requested to reduce the depth of the proposed single storey front extension to comply with House Extension Design Guide and to demonstrate a 6 metre minimum required for car parking to the front.

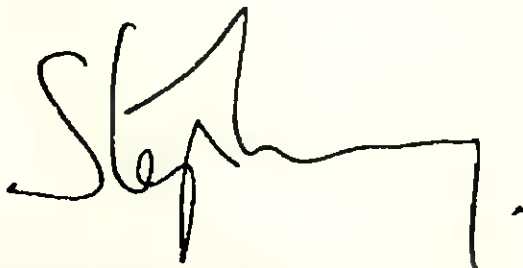
Response

Please find attached 6 copies of revised drawings 442/02A

This drawing indicates the front extension projection 1.5m from the main front building line. A 6m min clear space is provided for off-road car parking to the front.

We look forward to hearing from yourselves at your earliest convenience.

Regards

A handwritten signature in black ink, appearing to read 'Stephen Mason', with a long horizontal stroke extending to the right.

**STEPHEN MASON (AGENT)**  
ON BEHALF OF THE APPLICANTS DAVE AND JESSICA DOHERTY