



Michael Finnan

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Planning Department
South Dublin County Council

Ref : Additional information on planning application @ 432A Orwell Park Green , Dublin 6w
Planning Register reference: SD21B/0347

To planning Department

Please find enclosed the following:

- 6 copies of 7 revised drawings
- 6 copies of engineer's report in relation to boundary wall / watermain
- 6 copies of Diversion reference from Irish water

We have addressed the issues raised in the additional information request

Additional information 1(i)

Please see enclosed engineer's report in relation to the boundary wall / watermain, and letter from Irish water stating no objection to the proposed development. We located exact location of watermain , and have liaised extensively with Kieran O Neill Irish water since the AI was requested .

Additional information 1(ii)

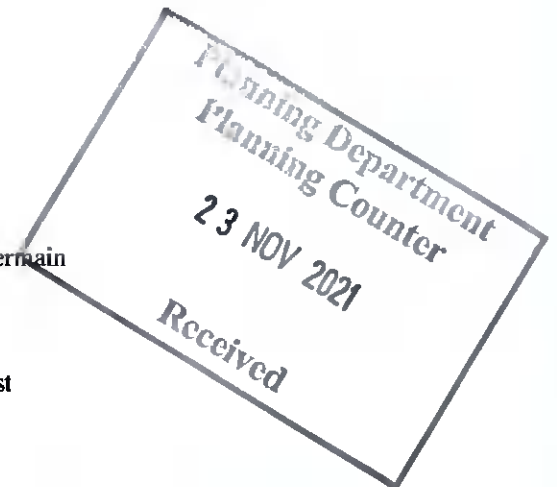
See drawing number 23 enclosed, we have proposed a new manhole on the existing private 225mm surface water drain to front (east of dwelling), this takes out the acute angle of connection as noted in AI .

Additional information 1(iii)

See drawing nr 23 enclosed, water butts are shown (in blue) at all surface water downpipe locations, and noted that any new proposed patio / path surface on site to be in gravel (water permeable material)

Additional information 2

We have revised the roof & attic floor plan, to eliminate the side flat roof on the North elevation. We have now shown a pitched roof, front and rear, running to north boundary, with a tapering pitch over the North boundary wall. There is strong precedent for this in the area, see listed below photograph and planning reference of similar approved developments in the immediate area, on infill corner sites. We have added windows on the north boundary wall to visually break up the wall & and for functioning fire escape.



We agree that we lose the side entrance on the North side, but we do maintain a side entrance on the south side, which is more than sufficient for applicant. Again, there is strong precedent for this in the area, see listed below photograph and planning reference of similar approved developments in the immediate area.



431 Orwell Park Green, example of pitched roof gable to gable at end of row of hip roofs. This is on road of application



440 Orwell Park Green example of pitched roof gable to gable at end of row of hip roofs.



1A Domville road example of pitched roof gable to gable , at end of row of hip roofs.



440 Orwell Park green — example of pitched roof gable to gable , at end of row of hip roofs & example of elimination of 1 side entrance on boundary side and maintain functioning side entrance on opposite side (as shown in our proposal)



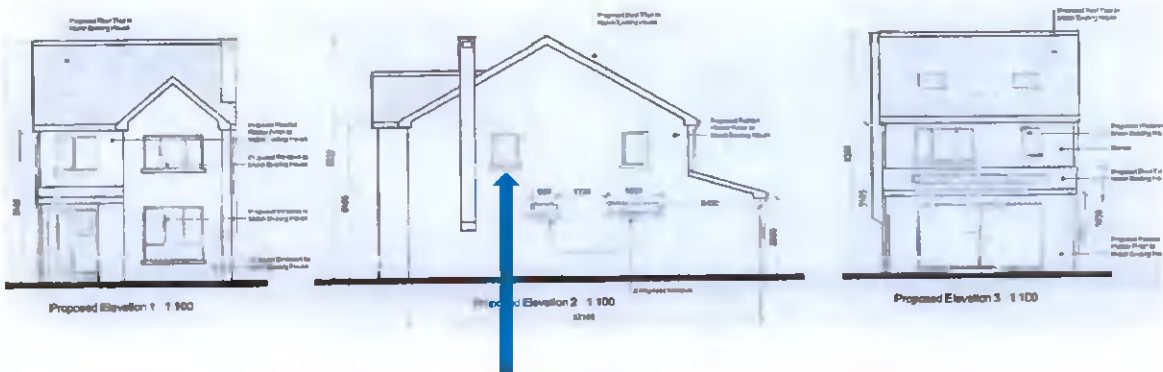
176a Orwell Park view SD05A/0934—example of elimination of 1 side entrance on boundary side and maintain functioning side entrance on opposite side (as shown in our proposal)



177a Orwell Park Heights SD06A/0794 —example of elimination of 1 side entrance on boundary side and maintain functioning side entrance on opposite side (as shown in our proposal)



8a Rossmore Grove SD18A/0117 —example of elimination of 1 side entrance on boundary side and maintain functioning side entrance on opposite side (as shown in our proposal), and window positioning on boundary wall



SD18A/0117 -8 Rossmore Grove — windows in party wall with public space , similar to what is proposed in our development -Granted approval in 2018



SD06A/0794 -177A Orwell Park Heights — window in party wall with public space & and rear building line has moved beyond established building line , similar to what is proposed in our development -Granted approval in 2006



SD06B/0532 -176 Orwell Park View — window in party wall with public space & and rear building line has moved beyond established building line , similar to what is proposed in our development -Granted approval in 2006



3 Rushbrook way — window in party wall with public space , similar to what is proposed in our development -Granted approval



1 Osprey drive — window in party wall with public space & and rear building line has moved beyond established building line , similar to what is proposed in our development -Granted approval



SD16B/0067 -30 Rossmore Grove — rear building line has moved beyond established building line by way of first floor rear extension, like what is proposed in our development - Granted approval in 2016



SD15B/0321 -2 wood dale green — window in party wall with public space & rear building line has moved beyond established building line, similar to what is proposed in our development -Granted approval in 2015

Should you need anything further, please contact the undersigned.

We hope our proposal now meets with your approval

Sincerely