

ALTERATIONS DESCRIPTION:

- A** Subdivision of existing Block B, College Lane, Greenogue, Rathcoole, Co.Dublin (existing areas: 23,42m² single warehouse and 2,963m² ancillary office/staff facilities as granted under application reg ref. SD19A/0265) into 2 no. warehousing units as follows:
- B** 1) Unit B1 to contain: 15,815m² existing warehouse area, 2,965m² existing ancillary office/staff facilities area and
- C** 2) Unit B2 to contain: 7,589m² existing warehouse area, 58m² existing ancillary staff facilities area, 37m² change of use of existing warehouse to ancillary office/staff facilities area at ground floor and 636m² additional 2-storey ancillary office/staff facilities on 1st & 2nd floor.

The above proposal includes:

- D** minor elevation adjustments to South & West elevation of Unit B2 to facilitate the additional ancillary office/staff facilities,
- E** subdivision of the rear HGV yard by internal fencing, provision of new HGV & car access gate to Unit B2 from the existing estate access road,
- F** provision of 36 no. carpark spaces including 2 no. disabled spaces and 24 no. bicycle spaces,
- G** pedestrian access & footpath from the new gate to the new ancillary office and
- H** associated drainage adjustments.

NOTE: this planning submission is one of two independent applications for subdivision options to Block B.

FENCE LEGEND:

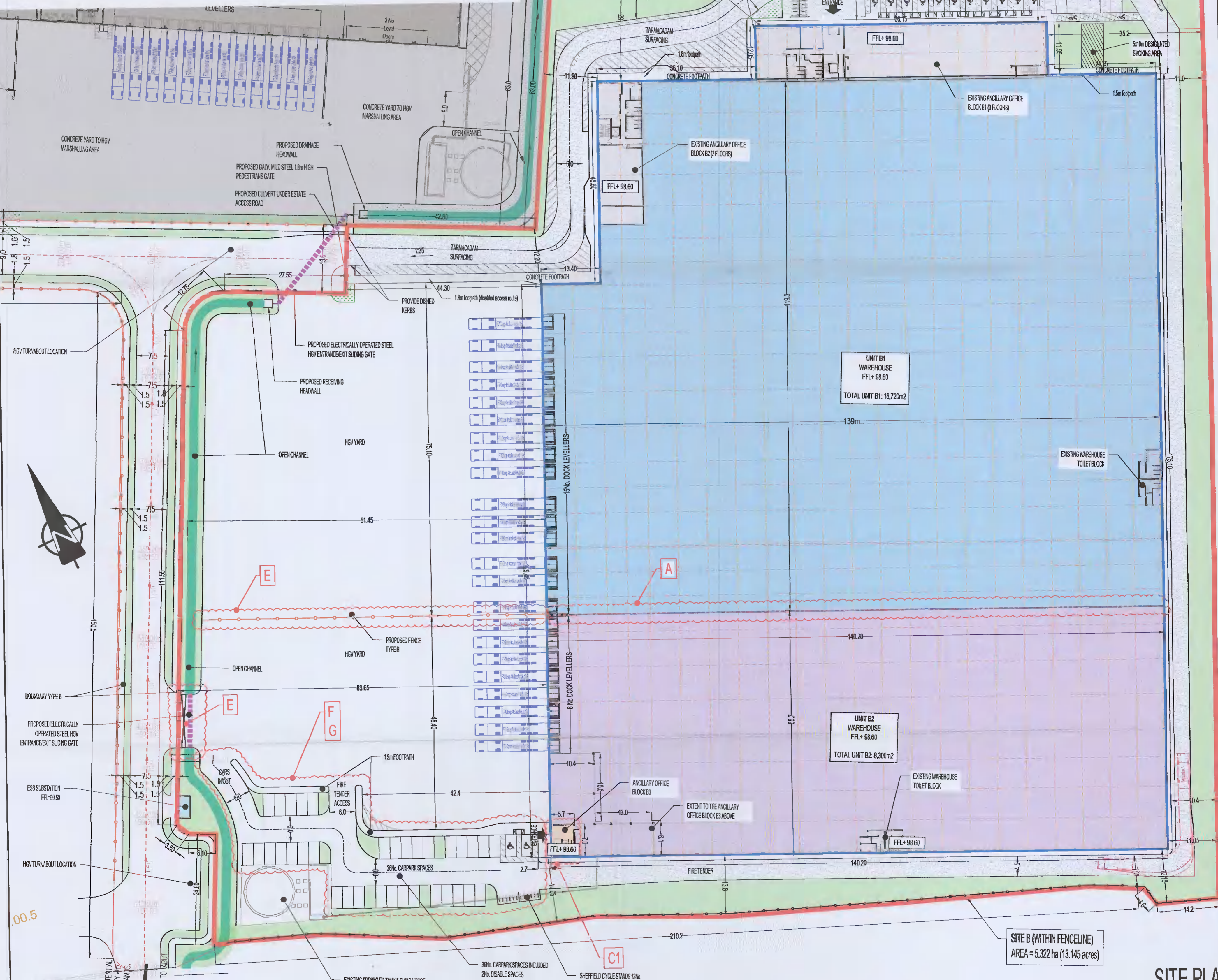
- BOUNDARY TYPE A: ROUND BAR RAILING-PIERS (see elevation inset)
- BOUNDARY TYPE B: 2m HIGH ROUND BAR RAILING
- BOUNDARY TYPE C: PALADIN FENCE OR SIMILAR (PALSADE FENCING NOT ALLOWED BY SDC)
- BOUNDARY TYPE D: ROUND BAR RAILING ON DWARF WALL + PIERS

TABLE OF GROSS INTERNAL FLOOR AREAS & USES FOR THIS PLANNING ALTERATION APPLICATION

BLOCK B SUBDIVISION	EXISTING OFFICES	EXISTING STAFF FACILITIES	ADDITIONAL OFFICES	ADDITIONAL STAFF FACILITIES	WAREHOUSE UNIT B1	WAREHOUSE UNIT B2	EXISTING ESS SUBSTATION	TOTAL PROPOSED
GROUND FLOOR	692 m ² 7,449 Sq.ft.	453 m ² 4,898 Sq.ft.	—	37 m ² 399 Sq.ft.	15,815 m ² 170,291 Sq.ft.	7,589 m ² 81,472 Sq.ft.	9 m ² 97 Sq.ft.	24,575 m ² 264,557 Sq.ft.
FIRST FLOOR	589 m ² 6,345 Sq.ft.	459 m ² 4,941 Sq.ft.	153 m ² 1,646 Sq.ft.	165 m ² 1,776 Sq.ft.	—	—	—	1,366 m ² 14,733 Sq.ft.
SECOND FLOOR	589 m ² 6,345 Sq.ft.	181 m ² 1,946 Sq.ft.	233 m ² 2,509 Sq.ft.	65 m ² 699 Sq.ft.	—	—	—	1,088 m ² 11,712 Sq.ft.
TOTAL	1,870 m² 20,182 Sq.ft.	1,093 m² 11,785 Sq.ft.	386 m² 4,154 Sq.ft.	267 m² 2,874 Sq.ft.	15,815 m² 170,291 Sq.ft.	7,589 m² 81,472 Sq.ft.	9 m² 97 Sq.ft.	27,022 m² 290,557 Sq.ft.

UNIT B1:
212 No. EXISTING CARPARK SPACES INCLUDE 11 No. DISABLE SPACES (5% O/A OF CAR PARK)
24 No. EXISTING CYCLE PARK SPACES (12% SHEFFIELD CYCLE STANDS)

UNIT B2:
36 No. CARPARK SPACE INCLUDE 2 No. DISABLE CARPARK SPACES (5% O/A OF CAR PARK)
24 No. CYCLE PARK SPACES (12% SHEFFIELD CYCLE STANDS)



SITE B (WITHIN FENCELINE)
AREA = 5.322 ha (13.145 acres)

SITE PLAN
SCALE 1/500

PL8	14/1/2021	TK	SB	PK	ISSUED FOR PLANNING ALTERATIONS (2)
Rev	Date	By	CHK	App	Position

Job Title: DEVELOPMENT LANDS AT COLLEGE LANE, GREENOGUE, RATHCOOLE, Co. DUBLIN	Drawing Title: BLOCK B SUBDIVISION SITE PLAN	Drawn: TK Checked: SB Approved: FK Scale: 1:500 @ A1	KAVANAGH BURKE CONSULTING ENGINEERS	
			Tel: 01-450 0694 Fax: 01-426 4340 Email: pkavanagh@kavanaghburke.ie	Unit F3 Calmount Park, Ballymount, Dublin 12
Client: AERODROME PROPCO LIMITED	Drawing No: PLANNING ALTERATIONS (2) BLOCK B	Date: NOVEMBER 2021	No.: D1577	Drawing No.: D2