

ALTERATIONS DESCRIPTION:

A Subdivision of existing Block B, College Lane, Greenogue, Rathcoole, Co.Dublin (existing areas: 23,421m² single warehouse and 2,963m² ancillary office/staff facilities as granted under application ref. SD19A/0265) into 2 no. warehouse units as follows:

B — 1) Unit B1 to contain: 13,719m² existing warehouse area, 2,905m² existing ancillary office/staff facilities area and

C — 2) Unit B2 to contain: 9,665 m² existing warehouse area, 58m² existing staff facilities area, **C1** 37m² change of use of existing warehouse to ancillary office/staff facilities area at ground floor and **C2** 636m² additional 2-storey ancillary office/staff facilities on 1st & 2nd floor.

The above proposal includes:

D — minor elevation adjustments to South & West elevation of Unit B2 to facilitate the additional ancillary office/staff facilities.

E — subdivision of the rear HGV yard by internal fencing, provision of new HGV & car access gate to Unit B2 from the existing estate access road,

F — provision of 36 no. carpark spaces including 2 no. disabled spaces and 24 no. bicycle spaces,

G — pedestrian access & footpath from the new gate to the new ancillary office and

H — associated drainage adjustments.

NOTE: this planning submission is one of two independent applications for subdivision options to Block B.

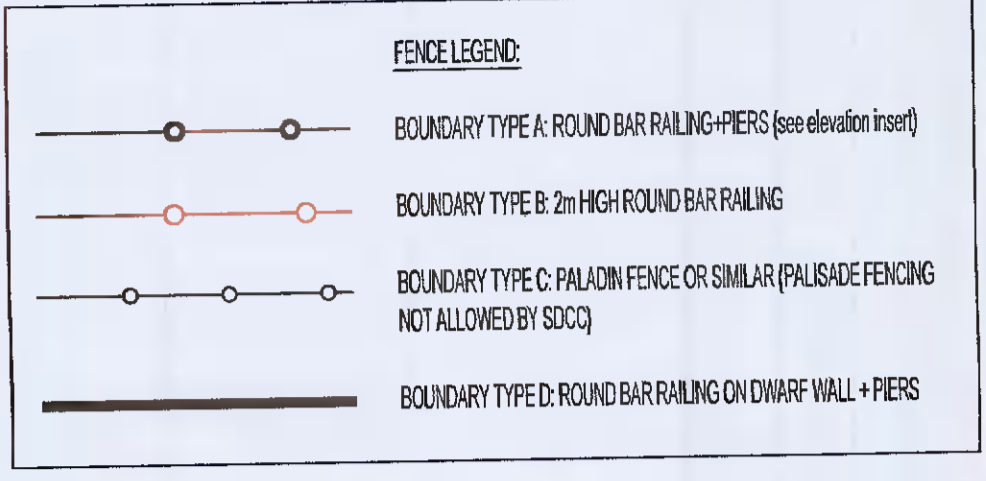
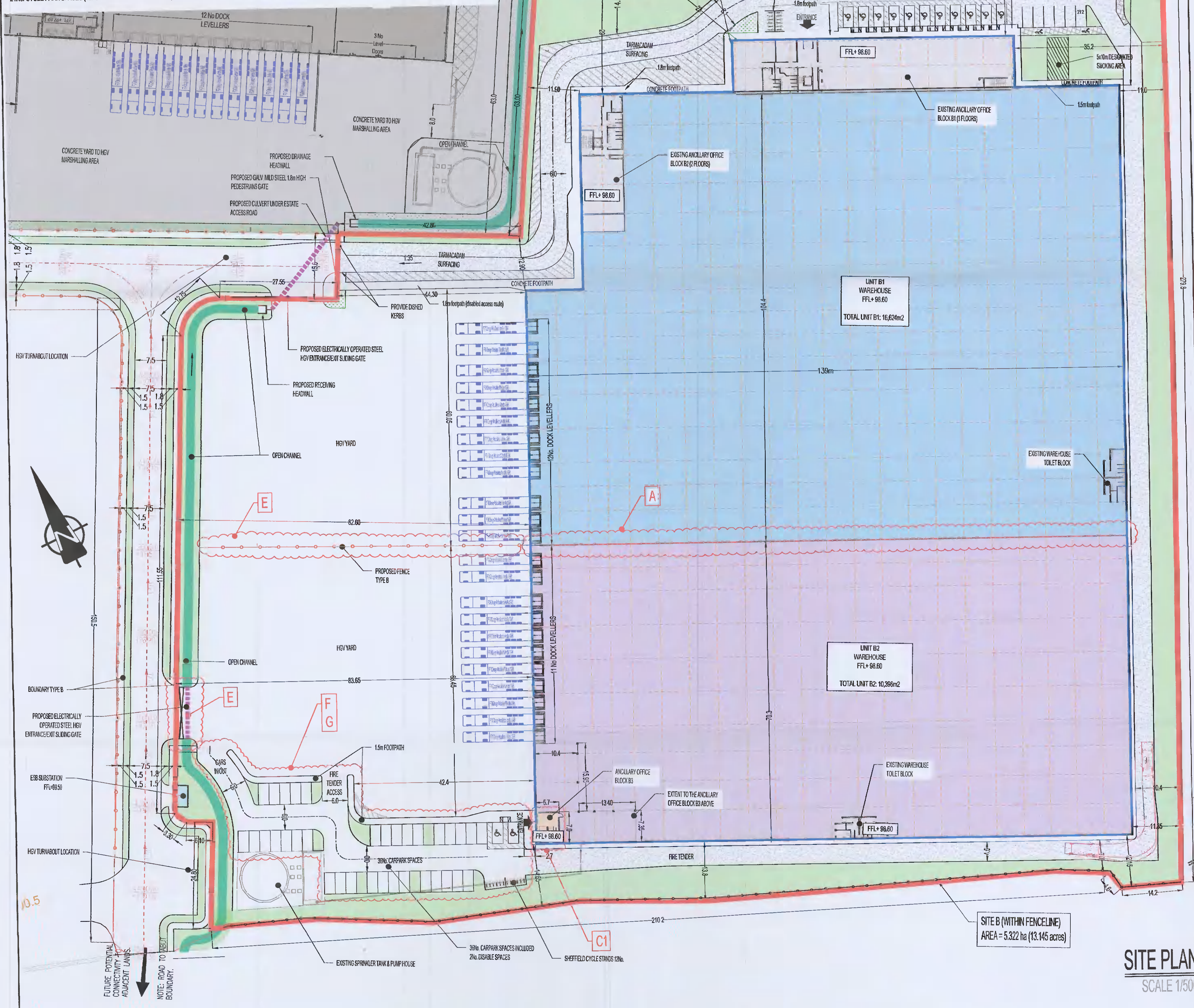


TABLE OF GROSS INTERNAL FLOOR AREAS & USES FOR THIS PLANNING ALTERATION APPLICATION

BLOCK B SUBDIVISION	EXISTING OFFICES	EXISTING STAFF FACILITIES	ADDITIONAL OFFICES	ADDITIONAL STAFF FACILITIES	WAREHOUSE UNIT B1	WAREHOUSE UNIT B2	EXISTING ESS SUBSTATION	TOTAL PROPOSED
GROUND FLOOR	692 m ² 2,448 Sp. ft.	453 m ² 1,470 Sp. ft.	—	37 m ² 385 Sp. ft.	13,719 m ² 147,891 Sp. ft.	9,665 m ² 104,821 Sp. ft.	9 m ² 97 Sp. ft.	24,576 m ² 266,672 Sp. ft.
FIRST FLOOR	589 m ² 6,380 Sp. ft.	426 m ² 4,941 Sp. ft.	153 m ² 1,646 Sp. ft.	165 m ² 1,778 Sp. ft.	—	—	—	1,333 m ² 14,385 Sp. ft.
SECOND FLOOR	589 m ² 6,380 Sp. ft.	181 m ² 1,945 Sp. ft.	233 m ² 2,488 Sp. ft.	85 m ² 915 Sp. ft.	—	—	—	1,088 m ² 11,712 Sp. ft.
TOTAL	1,870 m² 20,108 Sp. ft.	1,063 m² 11,765 Sp. ft.	386 m² 4,134 Sp. ft.	287 m² 3,081 Sp. ft.	13,719 m² 147,891 Sp. ft.	9,665 m² 104,821 Sp. ft.	9 m² 97 Sp. ft.	28,028 m² 302,887 Sp. ft.

UNIT B1:
212 No. EXISTING CARPARK SPACES INCLUDE 11 No. DISABLE SPACES (5% OIA OF CAR PARK)
24 No. EXISTING CYCLE PARK SPACES (12 No. SHEFFIELD CYCLE STANDS)

UNIT B2:
38 No. CARPARK SPACE INCLUDE 2 No. DISABLE CARPARK SPACES (5% OIA OF CAR PARK)
24 No. CYCLE PARK SPACES (12 No. SHEFFIELD CYCLE STANDS)



SITE B (WITHIN FENCELINE)
AREA = 5.322 ha (13.145 acres)

SITE PLAN
SCALE 1/500

44 File DEVELOPMENT LANDS AT COLLEGE LANE, GREENOGUE, RATHCOOLE, Co. DUBLIN	Drawing Title BLOCK B SUBDIVISION SITE PLAN	Drawn TK	KAVANAGH BURKE CONSULTING ENGINEERS	
			Checked SB	Tel. 01-450 0894 Fax. 01-426 4340 Email: pkavanagh@kavanaghburke.ie
Author/3rd AERODROME PROPCO LIMITED	Drawing Date PLANNING ALTERATIONS (1) BLOCK B	Approved PK	Unit F3 Calmount Park, Ballymount, Dublin 12	Rev. PL7
		Scales 1:500 @ A1	Date NOVEMBER 2021	

PL7	14/12/21	TK	SB	PK	ISSUED FOR PLANNING ALTERATIONS (1)
Max	Date	By	Chk.	Appr.	Revisions