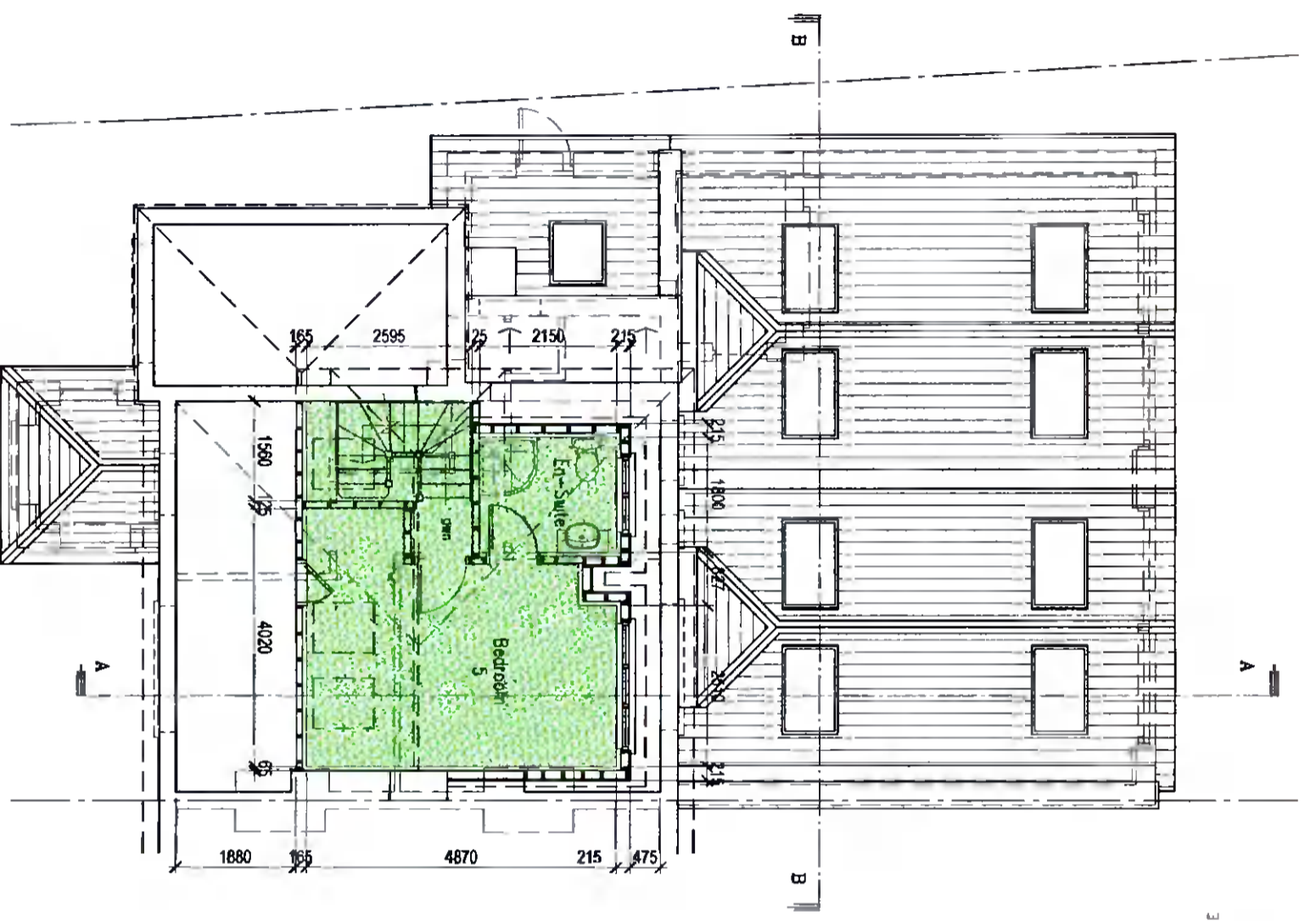


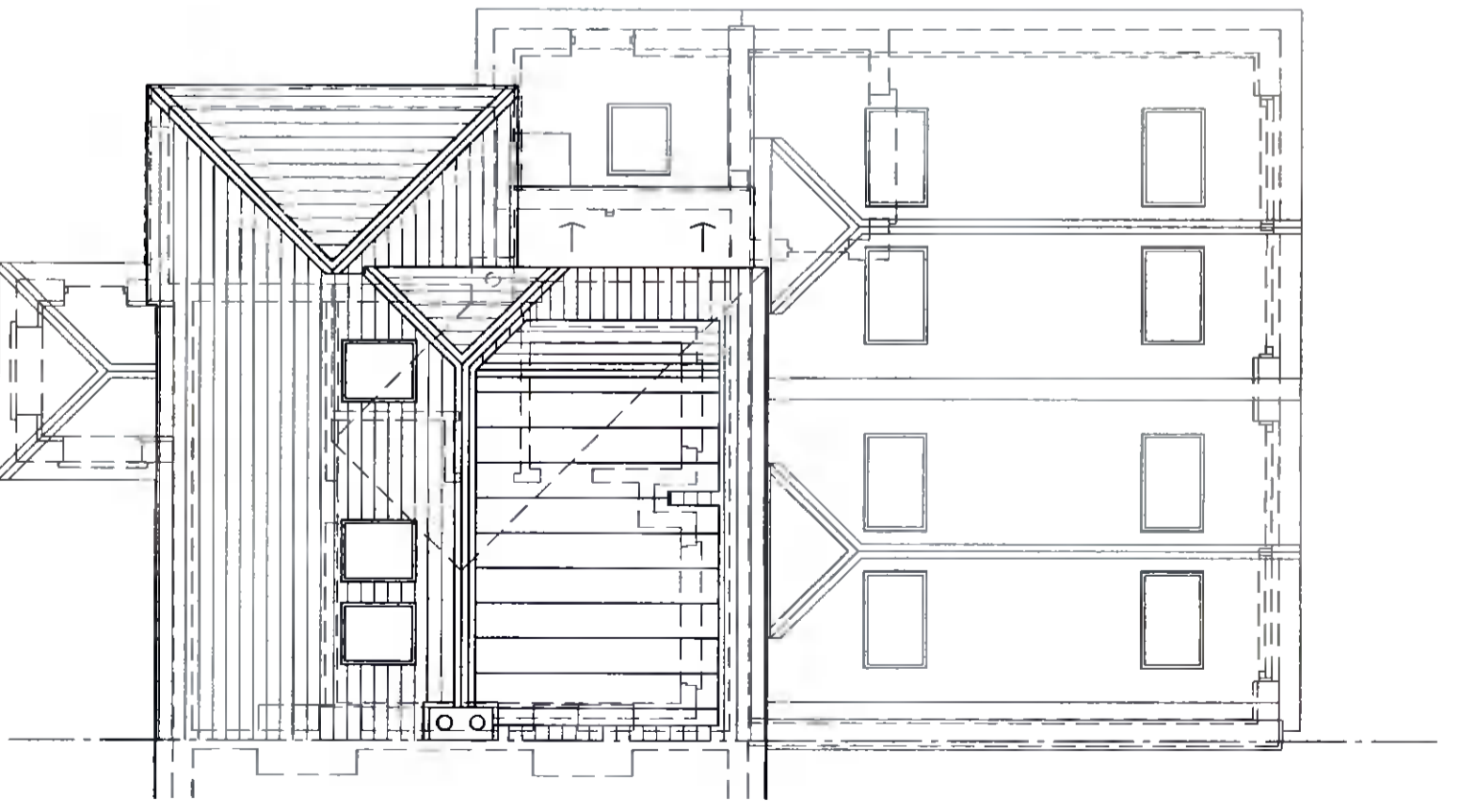
**GENERAL NOTES:**

- DEMOLITION: ALLOW FOR COMPLETE DEMOLITION & CARRY AWAY EXISTING SINGLE STOREY FLAT ROOF GARDEN ROOM/UTILITY/PC TO REAR, & FRONT SINGLE STOREY FLAT ROOF THROUGH EXTENSION AS SHOWN DASHED
- FOUNDATIONS: ALLOW FOR 600mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A303 WESH (75mm COVER) ON 50mm CONCRETE SCHEDULE TO SINGLE STOREY EXTENSIONS TO FRONT & REAR (ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)
- STRUCTURAL STEELWORK:
  - ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT EXISTING ROOF STRUCTURE TO BE REINFORCED TO SUPPORT THROUGHOUT NEW GROUND FLOOR & ATTIC EXTENSIONS & SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEERS & TO BE PROTECTED & HOUR FIRE PROTECTED PRIOR TO CONCRETE UP
- SUSPENDED TIMBER GROUND FLOOR CONSTRUCTION:
  - NEW 20mm TIMBER FLOOR FINISH TO FUTURE SPEC. ON 150x44 TIMBER JOISTS AT 400mm C/C (WITH 50x25mm BATTENS EACH SIDE FLUSH WITH FIN. OF JOIST), 50mm CONC. SCHEDULE WITH U/FLOOR HEATING PIPING ON 100mm KINGSPIRAN KOOLEDRE K/7 PER INSULATION NOTICED & RIGID BETWEEN JOISTS ON TREATED TIMBER WALL PLATE ON D.P.C. ON VENTILATED BRICK SLEEPER WALLS ON 150mm TK. CONCRETE FLOOR SLAB (BRIER, A142 USES) ON 150mm GAUGE VESSELEN DRN/RANSON BARRIER LAPPED WITH D.P.C. ON 50mm BUILDING ON MIN 225mm W.C. HANGOVER THROUGHOUT REAR EXTENSION (U-VALUE = 0.21)
- EXTERNAL CARRY WALLS:
  - 100mm SELECTED BRICK OUTER LEAF OF 19mm WAF SAND GEMENT BINDER WITH SELECT PAINTED FINISH ON 100mm DENSE BLOOMWORK EXTERNAL LEAF, 100mm CARRY WITH 60mm KINGSPIRAN KOOLEDRE K9 CARRY BOARD INSULATION, HELD TO THE INTERNAL LEAF WITH STAINLESS STEEL WALL TIES @ 450mm C/C VERT. & 800mm C/C HORIZ. LEAVING 40mm CLEAR CARRY, 100mm DENSE BLOOMWORK INNER LEAF WITH 62.5mm KINGSPIRAN KOOLEDRE K18 INSULATED DRYLANKING WITH A 3mm OPSAL SANDWICH PLASTER FINISH (U-VALUE = 0.18)
- INTERNAL DRY-LANKING TO EXPOSED EXTERNAL WALLS:
  - 250x50mm REINFORCED TIMBER STUDS AT 400 C/C WITH 72.5mm KINGSPIRAN KOOLEDRE K18 WITH A 3mm OPSAL SANDWICH PLASTER FINISH THROUGHOUT (U-VALUE=0.27)
- INTERNAL TIMBER STUD WALLS:
  - 44x100mm TIMBER STUDS @ 400mm C/C WITH JOISTS @ 1/3 HEIGHT, 100mm ROCKWOOL FLEX ACoustic INSULATION TIGHTLY FITTED BETWEEN STUDS & FINISHED WITH 12.5mm PLASTERBOARD SLABS EACH SIDE WITH A 3mm OPSAL SANDWICH PLASTER FINISH
- PROPOSED ROOF CONSTRUCTION (FRONT & REAR):
  - NEW GREY/BLACK CONCRETE ROOF TILES TO MATCH EXISTING ROOF ON 20x60 S/W TREATED BATTENS ON BREATHABLE MESH/BARRIER ON MIN. 175x44 S/C18 TIMBER BATTENS @ 400mm C/C, & ALL TO ENGINEERS SPEC. WITH 100mm KINGSPIRAN KOOLEDRE K7 PLACED BETWEEN JOISTS & 62.5mm KINGSPIRAN KOOLEDRE K17 INSULATED PLASTERBOARD & PLASTER SHALL FINISH TO U/SIDE OF JOISTS THROUGHOUT (U-VALUE = 0.16)
- PROJECT WALL CORNER:
  - ALLOW FOR WHITE UPVC FASCIA & SOFFIT BOARDS WITH CONTINUOUS STRIP VENT ON TIMBER SUPERIMPOSE THROUGHOUT EAVES LEVEL (ALL TO MATCH EXISTING)
- FASCIA & SOFFITS:
  - ALLOW FOR WHITE UPVC FASCIA & SOFFIT BOARDS WITH CONTINUOUS STRIP VENT ON TIMBER SUPERIMPOSE THROUGHOUT EAVES LEVEL (ALL TO MATCH EXISTING)
- RAIN WATER COLLECTION:
  - ALLOW FOR NEW 125mm WEE HALF ROUND UPVC GUTTERS & 100mm DIA. PVC CIRCULAR RAIN WATER DOWN PIPES THROUGHOUT NEW EXTENSIONS TO FRONT & REAR
- ROOF LIGHTS:
  - ALLOW FOR 600 (780 WIDE x 1400mm LONG) TO REAR EXTENSION, 100 (780 WIDE x 1180 LONG) TO SIDE / UTILITY ROOF, & 300 (780 WIDE x 1400mm LONG) VENTIL ROOF LIGHTS COMPLETE WITH ALL FLASHINGS AS REQUIRED, ALL UNITS TO HAVE A U-VALUE OF 1.18/m<sup>2</sup>/K
- WINDOWS & DOORS:
  - PROPOSED HERMETICALLY BROWN ALUMINIUM & UPVC DOUBLE GLAZED WINDOWS & DOORS BY WINDYS Q12A, (4.6x) PLAINGLASS LOW-E GLASS FROM FILLED TO ACHIEVE A U-VALUE OF 1.18/m<sup>2</sup>/K, SPRT GLASS TO ALL UNITS BELOW +400mm FFL, ALL FINISHED TO SELECTED WALL COLOUR & COMPLETE WITH APPROVED FINISHES & FITTINGS
- WINDOW CALLS:
  - ALLOW FOR NEW 150mm HIGH CONCRETE WINDOW CALLS THROUGHOUT FRONT & REAR EXTENSIONS WRAPPED IN CONTINUOUS DPC TO ALL PROPOSED OPES
- STAIRS:
  - NEW CLOSED HEAD TIMBER STAIRS FROM FIRST TO ATTIC FLOOR LEVEL, COMPLETE WITH 60mm SQ. S.W. POSTS, 25mm SQ. TURNED S.W. TIMBER SPINDLES & 60x HARDWOOD HANDRAIL THROUGHOUT, ALL TO FUTURE DETAIL
- JOINERY:
  - 175x25mm TK. MOULDED HARDWOOD TIMBER SPRINGING BOARDS THROUGHOUT ALL PAINTED TO SELECTED COLOUR, 75x25mm TK. MOULDED HARDWOOD TIMBER ARCHITRAVES & WINDOW SPRINGINGS ALL PAINTED TO SELECTED COLOUR
- SANITARY UNITS:
  - ALLOW FOR NEW SANITARY UNITS THROUGHOUT GROUND FLOOR SHOWER ROOM, FIRST FLOOR BATHROOM & ATTIC LEVEL B.H.-SUITE, WITH ALL UNITS SELECTED BY CLIENT
- FITTED KITCHEN & UTILITY:
  - ALLOW FOR NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CRONTACTOR, (PANEL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT/ARCHITECT)
- BUILDING REGULATIONS PART L:
  - PAVILION CONSTRUCTED BUILDING TO BE IN FULL COMPLIANCE WITH PART L OF THE 2011 BUILDING REGULATIONS (CONSERVATION OF FUEL & ENERGY - NEW DWELLINGS)



**Attic Plan**  
Floor Area=26.00sq m/280sq ft

**EXTENT OF ADDITIONAL FLOOR AREA PROPOSED WITHIN THIS APPLICATION**



**Roof Plan**

**Notes:**  
 1. All drawings are the property of the practitioner (NIA Planning Consultants) and may not be used in any other project without the written consent of the practitioner.  
 2. Do not scale from the drawings, use written dimensions only.  
 3. All dimensions to be provided on site by the contractor and the consultant's liability of any discrepancies.  
 4. All levels include the appropriate relative levels and do not include Ordnance Datum.  
 5. All levels to be provided and in accordance with the 1997 Building Regulations, with all substructure foundations to be shown, and with the requirements of the relevant Local Authority.

JOB TITLE	PROPOSED EXTENSION & INTERNAL ALTERATIONS AT 69 BALLYROAN CRESCENT, RATHFARNHAM, DUBLIN 14 FOR MR FERUGS MCCABE			
DRAWING TITLE	PLANNING DRAWING: PROPOSED ATTIC FLOOR & ROOF PLANS			
REVISION	NO	DATE	MADE BY	DATE
1				
DRAWN BY: N.Jones CHECKED BY: N.Jones DATE: NOV '21 JOB NO.: 20/258 DRAWING NO.: P.03 SCALE: 1:100				

Email: ny@nplanning.com