

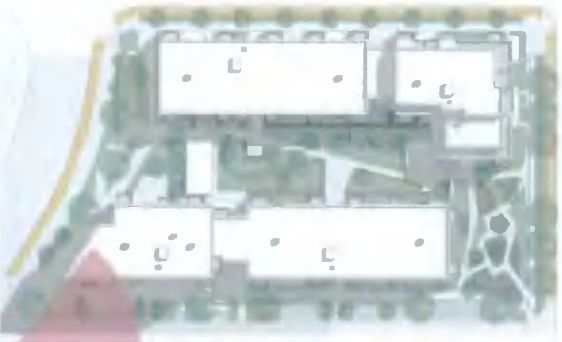
LANDSCAPE

05



04 CCI VIEWS

VIEW 07





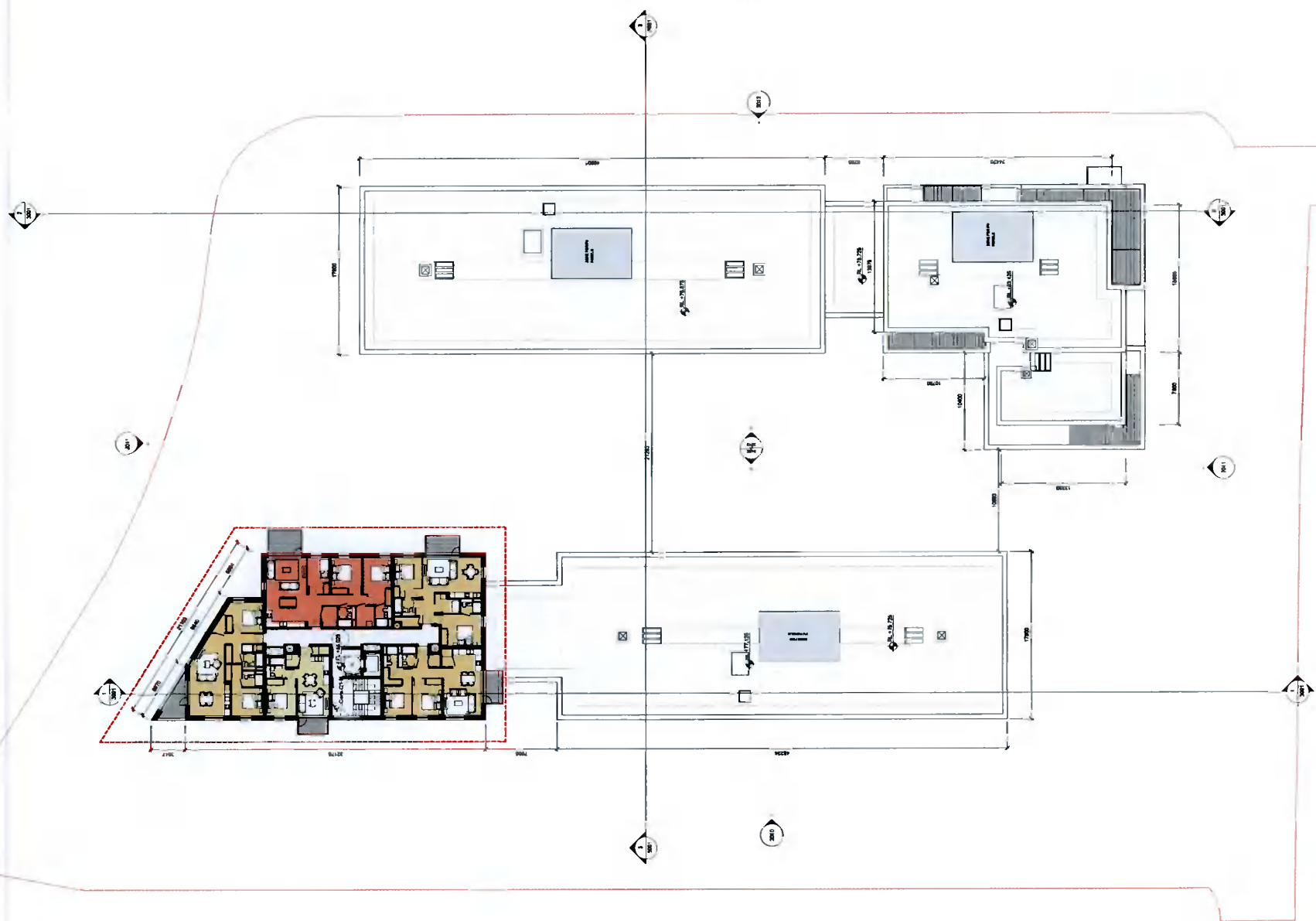
O4 DRAWINGS / ACCOMMODATION SCHEDULES

- 1 BED
- 2 BED
- 3 BED

SEVENTH FLOOR



Permitted Seventh Floor Plan



Proposed Seventh Floor Plan

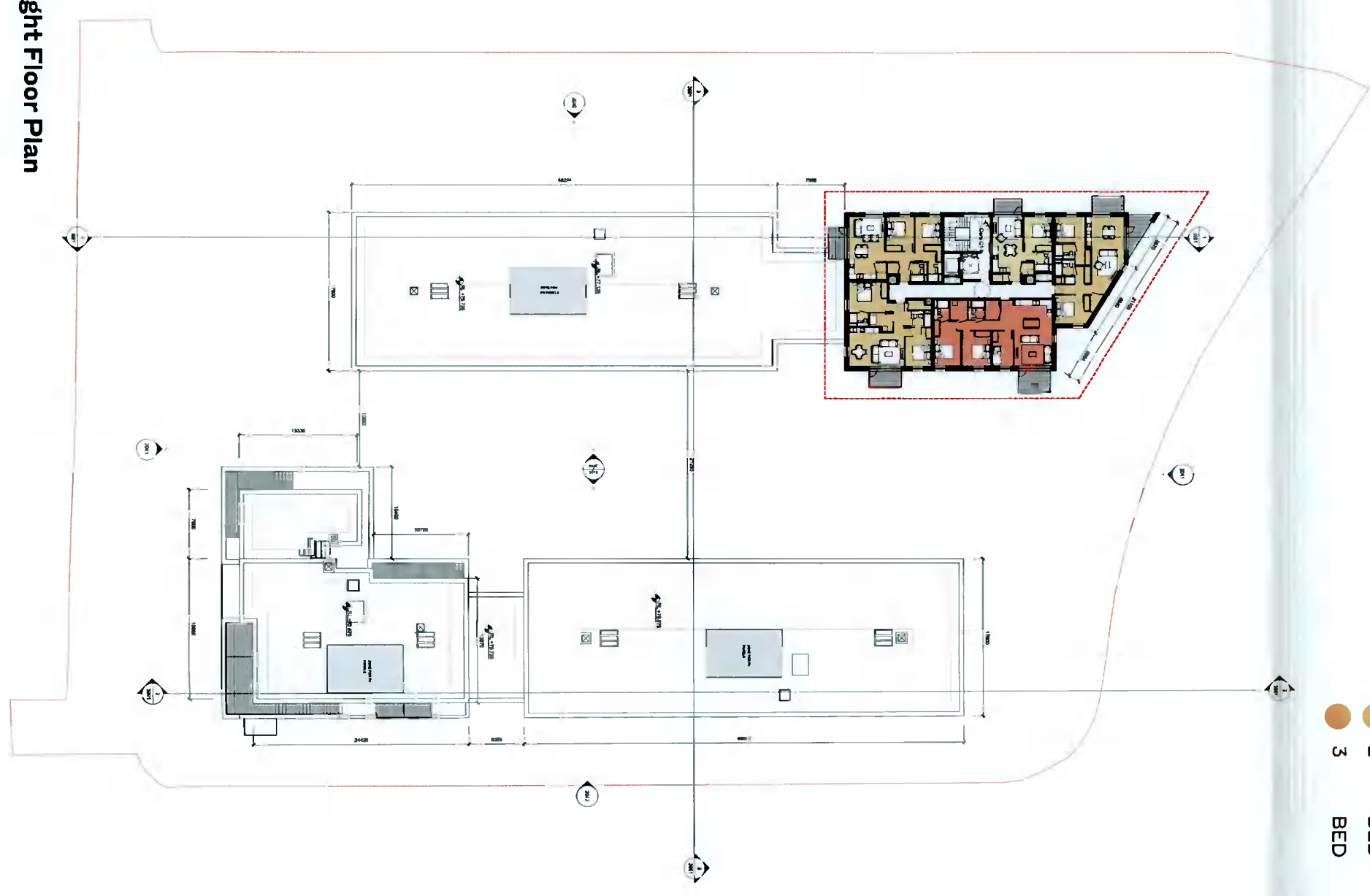
04 DRAWINGS / ACCOMMODATION SCHEDULES

EIGHT FLOOR

- 1 BED
- 2 BED
- 3 BED



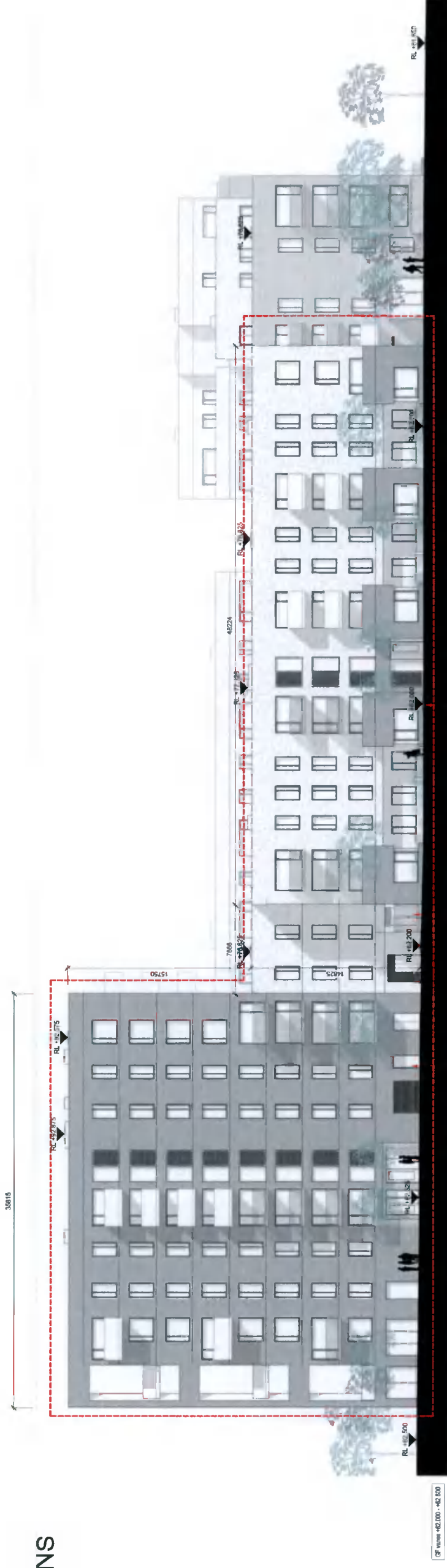
Permitted Eight Floor Plan



Proposed Eight Floor Plan

# O4 DRAWINGS / ACCOMMODATION SCHEDULES

## ELEVATIONS



West Elevation C1

CP: West 42.000 - 42.800

Modifications to paint rooms and access doors adjusted.

Optimization of car park entrance portal and pedestrian link to communal garden.

Note: Road levels incorporated and ground floor units adjusted.



East Elevation C1

CP: West 41.800 - 42.600

Wall replaced with fence and gate.

Podium omitted and replaced with ground floor residential units.

Optimization of car park entrance portal and replaced with recessed walkways and pedestrian link to communal garden.

External bicycle store provided within communal garden.

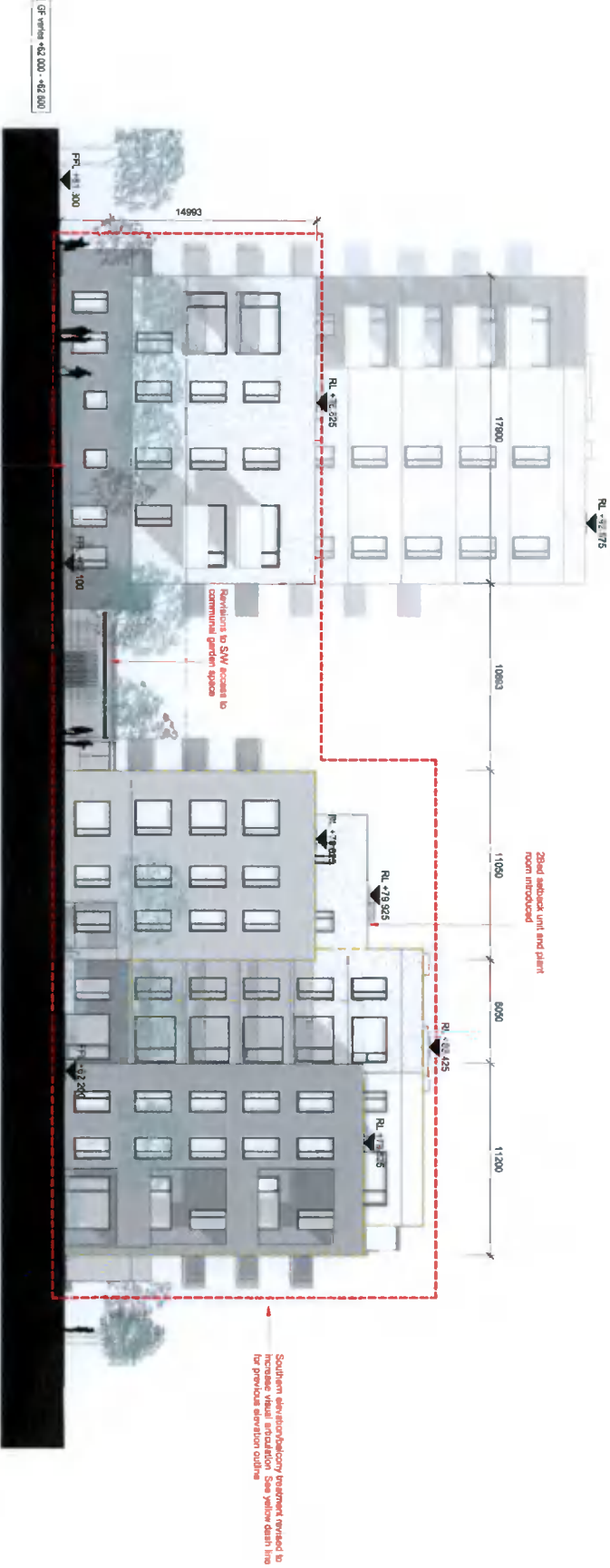


# 04 DRAWINGS / ACCOMMODATION SCHEDULES

## ELEVATIONS



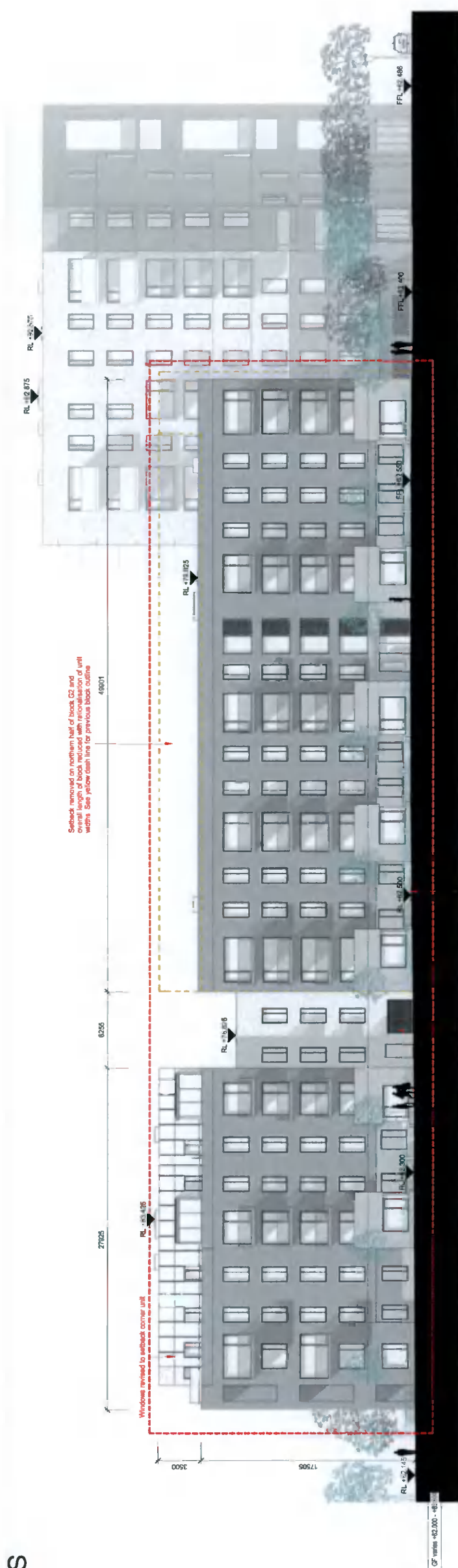
North Elevation



South Elevation

# O4 DRAWINGS / ACCOMMODATION SCHEDULES

## ELEVATIONS



East Elevation C2

Ground floor residential unit replaced with paint/finish substitution  
 Note: Road levels incorporated and ground floor units adjusted.  
 Subback removed on northern half of block C2 and overall length of block reduced with reallocation of unit widths. See yellow dash line for previous block outline



West Elevation C2

Podium omitted and replaced with ground floor residential units, plant rooms and bicycle stores  
 Wall replaced with terra and glass  
 2500 subback unit and paint room introduced  
 Revised Lobby entrance to core C2-S

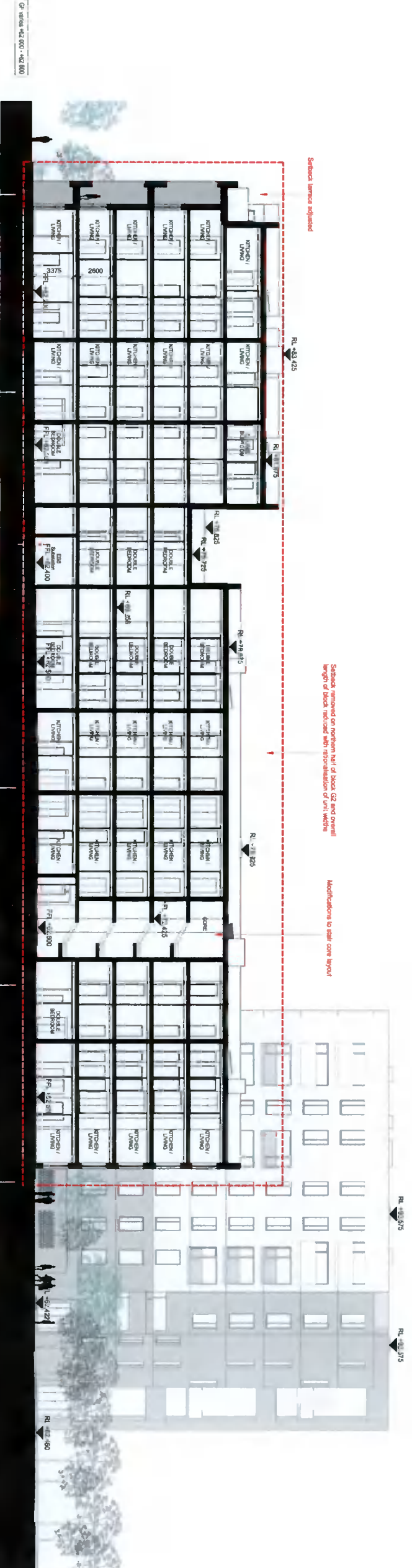


# 04 DRAWINGS / ACCOMMODATION SCHEDULES

## SECTIONS



Long Section Block C1

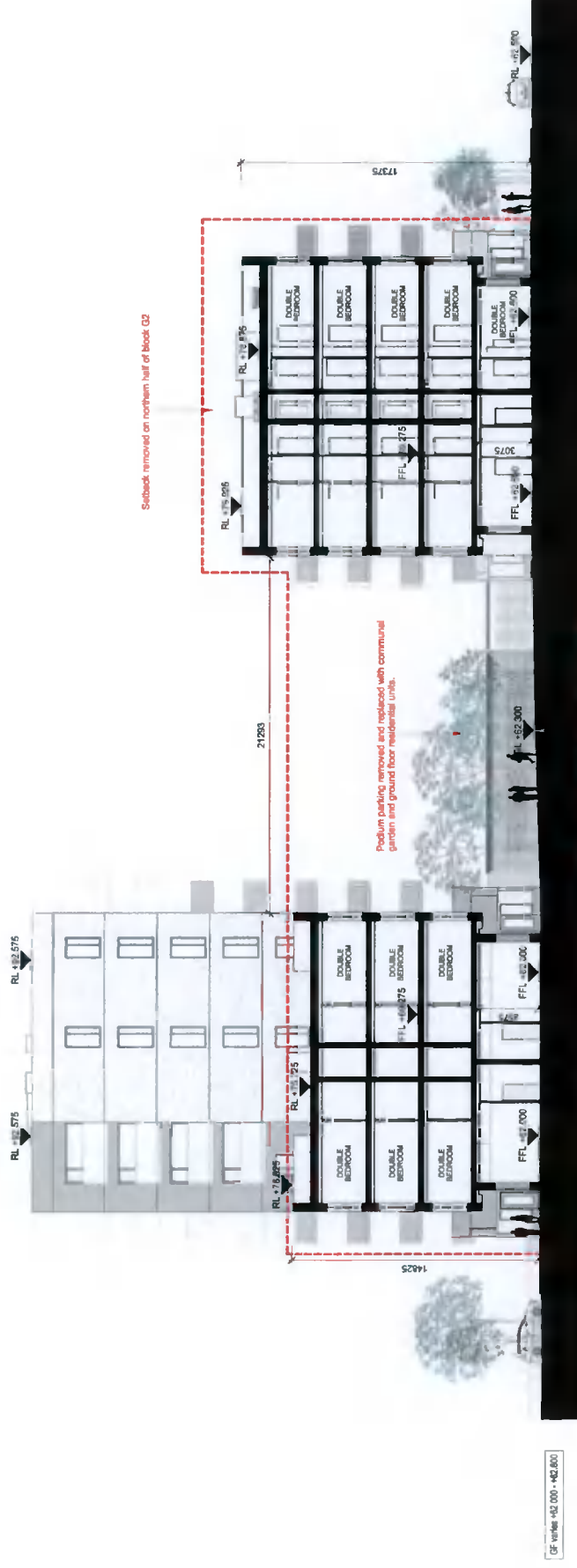


Long Section Block C2



# O4 DRAWINGS / ACCOMMODATION SCHEDULES

## SECTIONS



Cross Section C1 - C2

CGI VIEWS

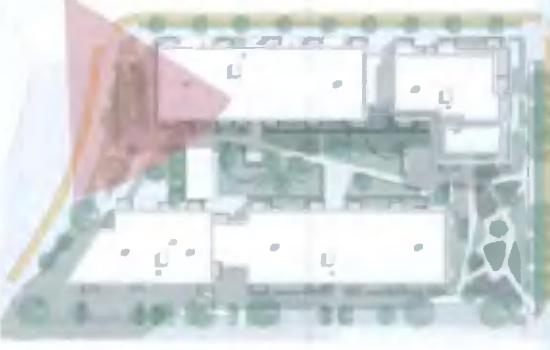
40



O4 CCI VIEWS

VIEW 01

1



PREVIOUSLY PERMITTED SCHEME

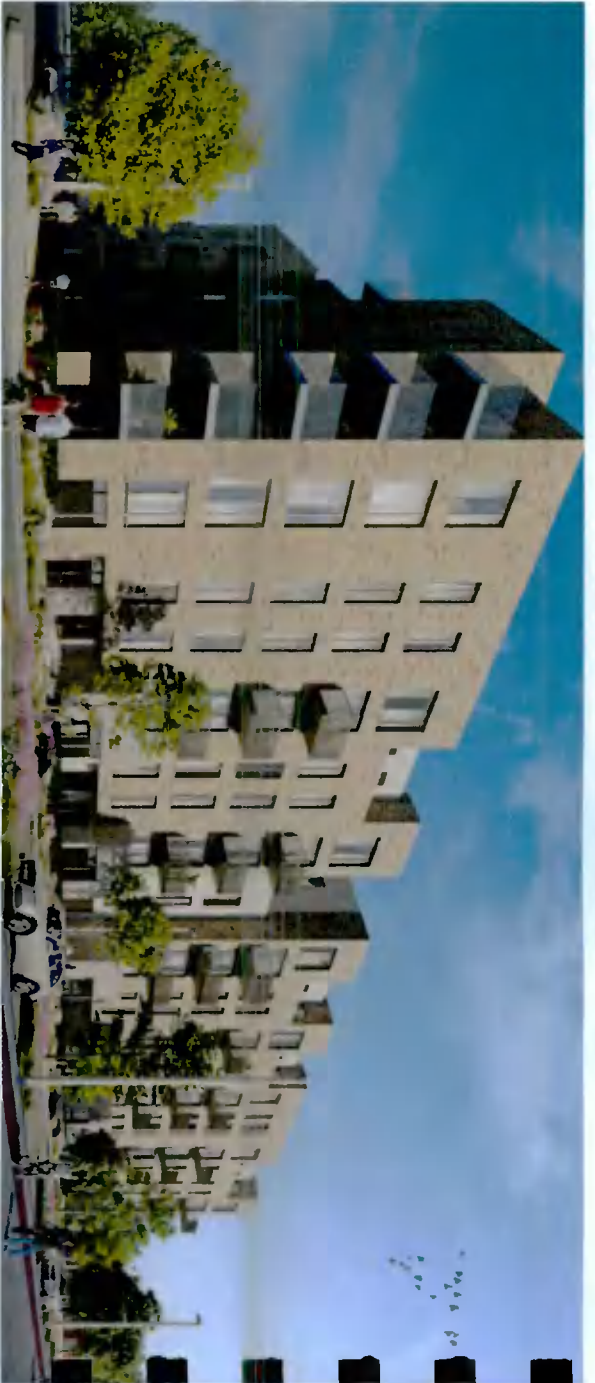


04 CGI VIEWS

VIEW 02



2



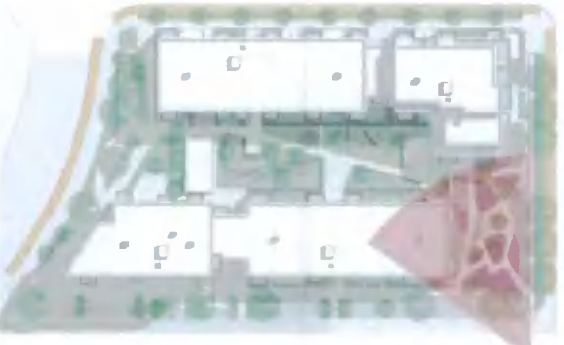
PREVIOUSLY PERMITTED SCHEME





04 CCI VIEWS

VIEW 03



3

PREVIOUSLY PERMITTED SCHEME



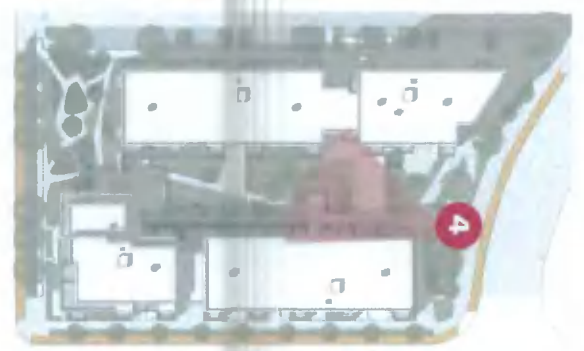
ADAMSTOWN STATION BLOCK C  
ADC-HML-CXX-DR-A-POOSE PROPOSED 3D VISUALISATIONS / CGI VIEW 2 + 3  
ISSUED FOR PLANNING 13.04.2021





04 CCI VIEWS

VIEW 04



PREVIOUSLY PERMITTED SCHEME  
CCI - View 4



CCI - View 5

ADAMPTON STATION  
R.A. 90031  
MILTON KEYNES



04 CGI VIEWS

VIEW 05

5



PREVIOUSLY PERMITTED SCHEME

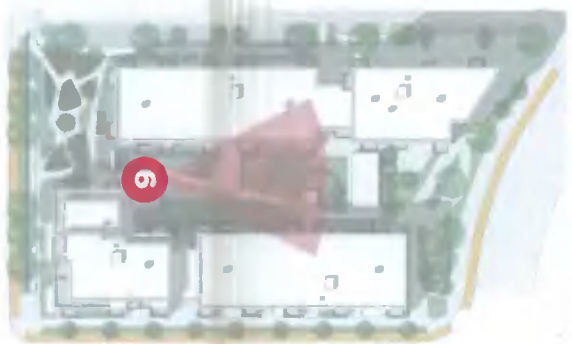
ADAMSTOWN STATION BLOCK C





04 CGI VIEWS

VIEW 06





# O5 LANDSCAPE

## LANDSCAPE PLAN

### SC E PLAN







- 1 Secured GF green space planted with evergreen groundcover and shrubs that is open to the car park
- 2 2m high wall to the GF car park
- 3 Public realm green space - South Garden
- 4 Cycle stands for visitors and residents

- 5 Wildflower meadow planting
- 6 Dedicated play equipment
- 7 1.5m hedge for wind mitigation



## 05 LANDSCAPE

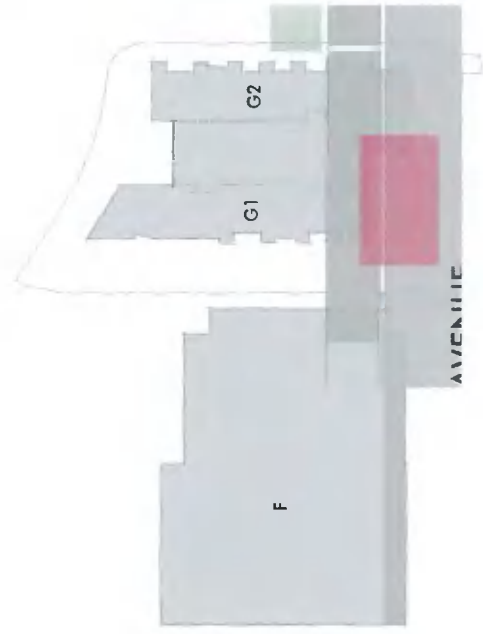
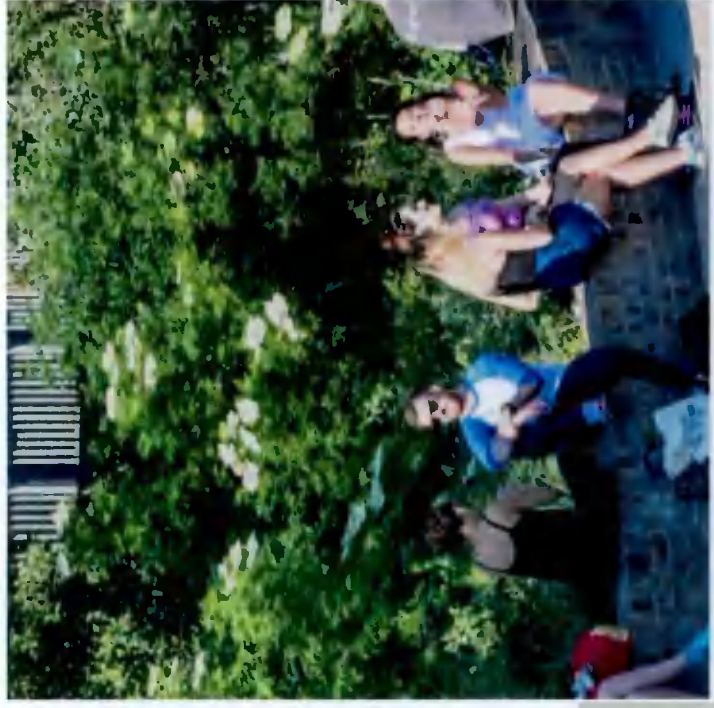
### SOUTH GARDEN

South facing green spaces is an inviting place to stay and interact for visitors and residents of Block G. The space is sheltered with planting and hedge from Adamstown Station road, however it is also visible and well connected to the main pedestrian and cycling networks.

The south garden is well overlooked from the podium level and apartments that creates passive surveillance.

The garden includes dedicated play equipment for children, seating and a possible space for surface water attenuation.

This green space will act as the main gateway into the scheme from Station Road (the bus stop and train station).

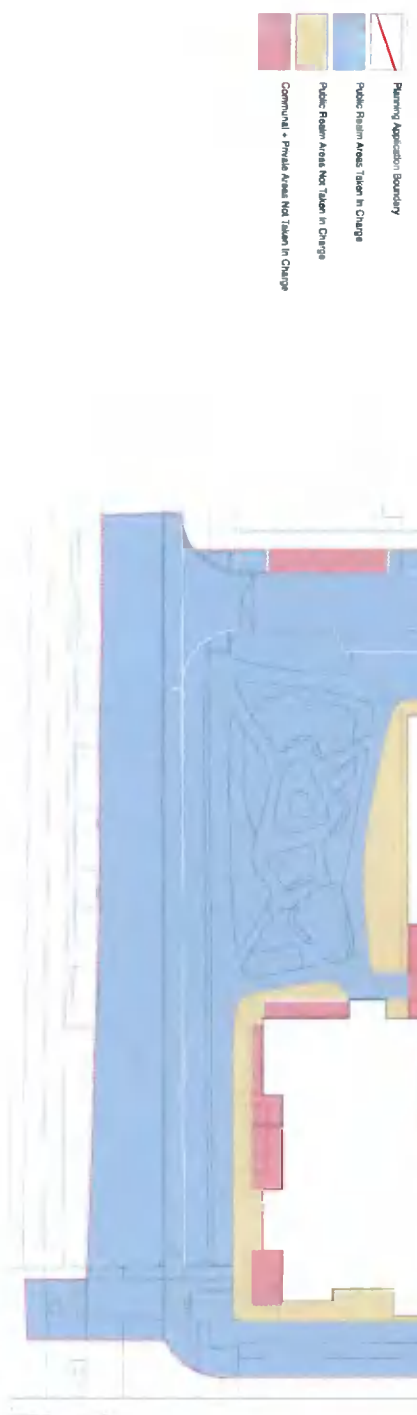




# MANAGEMENT PRINCIPLES

## Taken In Charge

The areas proposed to be taken in charge include the Adamstown Avenue, Station Avenue, Adamstown Park Road, Local Street and green spaces to the north and south of Block G. These areas have been selected to ensure they are contiguous, to assist the City Council in their management, and prevent any island areas which could cause access issues.



## Management and Maintenance

Careful consideration has been given to who will be responsible for the maintenance and management of all external spaces. The adjacent diagram differentiates each of the different managers involved.

The principal pedestrian and vehicle traffic corridors is proposed to be maintained by local council and designed to minimise the maintenance burden by using materials that are hardwearing and easy to replace.

A selected management company is responsible for upkeep and maintenance of green defensible space adjacent to the residential block. There should be appropriate financial provision for future maintenance and revenue costs.

