

# Sally Park Nursing home, Sally Park, Tallaght, Co. Dublin.

## Conservation Statement:

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**1.0 Introduction:**

**Conservation Report:**

The purpose of this report is to assess the Existing structure and implications for the site of the interventions proposed in the proposed extension of the Sally Park Nursing Home, Sally Park, Tallaght, Co. Dublin, and associated site works.

Design Forum Conservation were engaged to provide initial Conservation support for the planning application, and subsequently support in the detailed development of the project.

A Conservation 'Historical record' has been previously submitted and the outline is summarised here.

A photographic record of the areas accessible and impacted in May 2019. The report outlines recommendations made by Design Forum Conservation, in the development of this latest proposal, and implications of the planned works.

## 2.0 Background

### 2.1 Summery historical context for Sally Park House.

The existing building is a Protected Structure under the SDCC Development Plan 2016-2022 and scheduled for inclusion in the next RMP, with parts of the building dating from the early-mid 18th century.

Sally Park, Firhouse Road, has been operating as a nursing home by the building owner, Oakland's Nursing Homes Ltd., since 1988. The principal catalyst for the proposed development is the requirement to implement and comply with recent legislation. (Care and Welfare of Residents in Designated Centres for Older People) Regulations 2009. The Health information and Quality Authority (HIQA) developed the National Quality Standards for Residential Care Settings for Older People in Ireland and maintain a register of each residential care setting in Ireland, which are monitored by inspection- The existing building configuration at Sally Park has resulted in some bedrooms in the older sections of the building not being of adequate size.

This historical background has been prepared principally on cartographic research and secondary information sources, to which the information gathered by the visual inspection of the current building has been added.

Historically, the local area formed part of the Rectory of Tymothan, the lands of which were annexed on the dissolution of the monasteries in the mid 16th century. These lands were amalgamated into the Manor of Rathfarnham in circa 1550. The lands were later relinquished to Sir James Loftus, it was Sir Adam Loftus, Archbishop of Dublin who built the current Rathfarnham Castle in circa 1585.

The Survey of Tallaght of 1654 (fig 1.) was drawn up to depict the lands of the Archbishop of Dublin. The map indicated below is orientated with east to head of the page. The Dodder River is indicated, as are lands identified by '2' recorded as 'rough furie pasture', possibly influencing the current name Firhouse. The 'highway from Killarney to Dublin'



Roque's Map of Dublin County of 1760 is the first cartographic evidence of Sally Park (fig. 2). This map indicates Killinenny to the west, next Moor House then the Fur Houle is indicated. Based on the configuration of the river and the road, Sally Park is possibly the 'L-shaped' dwelling immediately to the right of the wording 'the fur houle'.



Fig. 2: Roque's Map of County Dublin, 1760



The lands leased by the Earl of Clanwilliam changed hands numerous times in the mid-late 18th century. In 1784, the holding was described as 'the house garden, offices and three park's, the lands of "Sally Pa\*" with the two cabins fronting the road and containing about 1 acres adjoining the yard wall, late in the possession of the Earl of Clanwilliam.

Sally Park was purchased by Matthew Handcock in 1796. In 1799, Handcock purchased further lands in Knocklyon. It is the Handcock family who were responsible for the extensive development of the house, gardens and lands of Sally Park. Matthew Handcock was Deputy Muster Master General of his Majesty's Forces in Ireland. He married Margaret Butler in 1778, by whom he had fourteen children He died in 1824, leaving the house to William Elias Handcock.

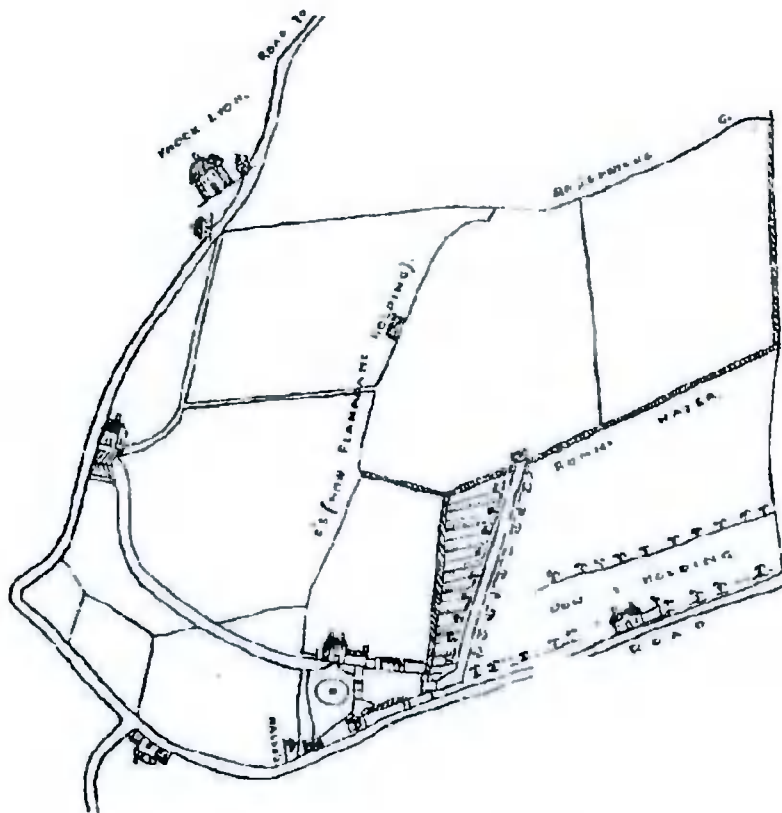


Fig.3: Map indicating lands purchased by Matthew Handcock, 1796, appended to Cullen family notes. Sally Park is in the bottom centre, with its gate lodge to the left. North is to the bottom.

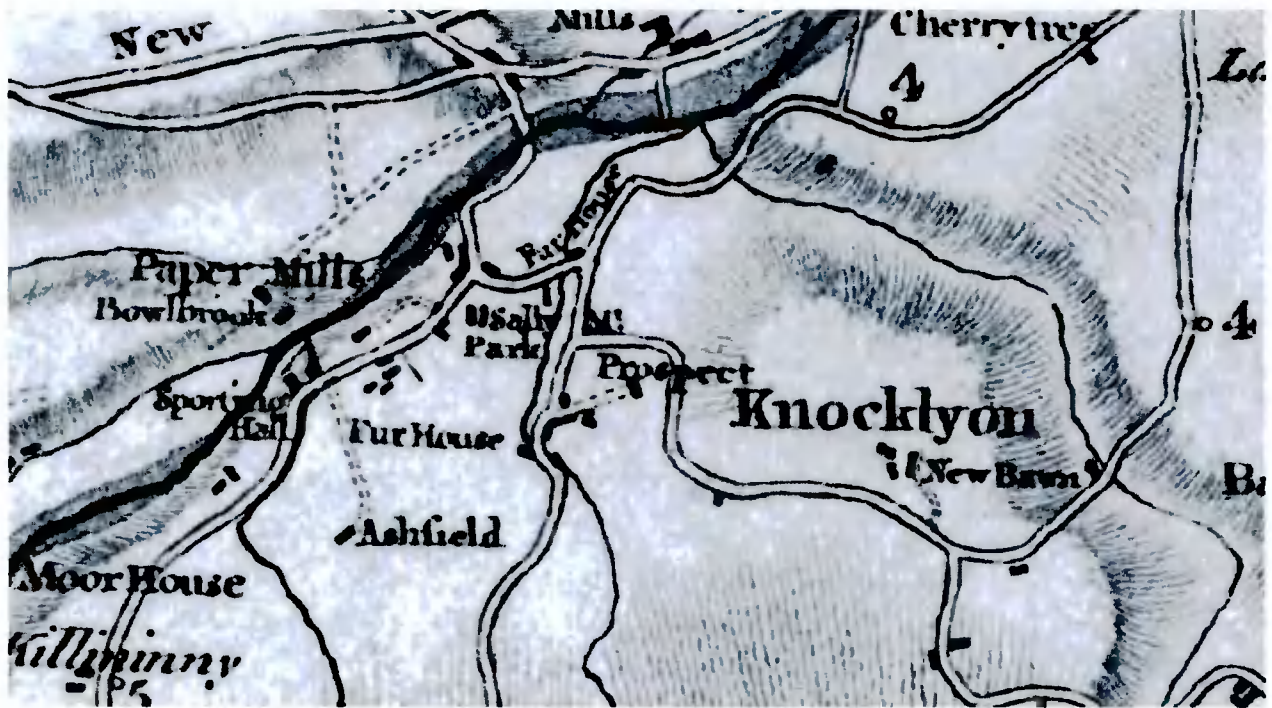


Fig.4: Taylors 1816 Map, in which Sally Park is named.

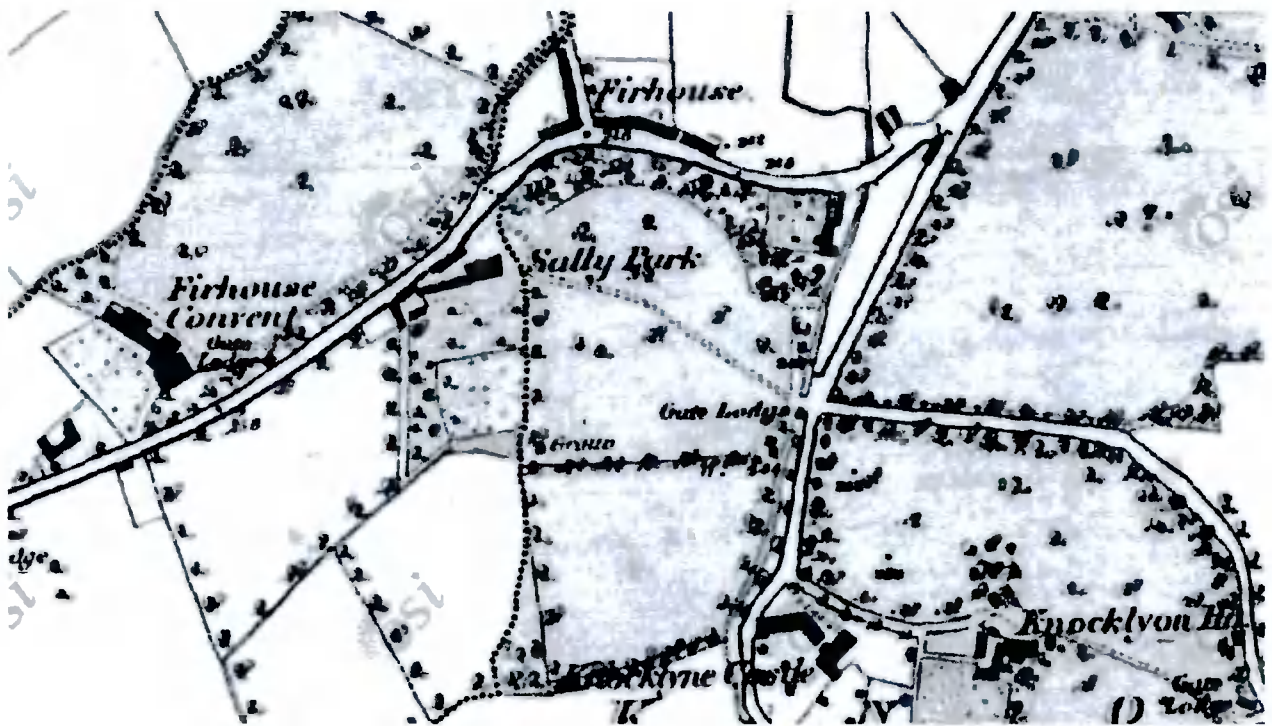


Fig.5: OS Map 1843, with Sally park and gate lodge, avenue, out buildings and gardens indicated.



William Domville Hancock (1830-1887), grandson of Matthew, wrote of Sally Park in 'History of Tallaght'. He noted of the house that...*'apparently about half of it was first built and occupied...the other half was subsequently added, thus making it square'*.

Sally Park faced onto Firhouse Road when purchased by Mathew Handcock in 1796 (fig. 3). The house was two storey with a hall door in the centre. The passage to the rear of the kitchen was then open, suggesting that the ancillary rooms and buildings behind were single storey. The current hall door was a window, suggesting that the east range was extended. The orientation of the house was reversed to the south, with a new driveway and gatehouse. It is assumed that as the original house was subsumed into this redevelopment, it was at this time that the third storey and the entrance portico were added. The gatehouse is said to be complete by 1808, which suggests all main redevelopment was complete by that date. Extensive gardens, woodland planting and ancillary outbuildings completed the development resulting in a substantial country residence.

Sally Park was purchased by the architect T.J.Cullen in circa. 1938. His survey plans of 1938 provide a valuable document in interpreting how the building had developed to that stage, and against which subsequent development within the original building can be assessed. The house was then three stories. Different wall thicknesses and floor levels suggest varying construction eras, the kitchen and rear hall possibly retained from the earlier house. Review of the current ground floor plan in comparison with Cullen's survey plan notes the principal subsequent development within the original building as the integration of early storerooms and pan of the passage to provide another reception room with a large Wyatt window to the south. Toilets have been added, and the harness room used as a boiler room and an additional window has been provided, assumedly in connection with the building use as a nursing home.

Conversely, the character of the surrounding area at Sally Park, has changed irrevocably since the 1960's.

Fig. 6 and 7 illustrate the rural surroundings of the building and its relationship to this natural, yet man-made landscape. The building is now surrounded by suburban housing developments. The realignment and widening of the Firhouse Road has also contributed to this change in character.



Fig.5 Ground Floor Plan, drawn by author based on survey drawings prepared by T.J. Cullen dated September, 1938

The recent developments to the building in relation to its use as a nursing home have primarily been extensions to the original building. A single storey bedroom block extension was built to the east, ancillary stores to west, with a lift shaft and service areas to the north, now bounded in close proximity by the roadway.

Historian Handcock's family, this pleasingly proportioned house preserves a pair of Wyatt windows and fine porch. Nearby Georgian buildings have been demolished at Firhouse and Prospect House, making Sally Park's retention amid road building schemes especially important.

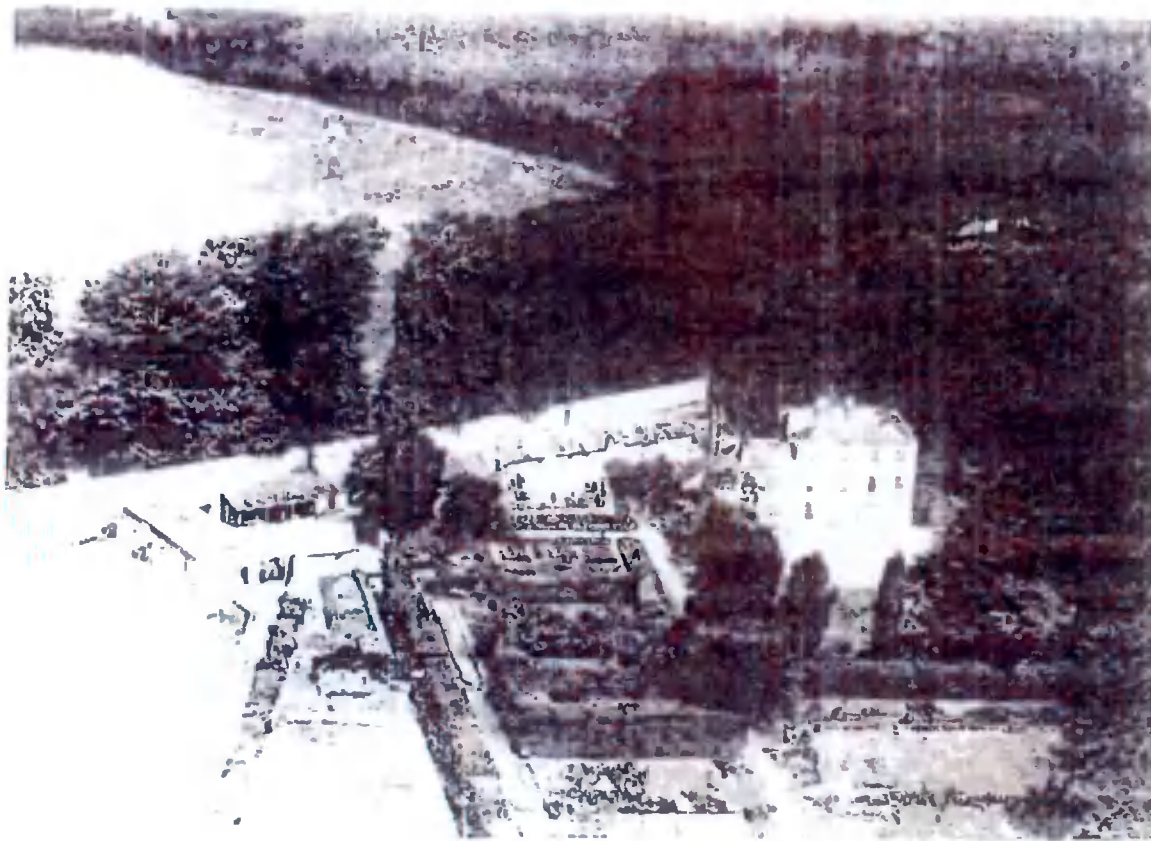


Fig. 6. Aerial Photograph of Sally Park, dated 1961 .

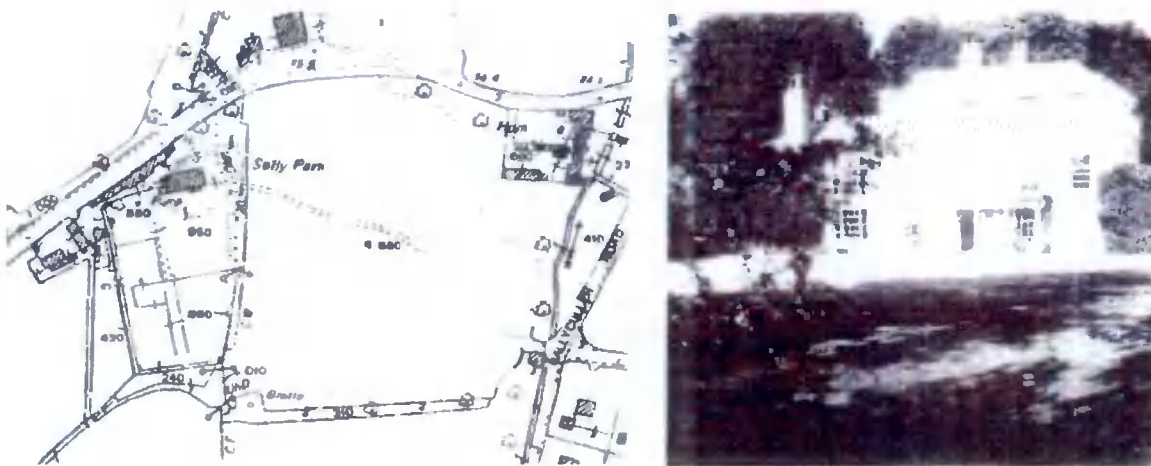


Fig-7 LEFT: Ordnance Survey Map, (revised 1968) RIGHT Photograph of south facade, date unknown.

2.3 Conservation Status and Related Regulations

The building is a Protected Structure RPS No. 285 on the Record of Protected Structures of South Dublin County Council Development Plan 2010-2016, as House and Gateway, Sally Park, Ballycullen Road, Templeogue. The National inventory of Architectural Heritage (NIAH) records Sally Park as of regional importance.

**Sally Park, Sally Park Close, Ballycullen Road, Dublin, South Dublin County**

**11215010**



<b>Reg. No.</b>	11215010
<b>Date</b>	1760 - 1780
<b>Previous Name</b>	N/A
<b>Townland</b>	TYMON SOUTH
<b>County</b>	South Dublin County
<b>Coordinates</b>	51.290, 22.7406
<b>Categories of Special Interest</b>	ARCHITECTURAL HISTORICAL
<b>Rating</b>	Regional
<b>Original Use</b>	country house
<b>In Use As</b>	nursing/convalescence home

**Description**

Detached four-bay three-storey Georgian country house, c.1770 now in use as a nursing home. Granite tetrastyle Doric entrance portico with offset double-leaf glazed timber door. Ground floor windows low sills, timber sashes. Upper floors mix of uPVC casement and timber sashes. Ground floor rendered below first floor sill course. Hipped slate roof with parapet. Two-storey wing to west with single Wyatt window on each floor. Seven-bay single-storey wing to east. West elevation has brick chimney stack flanked by lancet windows. North façade has modern stair tower. Grounds to north curtailed by concrete retaining wall due to road widening.

**Appraisal**

Formerly home of nobility and local historian Hancock's family, this pleasingly proportioned house preserves a pair of Wyatt windows and fine porch. Nearby Georgian buildings have been demolished at Firhouse and Prospect House, making Sally Park's retention amid road building schemes especially important.

- NIAH register 11215010

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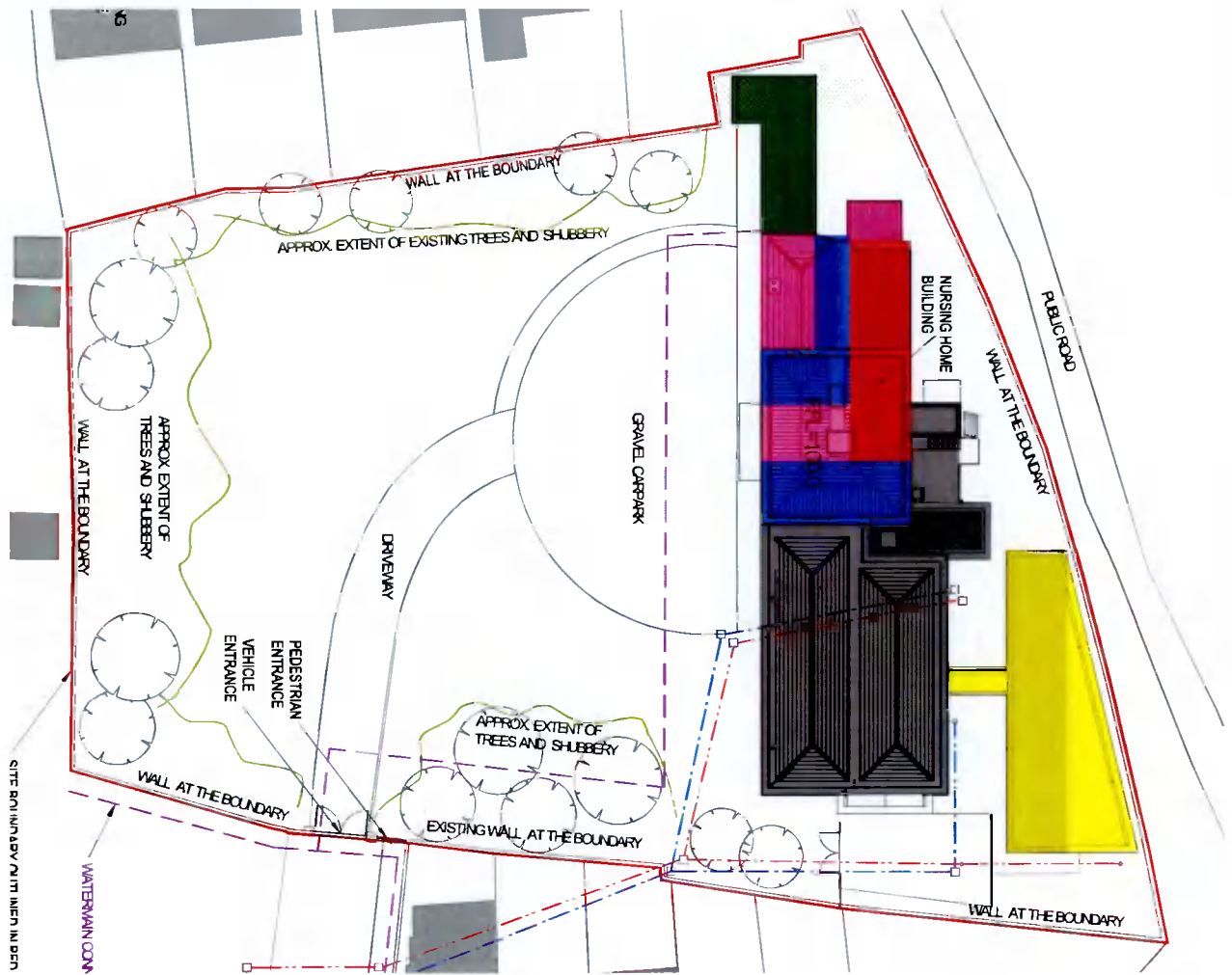
**Class:** House - 18th/19th century

**Townland:** TYMON SOUTH

**Scheduled for inclusion in the next revision of the RMP:** Yes  
**Description:** We regret that we are unable to supply descriptive details for this record at present.

- RMP registration.





- Original house footprint. C. Mid 18th century.
- Redevelopment by Matthew Handcock. C. 1796-1808
- Possible Early buildings incorporated by Matthew Handcock.
- Recent development late 20th century.
- 2005 Extension.

Fig- 8 Site plan indicating possible historic development sequence.

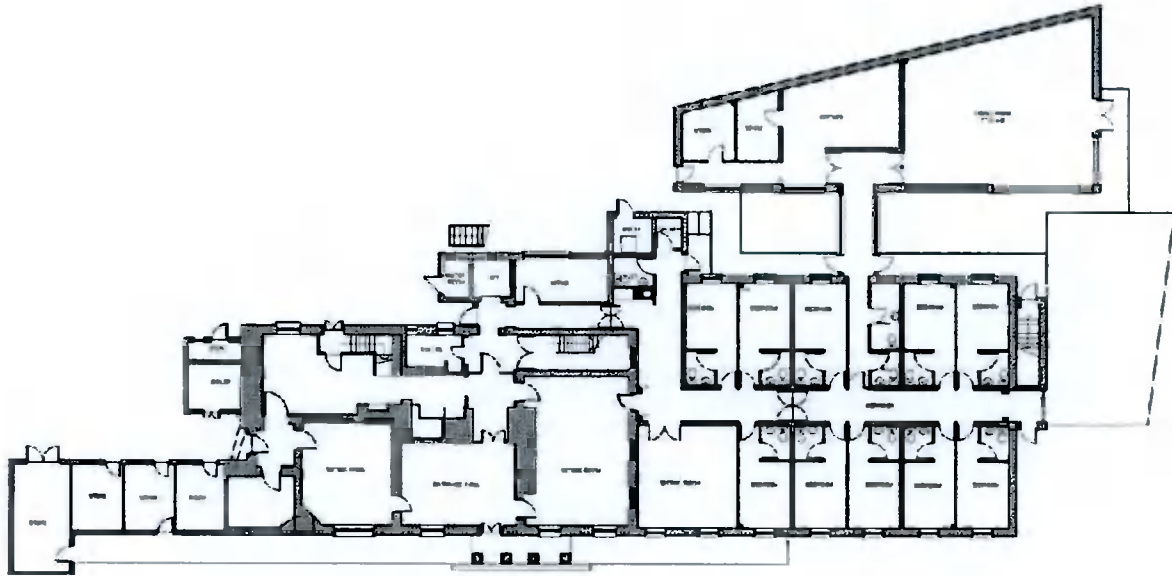


Fig- 9 Existing building ground floor plan.

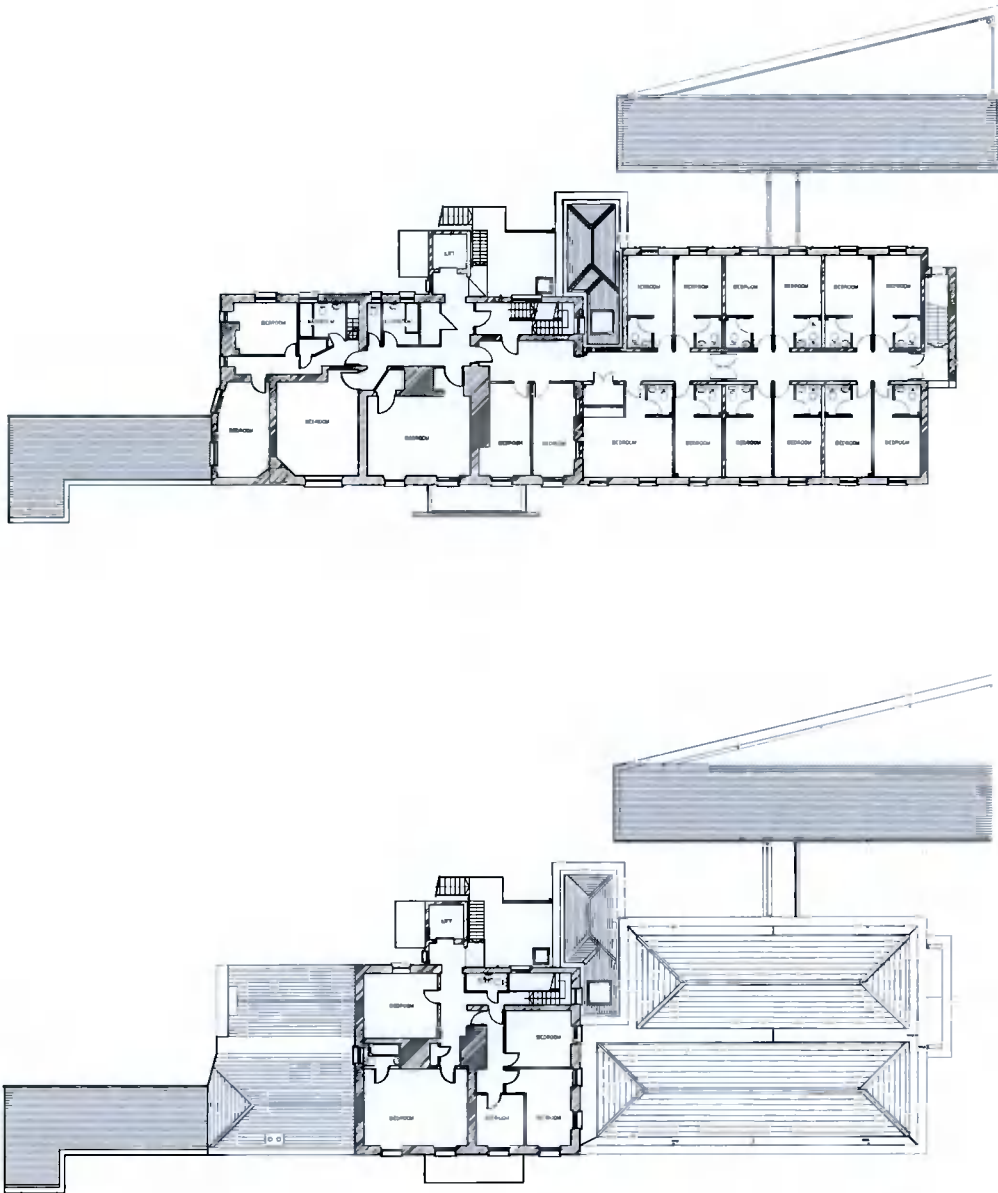


Fig- 10 Existing building first and second floor plans.

**3.0 Development proposal and Conservation strategy****3.1 Proposed Development**

After the refusal by An Bord Pleanála in 2020, of the previous proposals for the site this modified proposal without development to the front of the house, is now presented.

The existing protected structure is a three storey detached Georgian country house comprising a primary 4 bay central core with two wings, a longer more recent 7 bay wing to the East and a short single bay wing to the West

The revised, proposed extension is built to either side, and to the rear of the original house. The new building is predominantly a two storey extension with single storey in places to address neighbour/ boundary concerns.

The internal alterations are limited to a few rooms in the existing building. The ceilings follow the line of the eaves, and have no decorative plasterwork. All floors are covered in modern carpet finish. Walls are assumed to be original lime render to the masonry walls and the internal partitions to be modern.

The modified position of the extension was determined by analysis of several proposals visual and physical impact on the existing Protected Structure. This partnered with analysis of the sites particular limitations of access and light, and a reflection of the decision previously by ABP and the wish to minimise impact on the gardens.

The existing structure is enveloped with high walls and vegetation on each side (as approached from the entrance), and a large retaining wall and road to the rear. The main viewing position where the main façade of the building becomes available is the existing gates at the vehicular access.





Fig. 11: Sally park house.



Fig. 12: Sally park house approach from entrance.



Fig. 15 & 16 of the front detail for the original house and later right wing.



Fig. 13 & 14 Outdoor seating area to front of house.



3.2 New building relationship with Protected Structure

The approach before was to build the main addition to the property to the garden/ front side and efforts were being made to minimise impact on the property. This proposal seeks to fit as much as possible of the essential additional required accommodation to the sides and rear of the structure. There are three extension areas:

Left, right and rear of the main house. The rear addition will be concealed for the most part by the house itself and the flanking wings will have a significant cover of existing vegetation minimising its impact.

The proposal is for the new additions to be contemporary and clearly new additions to the existing structures. The detail allows for some separation between the new and the old and respects the original form of the building itself.



Fig 17. Proposed new site plan.



The main links to the existing building are principally through existing opes. More review of the detail can be carried out in due course, once Covid restrictions lift.



Fig 22. Proposed ground floor plan outlining extensions.

3.4 Elevation Treatment:

The proposed extension in materials/ design and form is clearly distinguishable from the original as recommended in Article 12 of the INTERNATIONAL CHARTER FOR THE CONSERVATION AND RESTORATION OF MONUMENTS AND SITES (THE VENICE CHARTER 1964)

*'Article 11. The valid contributions of all periods to the building of a monument must be respected, since unity of style is not the aim of a restoration. When a building includes the superimposed work of different periods, the revealing of the underlying state can only be justified in exceptional circumstances and when what is removed is of little interest and the material which is brought to light is of great historical, archaeological or aesthetic value, and its state of preservation good enough to justify the action. Evaluation of the importance of the elements involved and the decision as to what may be destroyed cannot rest solely on the individual in charge of the work.*

*Article 12. Replacements of missing parts must integrate harmoniously with the whole, but at the same time must be distinguishable from the original so that restoration does not falsify the artistic or historic evidence.*

*Article 13. Additions cannot be allowed except in so far as they do not detract from the interesting parts of the building, its traditional setting, the balance of its composition and its relation with its surroundings.'*

Contemporary material as proposed in cladding will enhance the setting and will not detract from the existing building, with its texture and detail.

## 3.5 Landscaping.

The existing grounds of Sally park have been so significantly compromised over the years that little remains of the original 'Cartilage' of Sally Park.

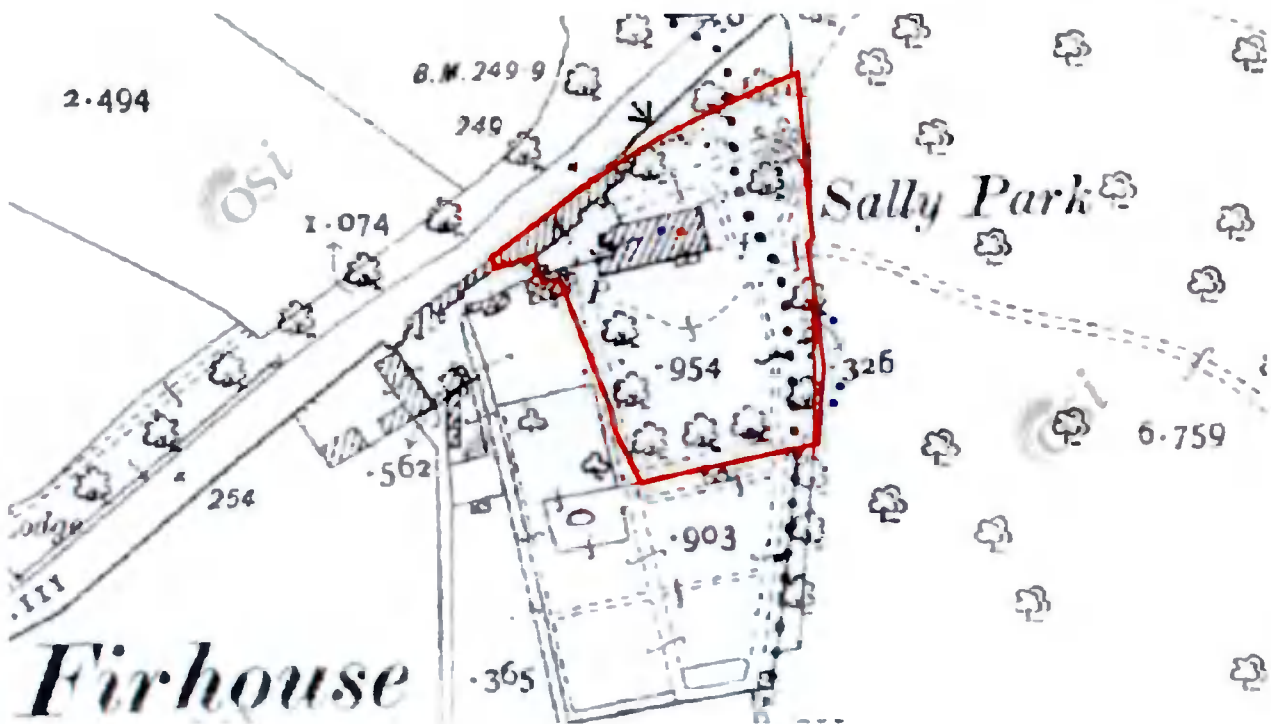


Fig.23 Sally Park House and its current boundary overlaid on the 1888 Ordnance survey map.

This extract from the 1888 OS map gives some indication of the garden and grounds that would have once surrounded Sally Park House. What remains inside the site boundary, is the original lawn in front of the house.

Any original boundary walls have been lost and replaced with block work or fencing in parts to the South East and West, with a mass concrete retaining wall constructed to the North as part of the road widening scheme behind

The site boundary is all new and build almost entirely in blockwork or more recent mass concrete to the Road side: Refer Design Forum Conservation - boundary report.

A few details remain and will need to be incorporated in a more integrated way in the landscape proposal in due course. These elements will not leave the site.

An old wrought Iron garden gate and stone piers is a little lost in the over growth to the left of the entrance to the garden.



Fig.24,25 & 26 Features of interest in the garden. Some wrought Iron and some cast.



In the area opposite the front door there is a small cast Iron water pump on a pedestal and a trough in front. These too will be protected and relocated within the new garden layouts.



Fig.27 & 28 Features of interest in the garden. Cast Iron water pump and stone trough and pedestal.

3.6 Interventions and Analysis of Impacts:

**Western Gable extension:**

The areas to the Western end of the building being extended are in the rear service yard, and require removal of the recent lean-to single story structure seen below, and the lean -to structure against the existing building gable.



Fig 29 & 30. Rear yard existing to West.



The extension in this area is not too visible from the front of the building and fills an under-utilised unattractive end of the site. The impact from a conservation point of view would be minimal, although two windows will be removed for the connecting building and a new ope created in the original window ope at upper level, and one window closed up.

The roof is flat, and cladding in timber will differentiating colour to separate the original and the new. A 'meeting' detail will be developed to connect new and old in a sympathetic manner.



Fig.31 Rear yard, where Western extension is to be built.



Fig.30 &31 Sally Park boundary.



Fig.32 Rear of Sally park House



Fig.33 & 34 Rear of house





Fig 35. Eastern end of site.

**Internal works within the existing house:****Best conservation practice:**

- The new internal walls will be formed in lightweight plasterboard and timber studs, which can be considered reversible. All partitions will follow the line of the ceiling and eaves, abutting the ceiling rather than penetrating it.
- Where existing early panel door are to be taken down, they will be reused where possible within the building. Any door linings and the architraves will be retained in their current position if a door is being removed, or re-used within the building if needed to be relocated.
- The new partitions shall have skirting's to match the size and profile of those existing in the room. The new partitions shall have a picture rail, skirting's to match the size and profile of those existing in the rooms.
- Any requirement for additional lighting will be cabled in the attic space. New electrical power points and light switch will limited to new partitions rather than historic walls, where possible.
- Where existing walls are being repaired or modified, lime mortars and solid masonry repairs will be carried out.
- The basic principle of reversibility will apply where practical throughout.

**Strategy for Monitoring**

It is proposed that all works to the building will be carried out under the professional guidance of a Conservation Consultant in accordance with the Department of the Arts, Heritage & Gaeltacht Guidelines and in accordance with Best Conservation Practice to ensure that the integrity of the protected Structure is maintained and that all works are carried out in accordance with best conservation practice.

The landscape works will be carried out under the professional supervision of a professional landscape architect and Arborist/ horticulturalist.

**Recording the building and the works:**

An initial photographic record has been taken and is available. Prior to the commencement of works and again after site investigations and opening up, a record will be made of the existing building conditions particularly in the areas of intervention, with details of all impacts recorded.

At stages to be agreed throughout the works a record of interventions and information uncovered will be maintained.

Proposed front and rear elevations:

The minimalistic treatment for the new elevations provides appropriate contrast to the existing front elevation. The rear is of less importance with the minimal visibility from rear, and main road at lower level. The same contemporary approach is adopted to rear.



Fig 18&19. Proposed new front and rear elevations.

Similarly to East and West, the extensions step down towards adjoining neighbouring properties.



○ EAST ELEVATION  
SCALE = 1:200



○ WEST ELEVATION  
SCALE = 1:200

Fig 20 & 21. Proposed new East and West elevations.