

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

### PR/1063/21

**Reg. Reference:** SD21B/0346      **Application Date:** 15-Jun-2021  
**Submission Type:** New Application      **Registration Date:** 15-Jun-2021

**Correspondence Name and Address:** Mark Monaghan, Marchitecture 97A, Killarney Heights, Bray, Co. Wicklow

**Proposed Development:** Rooflight to the rear slope of existing roof; demolition of existing shed; two storey extension with flat roof and parapet to the rear; internal alterations; new garden shed and ancillary site works.

**Location:** 8, Sarsfield Terrace, Lucan, Co. Dublin

**Applicant Name:** Siobhan McCrea

**Application Type:** Permission

(SW)

### Description of Site and Surroundings:

Site Area: stated as 0.01 Hectares.

### Site Description:

The site contains a two-storey terraced residential dwelling Main Street, Lucan. The property is a protected structure – RPS056 - Victorian Style House Terrace. Nos 2, 3, 4, 5, 7, 8, 9 and 10 are also listed.

The row of terrace properties is the only residential element of an area that is otherwise retail/commercial. An area of open space, leading to the Liffey, lies to the front of the property. There is a yard/parking area to the rear of the properties, which is situated at a higher level.

### Proposal:

The proposal consists of the following:

- **Rooflight to the rear slope of existing roof;**
- **demolition of existing shed;**
- **two storey extension with flat roof and parapet to the rear;**
- **internal alterations;**
- **new garden shed and ancillary site works.**

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

### Zoning:

The subject site is subject to zoning objective VC - 'To protect, improve and provide for the future development of Village Centres' in the South Dublin County Development plan 2016-2022.

### Consultations:

Irish Water – No objection, subject to conditions.

Surface Water Drainage – No objection, subject to conditions.

Conservation - No comments received.

### SEA Sensitivity:

Protected structure 056

Architectural conservation area.

Record of monuments and places 017-019

Area of archaeological potential

SFRA B

### Submissions/Observations /Representations

None.

### Relevant Planning History

*Application Site:*

None.

*Adjacent Sites:*

ED17/0042 5, Sarsfield Terrace, Main Street, Lucan, Dublin **Declared not exempt**

SD17A/0396 Change of use from commercial to single residential house (a Protected Structure).

**Permission Granted**

SD16B/0078 Demolition of existing single storey extension to the rear; construction of a part single, part 2 storey extension to the rear; all associated internal alterations of the existing house including repair and/or replacement of timber sash windows to the front elevation and site works (a Protected Structure). **Permission Granted**

SD13B/0127 Alterations, first floor bay window extension and single storey extension to rear. (A Protected Structure). **Permission Granted**

SD08A/0071 Subdivision and change of use of the existing ground floor snooker hall into three units intended for shop use or uses for the provision of services provided principally to visiting members of the public but excluding use as a betting office, two units for storage use and one unit as a private snooker practice room, accessible from the rear car park. The development includes

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

new stepped access arrangements from the public footpath, with associated changes to elevations including shopfronts, wall finishes, first floor windows and roof. **Permission Granted**

SD06B/0313 A Protected Structure. Demolition & rebuilding of existing single storey rear extension; the aluminium windows front and rear to be replaced with timber sash type windows and a conservation fixed roof light and shower room vent to be fitted to the rear roof slope; internally the line of the existing stairs to be altered and a new shower room to be constructed on the top landing **Permission Granted**

### **Relevant Enforcement History**

None traced.

### **Pre-Planning Consultation**

None.

### **Relevant Policy in South Dublin County Council Development Plan 2016 - 2022**

*Policy H13 Private and Semi-Private Open Space*

*Policy H15 Privacy and Security*

*Section 2.4.0: Residential Consolidation – Infill, Backland, Subdivision & Corner Sites*

*Policy H18 Residential Extensions*

- *It is the policy of the Council to support the extension of existing dwellings subject to the protection of residential and visual amenities.*

*Policy H18 Objective 2:*

- *To favourably consider proposals to extend existing dwellings subject to the protection of residential and visual amenities and compliance with the standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 (or any superseding guidelines).*

*Policy UC3 Village Centres It is the policy of the Council to strengthen the traditional villages of the County by improving the public realm, sustainable transport linkages, commercial viability and promoting tourism and heritage value.*

*UC3 Objective 1: To protect and conserve the special character of the historic core of the traditional villages and ensure that a full understanding of the archaeological, architectural, urban design and landscape heritage of the villages informs the design approach to new development and renewal, in particular in Architectural Conservation Areas (ACAs).*

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

*UC3 Objective 2: To promote design standards and densities in traditional village centres, that are informed by the surrounding village and historic context and enhance the specific characteristics of each town or village in terms of design, scale and external finishes.*

*Policy HCL2 Archaeological Heritage It is the policy of the Council to manage development in a manner that protects and conserves the Archaeological Heritage of the County and avoids adverse impacts on sites, monuments, features or objects of significant historical or archaeological interest.*

### *HCL Policy 3 Protected Structures*

#### *HCL3 Objective 2:*

*To ensure that all development proposals that affect a Protected Structure and its setting including proposals to extend, alter or refurbish any Protected Structure are sympathetic to its special character and integrity and are appropriate in terms of architectural treatment, character, scale and form. All such proposals shall be consistent with the Architectural Heritage Guidelines for Planning Authorities, DAHG (2011) including the principles of conservation.*

*Policy HCL4 Architectural Conservation Areas HCL4 Objective 2: To ensure that new development, including infill development, extensions and renovation works within or adjacent to an Architectural Conservation Area (ACA) preserves or enhances the special character and visual setting of the ACA including vistas, streetscapes and roofscapes.*

*HCL4 Objective 3: To address dereliction and promote appropriate and sensitive reuse and rehabilitation of buildings, building features and sites within Architectural Conservation Areas.*

*HCL4 Objective 4: To reduce and prevent visual and urban clutter within Architectural Conservation Areas including, where appropriate, traffic management structures, utility structures and all signage.*

### *Section 11.2.7 Building Height*

#### *Section 11.3.1 Residential*

##### *Section 11.3.1 (iv) Dwelling Standards*

##### *Table 11.20: Minimum Space Standards for Houses*

##### *Section 11.3.1 (v) Privacy*

##### *Section 11.3.3 (I) Extensions*

### *Section 11.7.2 Energy Performance in New Buildings*

### *Section 11.8.2 Appropriate Assessment*

## **South Dublin County Council House Extension Design Guide (2010)**

The House Extension design guide contains the following guidance on house extensions, including for front, side and rear extensions, and attic conversions and dormer windows:

Elements of Good Extension Design:

- *Respect the appearance and character of the house and local area;*

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

- *Provide comfortable internal space and useful outside space;*
- *Do not overlook, overshadow or have an overbearing affect on properties next door;*
- *Consider the type of extension that is appropriate and how to integrate it; and*
- *Incorporate energy efficient measures where possible.*

Rear extensions:

- *Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise.*
- *Match the shape and slope of the roof of the existing house, although flat roofed single storey extensions may be acceptable if not prominent from a nearby public road or area.*
- *Make sure enough rear garden is retained*
- *Do not create a higher ridge level than the roof of the main house.*
- *The roofline of large extensions to the rear of single storey bungalows should not be visible from public view to the front or to the side of the bungalow.*

### **Relevant Government Guidelines**

*Project Ireland 2040 National Planning Framework*, Government of Ireland, 2018.

*Regional, Spatial & Economic Strategy 2019 - 2031*, Eastern & Midlands Regional Assembly, 2019.

*Sustainable Residential Development in Urban Areas: Guidelines for Planning Authorities*, Department of the Environment, Heritage and Local Government (2009).

*Urban Design Manual: A Best Practice Guide*, A Companion Document to the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas, Department of the Environment, Heritage and Local Government (2009).

*Quality Housing for Sustainable Communities-Best Practice Guidelines*, Department of the Environment, Heritage and Local Government, (2007).

### **Assessment**

The main issues for consideration are:

- Zoning and Council policy;
- Residential and Visual amenity;
- Architectural conservation;
- Archaeology;
- Services and drainage.

### ***Zoning and Council Policy***

The site is located in an area which is zoned 'VC' '*To protect, improve and provide for the future development of Village Centres*'

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

The proposed development is permitted in principle, subject to the compliance with the relevant plans and policies of the South Dublin County Development Plan 2016 – 2022 and the House Extension Design Guide.

### ***Residential & Visual Amenity***

The proposed development consists of a two storey rear extension, rooflight, removal of existing shed and provision of new shed.

### Two Storey Extension

The dwelling is mid terrace, with properties immediately adjoining to the north and south. The gardens are at an angle – the rear elevation indicates that the extension would sit behind the property to the north. It is apparent that the property to the south has been extended previously.

The House Extension Design Guide states:

*“Prevent significant loss of daylight to the window of the closest habitable room in a neighbouring property, by not locating an extension within the  $e 45^\circ$  angle of the centre point at 2m above ground level of the nearest main window or glazed door to a habitable room, measured on both plan and elevation.*

*If the extension has a pitched roof then the top of the extension can be taken as the height of its roof halfway along the slope”.*

The two storey extension is 5.92m to parapet which is slightly higher than the extension of the adjacent dwelling. This is below the ridge of the existing dwelling. It is not apparent from the information submitted that there would be significant impacts on the property to the south, due to its location and the existing extension. However, given the orientation of the buildings and the length of the extension, there is concern about the property to the north, in terms of loss of light / overshadowing and overbearing. The applicant is requested to address this matter via additional information. If the applicant cannot demonstrate the proposal is acceptable in its current form, then the proposal should be redesigned/projection reduced at first floor.

Whilst located to the rear, the extension would be visible due to the access to the rear of the properties. It is apparent that there are extensions to the rear at present, however, the majority of these are single storey. A flat roof structure would be prominent in this location and the design of the proposal should undergo further consultation with the Architectural Conservation Officer.

In terms of amenity, following the extension, circa 22m of garden space would remain, which would be acceptable, however, it is also proposed to add a further shed and reduce the area. This is not considered to be acceptable. The applicant is requested to increase the provision of amenity space by either removing the proposed shed or reducing the footprint of the extension. This should be addressed via **additional information**.

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

The extension would contain a bedroom (measuring c 12sq.m and a width of 3.2 x 2.8). This is in accordance with the relevant guidelines. The living room width would measure 3.2m x 2.5m at its narrowest. This is below the recommended width of 3.6m for 2-bed dwellings, however, it is apparent that the ground floor would be open plan and there may be some scope to relax this standard. The applicant should provide details of the overall living area width via **additional information**.

### Shed

No details of the shed have been provided, other than the location on the layout plan. Elevations/floorplans for the shed should be provided via additional information.

### Rooflight

The rooflight would be located on the rear slope. There are no concerns from a visual or residential amenity point of view, however, the matter should be discussed further with the Architectural Conservation Officer.

### *Architectural Conservation*

It is noted that a conservation report has been provided. There are concerns regarding the overall impact of the proposal in terms of residential and visual amenity. The applicant is requested to discuss revised proposals with the Architectural Conservation Officer prior to the submission of the application. It should be noted that the applicant may be required to submit a further Architectural Impact Assessment and Method Statement as **additional information**.

### *Archaeology*

The proposed development would involve an extension to the rear of the existing dwelling. Overlap was identified with Areas of Archaeological Potential; Record of Monuments and Places DU 017-019 (Lucan). In accordance with *Policy HCL2 Archaeological Heritage* "It is the policy of the Council to manage development in a manner that protects and conserves the Archaeological Heritage of the County and avoids adverse impacts on sites, monuments, features or objects of significant historical or archaeological interest".

It is considered that standard conditions relating to archaeology be attached, in the event that permission is granted.

### *Services & Drainage*

No objections have been raised by Water Services or Irish Water, subject to conditions.

### *Appropriate Assessment*

Having regard to the scale and nature of the development proposed and the distance from Natura sites, it is considered that the development would not be likely to have a significant effect individually or in combination with other plans or projects on a European site, therefore Stage 2 Appropriate Assessment is not required.

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

### *Environmental Impact Assessment*

Having regard to the modest nature of the proposed development, and the distance of the site from nearby sensitive receptors, there is no real likelihood of significant effects on the environment arising from the proposed development. The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination is not required.

### **Other Considerations**

#### *Development Contributions*

- Residential extension – 29.5sq.m
- Shed (non-habitable) 3.5sq.m

#### *SEA Monitoring Information*

**Building Use Type Proposed** Residential extension

**Floor Area (sq.m)** 33sq.m

**Land Type** Brownfield/Urban Consolidation

**Site Area (Ha.)** 0.01ha

### **Conclusion**

Having regard to the provisions of the South Dublin County Council Development Plan 2016-2022 and relevant guidelines, there are some concerns regarding the impacts of the proposed development and the applicant is requested to address this via additional information.

### **Recommendation**

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:

1. The Planning Authority has concerns regarding the impact of the two storey rear extension on the amenity of the adjoining properties. The property is situated mid terrace in a plot with an irregular shape. It is also visually prominent, due to the rear access. No details of the shed have been provided and it is unclear whether the living room space provided would function effectively.

In order to address this concern, the applicant is requested to provide the following details and amendments:

- indication of the impacts on the adjoining properties in terms of daylight and overshadowing and, if necessary, revised drawings to address these impacts, in accordance with the SDCC House Extension Design Guide;
- details of the shed;
- details of remaining amenity space;
- details of living space downstairs (including any combined spaces).



# **Comhairle Chontae Atha Cliath Theas**

## **Record of Executive Business and Chief Executive's Order**

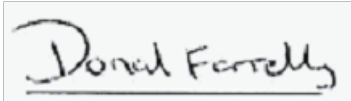
2. The applicant shall liaise with the SDCC Architectural Conservation Officer to agree what works are acceptable, given the property is a Protected Structure, located within an Architectural Conservation Area. It should be noted that the applicant may be required to submit a further Architectural Impact Assessment and Method Statement as a result of this discussion. The applicant is requested to outline, in the additional information submission, the steps taken to address the design on back of the consultation with the ACO.

# Comhairle Chontae Atha Cliath Theas

## Record of Executive Business and Chief Executive's Order

REG. REF. SD21B/0346

LOCATION: 8, Sarsfield Terrace, Lucan, Co. Dublin



**Donal Farrelly,**  
**Senior Executive Planner**

**ORDER:** I direct that **ADDITIONAL INFORMATION** be requested from the applicant as set out in the above report and that notice thereof be served on the applicant.

**Date:** 9/8/21

  
**Eoin Burke, Senior Planner**