



Architectural Heritage Impact Assessment
Proposed Residential Development
Rookwood
Stocking Lane, Ballyboden, Dublin 16.

June 2021

Rev 00

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Contents:

	Page
1.0 Introduction	3
2.0 Heritage Protection Statutory Context	4
3.0 Buildings & Site In Context	6
4.0 Special Heritage Interest Appraisal	16
5.0 Conservation Development Strategy	18
6.0 Development Description	29
7.0 Architectural Heritage Impact Assessment	40

Site Location

01 Introduction

Shaffrey Architects RIAI Grade 1 Conservation Architects have prepared this Architectural Heritage Impact Assessment as part of a planning application submission for development works proposed within the "curtilage" of Rookwood , Stocking Lane, Ballyboden a Protected Structure.

An early nineteenth century Georgian country house originally in a rural setting, its surrounding environs has dramatically changed and the house now sits in landscaped gardens. Although the landscape is not as original, the changes that have occurred to adapt the remaining grounds to the loss of attendants ground and the changes in character of the immediate surrounding area has been successful in creating a sylvan picturesque setting appropriate to the architectural quality of the house and its appreciation.

The development works proposed consists of a residential scheme to provide a gate lodge at the entrance, and two housing clusters within the grounds of the house. A 'Mews' type housing cluster is to be provided to the rear of the house and a "Woodland" housing cluster is to be provided to the front of house.

The final residential scheme design is informed by both the Conservation Development Strategy (Reference chapter 5) and the Tree Constraints Plan. The Conservation Development strategy provided a framework to ensure the appropriate protection, conservation and enhancement of all elements of the historic environment and allow the impact of proposed development on the historic environment and its setting to be assessed.

It sets out through analysis and understanding of the historical development of the site the significance of 'garden landscape ' setting to the house, assess its capacity to absorb change , potential impacts and mitigation to avoid, reduce or compensate for potential adverse impacts, and to enhance positive benefits.



Fig 1. Rookwood - 19th Century Georgian Country House



Fig 2. Rookwood in context

02 Statutory Heritage Protection

General

All development should be assessed on consistency with statutory heritage policies, designations and guidelines.

Ireland has ratified several European and International conventions in relation to the protection of its built heritage. This large body of conservation charters and associated conventions, declarations, documents etc. are an essential framework for good practice in the protection and enhancement of the historic environment.

The legal framework upon which the protection of Architectural Heritage is based stems from UNESCO's "Convention Concerning the Protection of the World Cultural and Natural Heritage" ratified by Ireland in 1991 and the "Granada Convention" ratified by Ireland in 1997. The Granada convention in particular formed the basis for our national commitment to the protection of our architectural heritage. The legislative provisions for protection are contained in Part IV of the Planning and Development Act 2000 (as amended).

The principal means by which the historic urban environment is protected, is set out in the Planning and Development Acts 2000 (as amended) and comprises principally the Record of Protected Structures (Section 51).

The Planning and Development Act 2000 (as amended) requires each planning authority to compile and maintain a Record of Protected Structures (RPS). The RPS is a mechanism for the statutory protection of the architectural heritage. A protected structure is a structure that a local authority includes in its Record of Protected Structures because of its special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social or technical point of view.

The Record of Protected Structures, is part of the Development Plan for the Local Authority's functional area. Each owner and occupier of a protected structure is legally obliged to ensure that the structure is maintained and protected from endangerment.

The building the subject of this development strategy is a designated protected structure.

RPS Reference number 327
 Description: Rockwood, Stocking Lane Rathfarnham
 Two Storey Georgian Style House

Protected Structure and its Curtilage:

The planning legislation gives protection to buildings included in the 'Record of Protected Structures', and the wording of the legislation extended the protection to include its 'Curtilage', the area of ground that is directly connected with the functioning or inhabitation of the structure.

The extent of protection is determined by the extent of the curtilage which may or may not have been defined by the Planning Authority. The only circumstance where the protection can extend beyond the curtilage is where the "attendant grounds" provision is used by the planning authority at the time of inclusion of a structure in the Record of Protected Structures.

The attendant grounds of a structure are lands outside the curtilage of the structure but which are associated with the structure and are intrinsic to its function, setting and/or appreciation. In many cases, the attendant grounds will incorporate a designed landscape deliberately laid out to complement the design of the building or to assist in its function.

The notion of curtilage is not defined by legislation, but the Architectural Heritage Protection Guidelines for Planning Authorities guidelines states that for the purpose of the guidelines

'it can be taken to be the parcel of land immediately associated with that structure and which is (or was) in use for the purposes of the structure. It should be noted that the meaning of 'curtilage' is influenced by other legal considerations besides protection of the architectural heritage and may be revised in accordance with emerging case law.'

The following three considerations are used to determine the extent of curtilage:

1. A functional connection between the structures;
2. A historical relationship between the main structure and the structure;
3. And the ownership past and present of the structures.



Fig 3. Extract zoning map South Dublin County Development Plan 2016-2022.
 Site has Land Use Zoning Objective Existing RES: To protect and/or improve residential amenity.

Heritage Protection under Planning and Development Act 2000 (as amended) Part IV Architectural Heritage

The Planning and Development Act has the following provisions for protection of architectural heritage

Section 51 – Record of protected Structure

1) For the purpose of protecting structures, or parts of structures, which form part of the architectural heritage and which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest, every development plan shall include a record of protected structures, and shall include in that record every structure which is, in the opinion of the planning authority, of such interest within its functional area. The Planning and Development Act provides for the following mechanism to provide guidelines on protection of the architectural heritage.

Section 52 (1) of the Planning and Development Act 2000 obliges the Minister to issue guidelines to planning authorities concerning development objectives (i.e., protecting structures), and Section 28 of the Act requires planning authorities (including An Bord Pleanála) to have regard to them in the performance of their functions

National Guidelines:

Architectural Heritage Protection for Planning Authorities
These Guidelines were issued by the Department of the Environment, Heritage and Local Government in 2004. The Guidelines seek to guide planning authorities concerning development objectives for protecting structures, or parts of structures, which are of special architectural, artistic, cultural, scientific, social or technical interest.

Part 2 of the Guidelines provide detailed guidance to support planning authorities in their role to protect the architectural heritage when a protected structure is the subject of a development proposal.

Statutory Heritage Protection Objectives & Polices Under South Dublin County Development Plan 2016-2022:

Chapter 9 of the South County Dublin Development Plan Council Development Plan contains objectives and policies to protect and enhance the built heritage. It also contains the Record of Protected Structures (RPS).

The Heritage, Architectural Conservation & Landscapes chapter sets out policies and objectives in relation to the preservation and protection of built and natural heritage

The overarching policy for heritage protection is set in HCL 1

HERITAGE, CONSERVATION AND LANDSCAPES (HCL) Policy 1 Overarching
It is the policy of the Council to protect, conserve and enhance natural, built and cultural heritage features, and to support the objectives and actions of the County Heritage Plan.

HCL1 Objective 1:
To protect, conserve and enhance natural, built and cultural heritage features and restrict development that would have a significant negative impact on these assets.

HCL1 Objective 2:
To support the objectives and actions of the County Heritage Plan, including the preparation of a County Biodiversity Plan.

Policy for protection regarding Protected Structures is set out in HCL 3

HERITAGE, CONSERVATION AND LANDSCAPES (HCL) Policy 3 Protected Structures
It is the policy of the Council to conserve and protect buildings, structures and sites contained in the Record of Protected Structures and to carefully consider any proposals for development that would affect the special character or appearance of a Protected Structure including its historic curtilage, both directly and indirectly.

HCL3 Objective 1:
To ensure the protection of all structures (or parts of structures) and the immediate surroundings including the curtilage and attendant grounds of structures contained in the Record of Protected Structures.

HCL3 Objective 2:
To ensure that all development proposals that affect a Protected Structure and its setting including proposals to extend, alter or refurbish any Protected Structure are sympathetic to its special character and integrity and are appropriate in terms of architectural treatment, character, scale and form. All such proposals shall be consistent with the Architectural Heritage Guidelines for Planning Authorities, DAHG (2011) including the principles of conservation.

Implementation:

Chapter 11 sets out development standards and criteria that arise out of the policies and objectives of the County Development Plan, to ensure that development occurs in an orderly and efficient manner and that it is in accordance with proper planning and sustainable development. Proposals for development will need to take account of all of the standards and criteria that apply to the particular development, in addition to being assessed for consistency with the policies and objectives set out in the in the Plan and compliance with relevant legislative requirements.

11.5.2 PROTECTED STRUCTURES

(iv) Development in Proximity to a Protected Structure
Planning applications for development in proximity to a Protected Structure may require a design statement to outline how the proposal responds to the setting and special interest of the Protected Structure and its curtilage. Pastiche designs that confuse new features/structures with older and original features/structures should be avoided.

Landscape Protection Objective & Polices Under Under South Dublin County Development Plan 2016-2022:

The Heritage Act 1995 defines heritage as including physical features such as "monuments, archaeological objects, heritage objects, architectural heritage, flora, fauna, wildlife habitats, landscapes, seascapes, wrecks, inland waterways, geology, heritage gardens and parks".
Heritage is reflected in the landscape in which we inhabit and how we perceive that landscape.

A Landscape Character Assessment of South Dublin County was carried out in 2015. The assessment defined character areas with each Landscape Character Area assessed against a set of criteria to determine the capacity of the landscape to accommodate change based on landscape sensitivity and landscape value. The assessment has been used to inform policies and objectives of the Development Plan for each area and to ensure that future development reinforces the distinctiveness and sense of place identified by the historic landscape character types. The Landscape Character Assessment defined five Landscape Character Areas. Rookwood is located in LCA 5 SUBURBAN SOUTH DUBLIN. Indicative character area described as "Urban fringe: Transitional lands that were largely rural, transforming into suburban or urban derived landuse. Radiate from established settlements and close to transport links. Land use is built land comprising transport, retail/business parks, quarries and urban derived housing"

It is the policy of the Council to protect and promote the conservation of biodiversity outside of designated areas and to ensure that species and habitats that are protected under the Wild life Acts 1976 and 2000, the Birds Directive 1979 and the Habitats Directive 1992 are adequately protected.

HCL15 Objective 3:
To protect existing trees, hedgerows, and woodlands which are of amenity or biodiversity value and/or contribute to landscape character and ensure that proper provision is made for their protection and management in accordance with Living with Trees: South Dublin County Council's Tree Management Policy 2015-2020.

Living with Trees South County Dublin Trees Management Policy 2015-2020
Policy: Where there are trees within a proposed planning application site or on land adjacent to it that could influence or be affected by proposed development, including street trees in the ownership or management of the Council, the planning application must include a detailed assessment /South Dublin County Council will consider the protection of existing trees when granting planning permission for minor and major developments and will seek to ensure the maximum retention, preservation and management of trees, groups of trees and hedges.

03 Building & Site Context

Historic Context

Rookwood is an elegant neoclassical five bay villa county house dating from the early nineteenth century. Front facade is parapeted, rendered with central radial fanlight door case with flanking composite columns and symmetrical sash window fenestration. The parapet is returned on the side gable. To the rear is a central flat roofed return with bow end, attached to original wing with twentieth century conservatory addition.

Originally set in open rural landscape with modest tree lined entrance providing a picturesque setting. The house had integral walled garden and outbuilding complex set behind flanking walls with small sweep of lawn to front with open field beyond. A gate lodge was located at the entrance. The house does not appear to have a definitive designed landscape other than the tree line entrance, front lawn and some judicious tree planting to take advantage of the rural landscape. The House and its grounds remained substantially intact until the later part of the twentieth century.

The entrance avenue alignment appears original but the location of the former gate lodge is now the entrance to Rookwood Lodge, remodelled outbuilding originally part of the outbuilding complex to the Main House. The house and attendant ground remained substantially intact until the late twentieth century when the attendant grounds were annexed for development.

The Brookwood estate suburban housing development of the 1990's and apartment development of 2000 which were built within the attendant grounds of the house, drastically changed the setting. The current owner has compensated for the loss of open rural landscape by extensive tree planting and formal landscaping to create a picturesque landscape setting. The grounds of the house has mature and semi-mature trees with open lawn enclosed by high yew hedge behind which is a more formal hidden garden. To rear of house and flanking walls is garden with lawn and landscape features including pool and tennis court.

Current context:

The site is bounded to the west by Stocking Lane where the entrance is set back with flanking walls with piers leading to a Sylvan avenue. Stocking lane still retains a semi rural characteristic. On the opposite side of the road is a new housing development under construction. To the north of the site is the housing estate known as Brookwood, separated from the site by a beech hedge; it is an attractive well planned landscaped residential estate.

To the north-west is a three storey apartment block which is incongruous with general scale and character of the area and to the south is small green field

lands which is currently the subject of Strategic Housing Application to An Bord Pleanála (PL06S 308763) beyond which is further housing. The house is occupied by the current owner and is in good condition.



Fig 5. House 1960's - setting is open rural landscape



Fig 4. Griffith Valuation Map 1847
Landlord: John Hawkins (1 & 2)
Tenant: Thos John Wyse Esq (1a)
Tenant: John McGrath (b)
Tenant Robert Sherlock Esq (2)



Fig 6. Brookwood Context

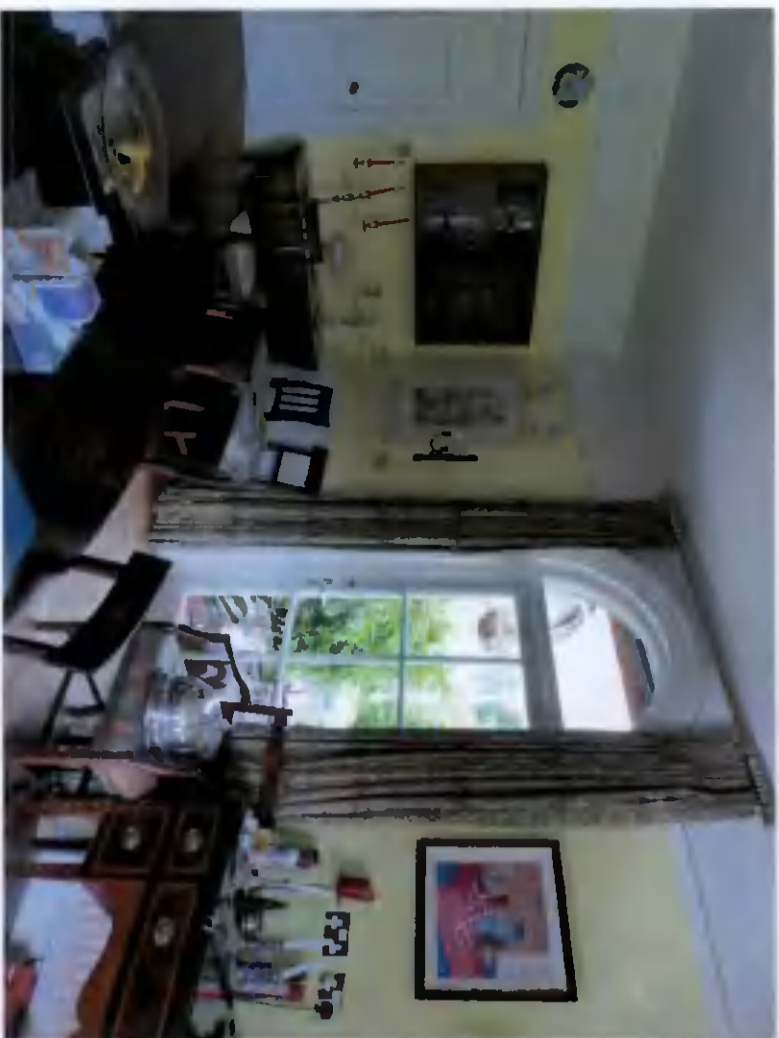


Fig 7. Interior views of house

03-02 Cartographic Analysis



1821

Duncan Map 1821

1843

1st Edition six inch Ordnance survey 1843

1800

1900

2000

2018

Rural

Rural

Suburban



1760

Rocque Map 1760



1912

3rd Edition six inch Ordnance survey 1912



1938

4th Edition six inch Ordnance survey 1938

Fig 8. Mapped change



Fig 9. Stocking Lane - semi rural characteristic
Near splayed entrance is entrance to Rookwood lodge



Fig 10. Pier entrance with flanking walls on Stocking Lane

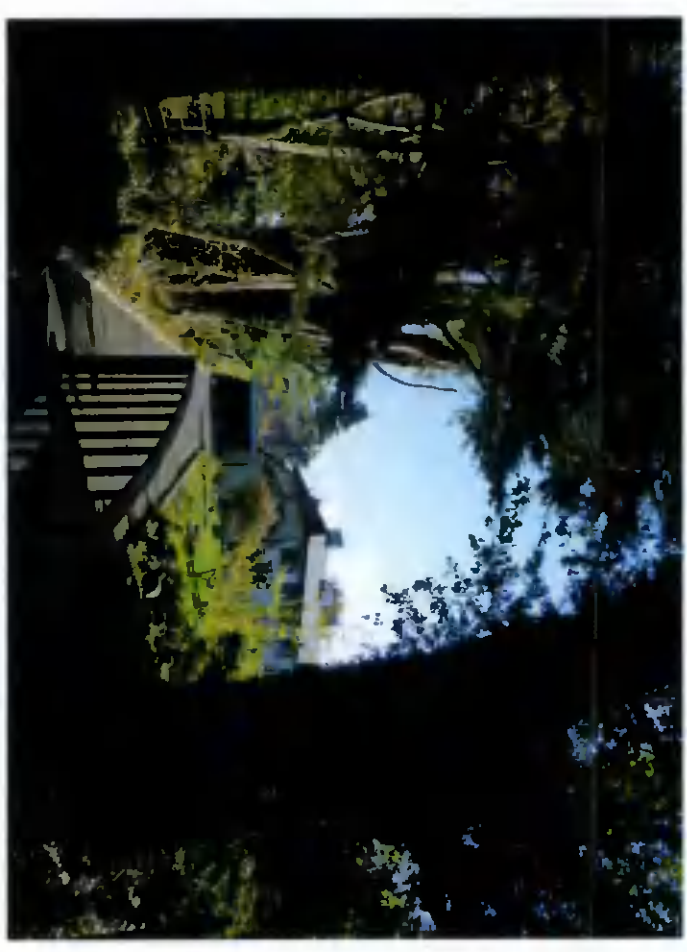


Fig 11. View to adjacent lodge from entrance on Stocking Lane



Fig 12. Boundary to adjacent apartments along entrance avenue

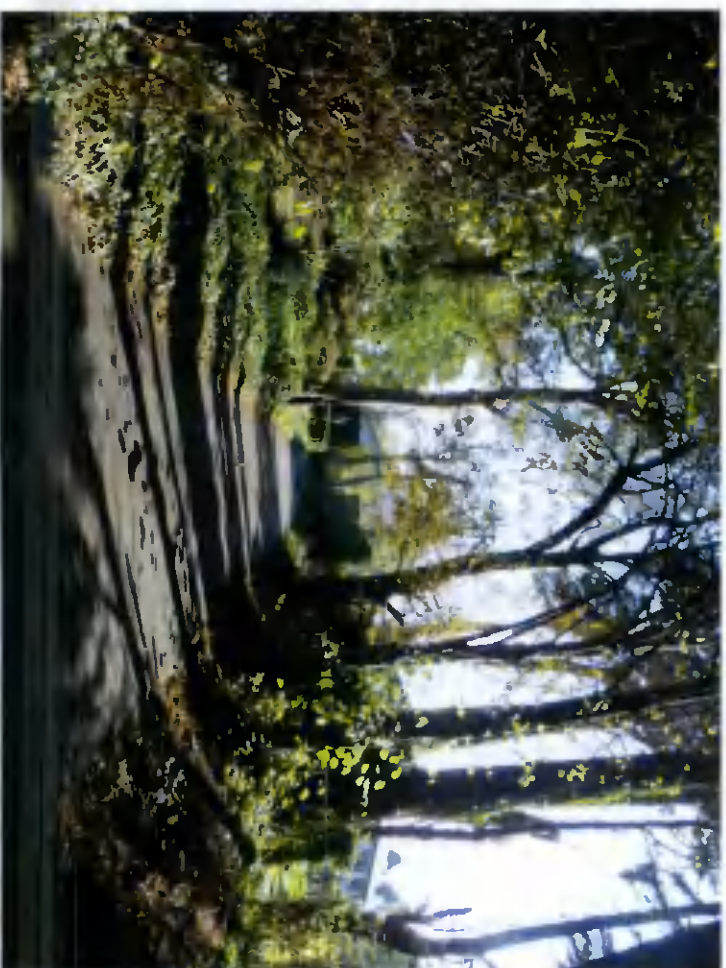


Fig 13. View along tree lined avenue towards House

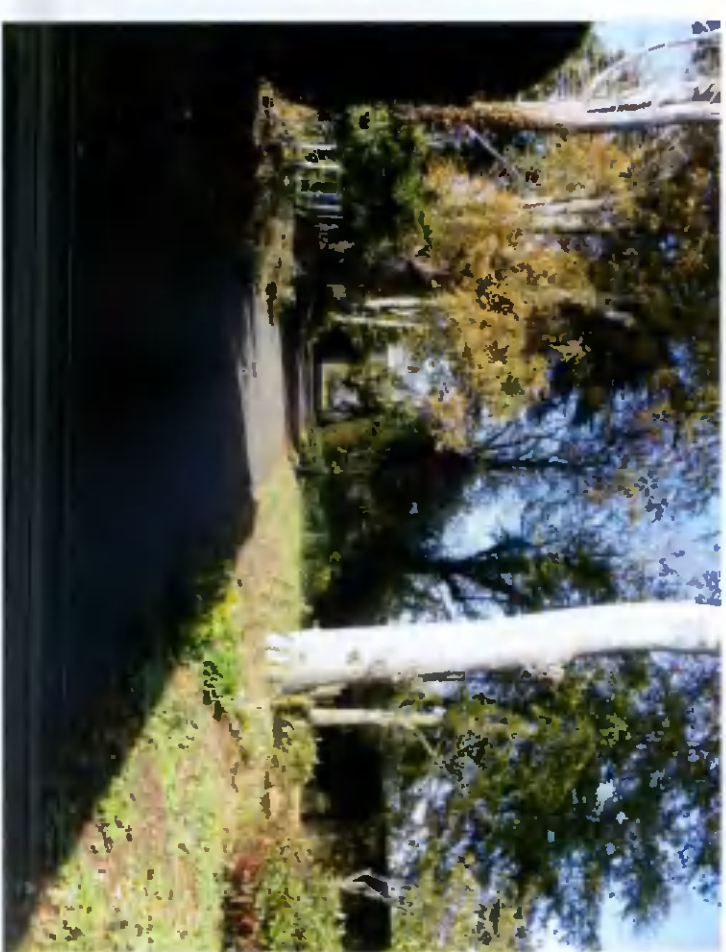


Fig 14. View towards entrance on Stocking Lane



Fig 15. View of front lawn to main house



Fig 16. Yew hedge & urns provide threshold entrance transition from avenue to garden



Fig 17. Main house is flanked by walls either side part of walled garden enclosure built as an integral part of the design

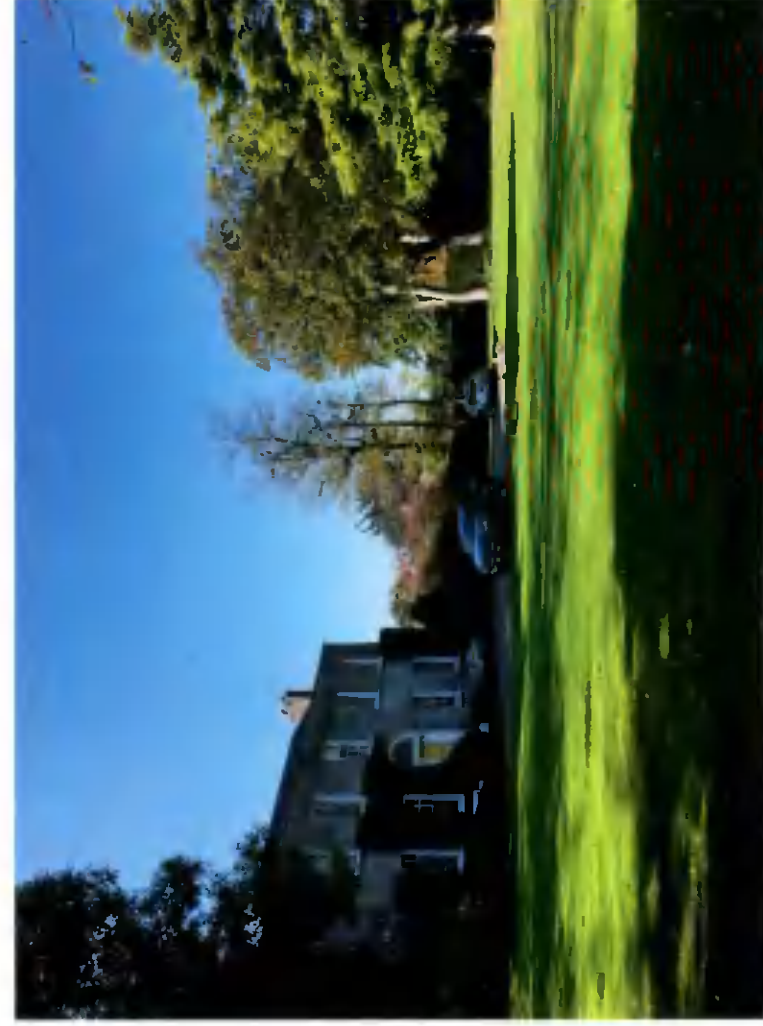


Fig 18. View towards avenue entrance - Yew hedgerow provides enclosure to front lawn



Fig 19. View to front lawn - gate in Yew hedge and positioning of trees create a sense provide of woodland expanse beyond

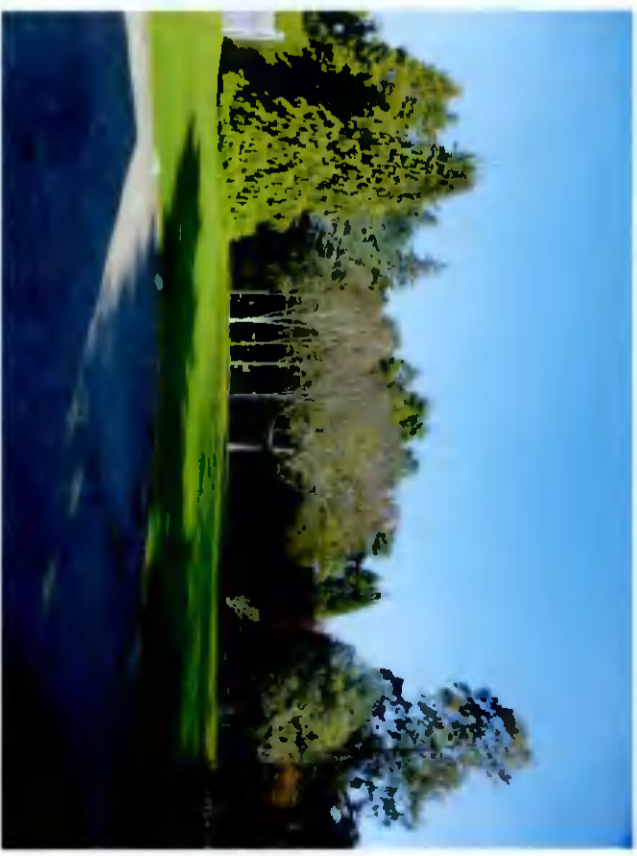
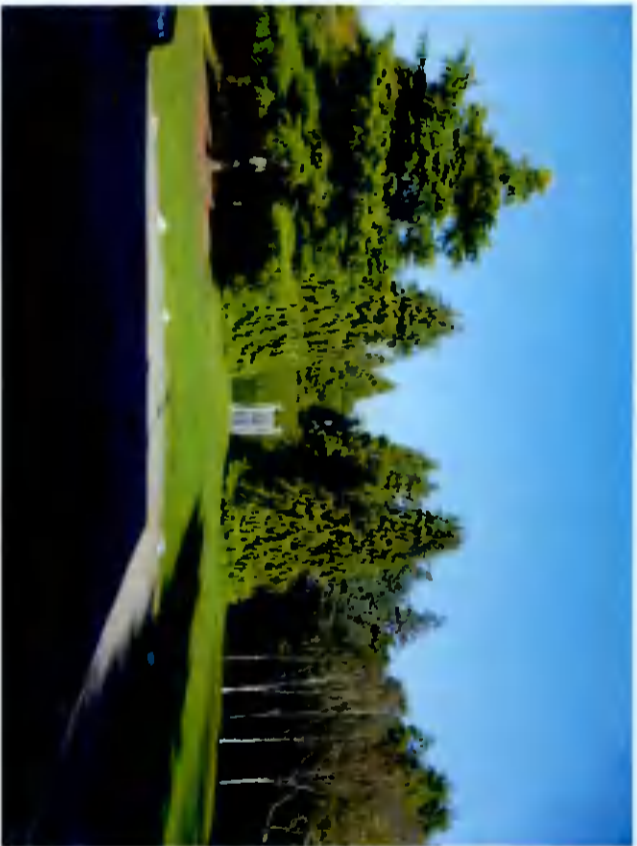


Fig 20. Break in Yew hedge is effective threshold transition from sylvan avenue to open garden

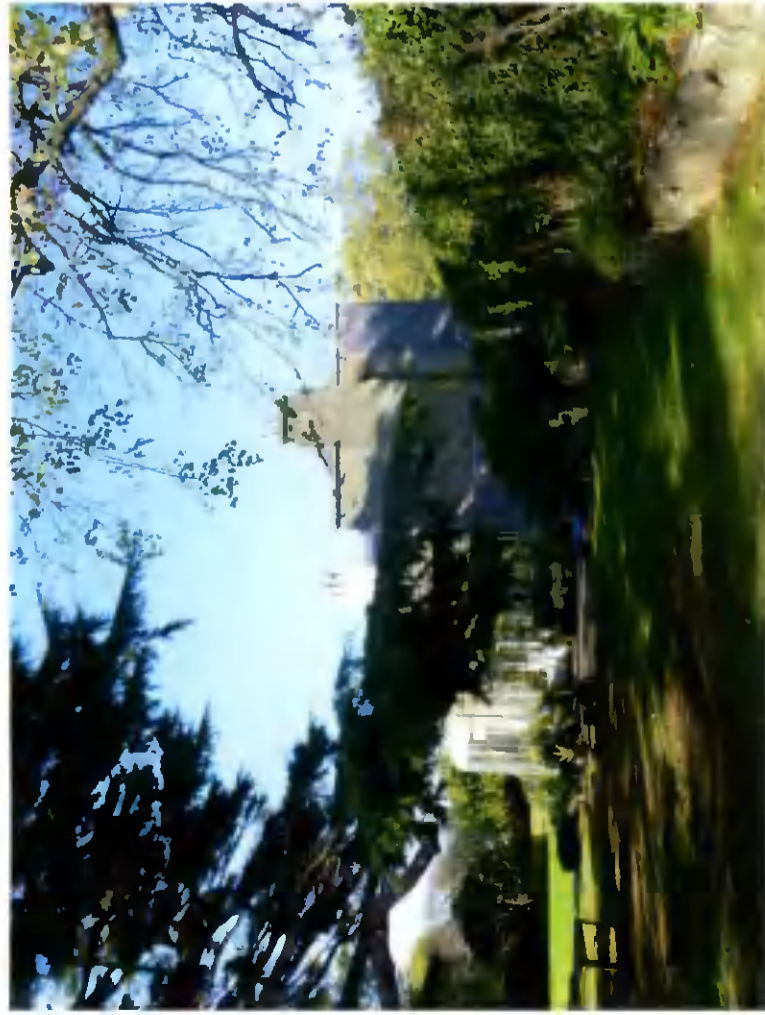


Fig 21. Flanking wall provides protective line between front and rear

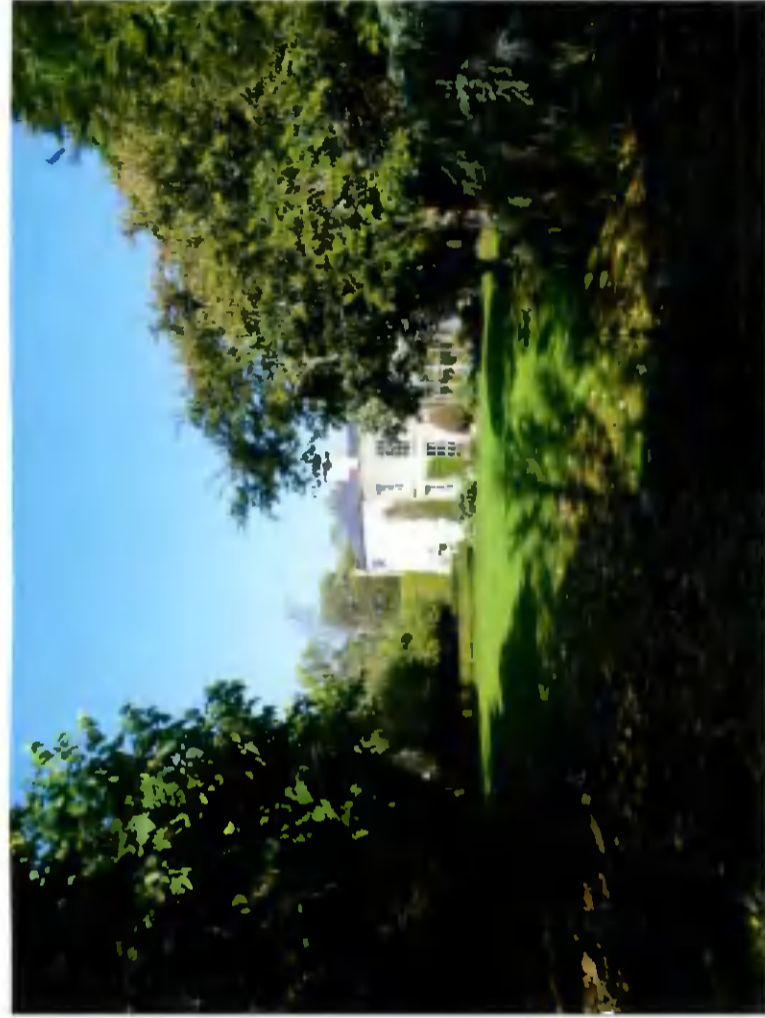


Fig 22. View to rear of house - planting provides enclosure - contained space



Fig 23. Later flat roofed structure and pool replaced earlier buildings in the twentieth century

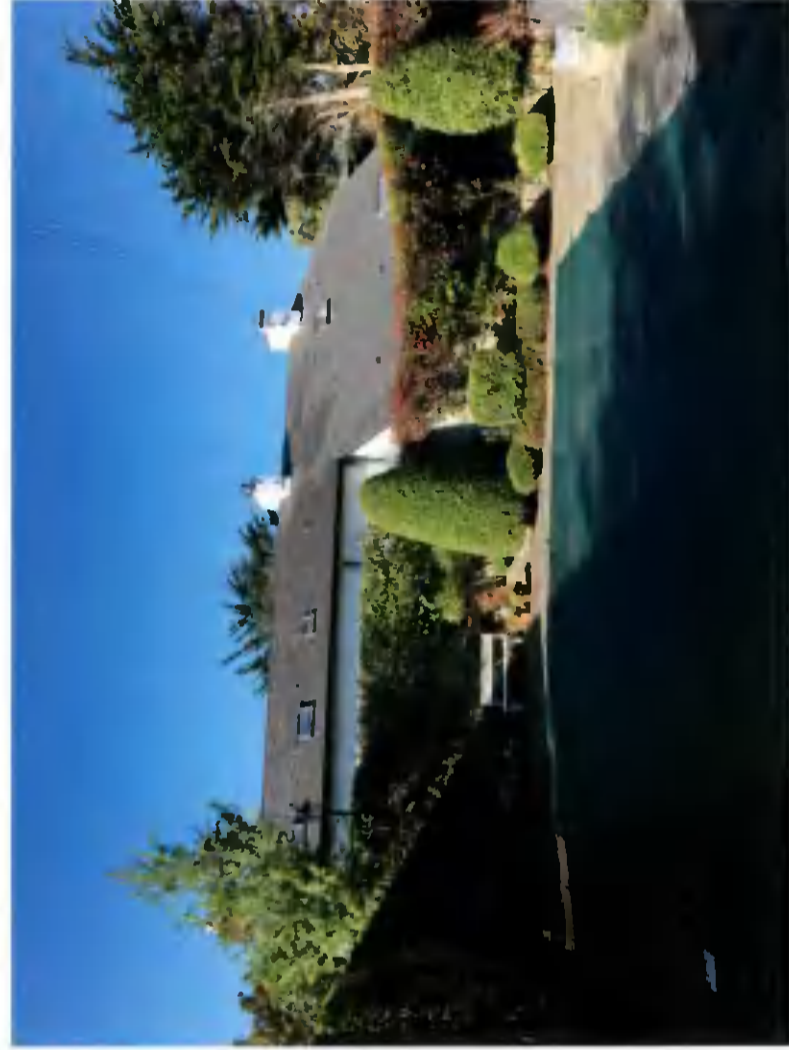


Fig 24. Outbuildings converted to dwelling resulting in subdivision of the property.



Fig 25. Extant buildings behind flanking walls provide context for potential development



Fig 26. Area behind screen wall - new entrance to be formed in wall to access Mews cluster



Fig 27. Garage/shed abutting flanking wall



Fig 28. Tennis court to rear of house adjacent eastern boundary wall enclosure



Fig 29. View towards gable of Rookwood lodge across tennis court - new entrance opening to be formed in wall enclosure

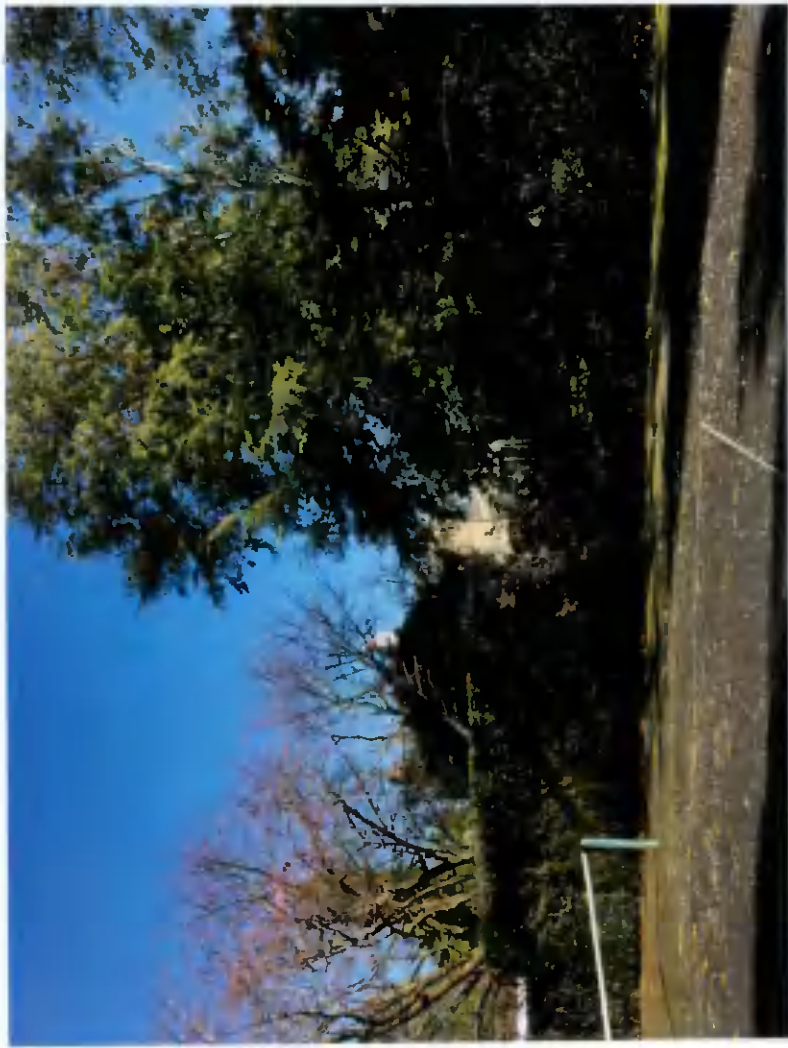


Fig 30. View towards Rookwood from Tennis court



Fig 31. View towards planted boundary to Tennis court from rear lawn



Fig 32. Yew hedging enclosure to garden conceals hidden pathway to formal garden



Fig 33. Formal "Italianate style garden" behind yew hedge - steps lead to lawn to the front of the house



Fig 34. View from top of steps back to formal garden formed behind a radial yew hedge

04 Special Heritage Interest Appraisal

Description Overview:

Rookwood is a protected structure and is record in the National Inventory of Architectural Heritage

South County Dublin Record of Protected Structures
RPS Reference number: 327

Entry Description:

Rookwood, Stocking Lane Rathfarnham Two Storey Georgian Style House

Rookwood is a detached five-bay two-storey classical style country house, c.1810 with flanking walls

Appraisal:

Faro Convention Council of Europe's Framework Convention on the Value of Cultural Heritage for Society: Heritage definition: is a group of resources inherited from the past which people identify, independently of ownership, as a reflection and expression of their constantly evolving values, beliefs, knowledge and traditions. It includes all aspects of the environment resulting from the interaction between people and places through time.

The Planning and Development Act 2000 (as amended) defines the architectural heritage to be structures or parts of structures which are of Architectural Interest, Historical Interest, Archaeological Interest, Artistic Interest, Cultural Interest, Scientific Interest, Social Interest, Technical Interest. The categories of special interest can be taken as the criteria to be considered when evaluating the heritage value of a structure. The categories are not mutually exclusive and a structure may be attributed with several of the categories. The categories of Special Interest are rated regarding significance. The National Inventory of Architectural Heritage (NIAH) assigns rating values as follows International, National, Regional, Local and Record Only. Structures evaluated using the national inventory of architectural heritage criteria which are attributed with a rating value of international, national or regional importance generally warrant protected structure status.

National:

Structures or sites that make a significant contribution to the architectural heritage of Ireland. These are structures and sites that are of great architectural heritage significance in an Irish context.

Regional:

Structures or sites that make a significant contribution to the architectural heritage within their region or area. They also stand in comparison with similar

structures or sites in other regions or areas within Ireland. Increasingly, structures that need to be protected include structures or sites that make a significant contribution to the architectural heritage within their own locality.

Local:

These are structures or sites of some vintage that contribute to the architectural heritage but may not merit being placed in the RPS separately. Such structures may have lost much of their original fabric.

The purpose of protection is also to the control and manage future changes to a structure. This should be borne in mind when assigning those special interest categories which may not relate directly to the physical fabric, such as historical, social and cultural interests.

Protected structure definition:

A 'protected structure' is defined as any structure or parts of structures, which form part of the architectural heritage and which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. A structure is defined by the Act as 'any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure'.

In relation to a protected structure or proposed protected structure, the meaning of the term 'structure' is expanded to include:

- a) the interior of the structure;
- b) the land lying within the curtilage of the structure;
- c) any other structures lying within that curtilage and their interiors, and
- d) all fixtures and features which form part of the interior or exterior of the above structures

Appraisal National Architectural Inventory Ireland


NIAH Reg No: 1126033

Rating: Regional

Categories of Special Interest


- Architectural
- Artistic
- Technical

Main Record - South Dublin County
View Record on NIAH

 11216033

Rookwood House, Stocking Lane, Ballyboden, South Dublin County

Reg. No. 11216033
Date 1800 - 1820
Previous Name N/A
Townland NEWTOWN (RA BY)
County South Dublin County
Coordinates 53.3446, 226875
Categories of Special Interest ARCHITECTURAL, ARTISTIC, TECHNICAL
Rating Regional
In Use As country house



Description
Detached five-bay two-storey country house, c.1810. Roughcast rendered walls. Timber sash windows. Double leaf timber panelled door with flanking Composite columns and elaborate radial fanlight. Approached by flight of steps. Hipped slate roof behind parapet, with two flanking chimney stacks. Inside gateway entrance two large classical urns on plinths.

Appraisal
A handsome, substantial Georgian house retaining much original fabric, including a particularly fine doorway, still set in its own mature grounds which contain some attractive ornamental features.

[Back To Results](#)

Fig 35. Extract National Inventory of Architectural Heritage identifying categories of special heritage interest

Architectural Heritage Interest Value

Architectural value is directly related to aesthetic value, the visual qualities, design and evolution of a building, object, or site and the sensory experience it offers but also in the integrity of all its components as a unique product of the specific building technology of its time.

Artistic Heritage Interest Value

Objects showing imaginative skill in arrangement or execution considered to be aesthetically satisfying that is creative or that requires a special art or craft skill.

Technical Heritage Interest Value:

Technical interest in a structure relates engineering solutions construction which are important examples of virtuoso, innovative or unusual engineering design or use of materials.

Appraisal Review

Architectural Heritage Interest value

Architectural value is directly related to aesthetic value, the visual qualities, design and evolution of a building, object, or site and the sensory experience it offers but also in the integrity of all its components as a unique product of the specific building technology of its time.

The following is identified as contributing to the architectural heritage interest value.

- Good quality architectural design
- Exemplar of period building typology
- Area character contribution

Structure meets criteria for architectural heritage interest value.

Historical Heritage Interest Value

Value derived from the ways in which people draw sensory and stimulation from a place. The capacity of a place to convey, embody, or stimulate a relation or reaction to the past. Historical value can accrue in several ways: from the heritage material's age, from its association with people or events, from its rarity and/or uniqueness, from its technological qualities, or from its archival/documentary potential.

Nothing identified as contributing to the Historical heritage interest value. Structure does not meet criteria for Historical heritage interest value.

Archaeological Heritage Interest Value

Special archaeological interest is essentially defined by the degree to which material remains can contribute to our understanding of any period or set of social conditions in the past (usually, but not always, the study of past societies). The characteristic of archaeological interest in the context of the RPS must be related to a structure. Structures of special archaeological interest may also be protected under the National Monuments Acts. Structures can have the characteristics of both archaeological and architectural interest as these are not mutually exclusive. A complex of industrial buildings may have archaeological interest because of its potential to reveal artefacts and information about the evolution of industry that may be useful to archaeologists, historians and the public.

Nothing identified as contributing to the Archaeological heritage interest value. Structure does not meet criteria for Archaeological heritage interest value.

Artistic Heritage Interest Value

Objects showing imaginative skill in arrangement or execution considered to be aesthetically satisfying that is creative or that requires a special art or craft skill.

The following is identified as contributing to the architectural heritage interest value.

- Carved detail to entrance door
- Decorative ceilings, chimney pieces etc

Structure meets criteria for artistic heritage interest value.

Cultural Heritage Interest Value

The characteristic of cultural interest permeates the architectural heritage and can, in the broadest terms, include aesthetic, historic, scientific, economic or social values of past and present generations.

Special cultural interest apply to:

1. Those structures to which the Granada Convention refers as 'more modest works of the past that have acquired cultural significance with the passing of time';
2. Structures that have literary or cinematic associations, particularly those that have a strong recognition value;
3. Other structures that illustrate the development of society, such as early schoolhouses, library buildings, swimming baths or printworks. If these associations are not related to specific aspects of the physical fabric of a structure, consideration could be given to noting them by a tourism plaque or other such device

Nothing identified as contributing to the Cultural heritage interest value. Structure does not meet criteria for cultural heritage interest value.

Scientific Heritage Interest Value

The scientific interest, or research value, of a structure will depend on the importance of the data involved and on its rarity and/or quality. Its scientific interest should also be assessed as to how well it represents the area of research in question and the degree to which the structure may contribute further objective information.

For example:

1. The results of scientific research may be seen in the execution of the structure;
2. The materials used in the structure may have the potential to contribute to scientific research,
3. The structure may be associated with scientific research that has left its mark on the place, such as early Ordnance Survey benchmarks carved into stonework.

Nothing identified as contributing to the scientific heritage interest value. Structure does not meet criteria for scientific heritage interest value.

Social Heritage Interest Value

Social value encompasses the significance of the historic environment to contemporary communities, including people's sense of identity, belonging and place, as well as forms of memory and spiritual association.

No features identified as contributing to the social heritage interest value. Structure does not meet criteria for social heritage interest value.

Technical Heritage Interest Value:

Technical interest in a structure relates engineering solutions construction which

are important examples of virtuoso, innovative or unusual engineering design or use of materials.

No features identified as contributing to the social heritage interest value. Structure does not meet criteria for social heritage interest value.

Conclusion:

A review of the NIAH assessment and inspection of the building concurs that the building has special heritage interest value and merit it's protection status.

The heritage value of the elements that contribute to setting to the house is made up of the following elements

- Entrance pier with flanking walls
- Tree lined avenue
- Front Garden
- Rear Garden
- Flanking walls to house
- Outbuilding complex
- Planting

Settings of heritage buildings which closely resemble the setting at the time the building was constructed or formed are more likely to contribute particularly strongly to significance. The value of contribution of each elements vary but the interrelationship is important to the setting. The stone entrance piers with flanking walls are modest but provide a formality to the entrance. The tree lined avenue preserves the woodland quality of a country estate entrance leading to the front lawn which provides an open spatial quality that a house of this size merits. The flanking wall screens the garden and outbuilding complex give prominence to the house. The outbuilding complex is no longer in its original form but the cluster of buildings that remain still define an enclosed courtyard separate to the garden. The garden has an informal feel, contains tennis court effectively screened by planting.

The setting has two distinct characteristics, the lawn/woodland characteristic of the front and the enclosed garden/courtyard spaces of the rear. Both characteristics are important to provide context and appreciation of Rookwood.

05 Conservation Development Strategy

This Conservation Development Strategy looks at the house and its relationship with its grounds from a historical and contextual perspective. It sets out through analysis and understanding of the historical development of the site the significance of 'garden landscape' setting to the house, assess its capacity to absorb change, potential impacts and mitigation to avoid, reduce or compensate for potential adverse impacts, and to enhance positive benefits.

Conservation Development Strategy

The design response to historic places and buildings requires a fully integrated and multi-disciplinary approach to developing a design philosophy and the necessary detailed solutions/specifications which carefully address the architectural heritage sensitivity.

The historical and cultural significance of a place or a group of buildings, can lie in their social and spiritual value for past, present and future generations. Our historical environment is fundamental to our sense of place and are important aspects of the distinctive character of each place.

The recognition of landmarks, whether of historical, archaeological or environmental significance, play a major role in a community's collective memory and cultural consciousness. They can provide a focus for new development and have a positive influence on the design response.

The conservation response to building and site is based on a thorough understanding of the built historic environment and its significance that is informed by survey, research at an early stage in the design process and is ongoing to ensure informed decisions are made.

Historic buildings and places can by their intrinsic permanence can have a capacity to absorb sensitive interventions without diminishing legibility and heritage value.

The historic location and buildings contained thereon provide a unique opportunity to physically engage with history and place, which can draw energy from the juxtaposition of the new and the previous, the static and the dynamic.

We see the conservation objective of the project being a successful integration into the historic context to maintain a sense of the historic place and character without diminishing the setting and architectural integrity of the Protected structure

The purpose of the Conservation Development Strategy is to provide

- Assessment of the heritage value of the heritage building
- Assessment of the heritage value of the setting and landscape
- Identify capacity for change
- Identify capacity to absorb appropriate development
- Identify measures to protect the heritage value of the heritage asset
- Identify opportunities to enhance the heritage asset value

The conservation development strategy provides a relevant framework to ensure the appropriate protection, conservation and enhancement of all elements of the historic environment and allow the impact of proposed development on the historic environment and its setting to be assessed. Setting is more than the immediate surroundings of a site or building and may also be related to function or use of place.

Part of the assessment will be to assess the capacity to absorb sensitive interventions without diminishing the heritage value to ensure a coherence between historic and the new.

The conservation development strategy is an active and evolving during the design development process and address some of the following

- Assessment of special heritage significance value of the site and buildings
- Assessment of the development capacity of site without adversely impacting the interest value.
- Provide guidance framework for development.
- Framework for historic environmental protection constraints
- Assess impact of design on heritage structures
- Provide guidance to enhance and provide a new contextual setting for retained buildings to ensure a coherence between the historic and new interventions
- Provide guidance to managing change to the historic environment landscape
- Provide guidance to the design to limit the impact on the existing buildings of historic value.

There are challenges to implementing a successful conservation and adaptation of historic structures that require careful consideration and carefully considered design approaches.

A conservation guided approach will ensure that these challenges are met. The following documents provide guidance to inform the Conservation Development strategy in addition to heritage protection policies and objectives.

- DoCHG Architectural Heritage Guidelines
- Building in Context- New Development in Historic Areas - English Heritage (Historic England)
- New Design in Historic Settings - Historic Scotland
- Managing change in the Historic Environment Gardens and Designed landscape - Historic Scotland

There is considerable overlap between guidance of both documents.

"The founding and enduring principle is that all successful design solutions depend on allowing time for a thorough site analysis and character appraisal to fully understand context. There is a subjective element in judgments about design quality but differences of opinion and matters of personal taste should not be allowed to obscure the fact that it is possible to arrive at opinions about design quality that are based on objective criteria. There are many ways of doing this, but any such process is likely to include asking questions based on the following principles which encompass both the quality of the building itself and development as a contribution to the urban design of the neighbourhood in which it is situated."

- A successful project will start with an assessment of the value of retaining what is there.
- A successful project will relate to the geography and history of the place and lie of the land.
- A successful project will be informed by its own significance so that its character and identity will be appropriate to its use and context.
- A successful project will sit happily in the pattern of existing development and the routes through and around it.
- A successful project will respect important views.
- A successful project will respect the scale of neighbouring buildings.
- A successful project will use materials and building methods which are as high quality as those used in existing buildings.
- A successful project will create new views and juxtapositions which add to the variety and texture of the setting.

New Development should respond to:

- Historical Development
- Landscape
- Urban structure
- Urban grain
- Density and mix
- Scale
- Materials and detailing
- Views

05-01 Historic Development

Layers of history and associated development generate patterns within an area. An understanding of the historic evolution of a place is essential in determining whether a historic setting needs enhancement or whether lost elements should be restored. New design should consider and respond to these layers of history – the ‘narrative’ of the place.

The rural characteristic has gradually been eroded with expansion of sub-urban estates into the lands of former country estate replacing historic structure and grain of the nineteenth century rural landscape.

Rookwood has retained its architectural integrity, its original curtilage remains substantially intact albeit with loss of Gate lodge, and outbuilding through sub-division of property.

The loss of original attendant grounds has significantly altered the setting of the house. The loss of attendant grounds has been compensated for by creation of a new Sylvan formal landscape which successfully buffers the encroachment surrounding suburban landscape. The design of Brookwood estate which has landscape as a strong integral element softens its impact.

The prevailing pattern of historic development of the site

Historic Context

Setting:

Rural

Development:

**House + Outbuilding + Gate lodge
+ enclosed garden + attendant grounds**

Wider Environs

Rural

Current Context

Setting:

Semi-rural (Under threat)

Development:

House + enclosed garden

Wider Environs

Suburban scale

Analysis & Evaluation

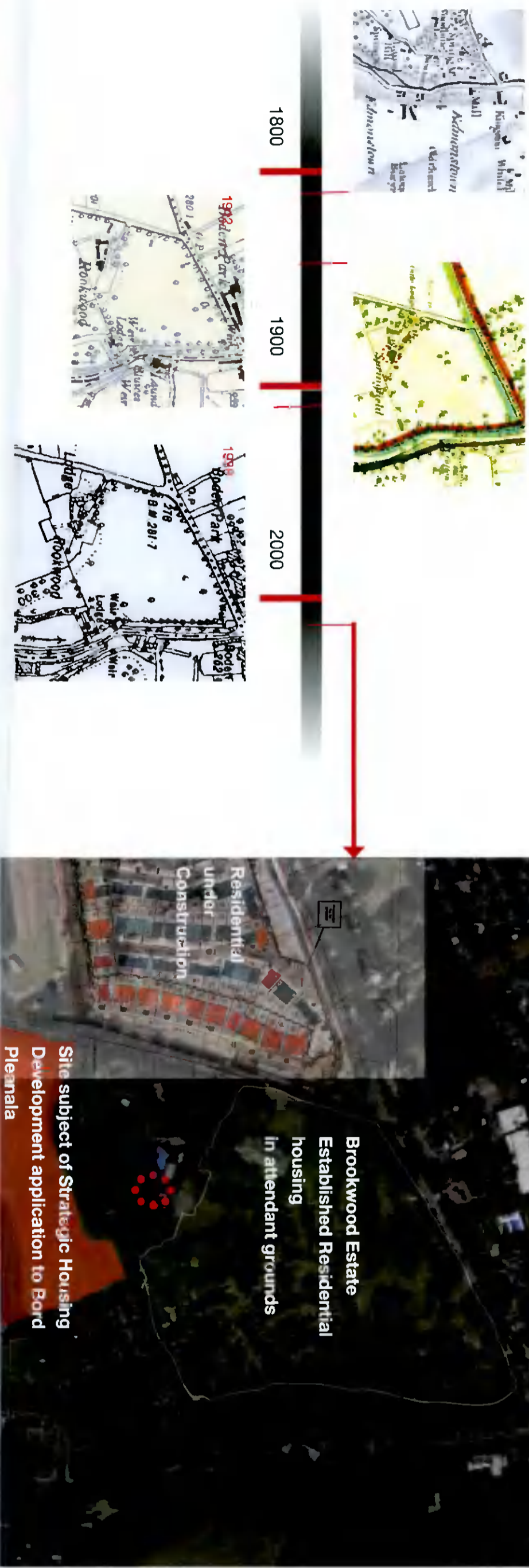
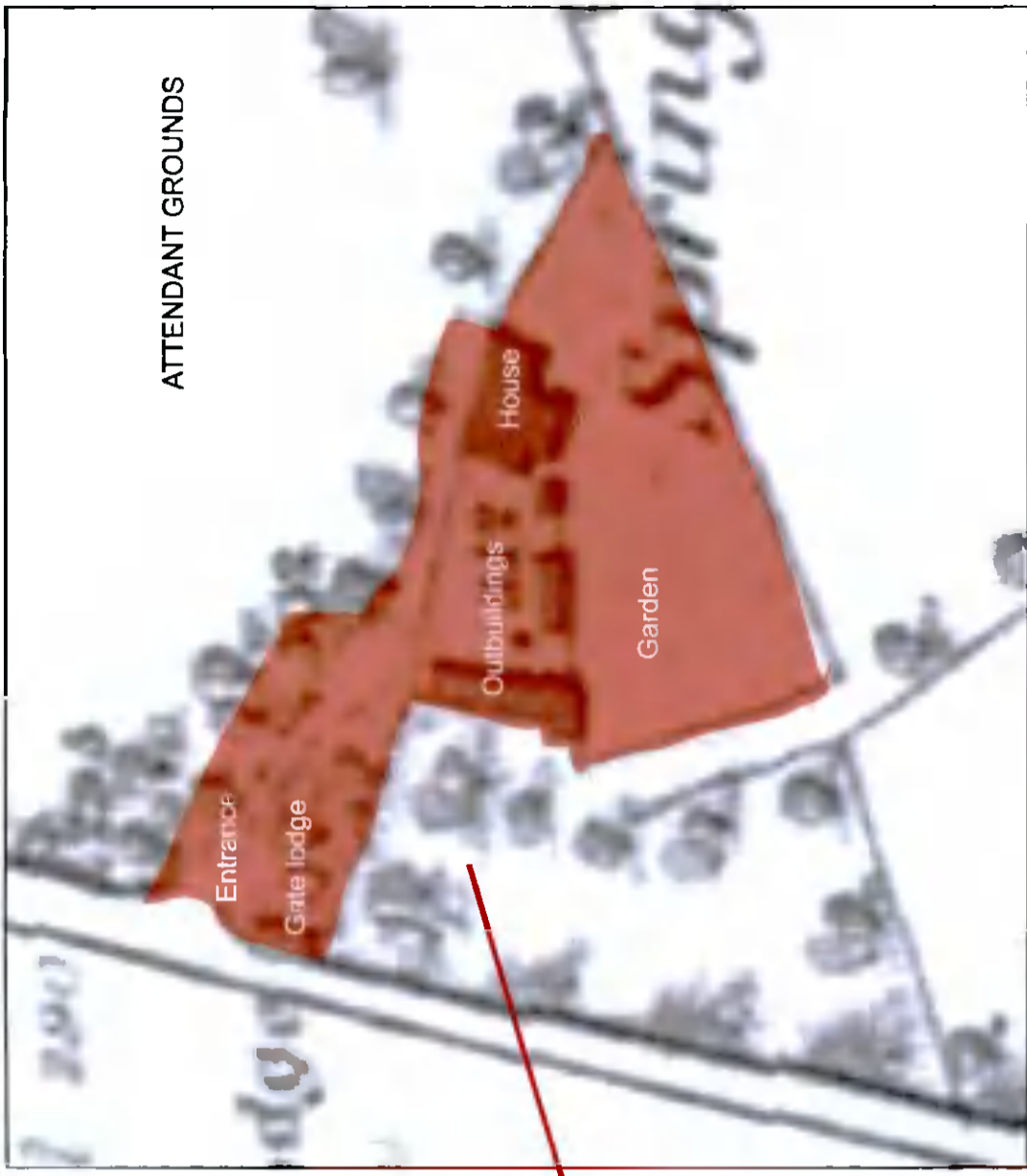


Fig 36 Cartographic analysis and evaluation

Rural

Suburban

05-02 Curtilage



The following three considerations are used to determine the extent of curtilage:

- A functional connection between the structures
- A historical relationship between the main structure and the structure
- And the ownership past and present of the structures

For the purpose of this assessment, the original curtilage is identified from the 1843 Map. Curtilage consists of

- Main House, Outbuilding Complex
- Walled garden, Entrance avenue, Gate Lodge



Fig 37. Composite images and maps identifying curtilage



05-03 Setting

While setting can be mapped in the context of an individual proposal, it cannot be definitively and permanently described for all time as a spatially bounded area or as lying within a set distance of a building.

This is because the surroundings of a building will change over time, and because new information on buildings may alter what might previously have been understood to comprise their setting and the values placed on that setting and therefore the significance of the heritage value

The setting of a heritage building is

'the surroundings in which a heritage building is experienced'

Where that experience is capable of being affected by a proposed development (in any way) then the proposed development can be said to affect the setting of that heritage building. The starting point of the analysis is to identify those heritage buildings likely to be affected by the development proposal.

A 'Zone of Visual Influence' defines the areas from which a development may potentially be totally or partially visible by reference to surrounding topography of the heritage building/structure, often overlaps with considerations for prevailing townscape/urban design and of the character and appearance of the areas.

Settings importance lies in what it contributes to the significance of the heritage building or to the ability to appreciate that significance.

Settings of heritage buildings which closely resemble the setting at the time the building was constructed or formed are likely to contribute particularly strongly to significance but settings which have changed may also themselves enhance the significance.



Fig 38. View to front of Rookwood

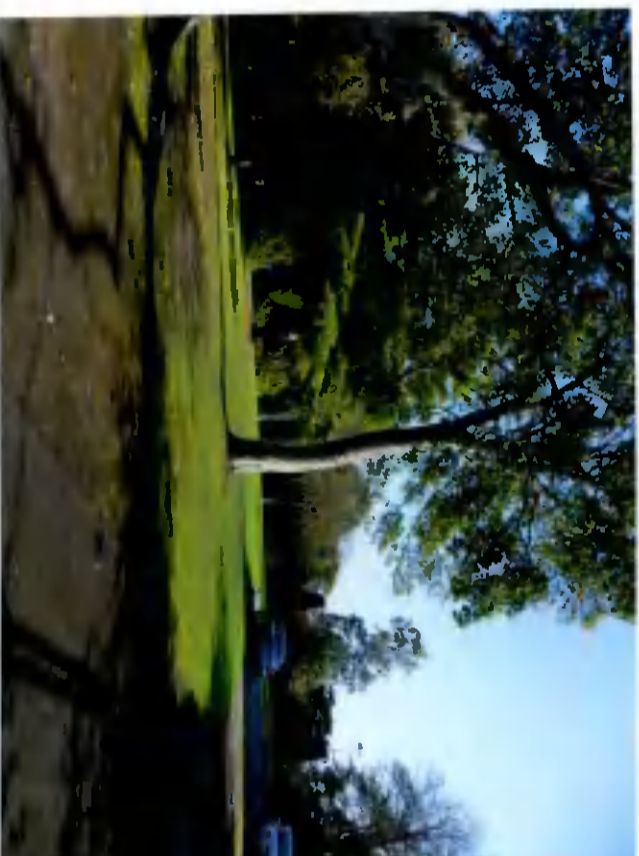


Fig 39. Front lawn with hedge and tree lined enclosure

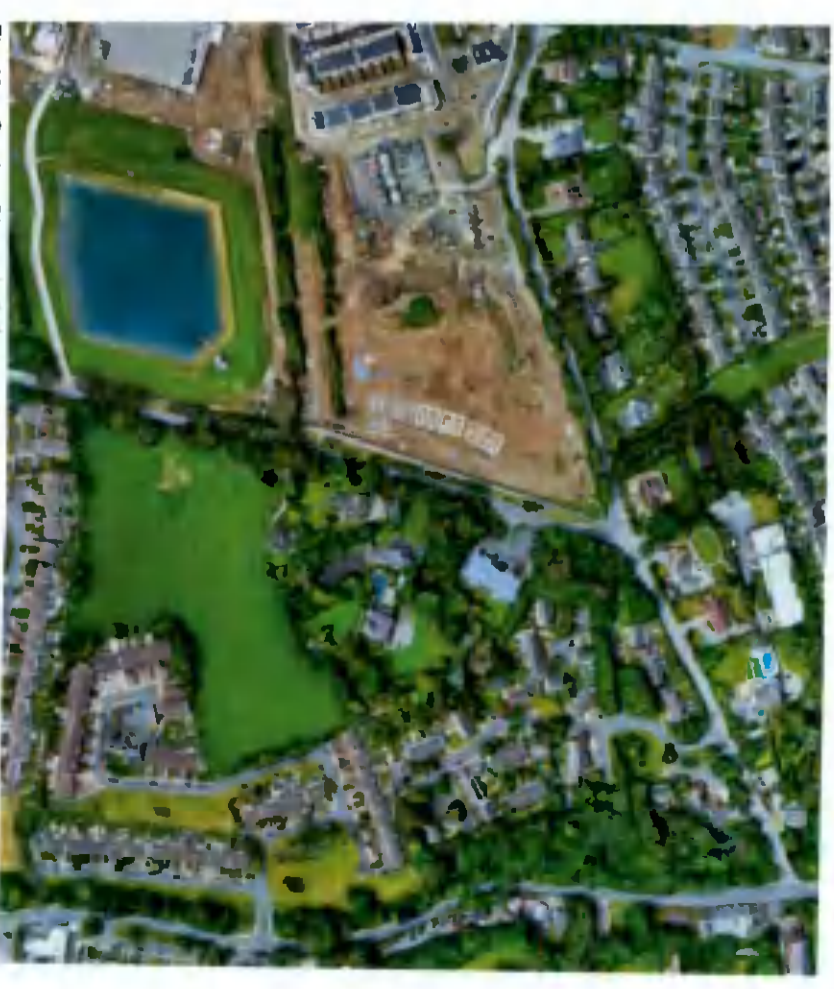


Fig 40. Setting Characteristic

05-04 Setting Character Sensitivity Study



Fig 41. Mapping setting character sensitivity

Setting Character Sensitivity

Sensitivity refers to the inherent sensitivity of the landscape change.
Can the setting absorb the change without losing its intrinsic character

Setting has already accommodate change Enclosed landscape - formerly open rural characteristic

Setting Visual Sensitivity

Consideration of general inter-visibility between building and landscape

Is Protected structure likely to be affected by developments within its visual envelope (Setting). What views are valued .

- Visual relationship between entrance and house important
- Visual relationship to and from landscape to front of house important
- Sylvan visual quality important
- Screening of development from view important for Protected Structure

Setting Value

The experiential qualities of the setting in terms of amenity , visual appreciation , natural qualities, strengthening of heritage value

Landscape provides isolation from surrounding suburban development Sylvan quality

Setting Capacity

Ability of a setting to accommodate change for a development of a specific type without adversely affecting the intrinsic character of the setting .

An evaluation of capacity derives from a combination of Setting sensitivity
Visual sensitivity
Setting value

The contribution of setting to the protected structure's architectural heritage value is an important facet of its appreciation. The current landscape setting is man-made . is a relatively recent response to loss of attendants but does retains elements of the historic setting such as the entrance and rear garden enclosure.

The extant landscape provides

- Sylvan type landscape setting
- Visual isolation of external development

Two areas **A & B** have been identified within the site that have potential capacity to absorb development without impact on the intrinsic quality of the setting and are less sensitive to change

A - Tennis courtyard screened by trees & hedging providing separation has capacity to take development of scale of traditional outbuilding complex

B - Yew hedge provides formal landscape separation and enclosure to area B. Area B has capacity to absorb small scale development in buildings in made sylvan landscape.

B1 - Area to the east has potential for expansion subject to design response in Area B

05-05 Landscape Capacity Study

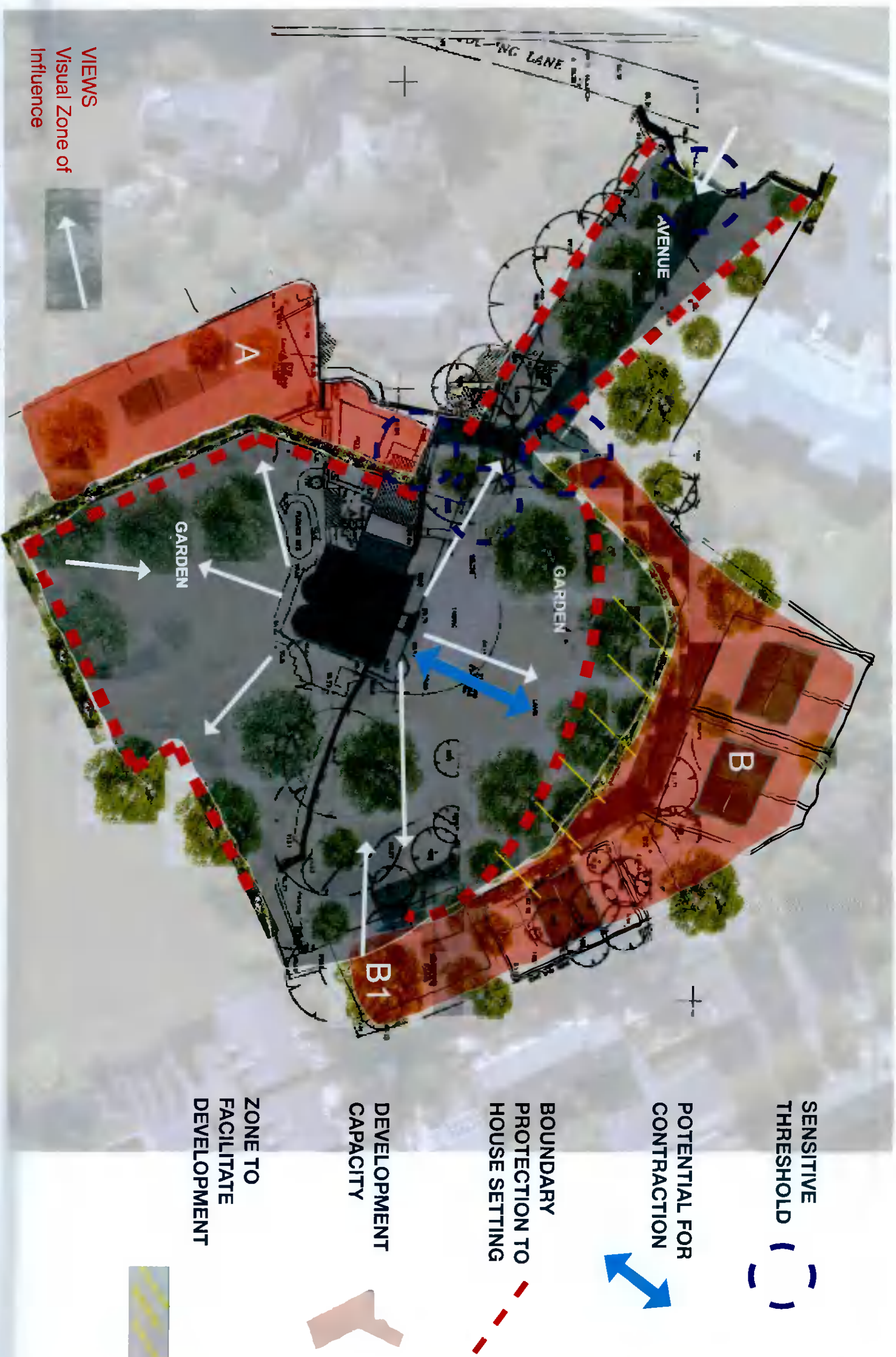


Fig 42. Landscape Capacity to absorb development mapping

05-06 Landscape Characteristic Study

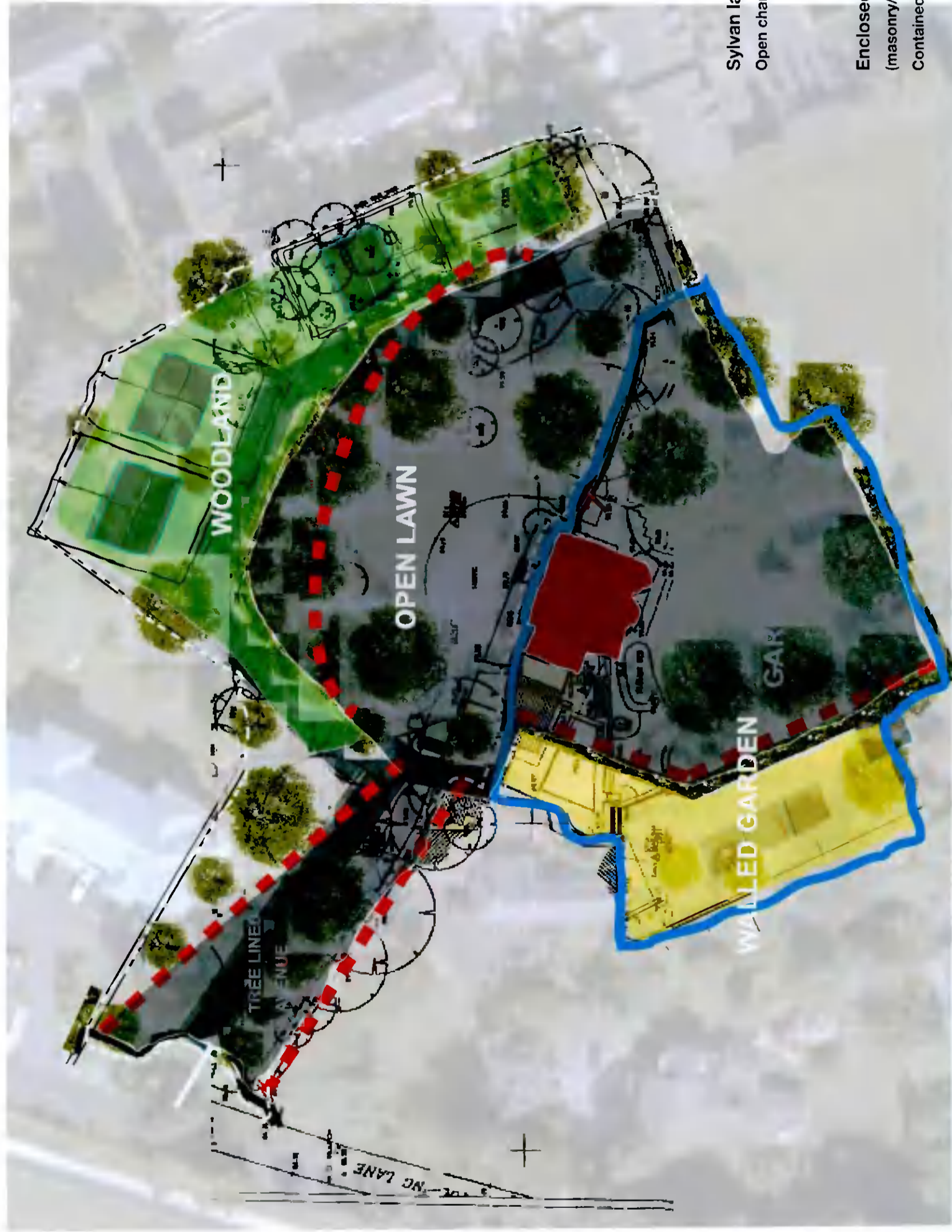


Fig 43. Landscape characteristic mapping

05-07 Development Characteristic Concept Study



Fig 44. Development characteristic concept study

**Courtyard Development
Walled Garden Houses**

**Buildings in Landscape
Woodland Houses**

05-08 Emerging Analysis

Grain.

New developments should respect extant grain – the pattern of buildings roads and spaces.

Grain tends to be influenced by the rhythm of architectural composition and the prevailing relationship of solid-to-void

A very 'solid' urban grain, tends to produce a closely delineated and confined effect, where an less solid arrangement provide a different open 'grain' with spaces between

One element is the 'permeability' of the grain – how people move between spaces and the nature of long and short views.

Area A - Solid characteristic

Area B - Open characteristic

Density and Mix

Density is the amount of development that can be supported on a particular piece of land and will vary according to the type of use.

New development in historic places should respond to the amount, nature and mix of current uses, particularly where they are distinctive to the area character and relate to its historical growth.

Existing densities and uses should not necessarily determine future patterns.

Mix - Suitable for Residential only

Area A - Dense - clustered characteristic

Area B - Less Dense - suburban

Height and Scale

New design should consider the surrounding scale, hierarchy and massing of the existing built form.

Scale is made up of height and mass and is mostly relative in that building height is generally perceived in relation to the height of a person, width of a street or space, nearby buildings, particular landmarks or strategic views.

Perception of Height is relative to the surrounding context. The appropriate scale may also relate to the wider impact of the development.

It is important to scope the sphere of influence of a proposal at an early stage using key views to the historic building,

All development should be of height and scale subservient to Rookwood

Area A - low height- two storey - Outbuilding scale and form

Area B- low height - two storey

Materials and Detailing

'Traditional' materials make a strong contribution to local distinctiveness. Exemplify the use of local or indigenous materials and vernacular traditions in establishing their distinctive identity. The sensitive use of appropriate colour, texture and pattern of materials, whether traditional or contemporary, is important.

Views

Often historic buildings or clusters and features within rural, designed or urban landscapes important because their distinctive character contributes strongly to the identity of a building or an area. Views embrace open landscapes whereas existing vistas may be channelled or terminated by landscape features and buildings, intentionally or accidentally.

New designs provide the opportunity to create new vistas and create dynamic juxtapositions of old and new, so adding texture and variety.

05-09 Emerging Design Response



Fig 45. Emerging Design Response - Fioranuala Rogerson Architects

CONSERVATION ASSESSMENT OF EMERGING DESIGN RESPONSE :

FOUR EMERGING CHARACTERISTIC AREAS

1. ENCLOSURE & SETTING TO PROTECTED STRUCTURE
 - REMAINING AREA STILL MAINTAINS SUFFICIENT SPACE TO PROVIDE AN APPROPRIATE SETTING TO Rookwood
 - LANDSCAPE & ENCLOSURE CRITICAL COMPONENT TO SETTING CHARACTERISTIC OF MAIN HOUSE
 2. ENTRANCE AVENUE
 - ENTRANCE REORDERED , FORMAL PRESENCE ON ROAD IMPORTANT TO MAIN HOUSE ENTRANCE SEQUENCE
 - SYLVAN CHARACTERISTIC RETAINED
 - GATE LODGE SUBSERVIENT HIERARCHICAL SCALE TO ROOKWOOD
 3. MEWS BUILDING TYPOLOGY
 - ADDS TO AND REINFORCES THE MEWS/OUT BUILDING BUILT FORM
 - ADOPTS APPROPRIATE HIERARCHAL SCALE TO ROOKWOOD MAINTAINS HIERARCHICAL SEPARATION
 4. WOODLAND BUILDING TYPOLOGY
 - ADOPTS APPROPRIATE HIERARCHICAL SCALE TO MAIN HOUSE
 - LANDSCAPE CRITICAL TO ABSORBING DEVELOPMENT & PROVIDING SEPARATION
 - CONSIDER DENSITY REDUCTION
- IMPORTANT THRESHOLD TRANSITIONS
- VISTA THROUGH & TO LANDSCAPE REMAIN IMPORTANT TO ROOKWOOD SETTING
- EXPANSION OF OPEN SPACE DESIRED



05-10 Final Design Response

CONSERVATION ASSESSMENT OF FINAL DESIGN RESPONSE :



FOUR CHARACTERISTIC AREAS

1. ENCLOSURE & SETTING TO PROTECTED STRUCTURE
 - REMAINING AREA STILL MAINTAINS SUFFICIENT SPACE TO PROVIDE AN APPROPRIATE SETTING TO Rookwood
 - LANDSCAPE & ENCLOSURE CRITICAL COMPONENT TO SETTING CHARACTERISTIC OF MAIN HOUSE
2. ENTRANCE AVENUE
 - ENTRANCE REORDERED , FORMAL PRESENCE ON ROAD IMPORTANT TO MAIN HOUSE ENTRANCE SEQUENCE
 - SYLVAN CHARACTERISTIC MAINTAINED
 - GATE LODGE SUBSERVIENT SCALE TO ROOKWOOD
3. MEWS BUILDING TYPOLOGY
 - ADDS TO AND REINFORCES THE MEWS/OUT BUILDING BUILT FORM
 - ADOPTS APPROPRIATE HIERARCHICAL SCALE TO Rookwood
 - MAINTAINS HIERARCHICAL SEPARATION
4. WOODLAND BUILDING TYPOLOGY
 - ADOPTS APPROPRIATE HIERARCHICAL SCALE TO MAIN HOUSE
 - LANDSCAPE CRITICAL TO ABSORBING DEVELOPMENT & PROVIDING SEPARATION
 - OPEN GRAIN & DENSITY MAINTAIN SETTING OF ROOKWOOD

IMPORTANT THRESHOLD TRANSITIONS

VISTA THROUGH & TO LANDSCAPE REMAIN IMPORTANT TO ROOKWOOD SETTING

Fig 46. Final Design Response Fionnuala Rogerson Architects

06 Development Description:

Development Description:

The development works proposed consists of a residential housing clusters located within the grounds of Rookwood . The residential housing can be considered in three separate parts

1. "Gate lodge" at entrance
2. A "Mews" type housing cluster provided to the rear of the Rookwood
3. A "Woodland" type housing cluster provided to the front of Rookwood .

The architectural scale and form is derived from a traditional morphology of mews and outbuilding structures. Building range from 1 1/2 stories to 2 1/2 stories

The Gate lodge and "Mews" type adhere to a more traditional appearance and materiality whereas the "Woodland" type adopt a timber clad vernacular materiality utilising traditional vernacular.

Re-ordering of the piered entrance ,flanking walls , entrance avenue is required to comply with residential development standards

The following drawing extracts from the planning drawing prepared by Fionnuala Rogerson Architects are included for illustrative purpose only and are not to scale , reference should be made to the full set of planning drawings for a full description and extent of the proposed development.



SITE BLOCK PLAN AND CONTEXT

Fig 47. Site Plan & Context

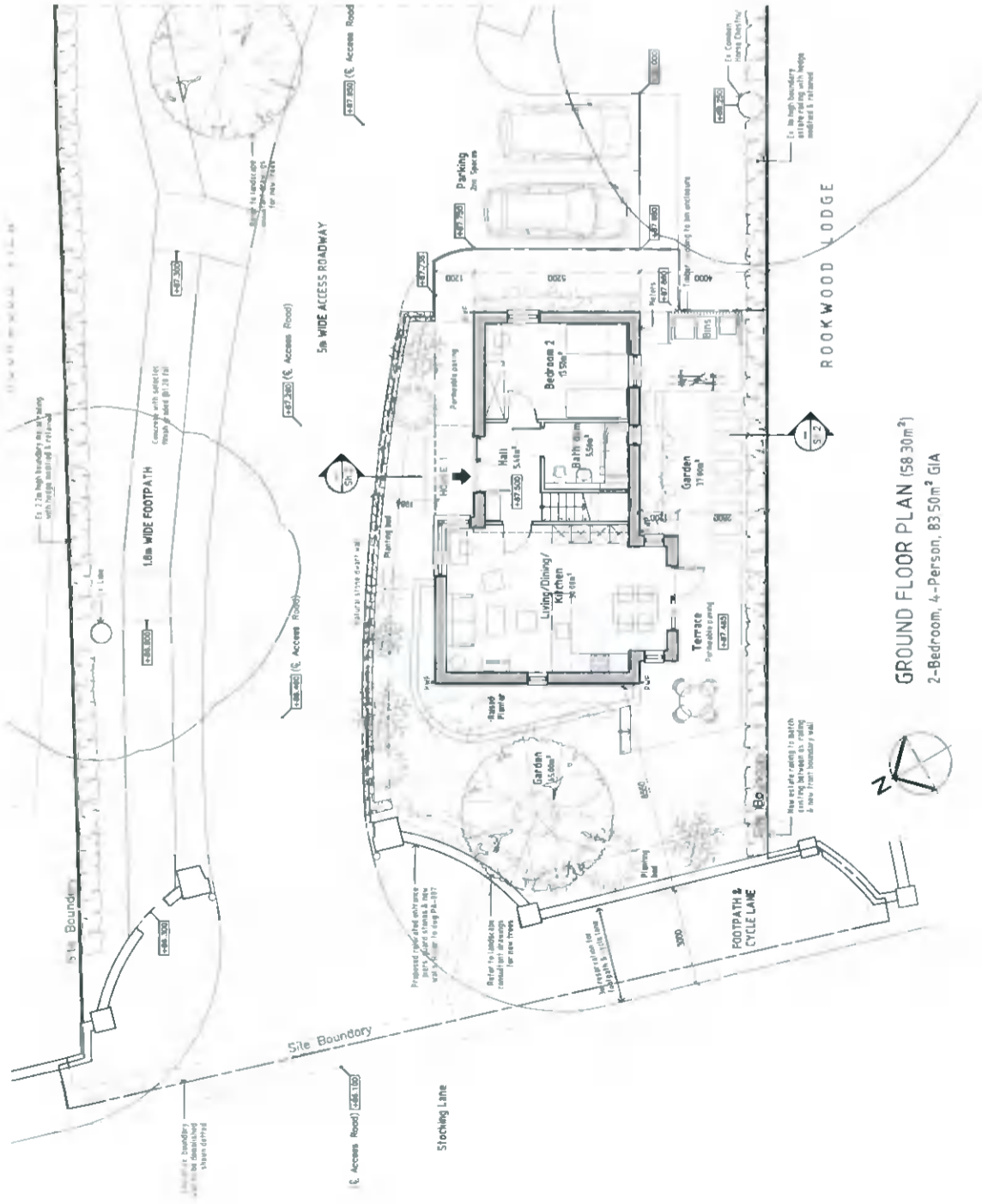


Proposed Public / Communal and Private Open Space

Fig 48. Site Layout

Gate Lodge "Mews Cluster" "Woodland Cluster"

06 - 01 Gate Lodge :



GROUND FLOOR PLAN (58.30m²)
2-Bedroom, 4-Person, 83.50m² GIA

Fig 49. Ground Floor Plan

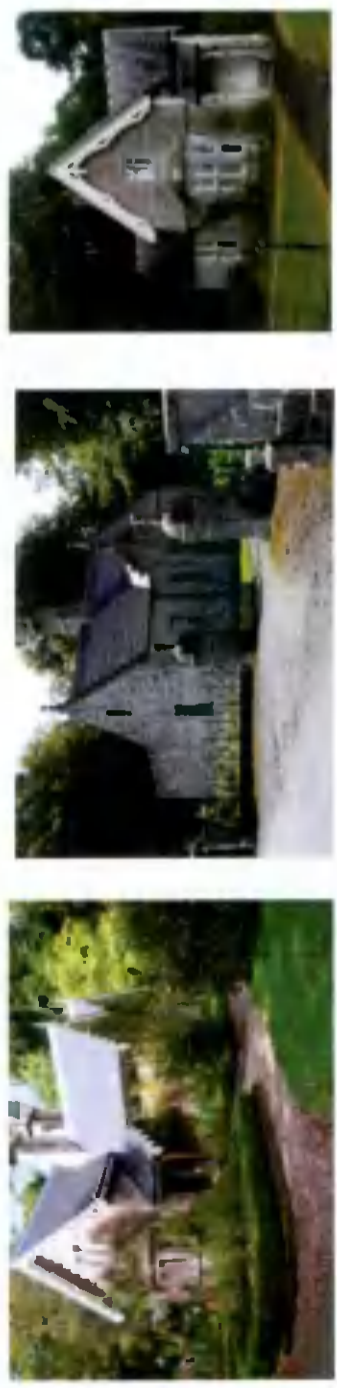
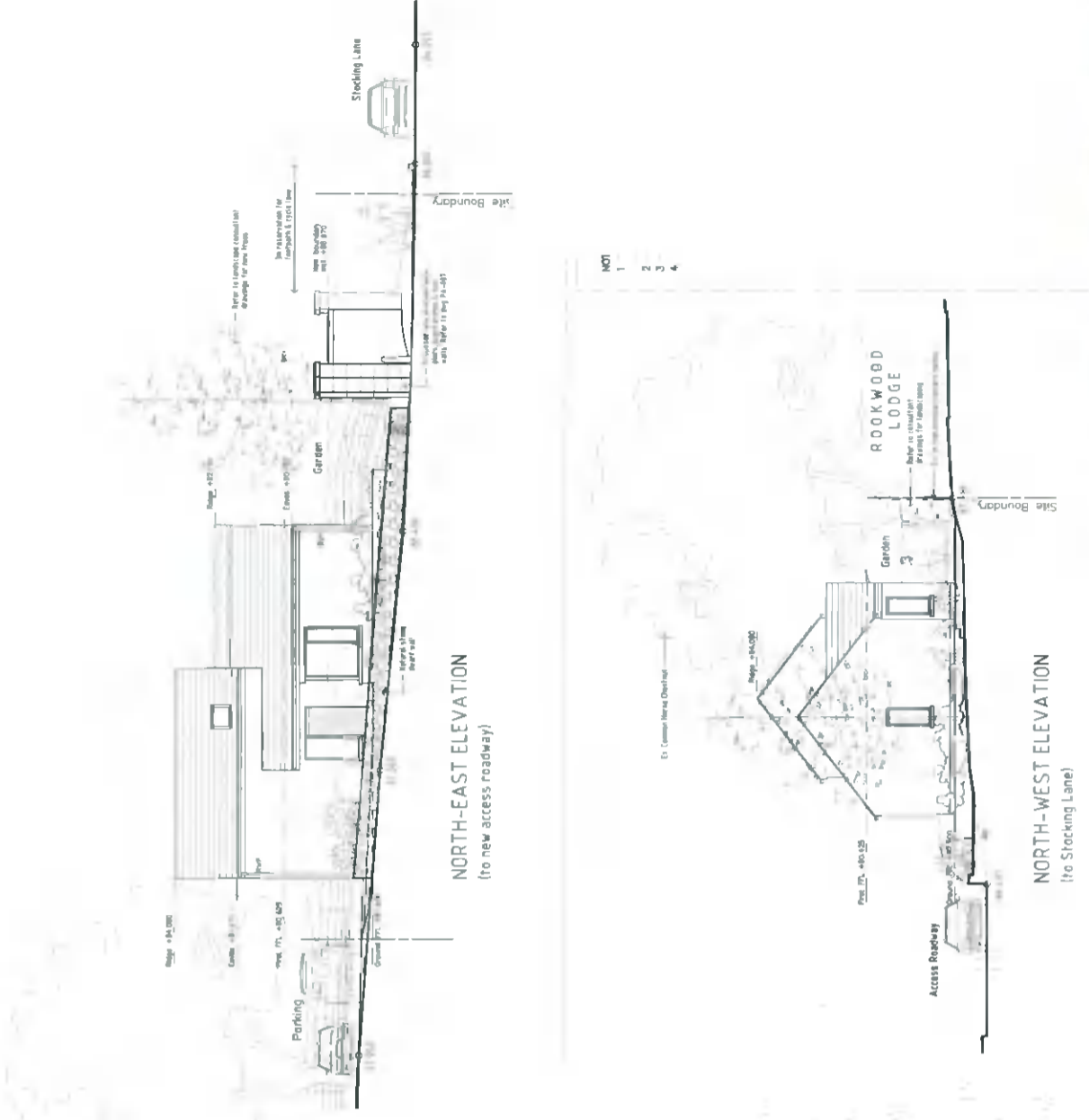


Fig 50. Elevations



06 - 01 Mews Terrace :

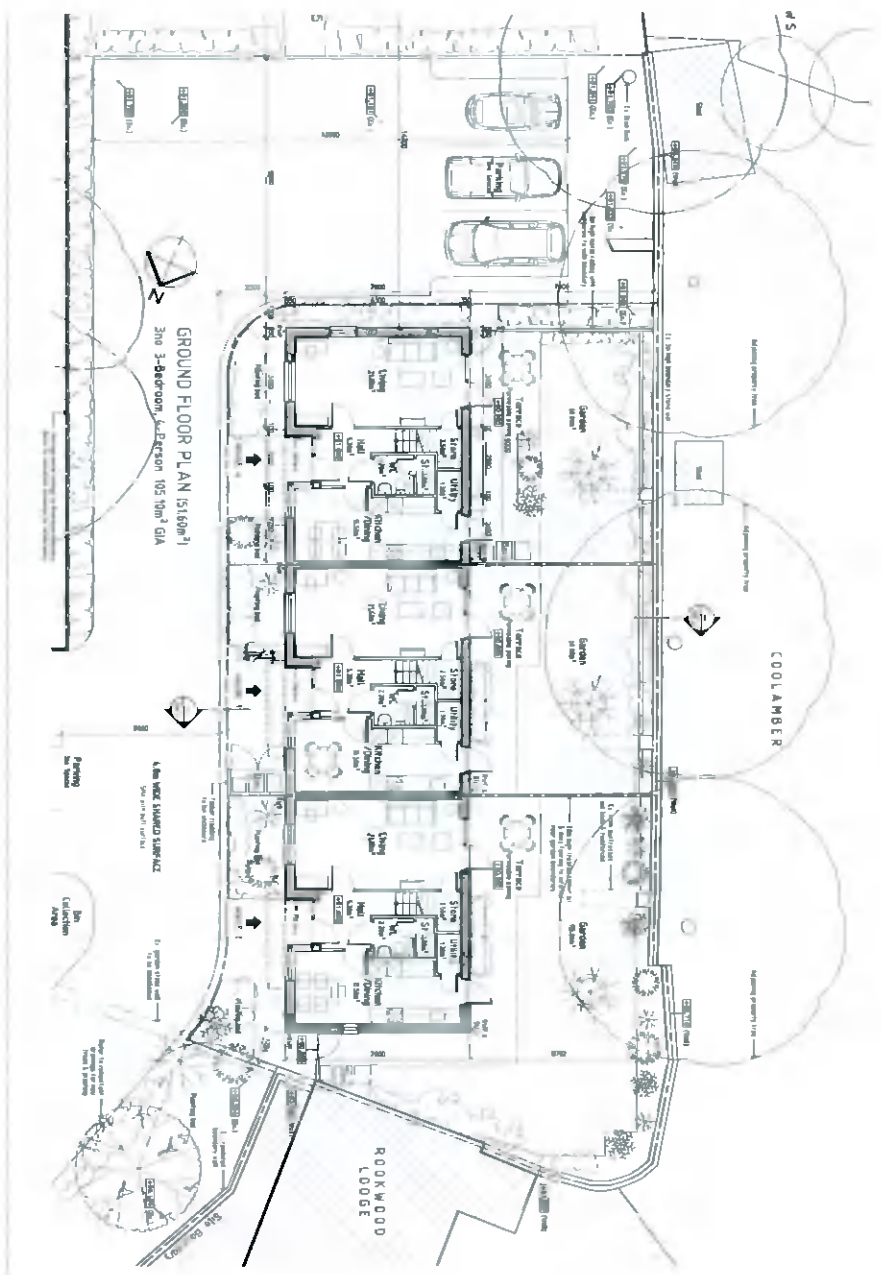


Fig 51. Ground Floor Plans

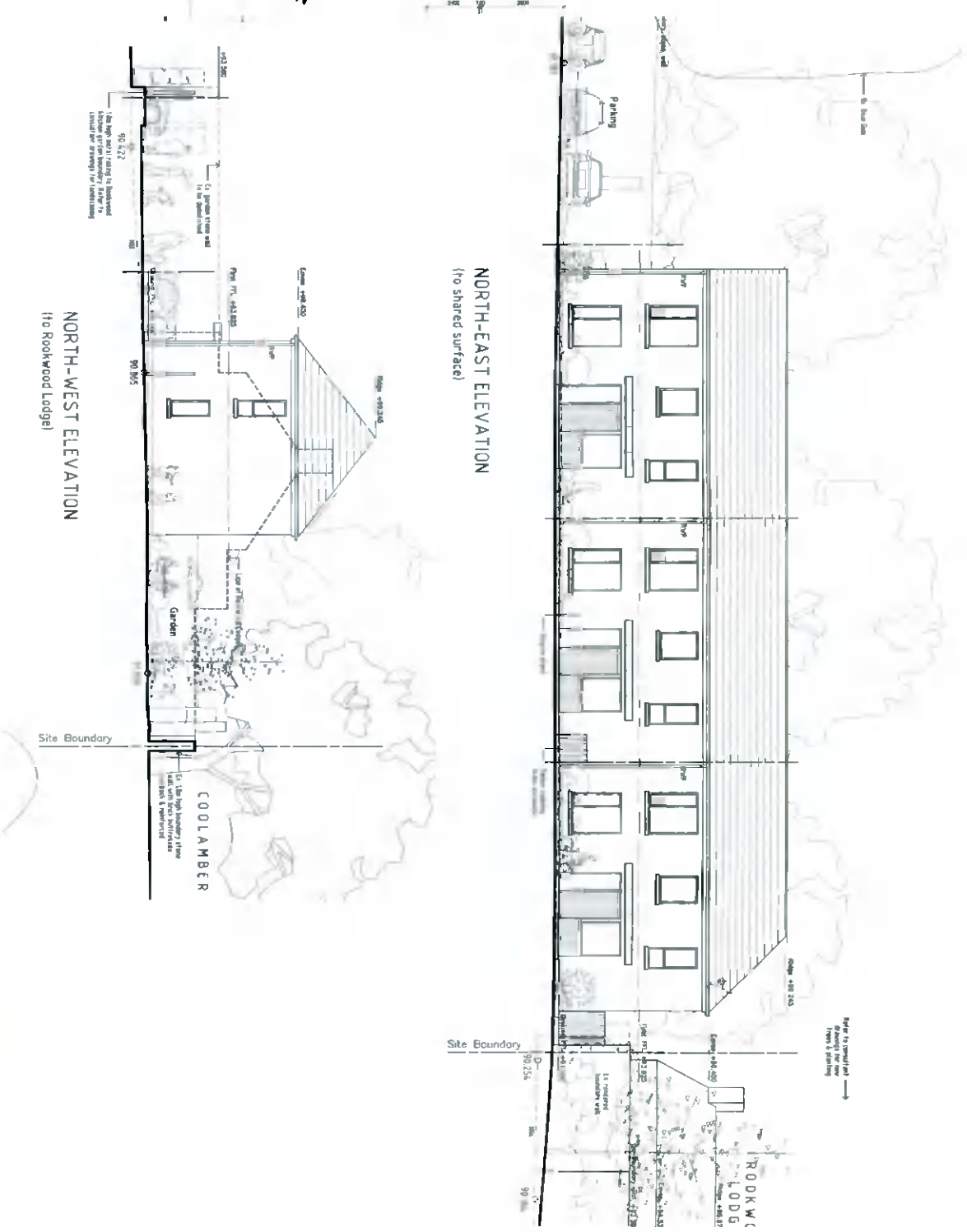


Fig 52. Elevations



06 - 02 Detached Mews :

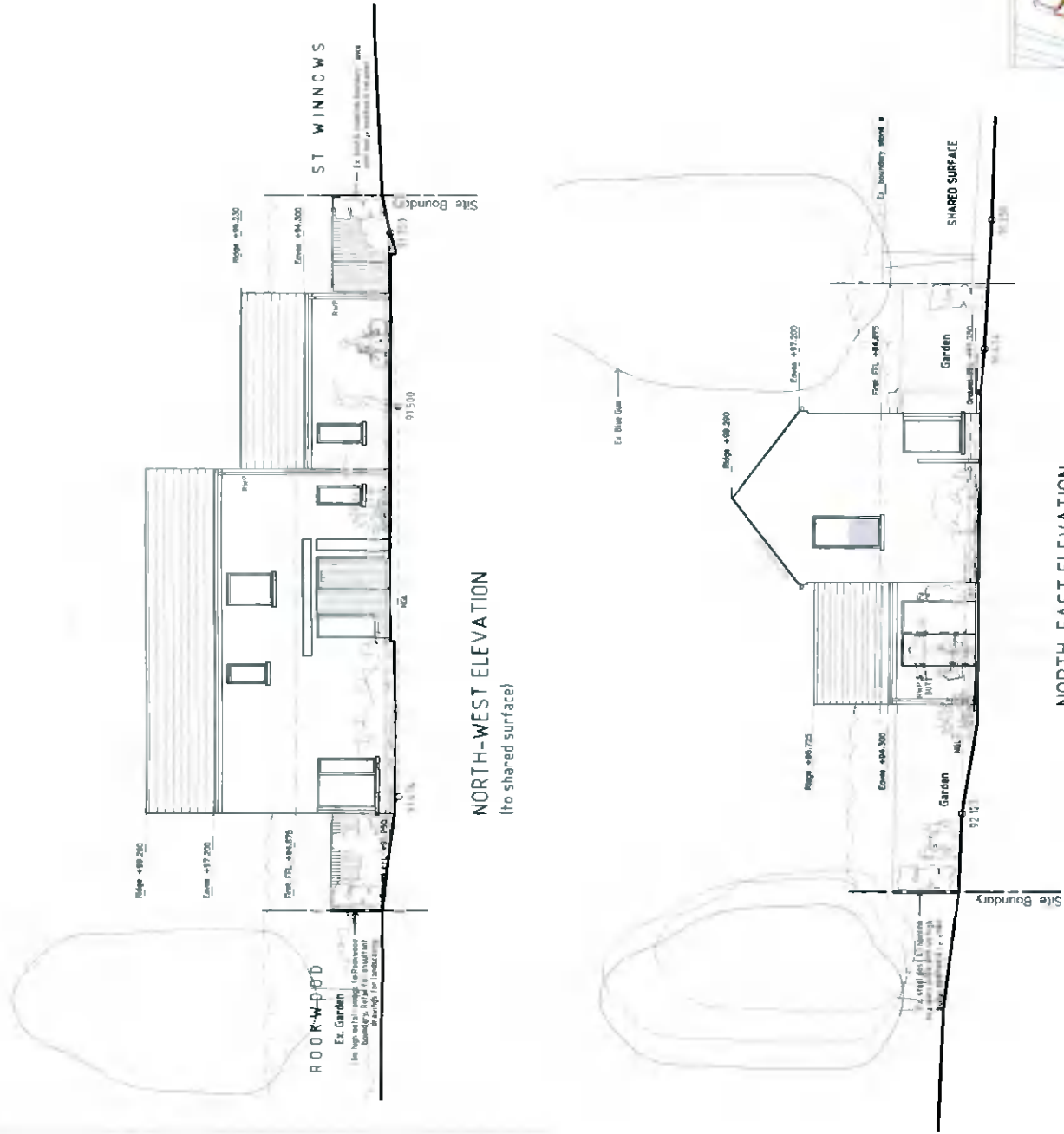
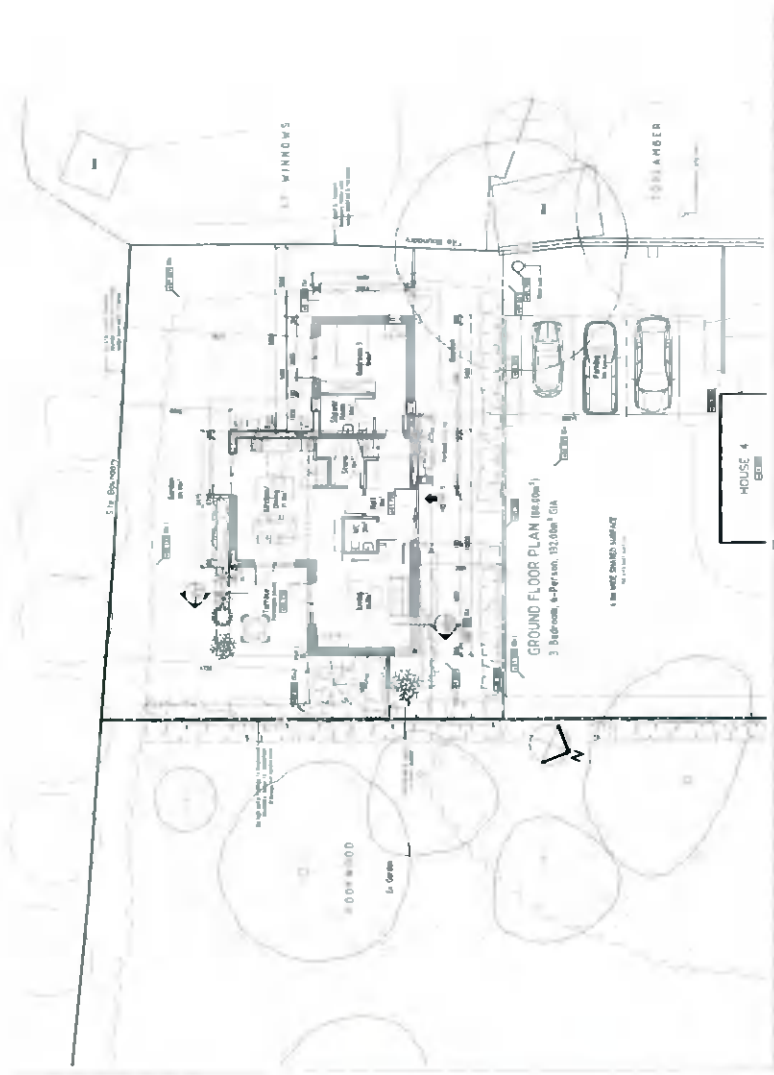


Fig 53. Ground Floor Plans

Fig 54. Elevations



06 - 03 Detached Woodland House :

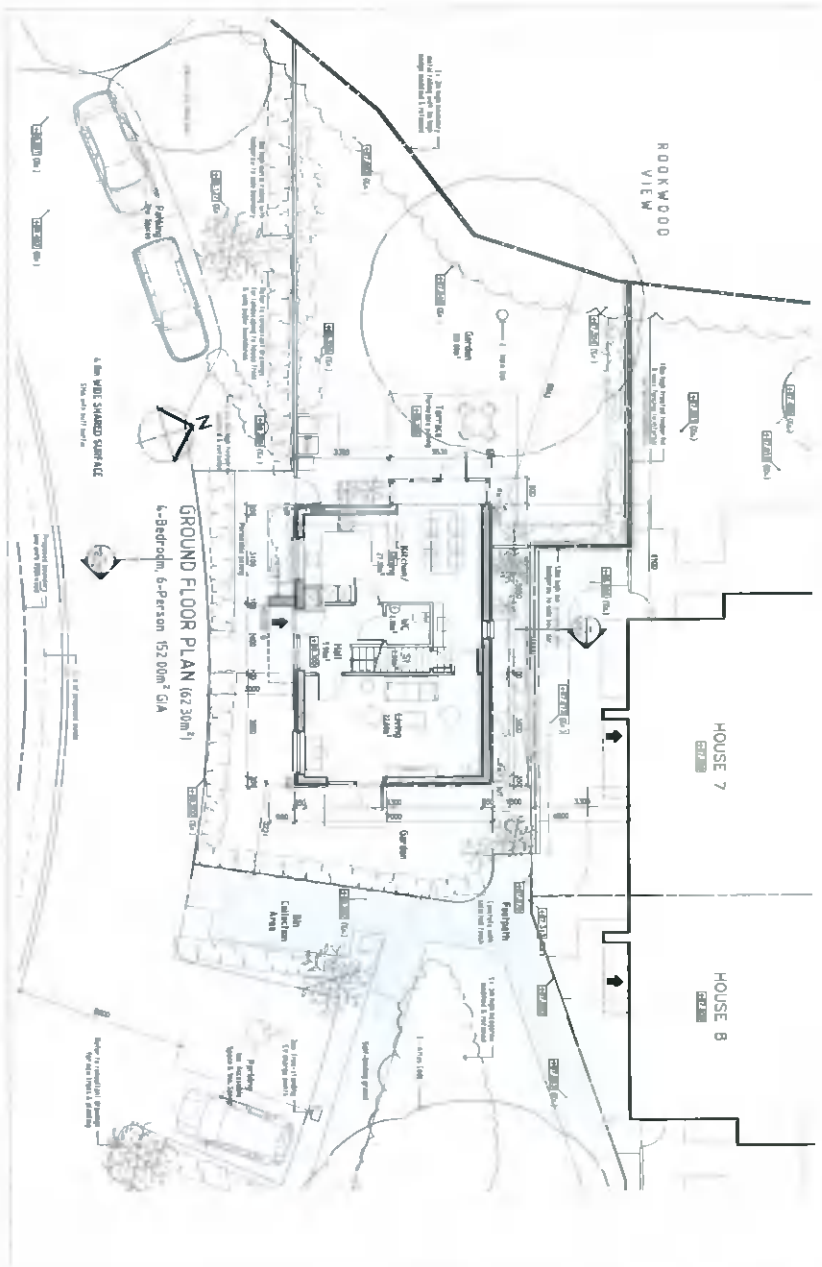


Fig 55. Ground Floor Plans

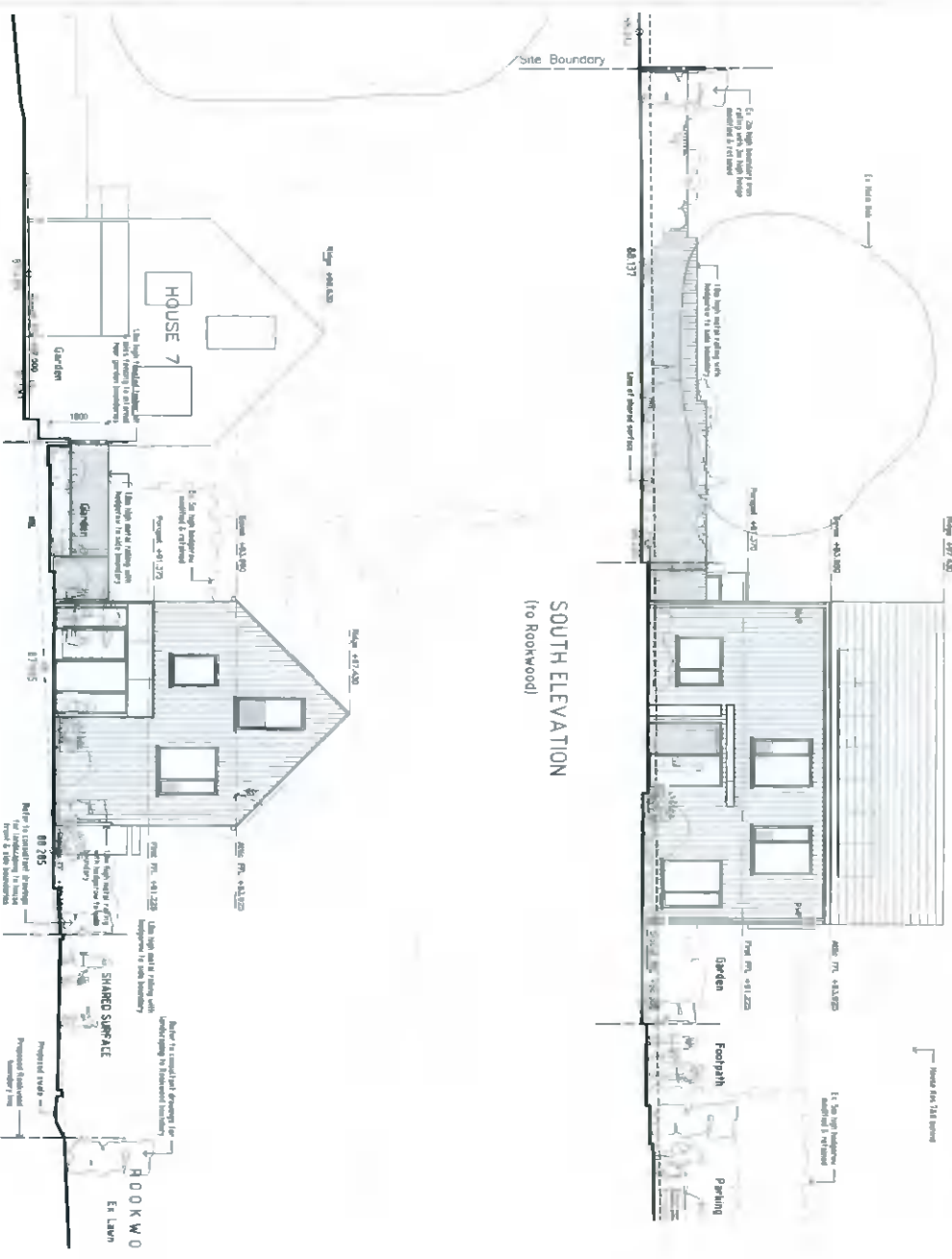


Fig 56. Elevations



06 - 04 Semi-Detached Woodland Houses :

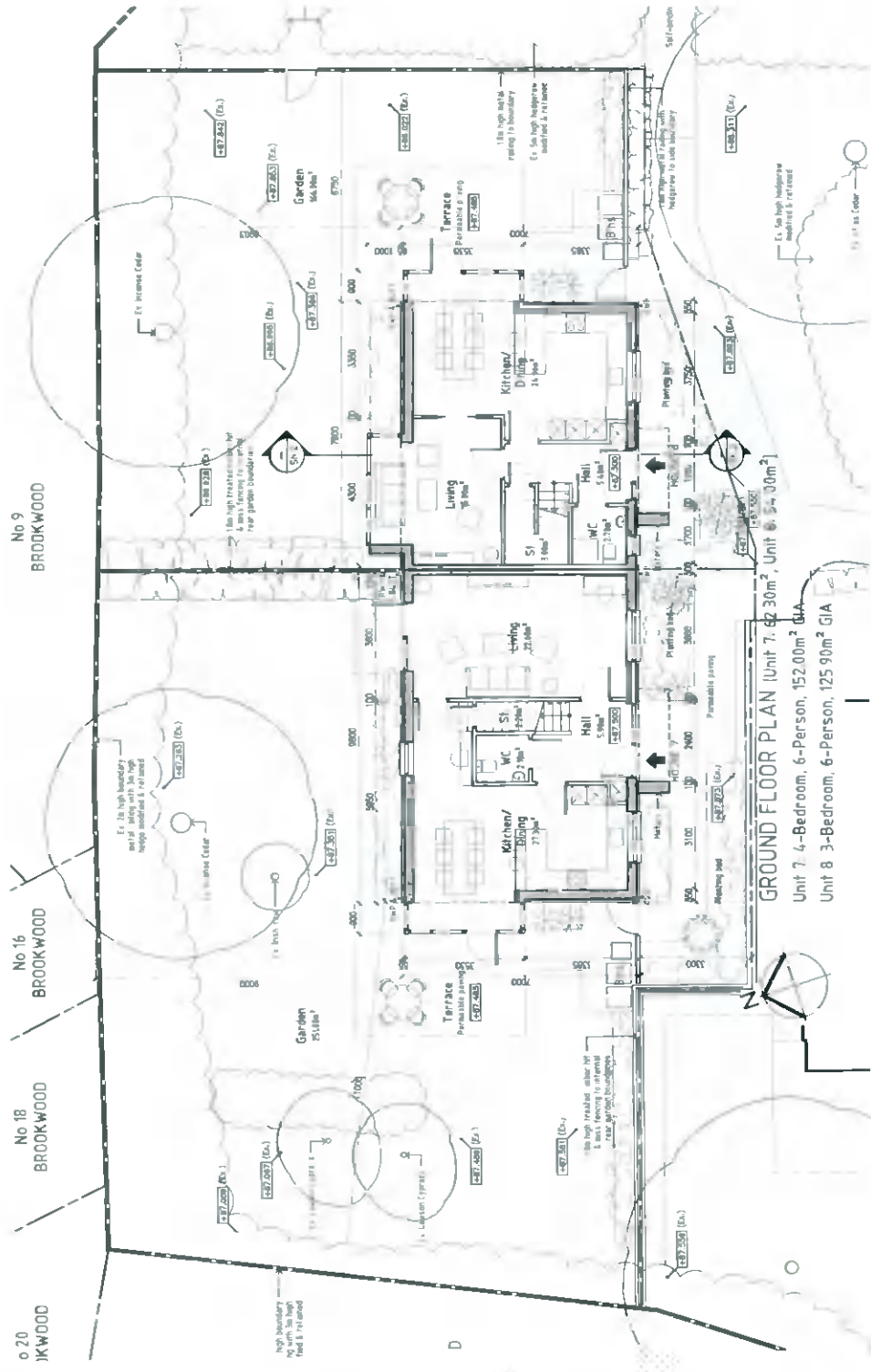


Fig 57. Ground Floor Plans

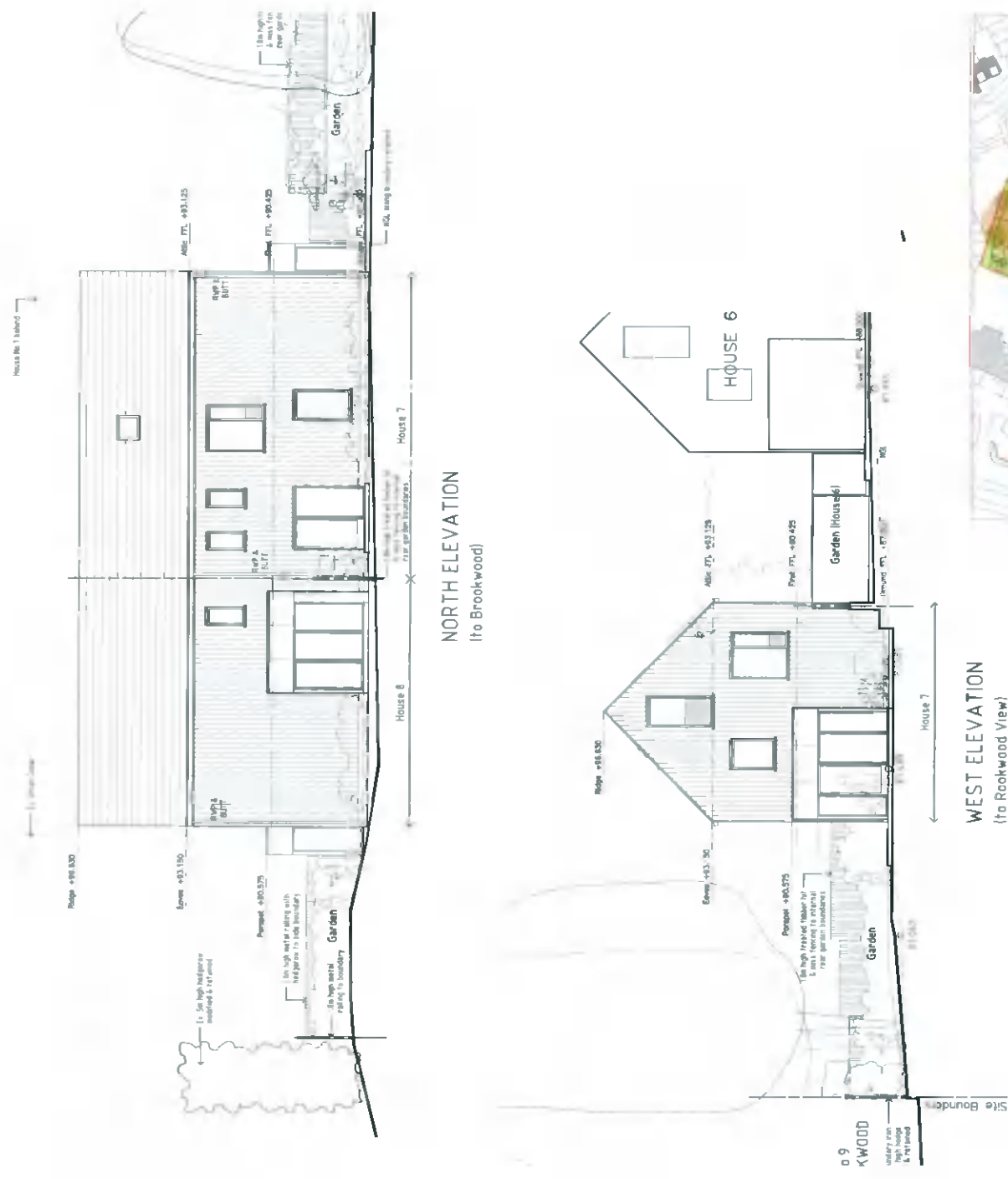


Fig 58. Elevations



06 - 05 Site Sections :

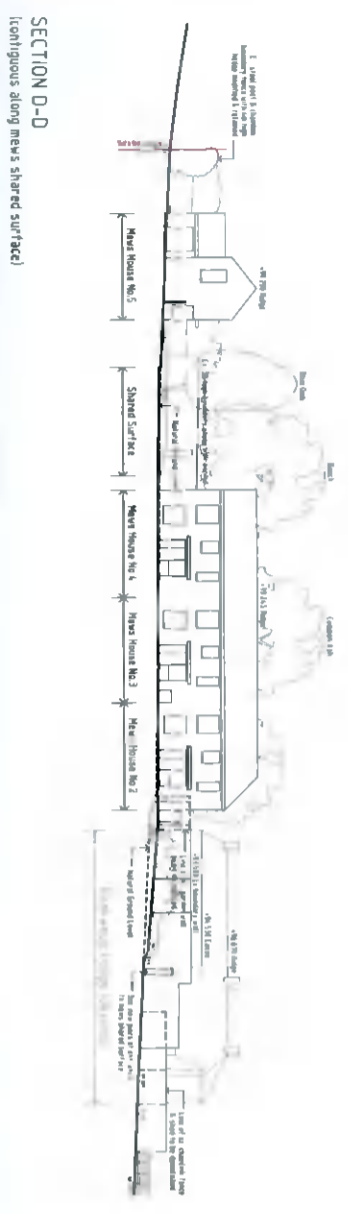
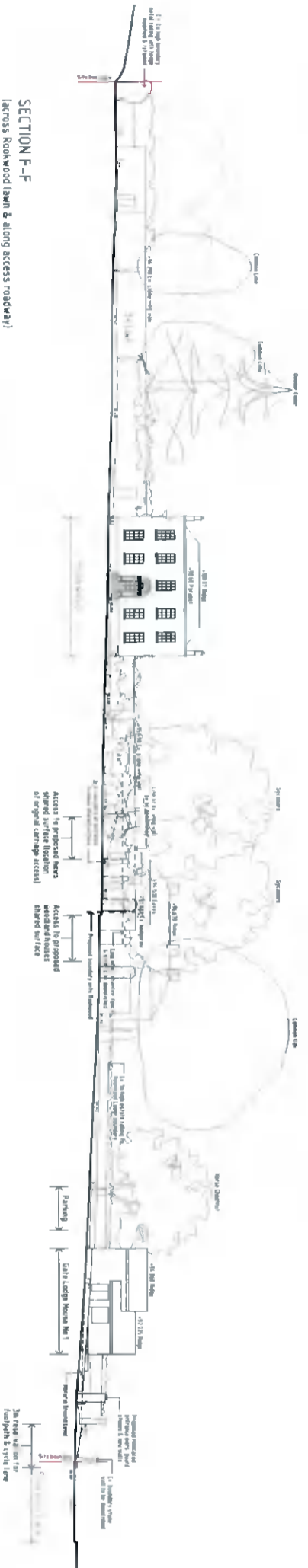
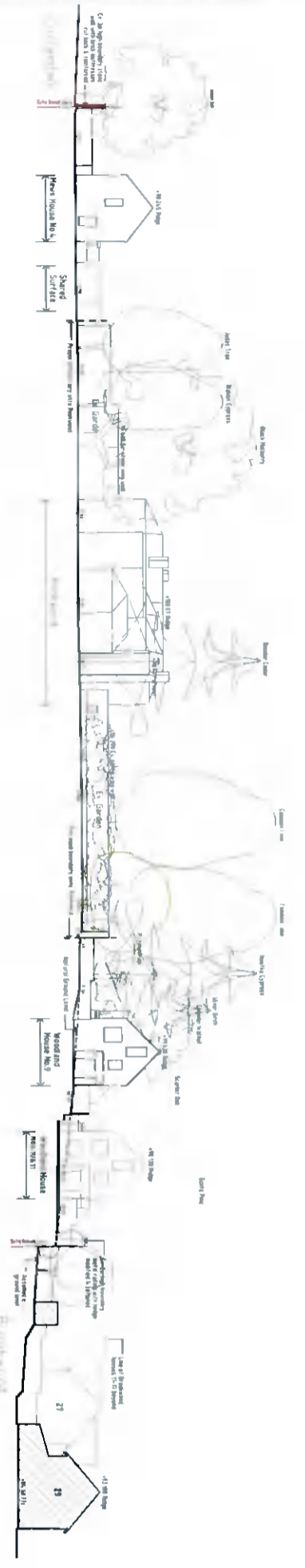


Fig 59. Site Sections

06 - 06 Stocking Lane Entrance :

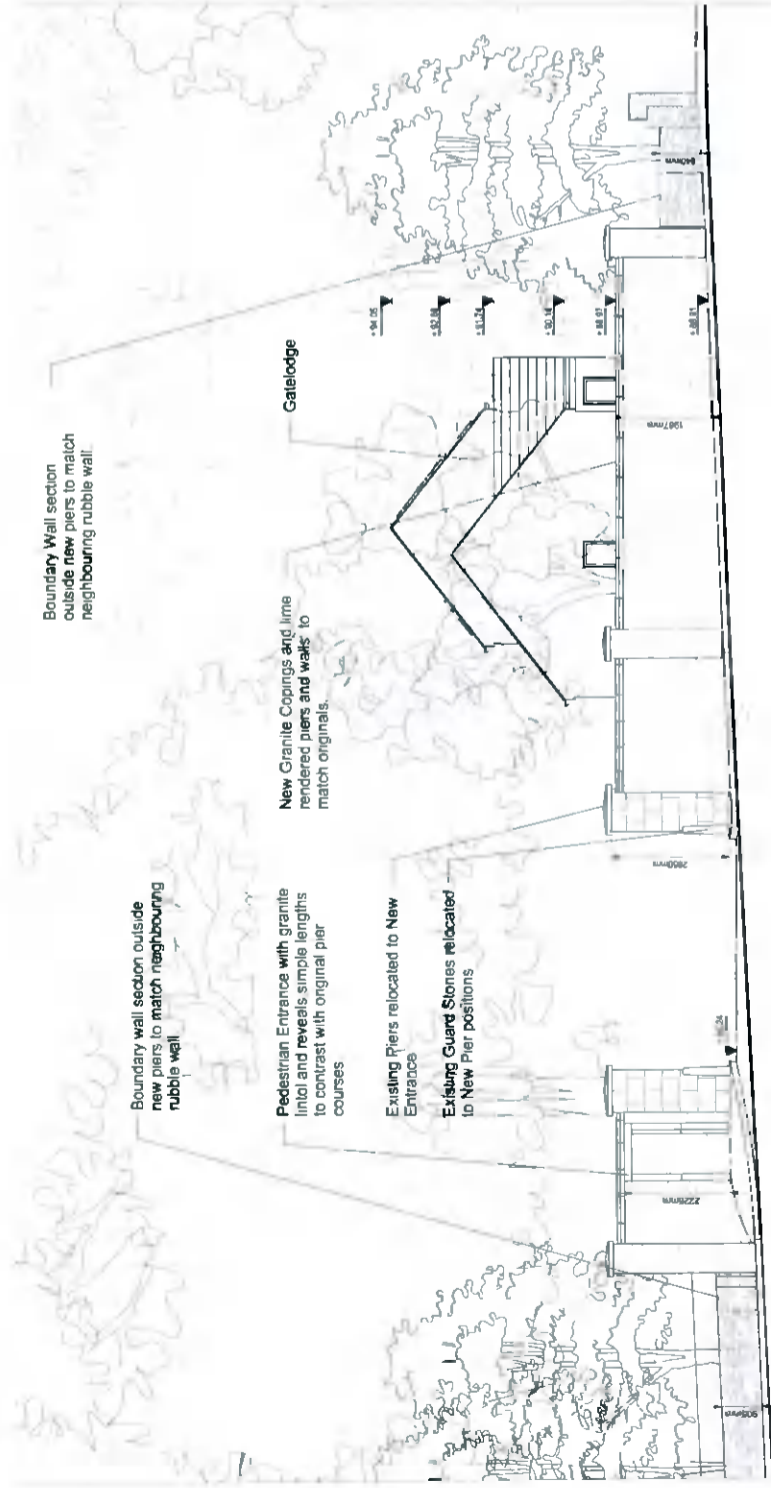


Fig 60. Stocking Lane Entrance



Fig 61. Stocking Lane entrance - entrance relocated to provide adequate entrance sight lines on the road



06 - 07 North & West Boundary Walls to Rookwood House

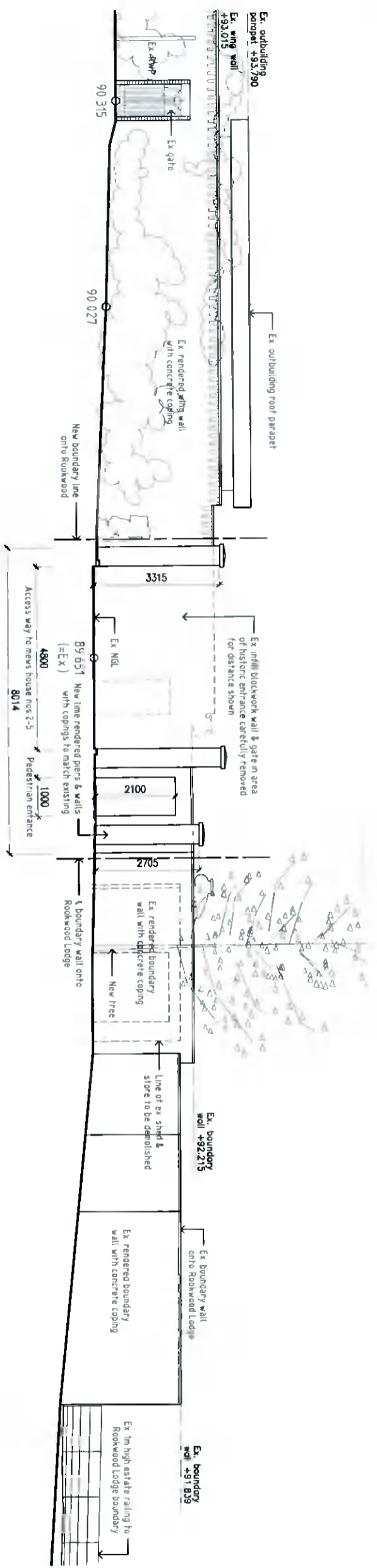


Fig 62. North Elevation - Flanking wall - new opening formed in wall

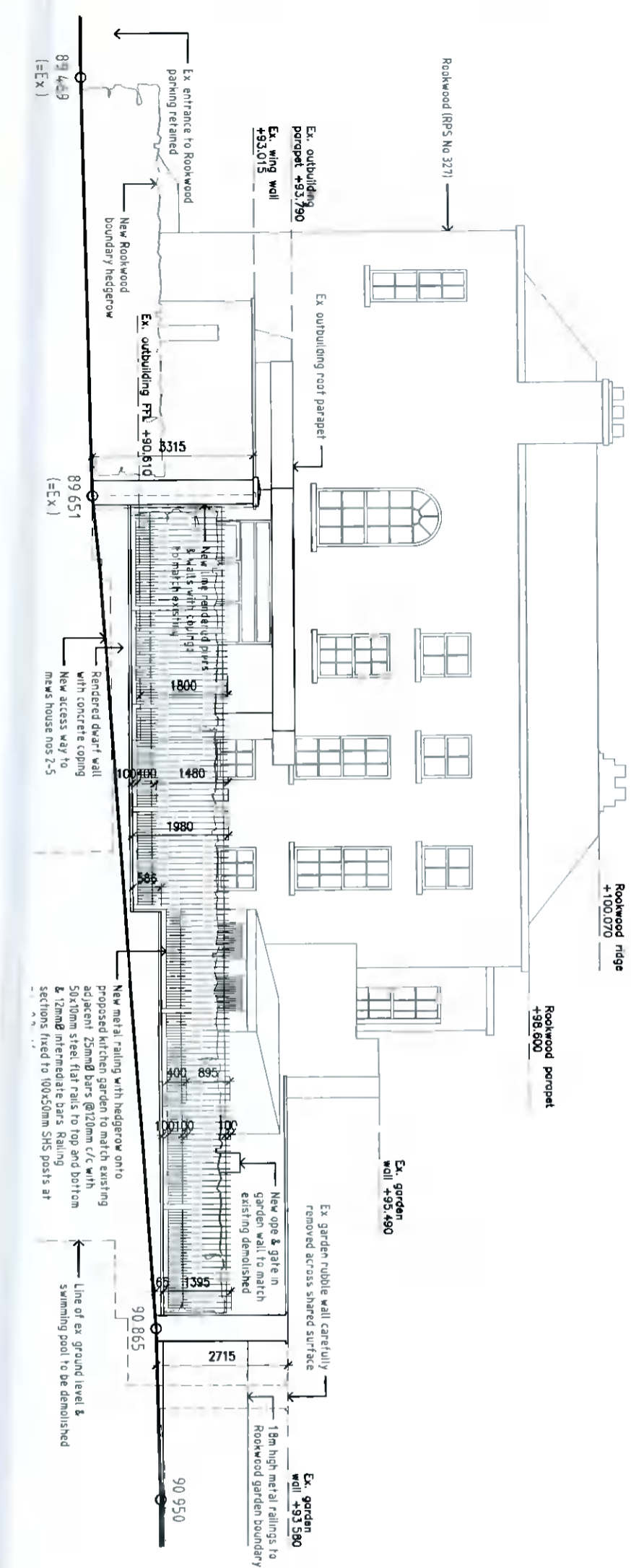


Fig 63. West Elevation - New screen wall to access road to new News Houses



06 - 08 Photomontage :



Fig 64. Aerial - Google Map



Fig 65. Aerial Photomontage

06 - 08 Photomontage :



Fig 66. Aerial - Google Map



Fig 67. Stocking Lane entrance - Aerial Photomontage

07 Architectural Heritage Impact Assessment

Architectural Heritage Impact Considerations:

This section addresses the impact of the proposed development on the setting of Rookwood, a protected structure. No works are proposed to the house. The architectural heritage impact assessment assesses the impact having regard to compliance with statutory policies, designations and guidance, in particular regarding impacts on the area character, character of the protected structure and its special heritage interest value.

The impact of potential development within the curtilage of the Protected Structure and the impact on the Protected structure and its setting.

General:

The wider context has changed radically from its original rural characteristic. The house setting makes an important contribution to the appreciation of its architectural quality. The extant landscape sylvan character retains a semblance of 'Rural' and whilst not entirely original the entrance sequence from semi rural road of Stocking Lane along a tree lined avenue to an open expanse of lawn with trees creates an attractive setting to the house. The flanking wall either side of the house give emphasis to its prominence, creating separation between the enclosed 'Walled garden' like space and open characteristic of lawn to front.

The landscape characteristic of the setting is integral and important to the appreciation of the house and its architectural integrity. Rookwood's significance and sensitivity to change has been assessed during the conservation based development strategy process (ref. section 05) which set a conservation based design framework to enable a design response that is appropriate to the setting of Rookwood. Integration of new development strikes a balance between practical residential development requirements and protection of the historic character of the Rookwood and its setting.

The residential scheme has successfully resolved potential conflicts, but inevitably there is some degree of compromise required in adapting Rookwood grounds to accommodate the requirement of residential developments standards. Retention of existing trees and augmentation of the landscape has been beneficial to a successful integration.

Rookwood In Context

The landscape setting is an integral part of the heritage value of Rookwood and its appreciation. Rookwood's contextual setting has dramatically changed from when it was first built, but even with the changes that has occurred in its immediate landscape, enough of a contextual setting through careful landscaping of

the remaining original grounds is sufficient to provide an appropriate setting for the appreciation of the house. Through careful consideration and design, the design response indicates that further contraction of the setting will retain sufficient spatial separation to the surrounding development without significantly diminishing the heritage value and appreciation of Rookwood. Additionally the positioning of the Woodland houses to form an open communal area provides an effective borrowed extension of landscape to strengthen the landscape setting.

'Mews - Walled Garden Houses'

The tennis court within the rear garden is effectively separated and screened from the house by the extant landscape of trees and hedgerow. Historically there has been an outbuilding complex associated with the house. Outbuilding and mews type structures are traditionally used for purposes subordinate to and dependent on the domestic use of the main house. The proximity of the tennis court area to the outbuilding courtyard identified it as a location for a natural extension to buildings within the "Walled garden" Maintaining scale, height and form of a familiar traditional type building assists in assimilating and maintaining a subservient relationship with the house.

The "Mews" housing cluster adheres to the design framework developed during the Conservation Development Strategy process. The design adopts a scale, form and traditional materiality in contemporary vernacular morphology that is subordinate to the Main House. The Mews Cluster would not diminish the qualities of the extant setting to Rookwood.

'Woodland Houses'

The landscape characteristic of the front lawn is important to the setting of the house particularly the spatial quality 'breathing space' it gives the house. The yew hedge and tree enclosure currently provides separation and screening to a formal Italianate style hidden garden. The area is highly sensitive to change with potential for adverse impact on the house. The conservation development strategy identified that this area of hidden garden has capacity to absorb development into the setting of Rookwood. The lawn area has potential for contraction whilst retaining its intrinsic characteristic that are important to the setting of the House. It is important that the reduced front lawn retains a sufficient spatial characteristic and quality. Proposed development behind the yew hedgerow has been designed with a characteristic of houses set in woodland, so not to be immediately apparent from the main house. Spatial separation between the two clusters of "Woodland House" further accentuate the creation of a sylvan landscape. The "Woodland" housing clusters adheres to the design framework developed during the Conservation Development Strategy process (ref. section

05). The design adopts a scale, form and timber clad materiality in a contemporary vernacular morphology that remains subordinate to the Main House. The Woodland Cluster would not significantly diminish the qualities of the extant setting to Rookwood.

'Gate Lodge'

Historically there was a gate lodge associated with the main house, its original location coinciding with the entrance to Rookwood Lodge. Gate Lodge structures of the Georgian period were part of the considered landscape of an estate grounds where appearances were important. The entrance, lodge and avenue played a significant role as an introduction to the main house often a deliberate design indication of the Main house style.

While not in its original location the introduction of a gate lodge of appropriate scale into the entrance landscape can provide additional gravitas to the entrance sequence. The Gate Lodge design adopts a scale, form and traditional materiality of historic gate lodges in contemporary design that is appropriate to the entrance associated with a Country House of the scale of Rookwood. A new gate lodge would not diminish the quality of the entrance sequence to Rookwood.

'Thresholds'

Patterns of access can be critical to the appreciation of how a house is seen and experienced in its settings. The extant pierced entrance with flanking walls is the first visible architectural expression of Rookwood. The entrance will require repositioning and reordering to meet development standards and achieve an acceptable entrance/exit on to the main road. Relocating and reordering the entrance is considered acceptable as original piers are retained with extant architectural expression and characteristics maintained. A re-ordered tree lined avenue will serve Rookwood, the "Walled Garden Houses" and the Woodland houses. The primacy of entrance will still be to Rookwood with secondary entrances to the new housing clusters. The treatment of threshold transition requires careful consideration and should not be discordant with extant characteristic of the entrance to the site. A new pierced entrance will be located at the end of the avenue signifying the primacy of the threshold entrance to the main house.

'Rookwood House'

No works are proposed to Rookwood House. The house remains in continued residential use and is adequately maintained by the current owner in good condition. There will be no impact on the physical fabric of the extant house.

A shed/garage structure of no architectural heritage value abutting the flanking wall to the west side of Rookwood House will be removed to facilitate a new opening to provide access to the new Mews cluster development. The new opening corresponds to a historic access point to the outbuilding complex. The opening is sufficiently distanced from the Rookwood House main facade whilst maintaining existing planting separation will temper the visual impact. A new boundary wall will be provided along the west side to screen the west elevation of Rookwood whilst reducing the existing courtyard in size, it will still provide adequate spatial separation.

Conclusion:

Urban landscape is a diverse environment that is constantly evolving. Such change does not necessarily diminish its contributing heritage value. The design response to the integration of development at Rookwood House has successfully managed the necessary alteration to the landscaped setting, by careful location and integration of the housing clusters of an appropriate scale and density, whilst providing sufficient landscaped spatial separation around Rookwood House, ensuring that an appropriate setting is provided that protects the special heritage interest values of Rookwood House.

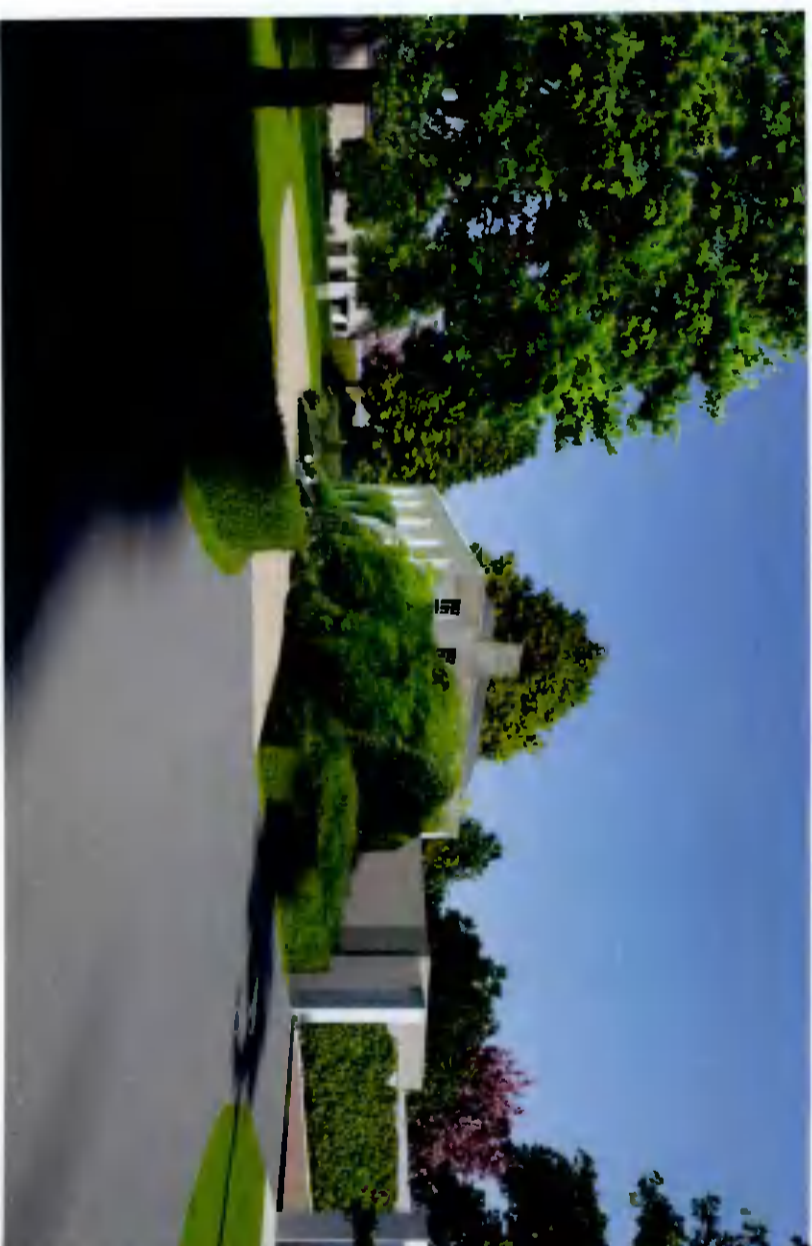


Fig 68. Rookwood House - Rookwood house retains its prominence, new entrance to Mews Development formed in flanking wall on west side, west courtyard providing sufficient spatial separation. Woodlands houses merge into the landscape.

