



**THORNTON O'CONNOR**  
TOWN PLANNING

## **Planning Submission**

**In respect of an Amendment to a Previously Permitted Industrial Scheme (South Dublin County Council Reg. Ref.: SD19A/0407) at a Site Known as 'Site C', College Lane, Greenogue, Rathcoole, Co. Dublin**

**Submitted on Behalf of**

**Jordanstown Properties Limited**

July 2021

NO. 1 KILMACUD ROAD UPPER, DUNDRUM, DUBLIN 14, D14 EA89  
+353.1.205.1490 INFO@TOCTOWNPLANNING.IE  
WWW.TOCTOWNPLANNING.IE



Planning Department  
South Dublin County Council  
County Hall  
Tallaght  
Dublin 24  
D14 YNN5

Friday, 16<sup>th</sup> July 2021

Dear Sir/ Madam

**RE: AMENDMENT TO A PREVIOUSLY APPROVED WAREHOUSE DEVELOPMENT COMPRISING AN OVERALL INCREASE IN THE COMMERCIAL FLOOR AREA FROM THE PERMITTED 13,959 SQ M TO 29,439 SQ M AT A SITE KNOWN AS SITE C, COLLEGE LANE, GREENOGUE, RATHCOOLE, CO. DUBLIN**

## INTRODUCTION

### 1.1 Application for Development

Jordanstown Properties Limited<sup>1</sup> has retained Thornton O'Connor Town Planning<sup>2</sup> in association with Kavanagh Burke Consulting Engineers<sup>3</sup>, JBA Consulting<sup>4</sup>, Stephen Reid Consulting Traffic and Transportation<sup>5</sup> and 3D Design Bureau<sup>6</sup> to prepare this planning application for an amendment to a previously permitted industrial scheme (South Dublin County Council Reg. Ref.: SD19A/0407) at a site known as 'Site C', College Lane, Greenogue, Rathcoole, Co. Dublin.

The scheme permitted by South Dublin County Council granted permission for an industrial development (13,959 sq m) comprising a warehouse (12,369 sq m), staff facilities (548 sq m) and ancillary offices (1,042 sq m). At the time the application was granted by South Dublin County Council there was no end user identified by our Client.

### 1.2 Extant Permission SDCC Reg SD19A/0407

On the 24<sup>th</sup> of April 2020, permission was granted for the provision of a warehouse unit with ancillary three storey office, staff facilities and associated development. The building was permitted with a maximum height of 23.7 m with a gross floor area of 13,959 sq m.

<sup>1</sup>Greenogue Plaza, Greenogue Industrial Estate, Rathcoole, Co. Dublin.

<sup>2</sup> No. 1 Kilmacud Road Upper, Dundrum, Dublin 14.

<sup>3</sup> Unit G3, Calmount Park, Ballymount, Dublin 12.

<sup>4</sup> No. 24 Grove Island, Corbally, Limerick.

<sup>5</sup> Estuary House, New Street, Malahide, Co. Dublin.

<sup>6</sup> No. 65 Rock Road, Blackrock, Co Dublin.

The development also included the provision of 1 No. new vehicular access/egress point at the northern corner of the subject site and 1 No. HGV access/egress point at the southern corner of the subject site which connect onto the internal access road for 2 No. adjacent permitted warehouses (SDCC Reg. Ref. SD18A/0265) and a permitted waste metal facility (SDCC Reg. Ref. 19A/0065) which links to the Greenogue Roundabout on the R120; 119 No. ancillary car parking spaces; bicycle parking; HGV yard with 12 No. loading bays; level access goods doors; dock levellers; hard and soft landscaping; ESB substation (9 sq m); boundary treatments; and associated site development works above and below ground.

### 1.3 Summary of the Now Proposed Amendment Application

The purpose of the now proposed amendment application is to facilitate the requirements of the end users Uniphar. Uniphar intend to expand their current operations at Citywest and Greenogue (Unit 646 A and B). The rationale for the expansion of existing Uniphar facilities is provided at Section 3.0 of this report.

The amendments principally comprise: an overall increase in the commercial floor area by 15,479 sq m from the permitted 13,959 sq m to 29,438 sq m. The permitted scheme has 3 No. internal ancillary office floor levels, and the proposed alterations provide 2 No. mezzanine levels in the warehouse area (i.e a total of 5 No. internal floor levels). The permitted maximum height of the development at 23.7 metres will remain unchanged.

The additional 15,479 sq m development proposed will comprise an increase in the warehouse floor area from 12,369 sq m to 13,353 sq m, staff facilities from 548 sq m to 2,582 sq m and ancillary office area from 1,042 sq m to 2,437 sq m. In addition to the provision of a 2 No. storey mezzanine warehouse area (9,703 sq m), integrated plant room (434 sq m) and plant area on 2 No. floors (929 sq m).

The development will also include the construction of a 2 No. storey car-parking area (4,057 sq m and 7.8m height) to accommodate an increase from the previously permitted 119 No. ancillary car parking spaces to 190 No. car parking spaces; 13 No. designated van parking spaces (no dedicated van spaces previously proposed); 72 No. permitted cycle parking spaces; reconfiguration of the HGV yard and an increase in the number of HGV dock levellers from 12 No. to 14 No. and the provision of 16 No. van loading level entry doors; the provision of an additional egress on the eastern boundary to facilitate vans exiting the site; sprinkler tank and associated underground pumps; repositioned ESB substation (15 sq m and 3 m height); bin storage (42 sq m and 2.9 m height); amended lighting layout; signage; modifications to hard and soft landscaping and boundary treatments; and associated site development works above and below ground.

### 1.4 Appropriate Assessment

This application was screened for Appropriate Assessment by JBA Consulting. Having regard to the location of the subject site at a distance from any Natura 2000 sites and the nature and extent of the development, the screening report concludes that:

*'Following this initial screening, it can be concluded that given the lack of connectivity through the potential pathways of impact (surface water; groundwater; and land & air), and distance from the proposed site, significant negative impacts are **not anticipated** to occur on the following Natura 2000 sites:*

- Rye Water Valley/Carton SAC (001398)
- Glenasmole Valley SAC (00120)
- Red Bog, Kildare SAC (000397)
- Wicklow Mountains SAC (002122)
- Poulaphouca Reservoir SPA (004063)
- Wicklow Mountains SPA (004040)
- North Dublin Bay SAC (000206)
- South Dublin SAC (000210)
- North Bull Island SPA (004006)
- South Dublin Bay and River Tolka Estuary (004024)

*If any changes occur in the design of these works, a new Screening for Appropriate Assessment is required.'*

The Appropriate Assessment Screening is submitted as a standalone document with this planning application.

### 1.5 Purpose of this Report

The purpose of this Planning Report is to provide an overview of the following:

<b>Section 1.0:</b>	Introduction
<b>Section 2.0</b>	Site Location and Description
<b>Section 3.0:</b>	Rationale for the Proposed Application
<b>Section 4.0:</b>	Planning History
<b>Section 5.0:</b>	Development Description
<b>Section 6.0:</b>	Planning Policy Context
<b>Section 7.0:</b>	Planning Application Administration
<b>Section 8.0:</b>	Conclusion

## 2.0 SITE LOCATION AND DESCRIPTION

### 2.1 Site Location

The subject site is located to the south–east of Greenogue Business Park and to the south-west of the Aerodrome Business Park, in an established business location in South-West Dublin. The subject site is ideally located in close proximity to the R120 and N7 roadways.

The site is located within approximately 400 metres of bus stops on College Lane (located between the Greenogue and Aerodrome Business Parks) which will facilitate easy access to and from the site, allowing employees to commute to work by public transport. The No. 68 bus serves locations such as Newcastle, Clondalkin, Red Cow, Bluebell Luas, Dolphin’s Barn and Dublin City Centre including Camden Street, Aungier Street, Poolbeg Street, College Green, Exchequer Street and South Circular Road.



Figure 2.1: Location of Subject Site (Indicative Site Boundary outlined in Red).

Source: Myplan.ie, OSI Map, annotated by Thornton O'Connor Town Planning, 2021.

### 2.2 Site Context

The subject site, which is generally regular in shape, measures approximately 2.7 Ha (c. 27,000 sq m). The proposal seeks to provide an extension to a previously permitted warehouse unit with ancillary office use which will utilise a strategically positioned zoned site to provide enterprise and employment uses. Greenogue Business Park is a thriving business park and home to many major employer in south-west Dublin. We highlight that Uniphar occupy an existing unit in the Greenogue Industrial Estate (Units 646 A and B), in addition to a unit at Citywest and that this application will allow an expansion of their operations in South Dublin.



Figure 2.2: Aerial View of the Subject Site as Shown in Red (Indicative Only).

Source: Google Maps, Annotated by Thornton O'Connor Town Planning, 2021.

The vehicle and pedestrian entrances to the subject site are via the permitted access road to the north of the subject site (permitted under SD18A/0265, SD19A/0065). This access road connects to the R120 road, which is also utilised by the Greenogue and Aerodrome Business Parks. The planning history of surrounding sites is provided at Section 4.0 of this report.

### 3.0 RATIONALE FOR THE PROPOSED DEVELOPMENT

#### 3.1 Expansion of Uniphar Group PLC Facilities in South Dublin

Uniphar is a pharmaceutical wholesaler founded in 1967 with its headquarters based in Citywest, Dublin. The company has seen rapid growth in the past 10 No. years and is now considered as having one of the strongest wholesale depot structure in the Irish pharmaceutical market with depots now located in Dublin, Cork, Limerick, and Sligo<sup>7</sup>.

According to Uniphar<sup>8</sup>, their €65 million state of the art warehousing and distribution facility at Citywest Distribution Centre (CDC) is:

*'one of the most technologically advanced of its kind in Europe. This ensures that they can offer an excellent distribution service to meet the needs of manufacturers, community pharmacy, hospital pharmacy and veterinary surgery across the country.'*

In an article published in the Irish Times on 27<sup>th</sup> January 2021 entitled 'Uniphar sees profit and earnings grow despite Covid challenge'<sup>9</sup>, Uniphar Chief Executive stated that:

*'Our trading update reflects a strong performance for 2020 and I'm very proud of what our team have achieved, and in particular the great resilience and unstinting commitment demonstrated by them throughout this unprecedented and challenging period' furthermore noting that "Progress in the last 12 months has been significant despite the challenging backdrop.'*

Uniphar are now looking to expand their current capacity to meet the growing demand for their services and have identified the lands know as 'Site C', College Lane, Greenogue, Rathcoole as the optimal location. However, an expansion of the gross floor area is required from the previously approved warehouse under the extant permission to facilitate their 'critical distribution facility' operations and automated picking capacity. We highlight that Uniphar will also continue to operate at their current premises at Citywest and Greenogue Business Parks.

##### 3.1.1 Technological Advancements

The proposed amendments to the extant permission (South Dublin County Council Reg. Ref.: SD19A/0407) will facilitate a critical distribution facility for Uniphar to further support their existing operations at Citywest and Greenogue Business Parks. The proposed amendment application will provide Uniphar with the opportunity to develop an advanced picking system thus significantly increasing capacity of the warehouse to an extent that is competitive within the market. The industrial warehouse development as currently permitted does not have the capacity to accommodate the equipment needed by Uniphar to operate. The key benefits of implementing such an innovative and high technological system are summarised below:

- 85% automation share;
- Handling of more than 19,000 No. order lines in peak hours;
- One shuttle system for all business areas;
- Balanced peak hours and workload due to pre-picked and buffer concept;

<sup>7</sup> [www.uniphar.ie/working-at-uniphar](http://www.uniphar.ie/working-at-uniphar)

<sup>8</sup> *ibid*

<sup>9</sup> [www.irishtimes.com/business/health-pharma/uniphar-sees-profit-and-earnings-grow-despite-covid-challenge-1.4469010](http://www.irishtimes.com/business/health-pharma/uniphar-sees-profit-and-earnings-grow-despite-covid-challenge-1.4469010)

- Optimised building utilisation with 19 m shuttle height and maximum free space on ground floor;
- Highly automated picking with A-Frame and Piece Picking Robots;
- Automated palletising for pre-warehouse business; and
- Automated FMD verification with order verifier.

The detailed design of the proposed amendments to the permitted warehouse are discussed at Section 5.0 of this report.

### 3.2 Demand for High Quality Industrial Development in Greenogue and Aerodrome Business Parks

The Greenogue and Aerodrome Business Parks represent a well-established and high-quality designed environment that provides an economic cluster that has been subject to major investments in the provision of high-quality infrastructure and services. The lands are a major employment node in South Dublin County that have the design capacity to be extended to create further employment opportunities for the ever-increasing local population.

Located beside the Casement Aerodrome (Baldonnel), the Greenogue and Aerodrome Business Parks provide significant employment within the South Dublin region. The subject lands are approximately 750 metres from junction No. 4 of the M7 (Naas Road). This proximity to a major transport corridor between Dublin and the south-west provides a strategic and sustainable location for the movement of goods and materials to their respective supply chains. This location is also within approximately 10 minutes travel of the M50 motorway, which provides regional access to the Greater Dublin Area and the Airport and Dublin Port. This level of access allows for the movement of goods to and from the proposed warehouse in a sustainable and efficient manner which can respond to supply chain demand, e-commerce, and other factors.

Over the past 15 to 20 years, the Greenogue and Aerodrome Business Park has established itself as one of the leading locations in Ireland for warehousing and logistics companies. Over that time the type of warehousing space required by operators has changed considerably, as logistics and storage practices have evolved. Historically warehouse operators required a 10 m clear internal height and a floorspace of approximately 2,000 sq m for their operations. A new trend has emerged with modern operators requiring warehouses with larger floor plates and greater internal heights. The proposed development of this amendment planning application does not propose an increase in height from the 23.7 m permitted under the extant scheme (South Dublin County Council Reg. Ref.: SD19A/0407) which will facilitate the modern practices of the logistics and supply sector.

This emerging demand is driven by a number of factors, including, but not limited to the consolidation of the logistics and storage sector with fewer but bigger players in the market; more companies outsourcing their storage and distribution requirements and a significant increase in the online retail sector which requires larger distribution centres and automated storage and picking within the warehouse. The height, scale, and massing of the proposed development subject to this amendment application has been specifically designed to accommodate the advanced picking system for Uniphar's critical distribution facility. It is therefore our professional planning opinion that the proposed represents an efficient and sustainable use of zoned and serviced lands.



### 3.3 The Current Lack of Supply of Warehouses Developments in South Dublin Does Not Meet The Requirements to Facilitate Uniphar's Operational Needs

There is a significant demand for industrial developments with large floorplates and clear internal heights which has consequently led to a shortage of suitable industrial facilities that would have the ability to meet the requirements needed by Uniphar to facilitate their picking equipment.

In a recent Irish Times article entitled *Investors eye purchase of €78m worth of Dublin logistics assets*<sup>20</sup> dated 3<sup>rd</sup> March 2021, it was outlined that:

*'With the Covid-19 pandemic serving to accelerate the growth of e-commerce and with traditional supply chains under pressure as a result of Brexit, the competition among international investors for industrial and logistics assets in Dublin and beyond shows no sign of relenting.'*

The CBRE *Dublin Industrial and Logistics MarketView Q1 2021*<sup>21</sup> reports a 'Significant Increase in Demand for Industrial Property from Both Occupiers & Investors Alike'. The report continues to outline that:

*'Transactional activity in the industrial & logistics sector during Q1 2021 was primarily focused on the Dublin South West (N7) and Dublin North (M2) corridors, which respectively accounted for 45% and 39% of quarterly take-up in Dublin in the quarter'*

It is evident from recent research of the Industrial and Logistics Market as outlined above that the trend for continuing demand for industrial floorplates of appropriate scales will continue for the foreseeable. The now proposed amendments to the extant scheme at the subject lands will facilitate the operational needs of Uniphar and will ultimately contribute to the delivery of high quality modern warehousing in this area of South West Dublin.

<sup>20</sup><https://www.irishtimes.com/business/commercial-property/investors-eye-purchase-of-78m-worth-of-dublin-logistics-assets-1.4499228>

<sup>21</sup> [Dublin Industrial and Logistics MarketView Q1 2021 | CBRE](#)

#### 4.0 PLANNING HISTORY

This section of the report is to provide an overview of the planning history of the subject site and adjacent lands.

#### 4.1 History of the Subject Site

There has been 1 No. recent application at the subject site as referred to in Section 1.0 of this Planning Report, which is proposed to be amended to facilitate the proposed larger development.

##### 4.1.1 SD19A/0407 – Extant Permission for Warehouse Development

SDCC Reg. Ref.:	SD19A/0407
Application Date:	23 <sup>rd</sup> December 2019
Development Description:	Provision of a warehouse unit with ancillary three storey office and staff facilities and associated development; the building will have a maximum height of 23.7 m with a gross floor area of 13,959 sq m including a warehouse area (12,369 sq m); staff facilities (548 sq m) and ancillary office area (1,042 sq m); provision of one new vehicular access/egress point at the northern corner of the subject site and one HGV access/egress point at the southern corner of the subject site which connects onto the internal access road for two adjacent permitted warehouses (Reg. Ref. SD18A/0265) and permitted waste metal facility (Reg. Ref. SD19A/0065) which links to the Greenogue Roundabout on the R120; 119 No. ancillary car parking spaces; bicycle parking; HGV yard with 12 loading bays; level access goods doors; dock levellers; hard and soft landscaping; ESB substation (9 sq m); boundary treatments and associated site development works above and below ground.
SDCC Decision Date:	17 <sup>th</sup> April 2020
SDCC Decision:	Granted Permission subject to 19 No. conditions

In relation to the proposed development, the Planning Officer stated in their assessment that:

*'The application site forms part of a wider site where permission for two warehouses has recently been granted under application SD18A/0265. The site was previously a greenfield site but there have been extensive site clearance works carried out already in conjunction with the approved development.'*

In acknowledging the industrial nature of the surrounding area, the Planning Officer noted that:

*'There are a number of residential properties located in the vicinity of the site located to the south, north-west and north-east. The closest cluster of properties is located approximately 250 metres away from the application site. Therefore, based on the separation distance it is considered that the proposal would not materially harm the amenity of neighbouring residents.'*

Furthermore, the Planning Officer was satisfied with the proposed 23.7 m height:

*'Consideration has been given to the additional height and the visual impact that it would have on the site and surrounding area. The building would appear taller than the other approved buildings when viewed from the R120 and looking south. However, the building would be well set back from the road by approximately 200 metres and as such would be visually acceptable.'*

It should be noted that it is not proposed to increase the height of the development as part of the amendment application subject to this report.

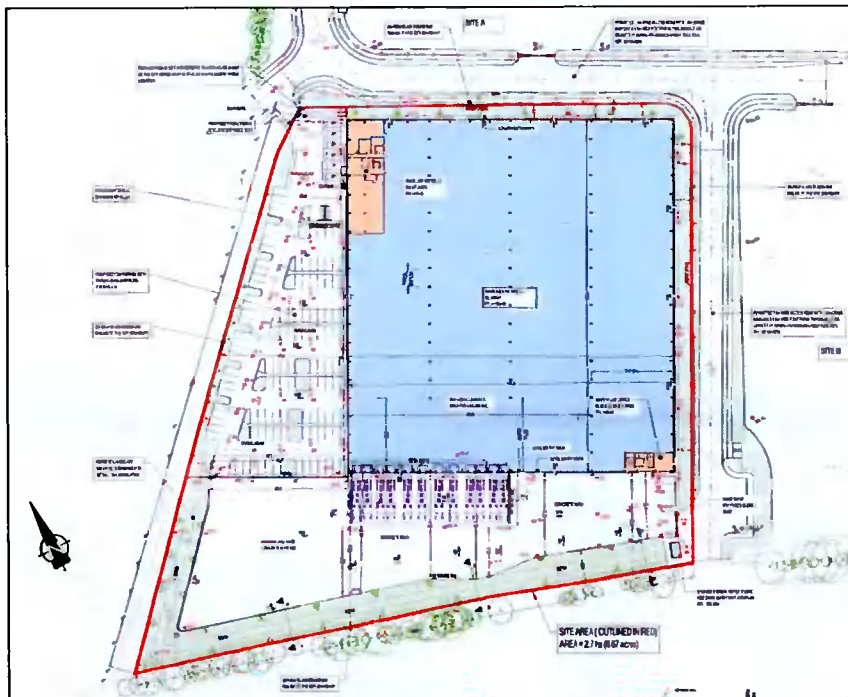
The amended proposal will see the provision of additional car parking spaces from 119 No. ancillary car parking spaces to 190 No. car parking spaces over 2 No. levels to facilitate the increase in gross floor area by 15,479 sq m from the permitted 13,959 sq m to 29,438 sq m.

It is important to note under the extant permission the Planning Officer considered that:

*'The maximum parking requirement for a zone 1 warehousing development is 124 spaces based on the 12,369sq.m warehouse 32 spaces for the office/staff facilities giving a total maximum car parking provision of 156 spaces. The proposal includes provision for 119 car parking spaces which is considered acceptable.'*

Having regard to the above, the now proposed scheme proposes 190 No. car parking spaces to serve the amended development. The proposed car parking is discussed at Section 6.6 of this report.

On the 17<sup>th</sup> April 2020, South Dublin County Council decided to Grant Permission for the proposed development, subject to 19 No. conditions.



**Figure 4.1: Site Layout of Extant Permission of the Subject Site.**

**Source: Kavanagh Burke Consulting Engineers, 2021.**

4.2 Proximate Planning History of Note

There are several warehouse developments in the vicinity of the subject site which are of a similar scale and scope as that proposed by this development. The following is an overview of surrounding existing developments of scale which are present within the Greenogue Business Park and the Aerodrome Business Park.

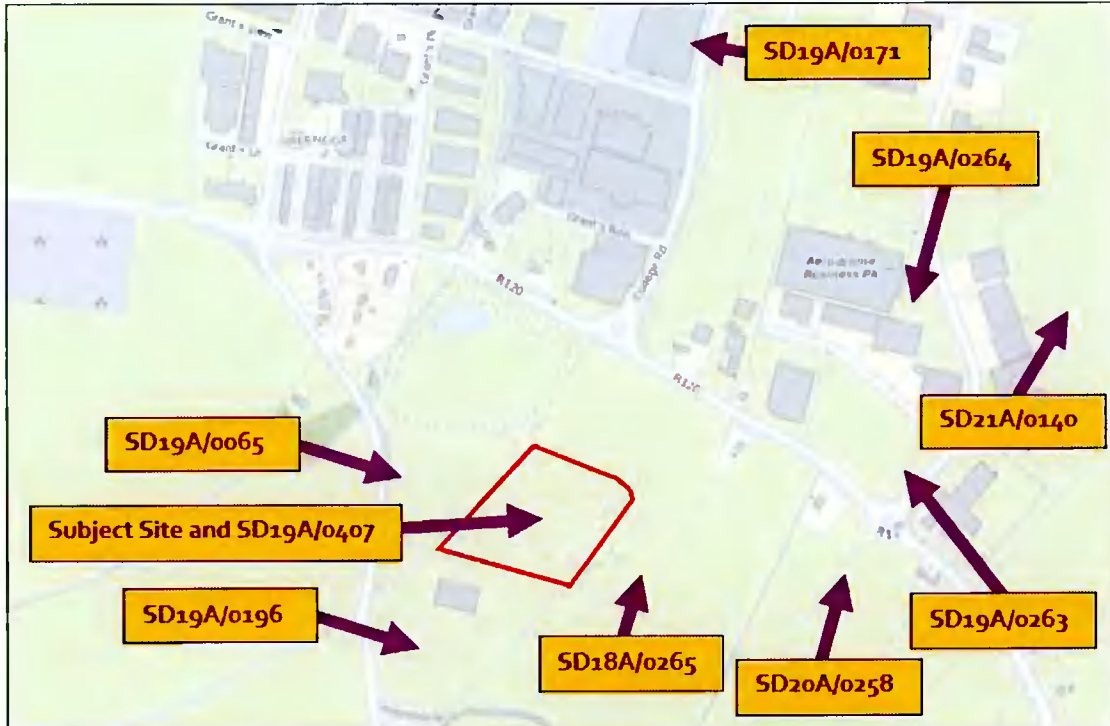


Figure 4.2: Relevant Planning History in the Vicinity of the Subject Site.

Source: Myplan.ie, OSI Map, annotated by Thornton O'Connor Town Planning, 2021.

4.2.1 SDCC Reg. Ref. SD21A/0140 – Pending Application to the East of Jordanstown Road

SDCC Reg. Ref.:	SD21A/0140
Location:	Block R, Jordanstown Road, Aerodrome Business Park, Rathcoole, Co. Dublin
Application Date:	28 <sup>th</sup> May 2021
Dev. Description:	Construction of 1 warehouse with ancillary office and staff facilities and associated development. The warehouse will have a maximum height of 16 meters with a gross floor area of 22,966sq.m including a warehouse area (21,113sq.m), ancillary office areas (1,163sq.m) and staff facilities (690sq.m); the provision of a new vehicular access to the site from Jordanstown Road including 2 additional access gates from this new road to the existing Site E to the north; pedestrian access; 210 ancillary car parking spaces; bicycle parking; HGV yards; level access goods doors; dock levellers; access gates; hard and soft landscaping; lighting; boundary treatments; ESB substation; plant; extinguishment of the existing vehicular access (farm gate) in lieu of a proposed pedestrian access gate at the southern portion of the site from the

	R120; and all associated development works above and below ground; all on a site of 5.67 on lands that are bounded to the west by Blocks A – D Jordanstown Road, to the south and east by greenfield lands and to the north by greenfield lands and Block E. The site abuts the R120 Newcastle Village to Rathcoole Road to the south.
SDCC Decision Due:	22 <sup>nd</sup> July 2021

This planning application is pending determination by the 22<sup>nd</sup> July 2021.

#### 4.2.2 SDCC Reg. Ref. SD20A/0258 – Site to the South of the R120

SDCC Reg. Ref.:	SD20A/0258
Location:	College Lane, Greenogue, Rathcoole, Co. Dublin
Application Date:	15 <sup>th</sup> October 2020
Dev. Description:	Demolition of the existing dwelling (252sq.m) and associated domestic garage (49sq.m) and shed (125sq.m) located towards the north-west of the site and the construction of 3 warehouses with ancillary office and staff facilities and associated development as follows: Unit 1 will have a maximum height of 15.75 metres with a gross floor area of 5,619sq.m including a warehouse area (5,041sq.m), ancillary office areas (182sq.m) and staff facilities (396sq.m); Unit 2 will have a maximum height of 16.35 metres with a gross floor area of 6,724sq.m including a warehouse area (6,135sq.m), ancillary office areas (275sq.m) and staff facilities (314sq.m); and Unit 3 will have a maximum height of 18.9 metres with a gross floor area of 10,095sq.m including a warehouse area (9,335sq.m), ancillary office areas (399sq.m) and staff facilities (361sq.m); the development will also include the provision of a new vehicular access to the site from the Aerodrome Roundabout in lieu of the extinguishment of existing multiple access points from the R120 Newcastle to Rathcoole Road; internal roundabout; pedestrian access; 187 ancillary car parking spaces; bicycle parking; HGV yards; level access goods doors; dock levellers; access gates; signage; hard and soft landscaping; lighting; boundary treatments; ESB substations; sprinkler tanks; pump houses and all associated site development works above and below ground.
SDCC Decision Date:	1 <sup>st</sup> April 2021
SDCC Decision:	Grant Permission subject to 18 No. conditions.

Under South Dublin County Council Reg. Ref. SD20A/0258, permission was sought for 3 No. warehouse units to include office and ancillary staff facilities; a new vehicular access to the site from the Aerodrome Roundabout; 187 No. car parking spaces; a HGV yard; landscaping and all associated site works.

In assessing the proposed development, the Planner's Report noted that:

*'The three proposed warehouse buildings are large in scale. However, given the context of the adjacent sites with permitted warehouses and the surrounding industrial development, the proposed development is not considered to be out of keeping with its surroundings.'*

Furthermore, the Planning Officer in this case continued:

*'Given the existing context of the site, where there are large warehouses permitted / built to the north, west and south west, it is considered the scale and massing of the proposed development is acceptable, subject to adequate screening. The materials and glazing proposed are similar to those already permitted on adjacent sites.'*

On the 1<sup>st</sup> April 2021, South Dublin County Council decided to Grant Permission for the proposed development, subject to 18 No. conditions.

#### 4.2.3 SDCC Reg. Ref. SD19A/0264 – Site Q2 Jordanstown Road

SDCC Reg. Ref.:	SD19A/0264
Location:	Aerodrome Business Park, Site Q2, Jordanstown Road, Collegeland, Rathcoole, Co. Dublin
Application Date:	10 <sup>th</sup> October 2019
Dev. Description:	Warehouse with ancillary three storey office and staff facilities and associated development. The warehouse will have a parapet height of 17 m with a gross floor area of 14,649 sq m including a warehouse area (13,494 sq m), ancillary office areas (1099 sq m) and staff facilities (56 sq m); provision of a new vehicular access/egress onto the Jordanstown Road; internal roadways; pedestrian access; 152 No. car parking spaces; bicycle parking; HGV yard including 26 No. HGV parking stands and 18 No. loading docks; hard and soft landscaping including green walls; lighting; photo-voltaic panels; ESB substation and switch room; plant; boundary treatments and associated development works above and below ground.
SDCC Decision Date:	10 <sup>th</sup> October 2019
SDCC Decision:	Grant Permission subject to 16 No. conditions

Under SDCC Reg. Ref. SD19A/0264, permission was sought for the provision of a warehouse with ancillary three storey office and staff facilities. The proposed development also included a new vehicular access/egress; 152 No. car parking spaces; a HGV yard including 26 No. HGV parking stands and 18 No. loading docks; Photovoltaic (PV) Solar panels at roof level; landscaping; and all associated development works above and below ground.

In assessing the proposed development, the Planner's Report noted that:

*'Having regard to the surrounding land uses, the overall design is considered to be in keeping with the surrounding area and, subject to the implementation of the proposed landscaping measures, it is not considered that the proposed development would significantly adversely impact on the visual amenities of the area.'*

On the 10<sup>th</sup> October 2019, South Dublin County Council decided to Grant Permission for the proposed development, subject to 16 No. conditions.

#### 4.2.4 SDCC Reg. Ref. SD19A/0196 – Green Waste Recycling Facility

SDCC Reg. Ref.:	SD19A/0196
Location:	Tay Lane, Greenogue, Rathcoole, Co. Dublin
Application Date:	20 <sup>th</sup> June 2019
Dev. Description:	Modifications to the previously permitted Ref. SD16A/0406 consisting of the change of use of the dry bailing facility to a green waste recycling facility (excluding food and household general waste collection) including renovation and upgrade works to the fire damaged buildings and the addition of new green waste storage area and attenuation tanks (this application will also require a Waste Licence).
SDCC Decision Date:	14 <sup>th</sup> October 2019
SDCC Decision:	Grant Permission subject to 5 No. conditions.

Under SDCC Reg. Ref. SD19A/0196, permission was sought for modifications to a previously permitted development (SDCC Reg. Ref. SD16A/0406), a dry recyclable bailing facility with a capacity of 20,000 tonnes per annum. The proposed modifications consist of the change of use of a dry bailing facility to a green waste recycling facility.

In assessing the principle of development, the Planner's Report noted that:

*'Within the objective 'EE' land use zoning, a refuse transfer station is permitted in principle. Therefore, subject to compliance with the relevant policies, objectives and standards of the current South Dublin County Council Development Plan, and subject to amenity and environmental safeguards, the principle of development is considered acceptable.'*

In assessing the proposed development, the Planner's Report concluded that:

*'It is considered that the proposed development, subject to the conditions outlined below, would not significantly detract from the character or amenities of the surrounding area, would be in accordance with the South Dublin County Development Plan 2016 – 2022 and would, therefore, be in accordance with the proper planning and sustainable development of the area.'*

On the 14<sup>th</sup> October 2019, South Dublin County Council decided to Grant Permission for the proposed development subject to 5 No. conditions.

#### 4.2.5 SDCC Reg. Ref. SD19A/0171 – Nos. 601 & 605 Jordanstown Road

SDCC Reg. Ref.:	SD19A/0171
Location:	Greenogue Business Park, Site Nos. 601 & 605, Jordanstown Road and Jordanstown Avenue, Rathcoole, Co. Dublin
Application Date:	27 <sup>th</sup> May 2019
Dev. Description:	Provision of 2 No. warehouses with ancillary three storey office and staff facilities and associated development. Unit 601 will have a maximum height of 16.1 m with a gross floor area of 4,922 sq m including a warehouse area (4,224 sq m); ancillary office areas (322 sq m) and staff facilities (376 sq m). Unit 605 will have a maximum height of 15.7 m with a gross floor area of 8,036 sq m including a warehouse

	area (7,032 sq m); ancillary office areas (568 sq m) and staff facilities (437 sq m); provision of new vehicular accesses/egresses to the sites with HGV access and egress to both units proposed via Jordanstown Avenue and car access and egress to both units proposed via Jordanstown Road; internal roadways; pedestrian access; 105 No. car parking spaces; bicycle parking; HGV yards; level access goods doors; dock levellers; hard and soft landscaping; boundary treatments; associated site development works above and below ground.
SDCC Decision Date:	21 <sup>st</sup> July 2019
SDCC Decision:	Grant Permission subject to 17 No. conditions.

Under SDCC Reg. Ref. SD19A/0171, permission was sought for the provision of 2 No warehouses with ancillary three storey office and staff facilities. The proposed development also included the provision of a new vehicular and HGV access/egress; internal roadways; 105 No. car parking spaces; HGV yards; level access goods doors; landscaping; and all associated site development works above and below ground.

In assessing the principle of development, the Planner's Report noted that:

*'The proposed development would be situated within an established business park, with similar uses. Numerous warehouse developments have been granted planning permission in the immediate vicinity. Therefore, the principle of a warehouse development on the subject site is generally considered to be acceptable, subject to design, amenity and environmental safeguards.'*

In assessing the design and visual impact of the proposed development, the Planner's Report noted that:

*'The materials proposed contain horizontal cladding in shades of grey, curtain wall glazing, and aluminum black powder coated double glazed windows. While it is considered that the height and massing is considerable, and the overall design and finishes are considered ubiquitous, having regard to the surrounding uses and the general design of similar structures in the immediate area, it is not considered that the proposed development would be out of context. The overall design of the proposed development is considered to be typical of warehouse developments in the area.'*

On the 21<sup>st</sup> July 2019, South Dublin County Council decided to Grant Permission for the proposed development subject to 17 No. conditions.

#### 4.2.6 SDCC Reg. Ref. SD18A/0265 – Lands at College Lane

SDCC Reg. Ref.:	SD18A/0265
Location:	Lands at College Lane, Greenogue, Rathcoole, Co. Dublin
Application Date:	24 <sup>th</sup> July 2018
Dev. Description:	Provision of 2 No. warehouses with ancillary three storey office and staff facilities and associated development. Building A will have a maximum height of 18.3 m with a gross floor area of 15,286 sq m including a warehouse area (14,267 sq m), ancillary office area (413 sq m) and staff facilities (606 sq m). Building B will have a maximum height of 17.4 m with a gross floor area of 26,384 sq m including a warehouse area (23,421 sq m), ancillary office areas (1,870 sq m) and



	staff facilities (1,093 sq m). The development will also include the provision of a new vehicular access to the site via the Greenogue Roundabout; internal roadways; pedestrian access; 422 No. ancillary car parking spaces; bicycle parking; HGV yards; level access goods doors; dock levellers; hard and soft landscaping; 2 ESB substations (18 sq m); lighting; boundary treatments; and associated site development works above and below ground.
SDCC Decision Date:	4 <sup>th</sup> April 2019
SDCC Decision:	Grant Permission subject to 25 No. conditions.

Under SDCC Reg. Ref. SD18A/0265, permission was sought for 2 No. warehouses with ancillary three storey office and staff facilities on a site directly adjacent to the subject site.

In assessing the proposed development, the South Dublin County Council Planner's Report concluded that:

*'It is considered that the proposed development accords with the policies and objectives of South Dublin County Council, as set out in the South Dublin County Council Development Plan 2016-2022 and subject to the conditions set out hereunder in the Second Schedule is hereby in accordance with the proper planning and sustainable development of the area.'*

On the 4<sup>th</sup> April 2019, South Dublin County Council decided to Grant Permission for the proposed development, subject to 25 No. conditions.

#### 4.2.7 SDCC Reg. Ref. SD19A/0263 – Site G Jordanstown Road

SDCC Reg. Ref.:	SD19A/0263
Location:	Aerodrome Business Park, Lands at Site G, Jordanstown Road and Jordanstown Way, College Lane, Rathcoole, Co. Dublin
Application Date:	16 <sup>th</sup> August 2019
Dev. Description:	Provision of a warehouse with ancillary three storey office and staff facilities and associated development. The warehouse will have a parapet height of 17 m with a gross floor area of 11,012 sq m including a warehouse area (10,079 sq m), ancillary office areas (877 sq m) and staff facilities (56 sq m); provision of a new vehicular access/egress onto the Jordanstown Road, and the relocation of the entrance/exit on Jordanstown Way slightly to the west for HGV access; internal roadways; pedestrian access; 108 No. ancillary car parking spaces; bicycle parking; HGV yard including 13 No. HGV parking stands and 14 No. loading docks; hard and soft landscaping including green walls; lighting; photo-voltaic panels; ESB substation and switch room; plant; boundary treatments and associated development works above and below ground.
SDCC Decision Date:	10 <sup>th</sup> October 2019
SDCC Decision:	Grant Permission subject to 16 No. conditions.

Under SDCC Reg. Ref. SD19A/0263, permission was sought for a warehouse (17 metres in height) with ancillary three storey office and staff facilities with a gross floor area of 11,012 sq m. The proposed development also included the provision of a new vehicular access/egress; 108 No. car parking spaces; 13 No. HGV parking stands; landscaping; and all associated site development works above and below ground.

In assessing the design of the proposed development, the Planner's Report noted that:

*'The scale and massing of the building is considered to be extensive, however, in general, the overall design, finish, scale and height of the proposed development would be similar to the prevalent type and style of development in the area.'*

In assessing the visual impact of the proposed development, the Planner's Report noted that:

*'Having regard to the surrounding land uses, the overall design is considered to be in keeping with the surrounding area and, subject to the implementation of the proposed landscaping measures, it is not considered that the proposed development would significantly adversely impact on the visual amenities of the area.'*

On the 10<sup>th</sup> October 2019, South Dublin County Council decided to Grant Permission for the proposed development subject to 16 No. conditions.

#### 4.2.8 SDCC Reg. Ref. SD19A/0065 – Waste Metal Facility

SDCC Reg. Ref.:	SD19A/0065
Location:	Tay Lane, Greenogue, Rathcoole, Co. Dublin
Application Date:	27 <sup>th</sup> February 2019
Dev. Description:	Waste metal facility including waste electrical and electronic equipment (WEEE) and will include the provision of 1 light industrial unit with ancillary office and staff facilities (3,802 sq m with a maximum height of 12.4 metres); screened outdoor storage area (970 sq m) incorporating walls 4.2 metres in height; vehicular access to the site via the Greenogue Roundabout; pedestrian access; 29 ancillary car parking spaces; HGV yard; 10 HGV parking spaces; HGV weight bridge; brush wash and steam wash; hard and soft landscaping; access gate; ESB substation; lighting; cycle parking; boundary treatments; associated site development works above and below ground incorporating an access road on lands at College Lane; Electrical Waste Management Limited currently have a waste permit (WFP-DS-11-0014-05) with a permitted volume of 82,833 tonnes per annum; an Environmental Impact Assessment Report has been prepared in respect of the proposed development.
SDCC Decision Date:	23 <sup>rd</sup> April 2019
SDCC Decision:	Grant Permission subject to 26 No. conditions.

Under South Dublin County Council Reg. Ref. SD19A/0065, permission was sought for a waste metal facility (including waste electrical and electronic equipment) to include office and ancillary staff facilities; a workshop and charging buildings; an outdoor storage area; vehicular access from Tay Lane; 29 No. car parking spaces; a HGV yard with 10 No. HGV parking spaces; landscaping and all associated site works.

In assessing the potential visual impact of the proposed development, the Planner's Report noted that:



*'The proposed development consists of Kingspan KS 1000 RW composite insulated micro-rib cladding panels 'Gull Grey' trapezoidal spanning vertical, micro-rib cladding panels in azure blue and steel doors and roller doors in azure blue.*

*The proposed development is considered to be a similar style, scale and height to developments which have been recently granted permission in the surrounding area.'*

On the 23<sup>rd</sup> April 2019, South Dublin County Council decided to Grant Permission for the proposed development, subject to 26 No. conditions.

#### **4.3 Planning History Analysis**

In addition to the extant scheme at the subject site where the principle of development has been accepted (South Dublin County Council Reg. Ref.: SD19A/0470), we submit that the planning history of the surrounding vicinity clearly demonstrates that the principle of development of large-scale warehousing is acceptable in this area of South Dublin. A key consideration of the Planning Authority in their assessment of industrial developments has been the visual impact on the surrounding area, thus provided that they are constructed using ubiquitous materials that would facilitate their assimilation into the receiving environment, there have no concerns raised regarding the impact of such industrial developments on appropriately zoned lands.

The proposed development set out as part of this Planning Application is largely contained within the the permitted form/building envelope and on balance will result in relative increase in gross floor area from the extant warehouse development permitted under SDCC Reg. Ref. SD19A/0407 to address the specific needs of Unipharm.

## 5.0 DEVELOPMENT DESCRIPTION

### 5.1 Development of the Proposed Development

The proposed amendment to the permitted development (South Dublin County Council Reg. Ref.: SD19A/0407) principally includes:

#### Development

The proposed development will provide an overall increase in the commercial floor area by 15,479 sq m from the permitted 13,959 sq m to 29,438 sq m. The permitted scheme has 3 No. internal ancillary office floor levels, and the proposed alterations provide 2 No. mezzanine levels in the warehouse area (i.e. a total of 5 No. internal floor levels). The permitted maximum height of the development at 23.7 metres will remain unchanged.

The additional 15,479 sq m development proposed will comprise an increase in the warehouse floor area from 12,369 sq m to 13,353 sq m, staff facilities from 548 sq m to 2,582 sq m and ancillary office area from 1,042 sq m to 2,437 sq m. In addition to the provision of a 2 No. storey mezzanine warehouse area (9,703 sq m), integrated plant room (434 sq m) and plant area on 2 No. floors (929 sq m).

#### Ancillary Development

The development will also include:

- The construction of a 2 No. storey car-parking area (4,057 sq m and 7.8m height) to accommodate an increase from the previously permitted 119 No. ancillary car parking spaces to 190 No. car parking spaces;
- 13 No. designated van parking spaces (no dedicated van spaces previously proposed);
- 72 No. permitted cycle parking spaces;
- Reconfiguration of the HGV yard and an increase in the number of HGV dock levellers from 12 No. to 14 No. and the provision of 16 No. van loading level entry doors;
- Provision of an additional egress on the eastern boundary to facilitate vans exiting the site;
- Sprinkler tank and associated underground pumps;
- Repositioned ESB substation (15 sq m and 3 m height);
- Bin storage (42 sq m and 2.9 m height);
- Amended lighting layout; signage;
- Modifications to hard and soft landscaping and boundary treatments; and
- Associated site development works above and below ground.

As per the extant scheme, Landscaped screening will be provided around the boundary of the site with emphasis on protecting the existing hedgerow adjacent to the western and southern boundaries (and outside the site for the proposed development) as these hedgerows may be used by bats as commuting routes (as established in the bat survey submitted in respect of SDCC Reg. Ref. SD18A/0265).

Furthermore, we submit that there are no material changes to the principle of development, overall height, or proposed drainage from the extant scheme (SDCC Reg. Ref. SD19A/0407) at the subject site.

## 5.2 Key Site Statistics

The following table provides a detailed breakdown of the key site statistics relating to the proposed warehouse development:

	Extant Scheme (SDCC Reg. Ref. SD19A/0407)	Proposed Amendment Application
<b>Total Site Area</b>	2.7 Ha	2.7 Ha
<b>Gross Floor Area of the Warehouse Building and Ancillary Offices / Staff Facilities</b>	13,959 sq m	29,438 sq m
<b>Site Coverage</b>	47.9%	53.6%
<b>Plot Ratio</b>	0.51	1.09
<b>Overall Height</b>	23.7 m	23.7 m

Extracts from the permitted site layout plan and the now proposed site layout plan are provided below for comparison:

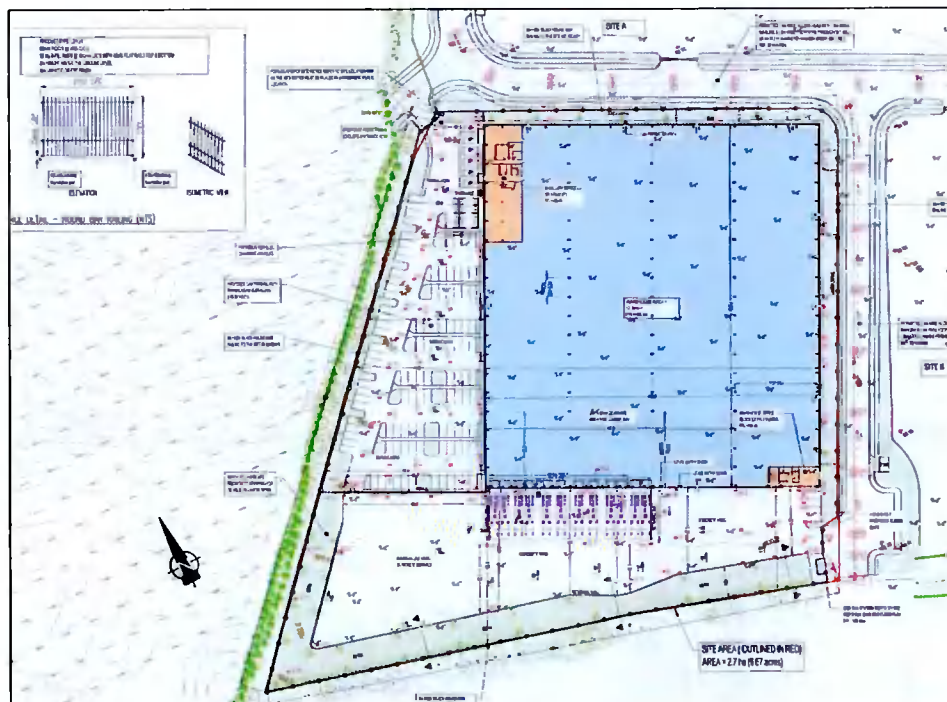


Figure 5.1: Site Plan of the Extant Scheme at the Subject Site (SDCC Reg. Ref. SD19A/0407).

Source: Kavanagh Burke Consulting Engineers, 2019.

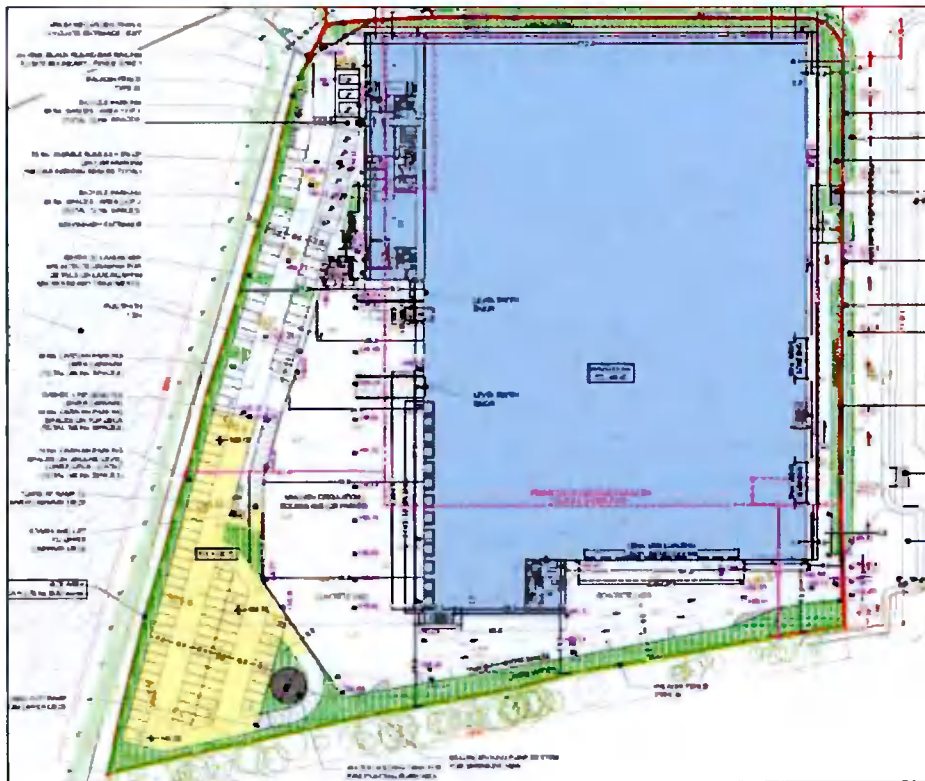


Figure 5.2: Now Proposed Site Plan subject to the Amendment Application.

Source: Kavanagh Burke Consulting Engineers, 2021.

### 5.3 Architectural Design Rationale

A Design Statement prepared by Kavanagh Burke Consulting Engineers, is enclosed with this Planning Application. The Design Statement sets out the design principles and key development concepts for the subject scheme, which can be summarised as follows:

#### Layout and Context

- The revised design of the current site layout plan submitted with this alteration application has sought to harmonise the proposed building with those previously granted. The subject Site C structure will be located to the rear of the granted Block A, thus Unit C is setback approximately 200m from College Lane and receives a substantial screening from Block A (Block A is now completed – July 2021). The adjacent Block B is under construction and is 80% complete.
- The building arrangement and design remains similar to the granted scheme having sought to provide a layout and elevational detail that creates a suitable identity for expanding industrial development in a significant Business Park and major employment node.
- The setback nature of the subject site will result in a less prominent building to that of the adjacent Block A & B. The accompanying architectural elevations demonstrate the adjustments made to the original Block C elevations demonstrating the final building appearance when constructed. The overall building height will remain unaltered.



Figure 5.3: Image Showing the Extant Development (SDCC Reg. Ref. SD19A/0407) and Neighbouring Development Permitted Under SDCC Reg. Ref. SD18A/0265 from College Lane.

Source: 3D Design Bureau, Annotated by Thornton O'Connor Town Planning, 2019.



Figure 5.4: Image Showing the Now Proposed Development and Neighbouring Development Permitted Under SDCC Reg. Ref. SD18A/0265 and SD19 A/0065 from College Lane.

Source: 3D Design Bureau, Annotated by Thornton O'Connor Town Planning, 2021.

### Access and Movement

- The subject site will be accessed utilising the permitted access road serving Blocks A and B (SDCC Reg Ref. SD18A/0265) which connects to the Greenogue Roundabout, so there is no additional road infrastructure necessary to accommodate the subject scheme of this Planning Application. It is noted that an additional van egress is proposed on the eastern boundary.
- As per the extant scheme, the subject development will utilise the existing access roads serving Blocks A and B (SDCC Reg Ref. SD18A/0265) which connects to the Greenogue Roundabout. The Planning Officer in their assessment of the extant scheme (SDCC Reg Ref. SD19A/0407) noted that:

*'...the applicant has shown the roads that were permitted immediately adjacent to the current application site which do appear to align with the approved internal road network. As such the layout proposed does correspond with and align with the permitted internal road layout and as such is considered acceptable.'*

- The extant development includes 2 No. vehicular access points, one for cars (north-west corner) and one for HGVs (south-east corner). An additional egress is now proposed along the eastern boundary to facilitate vans exiting the site.
- The car access point remains located at the northwestern corner of the subject site as per the extant scheme. The now proposed scheme provides an increase in car parking spaces from the permitted 119 No. spaces to 190 No. space now proposed over 2 No. levels (4,057 sq m and 7.8m height). The now proposed 2 No. storey car parking area is located in the south-west corner which is considered the least sensitive location. In addition to the 2.2 m wide native shrub and tree planting along the site boundary, a climber mix is proposed to the deck wall to ensure there is no visual impact.
- The HGV access point is located in the south-east corner of the subject site as per the extant scheme. The now proposed amendment application also provides for an additional egress on the eastern boundary to facilitate vans exiting the site.

### Materials and Finishes

- Similar to the permitted scheme at the subject site, the now proposed development has been designed with an intentionally simple architectural finish to ensure assimilation into the surrounding context of the Greenogue Business Park.
- The setback nature coupled with the specific colour scheme helps to create a non-intrusive existence for the extension to the permitted warehouse.
- A limited material palette has been utilised by the Design Team to ensure a unified approach in line with the adjacent permitted Blocks A and B, that will successfully assimilate into the receiving context of the Greenogue Business Park.
- Integrated glazing panels/Kingspan wall solutions are used to break up the long elevations of the proposed warehouse.