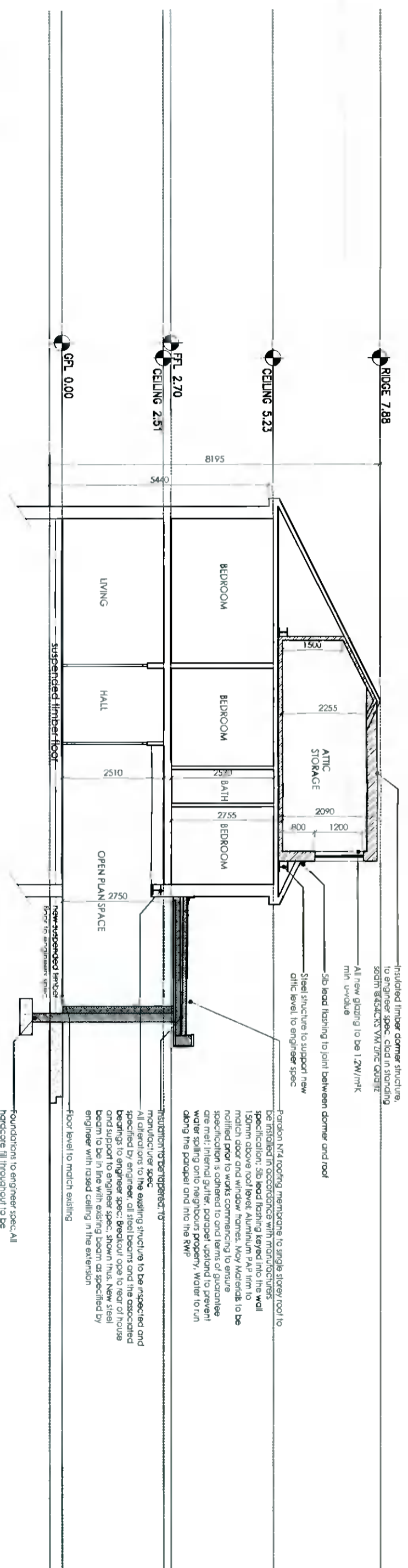


PROPOSED SECTION AA
Scale 1:100 @ A3



OUTLINE SPECIFICATION

- STRUCTURAL**
 - ALL STRUCTURAL WORK TO ENGINEER'S SPECIFICATION, ENGINEER TO BE GIVEN NOTICE TO CHECK FOUNDATIONS PRIOR TO POURING OF CONCRETE.
 - ALL STRUCTURAL SUPPORTS IN ROOF TO BE SPECIFIED BY ENGINEER.
- DRAINAGE:**
 - THE EXACT LOCATION OF THE EXISTING DRAINAGE LINES TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE WORKS.
 - ALL NEW AND EXISTING FOU & SURFACE DRAINAGE TO BE KEPT SEPARATE ON SITE IN ACCORDANCE WITH LOCAL AUTHORITY.
 - ANY PIPEWORK RUNNING UNDER EXTENSION TO BE ENCASED IN 150mm CONCRETE.
 - ALL ADDITIONAL SURFACE WATER DRAINAGE TO FINAL AW AND AWAY TO NEW SOAKAWAY, SUBJECT TO SITE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY.
 - ACO DRAIN TO BE INSTALLED BETWEEN ANY LEVEL ACCESS PAVING AND EXTENSION.
 - ALL DRAINAGE TO BE APPROVED, INSPECTED AND CERTIFIED BY ENGINEER ACCESSIBLE PANELS TO DOWNPIPES IN INTERNAL AND EXTERNAL BOX-OUTS.
- FLOORING**
 - ALL HARDCORE FILL THROUGHOUT TO BE PRITE-FREE, IN ACCORDANCE WITH S.R.21 + 15 EN 13242.
 - FLOOR FINISHES TO GROUND FLOOR TO BE DECIDED BY CLIENT.
- WINDOWS AND DOORS**
 - EXISTING WINDOWS TO BE RETAINED
- INSULATION**
 - ALL NEW WINDOWS & DOORS TO BE LOW EMISSION ARGON FILLED DOUBLE GLAZING WITH A MIN. U-VALUE OF 1.2W/M2K.
 - 3 NO. FLAT ROOFLIGHTS TO OPEN PLAN AREA; SIZES AS PER DRAWINGS.
 - ALL NEW PARTITION WALLS TO BE 100X44 STUD, 12.5MM PLASTERBOARD SLAB + 3MM GYPSUM SKIM, ROCKWOOL INSULATION BETWEEN STUDS FOR ADDITIONAL SOUND PROOFING.
 - USE GYPROC MOISTURE RESISTANT PLASTERBOARD TO UTILITY AND BATHROOMS.
 - EXISTING ATTIC SPACE: 150MM FIBREGLASS INSULATION BETWEEN JOISTS AND 150MM ABOVE JOISTS IN ATTIC SPACE; PROVIDE STRUCTURAL OSB3 DECK FOR ATTIC STORAGE AND ACCESS, ABOVE FIBREGLASS INSULATION.
- FITTINGS**
 - NEW SANITARYWARE TO BATHROOM TO BE CHOSEN BY CLIENT.
 - NEW KITCHEN AND UTILITY UNITS TO BE INSTALLED BY KITCHEN SUPPLIER.
- JOINERY AND IRONMONGERY**
 - ALL NEW DOORS TO BE SOLID CORE, SHAKER STYLE, COLOUR / FINISH TO CLIENT SPEC.
 - SKIRTING TO BE EXTENDED AND MADE GOOD WHERE NECESSARY.
- ROOFING**
 - PARALON MEMBRANE TO BE INSTALLED BY REGISTERED PARALON INSTALLER AND CLIENT TO BE PROVIDED WITH 25 YEAR GUARANTEE.
 - CONTACT MOV MATERIALS PRIOR TO INSTALLATION OF ROOF TO CONFIRM ROOF BUILD-UP, FACILITATE SITE VISITS AND PROVIDE GUARANTEE UPON COMPLETION.
 - LEAD FLASHING KEVED 150MM ABOVE FLAT ROOF INTO EXISTING WALLS.
- EXTERNAL**
 - LEVEL ACCESS PAVING WITH STEPS TO GARDEN LEVEL AT REAR WITH ACO DRAIN TO PERIMETER OF EXTENSION COMING TO SUDS DRAINAGE PAVING TO BE AGREE WITH CLIENT.
- VENTILATION**
 - EXTRACT HOOD IN KITCHEN WITH DUCTING OUT TO EXTERNAL WALL.
 - PASSIVE BACKGROUND VENTS TO ALL NEW HABITABLE SPACES.
 - MECHANICAL VENTILATION CENTRIFUGAL FAN WITH 15-MINUTE OVERRIDE TO VENTILATE BATHROOMS, EN-SUITES AND UTILITY, IN COMPLIANCE WITH TGD PART F.
- ELECTRICS**
 - LIGHTING AND SOCKETS TO BE FINALISED WITH CLIENT PRIOR TO INSTALLATION.
- AIR TIGHTNESS**
 - AIR TIGHTNESS TAPE AROUND ALL WINDOWS AND DOORS, INTELLIO VAPOUR CONTROL AIR TIGHTNESS MEMBRANE TO UNDERSIDE OF JOISTS IN NEW FLAT ROOF CEILING.
 - AIR-TIGHTNESS COVERS OVER ALL DOWNLIGHTERS SEALED TO AIR TIGHTNESS MEMBRANE WITH AIR TIGHTNESS TAPE.

Client
John & Roisin Bagnall
179 Templeville Rd,
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Revisions

STATUS OF DRAWING
PLANNING

JOE FALLON DESIGN
ARCHITECTURE
First Floor, 8 Main Street, Dangan, Dublin 14
14 Ryland Street, Buncrack, Enniscorthy, Co. Wexford

Project Extension at 179 Templeville Road
drawing Proposed Section AA, Written Spec
Job no. 21012 **scale** QS shown **date** 29.06.2021 **drawn by** GS **stage** Planning **checked:**

dwg no. 21012-PP-11

P: 01-51-43346
M: 087-2564808
P: 053-9377633

A3

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand. Contractor is deemed to have included for everything required to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up-to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used; if in doubt, refer to the harmonised technical specifications.