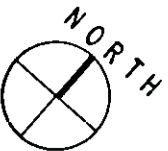


PROPOSED ATTIC PLAN
SCALE 1:100 @ A3



Client
John & Roisin Bagnall
179 Templeville Rd,
Templeogue,
Co. Dublin, D6W FP49

Revisions

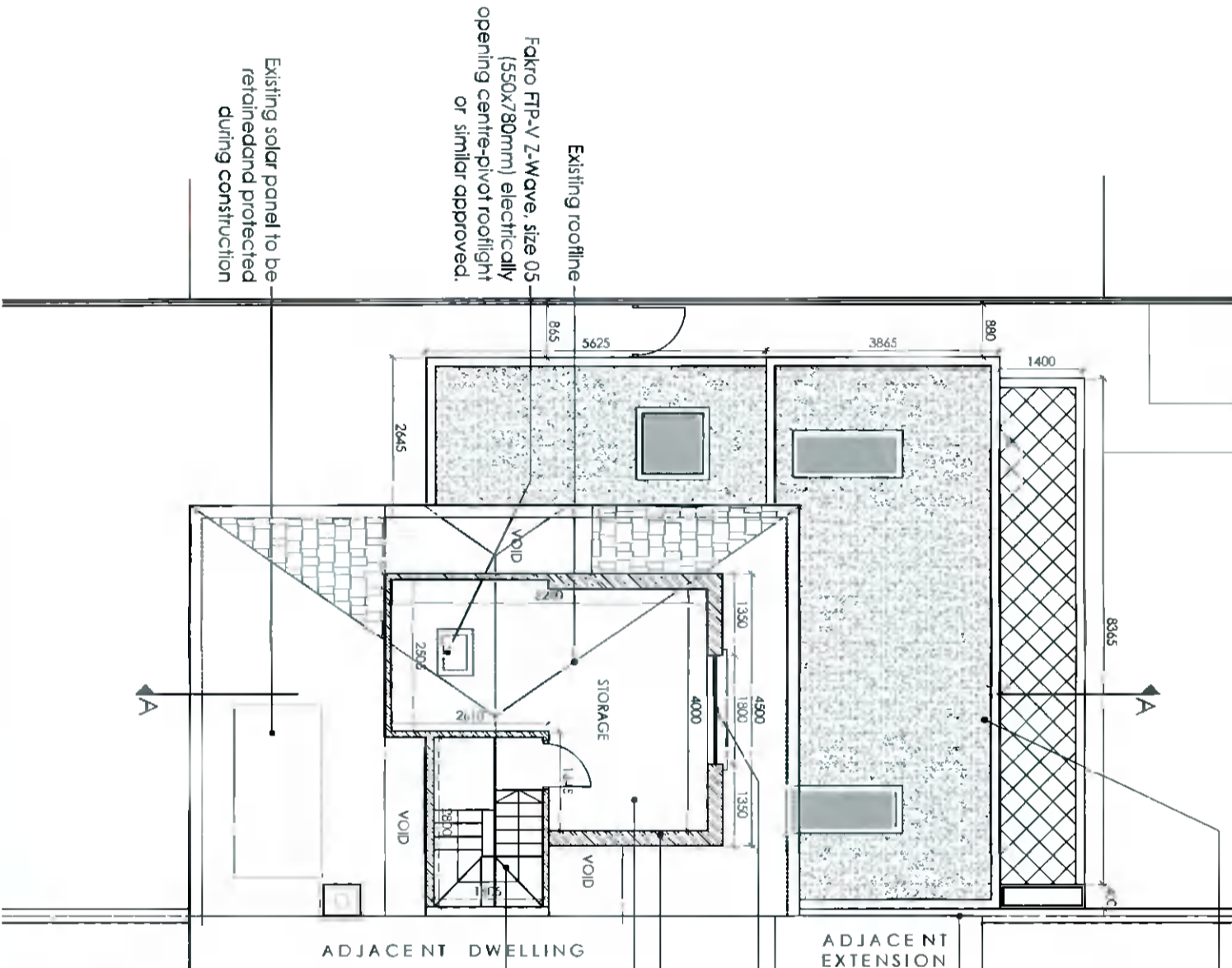


Chartered Institute of
Architectural Technologists

STATUS OF DRAWING
PLANNING

notes

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand. Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up-to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used. If in doubt, refer to the harmonised technical specifications.



Paralon NT4 roofing membrane to single storey roof to be installed in accordance with manufacturers specification; 5lb lead flashing keyed into the wall 150mm above roof level; Aluminium PAP trim to match doors and window frames. Moy Materials to be notified prior to works commencing to ensure specification is adhered to and terms of guarantee are met

No element of new construction to oversail boundary

New triple glazed UPVC window, Windt VS or similar approved to client spec to be min. u-value 1.2W/m²K

Dormer build up to engineer spec interior finishes and internal door to client spec

New stairs & handrail to attic to clients spec in compliance with TGD Part K: R195, G220

	Permanent passive vent	NO PART OF THE NEW CONTRIBUTION IS TO ENCOMPASS ON WINDOW OR DOORWAY
	ALTERATIONS TO EXISTING STRUCTURE TO ENGINEER SPEC	ALL DRAINAGE AND STRUCTURAL SUPPORT TO ENGINEER SPEC
	NEW FLOOR AND SURFACE AWAY FROM EXISTING SYSTEMS	ALL EXISTING STRUCTURE TO BE INSPECTED BY THE ENGINEER. ANY ADDITIONS OR ALTERATIONS TO BE STRUCTURED BY THE ENGINEER ON SITE
	NEW WORKS ATTACHED TO EXISTING STRUCTURE	ALL ROOMS TO BE FITTED WITH A PASSIVE VENT
	Insulation and wall	
	Masonry wall	

JOE FALLON DESIGN

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A3

project Extension at 179 Templeville road

drawing Attic Plan

dwg no. 21012-PP-06

job no. 21012 **scale** GS SHOWN **date** 29.06.2021 **drawn by** GS **stage** PLANNING

UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SC9 **checked:**