

**DUPLEX TYPE F4 [HANCED]**

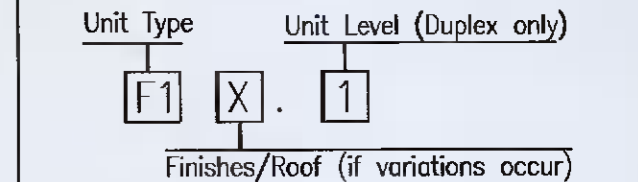
DUPLEX TYPE F4.0  
Total Floor Area (2-bed unit): 79.0m<sup>2</sup>

DUPLEX TYPE F4.1  
Private Int. Stair 5.6m<sup>2</sup>  
First floor area 56.4m<sup>2</sup>  
Second floor area 56.4m<sup>2</sup>  
Total Floor Area (3-bed unit): 116.6m<sup>2</sup>



**KEY PLAN [NTS]**

**UNIT TYPE KEY**



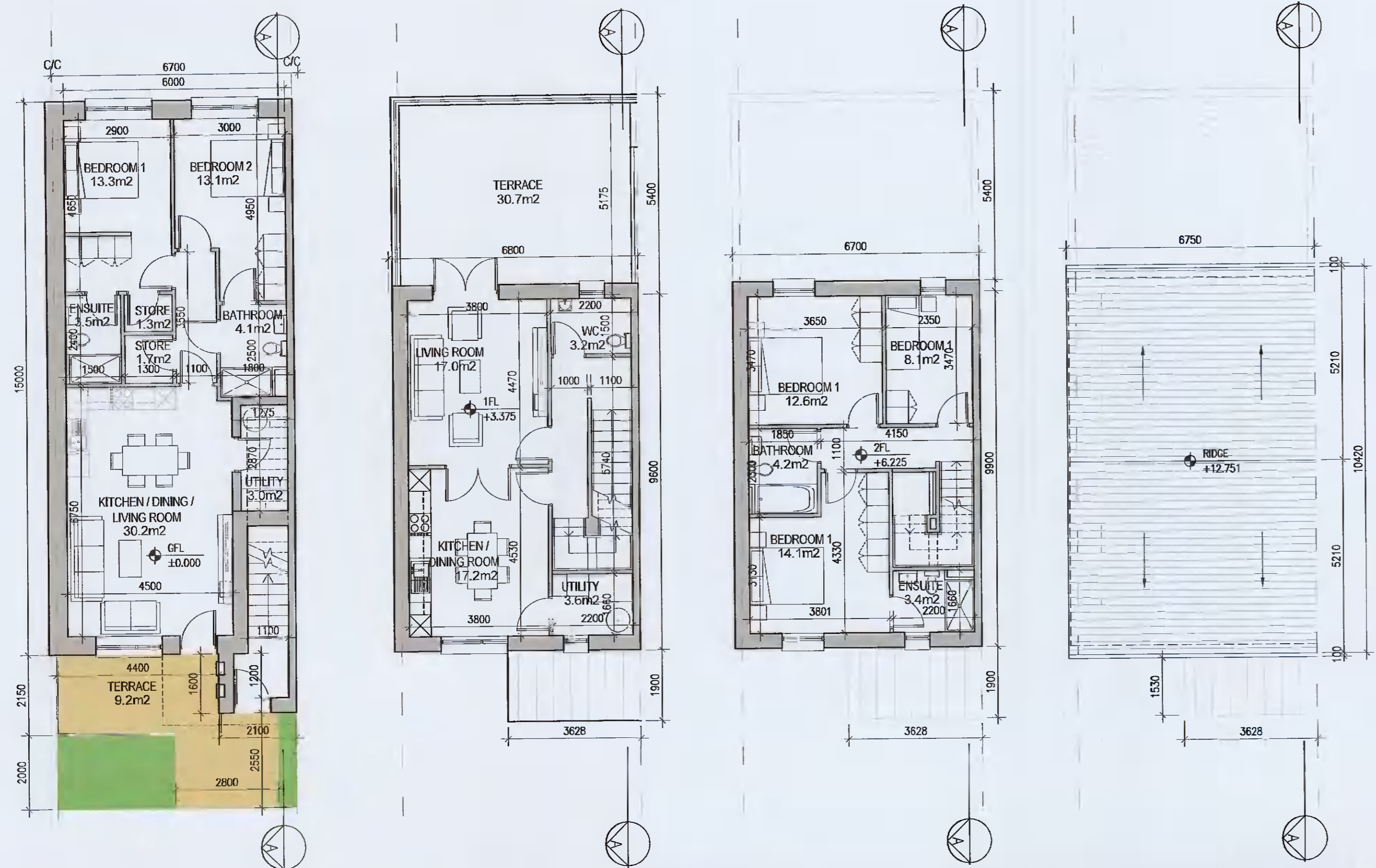
**FINISHES**  
Z - Plain white render  
Y - Brick  
X - Plain white render with grey brick areas  
V/W - Plain white render with brick areas

**DUPLEX** - Relates to front & rear elevations  
**HOUSES** - Relates to front elevation (\*)

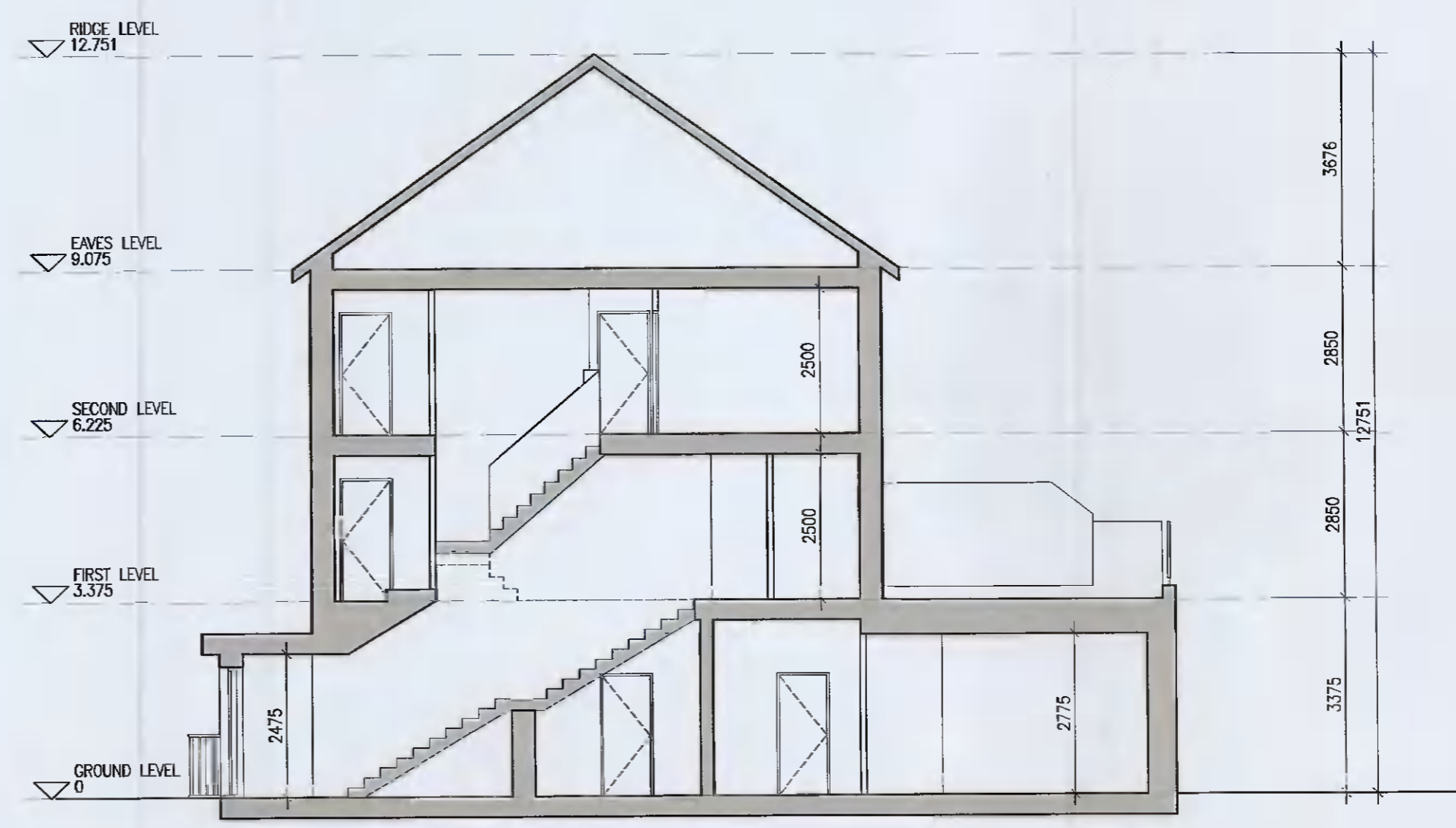
**ROOF FORM**  
A1Y - Asymmetrical roof  
D1V - Gable roof with hip roof intersection  
D1W - Gable roof

Note: refer to site layout (6259-P-003) for location of unit types and unit type drawings (6259-P-100/ 200 series) for details

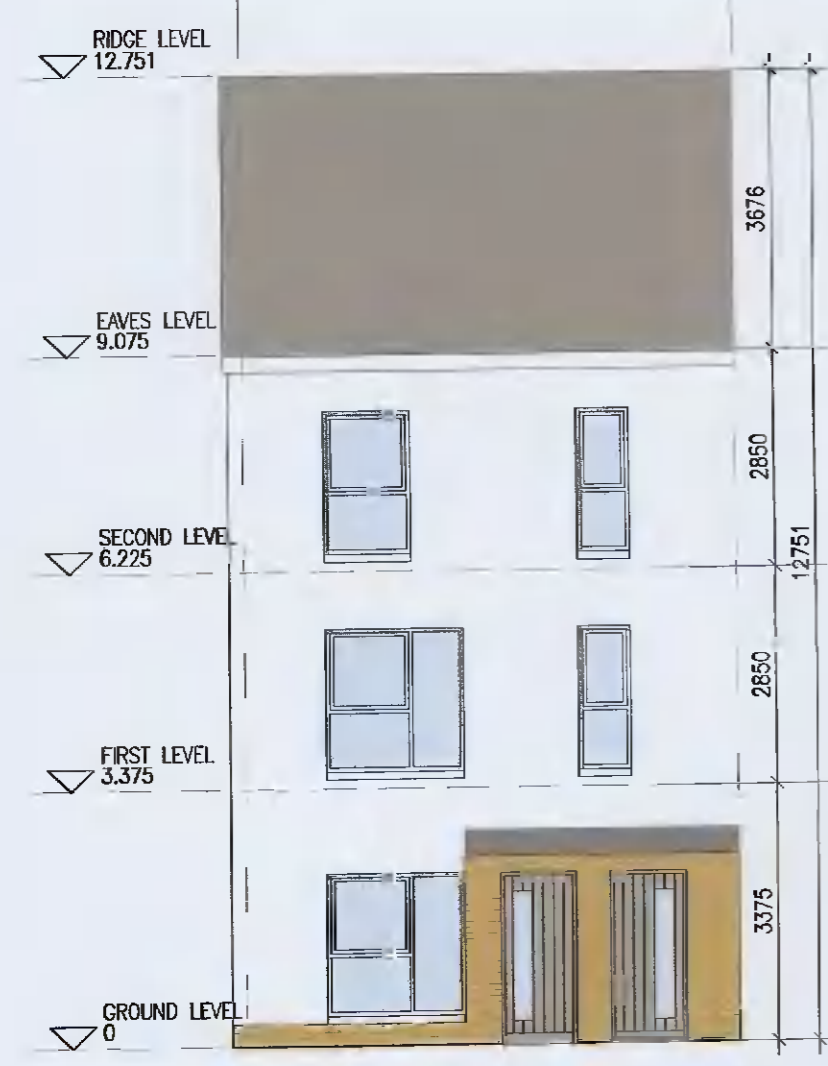
\*A2, an exception, relates to the rear elevation



01 Ground Floor Plan [F4.0] 1:100@A1  
02 First Floor Plan [F4.1] 1:100@A1  
03 Second Floor Plan [F4.1] 1:100@A1  
04 Roof Floor Plan 1:100@A1



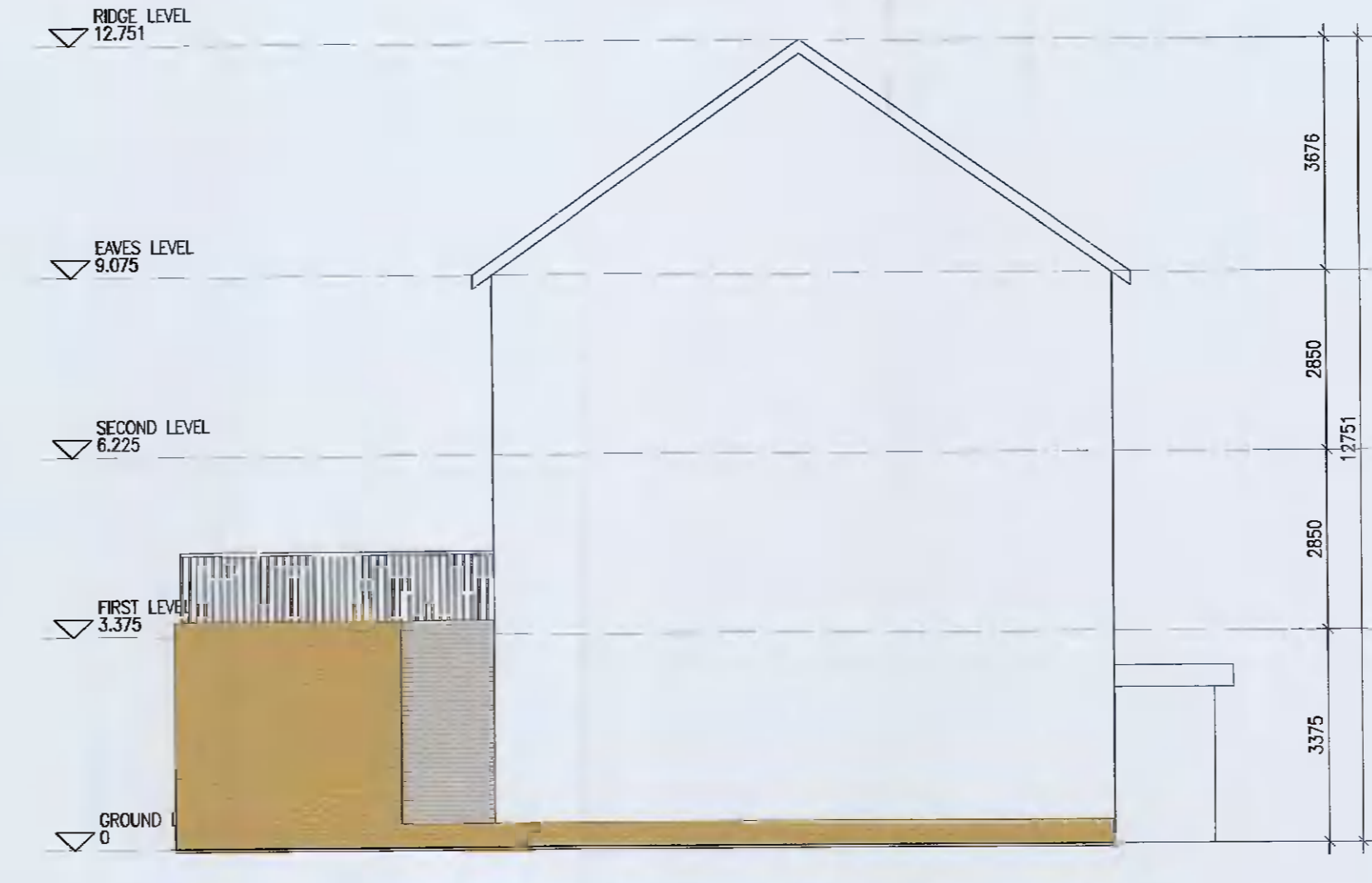
05 Typical Section [A-A] 1:100@A1



06 Front Elevation F1X 1:100@A1



08 Rear Elevation F1X 1:100@A1



09 Gable Elevation F4 1:100@A1

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

No.	Date	Revision	Initials
01	12.04.2021	ISSUED FOR PLANNING	BKD
02	20.05.2021	ISSUED FOR PLANNING	BKD

Issue Status	Progress
Planning Application	■
Fire Cert	
Disability Cert	
Tender	
Construction	
As Built	
Information Only	

**DUPLEX TYPE F4**

Project: Aderrig Phase 2 Adamstown SDZ Residential Development  
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Drawing Title: Duplex Type F4 (mid-terrace) Handred-Plan, Section, Elevation  
Drawing No: 6259-P-215  
Scale: 1:100@A1 Rev: 02 Drawn: BKD Date: 08.03.2021

**bkd architects**  
BURKE-KENNEDY DOYLE