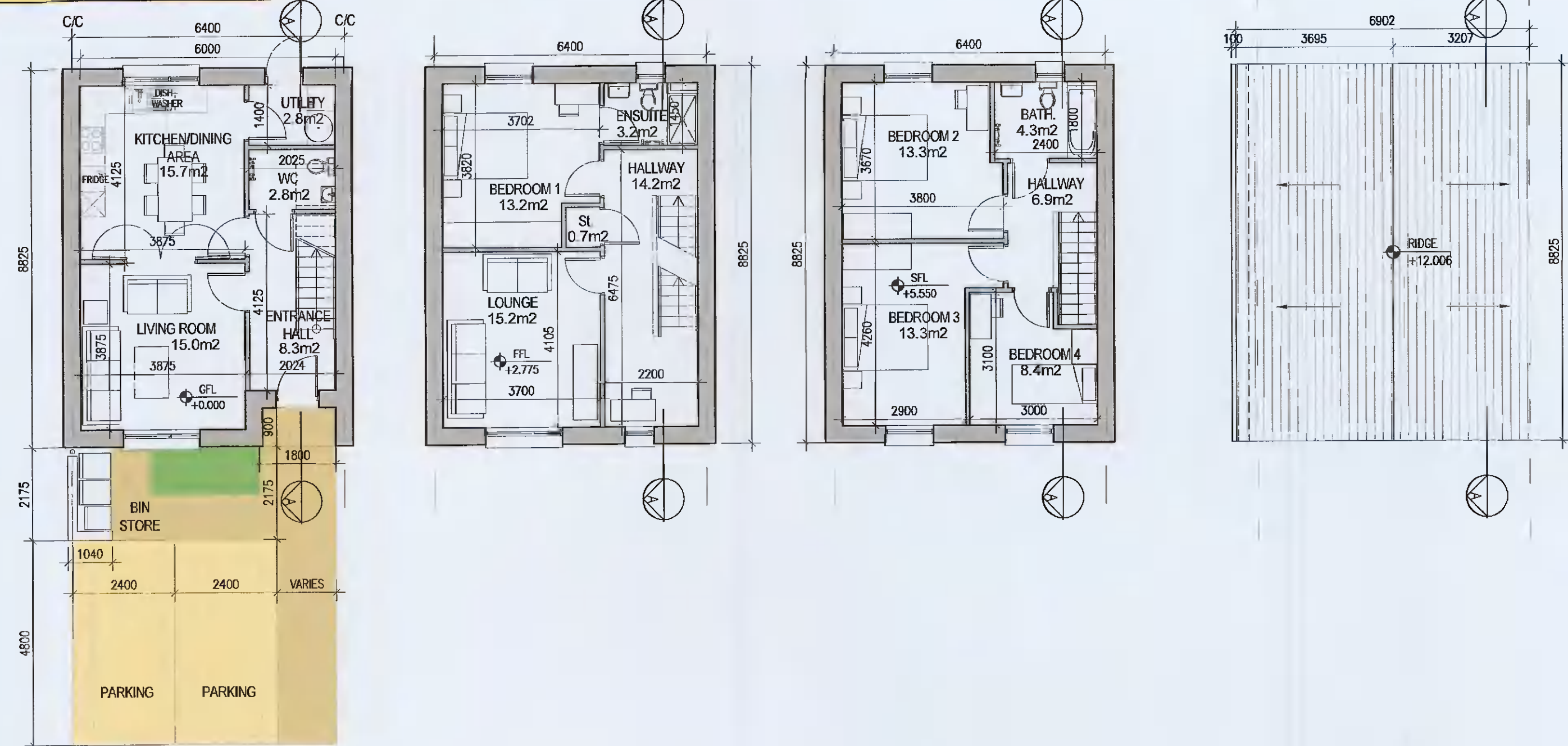
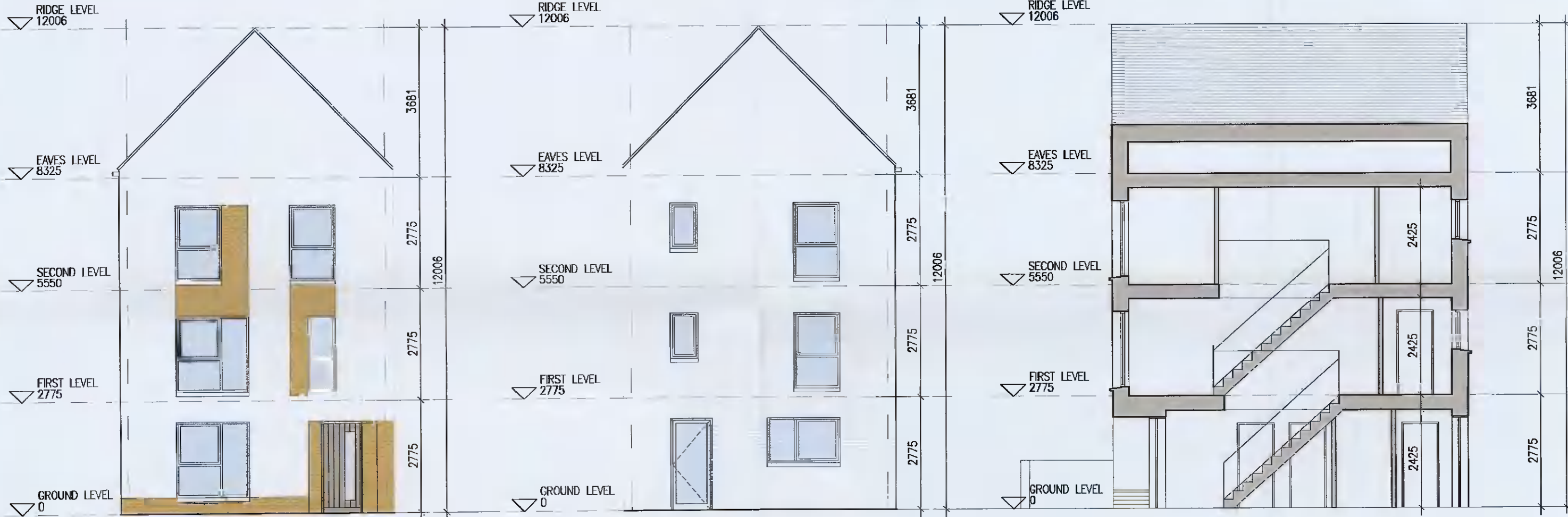


# HOUSE TYPE D1W

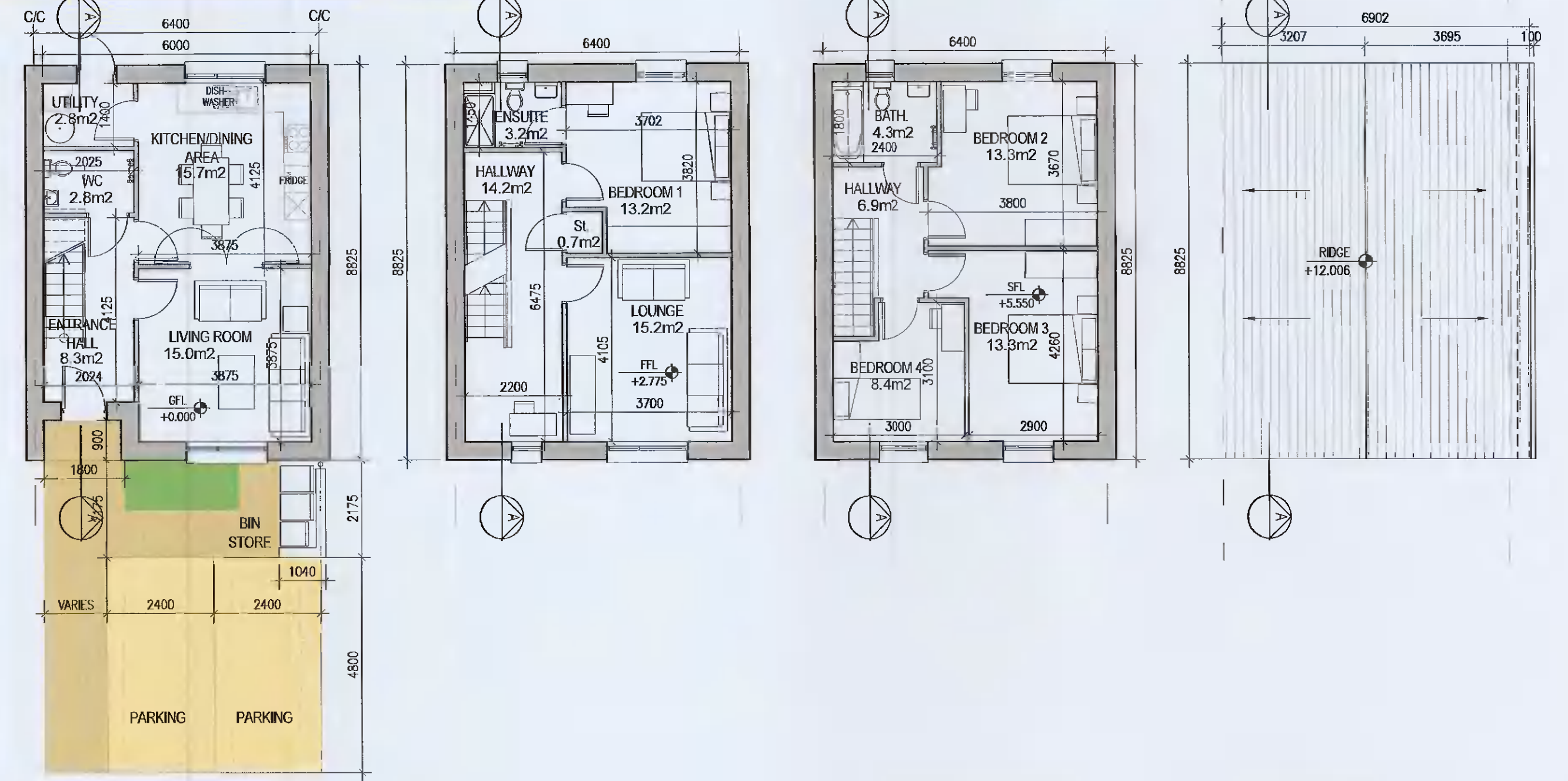


01 Ground Floor Plan 1:100@A1  
02 First Floor Plan 1:100@A1  
03 Second Floor Plan 1:100@A1  
04 Roof Floor Plan 1:100@A1

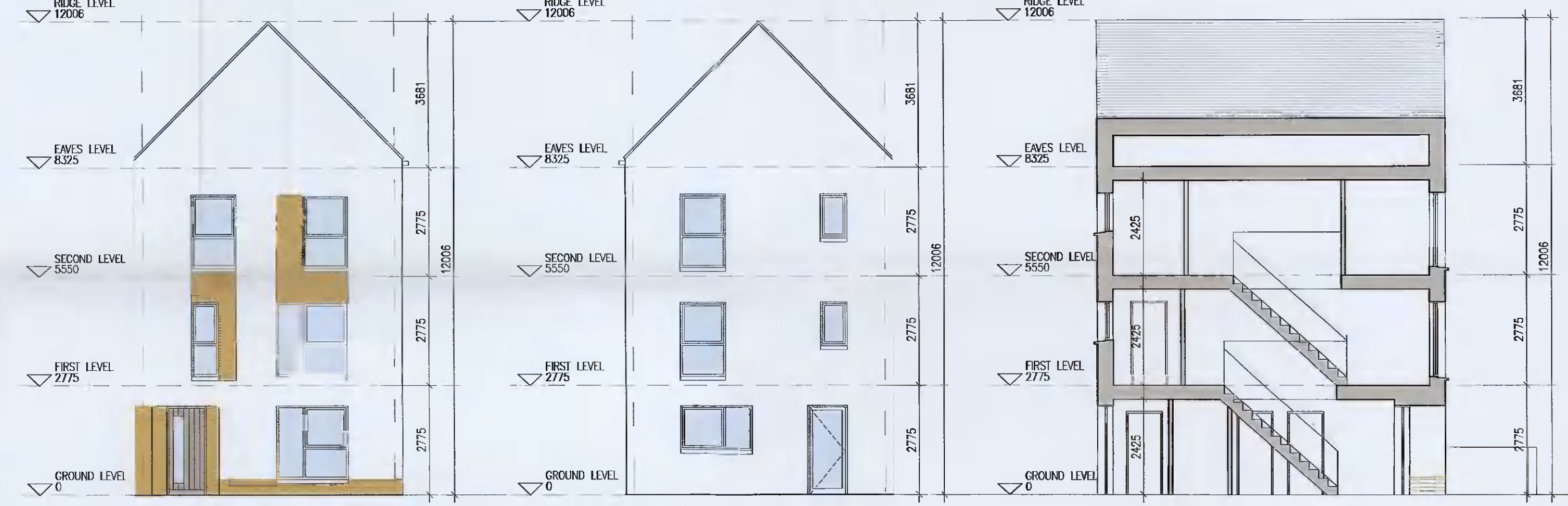


09 Front Elevation D1W 1:100@A1  
10 Rear Elevation D1W 1:100@A1  
11 Section [A-A] D1W 1:100@A1

# HOUSE TYPE D1W [HANCED]



05 Ground Floor Plan 1:100@A1  
06 First Floor Plan 1:100@A1  
07 Second Floor Plan 1:100@A1  
08 Roof Floor Plan 1:100@A1



12 Front Elevation D1W 1:100@A1  
13 Rear Elevation D1W 1:100@A1  
14 Section [A-A] D1W 1:100@A1



**HOUSE TYPE D1**

Ground floor area	46.1m <sup>2</sup>
First floor area	48.1m <sup>2</sup>
Second floor area	48.1m <sup>2</sup>
<b>Total Floor Area (4-bed unit):</b>	<b>142.3m<sup>2</sup></b>

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL CUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

**UNIT TYPE KEY**

Unit Type	Unit Level (Duplex only)
F1	X1

Finishes/Roof (if variations occur)

**FINISHES**  
Z - Plain white render  
Y - Brick  
X - Plain white render with grey brick areas  
V/W - Plain white render with brick areas

DUPLEX - Relates to front & rear elevations  
HOUSES - Relates to front elevation (\*)

**ROOF FORM**  
A1Y - Asymmetrical roof  
D1W - Gable roof with hip roof intersection  
D1W - Gable roof

Note: refer to site layout (6259-P-003) for location of unit types and unit type drawings (6259-P-100/200 series) for details

\*A2, an exception, relates to the rear elevation