

## PROPOSED RESIDENTIAL DEVELOPMENT OF THE FORMER FILLING STATION, NUTGROVE AVE, RATHFARNHAM DUBLIN 14

Drawings included within A3 drawing booklet:

Schedule:	Development Schedule	scale	Size	No. Copies
403-P-00-00	Development Schedule	n.t.s.	A3	6
<b>Site Drawings:</b>				
403-P-00-01	Site Location Map	1:1000	A3	6
403-P-00-02	Oblique Aerial View	n.t.s.	A3	6
403-P-00-03	Aerial Site Map	1:5000	A3	6
403-P-00-04	Survey	1:500	A3	6
403-P-00-05	Site Layout Plan with Schedule & Legend	1:500	A3	6
403-P-00-06	Site Layout / Ground Floor Plan	1:250	A3	6
403-P-00-10	Site Layout Plan Indicating Lands within the SDCC and DLRC Boundary	1:500	A3	6
403-P-00-11	Taking in Charge	1:500	A3	6
<b>Floor Plans:</b>				
403-P-02-00	Ground Floor Plan	1:200	A3	6
403-P-02-01	First Floor Plan	1:200	A3	6
403-P-02-02	Second Floor Plan	1:200	A3	6
403-P-02-03	Third Floor Plan	1:200	A3	6
403-P-02-04	Roof Plan	1:200	A3	6
<b>Elevations:</b>				
403-P-04-00	Context Elevations: North-East & South-West	1:200	A3	6
403-P-04-01	Site Elevations: North-East & South-West	1:200	A3	6
403-P-04-02	Site Elevations: North-West & South-East	1:200	A3	6
<b>Sections:</b>				
403-P-05-00	Sections: A-A & B-B	1:200	A3	6
403-P-05-01	Section: C-C	1:200	A3	6
<b>Detail Plans:</b>				
403-P-06-00	Schedule of Apartment Areas & Standards	n.t.s.	A3	6
403-P-06-01	Typical Apartment Plans (1-Bed Apartments)	1:100	A3	6
403-P-06-02	Typical Apartment Plans (1-Bed & 2-Bed Apartments)	1:100	A3	6
403-P-06-03	Typical Apartment Plans (2-Bed Apartments)	1:100	A3	6
403-P-06-04	Typical Apartment Plans (2-Bed Apartments)	1:100	A3	6
403-P-06-05	Typical Apartment Plans (3-Bed Apartments)	1:100	A3	6
403-P-06-06	Typical Apartment Plans (3-Bed Apartments)	1:100	A3	6

### Detail Drawings to Demonstrate No Overlooking:

Reference	Description	scale	Size	No. Copies
403-P-06-20	No Overlooking Analysis: Partial Plan adjacent to gable of 17 & 18 Stonepark Orchard	1:200	A3	6
403-P-06-21	No Overlooking Analysis: Section adjacent to gable of 17 & 18 Stonepark Orchard	1:200	A3	6
403-P-06-22	No Overlooking Analysis: Section adjacent to rear / side gardens	1:100	A3	6
403-P-06-23	No Overlooking Analysis: South-West Elevation as seen from Stonepark Orchard & Section adjacent to aprox. 3.5m high boundary wall	1:200	A3	6

### Boundary Treatment:

Reference	Description	scale	Size	No. Copies
403-P-10-01	Existing & Proposed Boundary Treatment	n.t.s.	A3	6

### Typical Materials and Detail Drawings:

Reference	Description	scale	Size	No. Copies
403-P-20-01	North-East Boundary Wall Detail & Typical Balcony Balustrade Detail	1:50	A3	6
403-P-20-02	Bicycle Shelter Detail	1:50	A3	6
403-P-20-10	Typical Materials and Specification	1:50	A3	6

PROPOSED RESIDENTIAL DEVELOPMENT AT THE FORMER FILLING STATION,  
NUTGROVE AVE, RATHFARNHAM DUBLIN 14  
DEVELOPMENT SCHEDULE

APARTMENT BUILDING [Nutgrove Ave]							
1 Bed (2P)		2 Bed (3P)		2 Bed (4P)		3 Bed (5P)	
No.	Area	No.	Area	No.	Area	No.	Area
-	-	2	170	5	411	-	-
4	205	1	88	4	345	-	-
4	205	1	88	4	345	-	-
8	410	4	346	13	1131	3	329
						2640	

GROSS AREA	
GFA = msq	ha
750	0.2821
750	0.0326
750	99.26
390	n/a
2640	n/a

DEVELOPMENT DATA	
sq.m	ha
Ownership Area	2821
Works Area	326
Density	Units / ha
Coverage	0.27
Plot Ratio	0.94

Ground Floor  
First Floor  
Second Floor  
Third Level

TOTAL NUMBER OF APARTMENTS			
Unit	No.	%	
1 Bed (2P)	8	28.6	
2 Bed (3P)	4	14.3	
2 Bed (4P)	13	46.4	
3 Bed (5P)	3	10.7	
<b>TOTAL</b>	<b>28</b>	<b>100</b>	

ASPECT RATIO			
Unit Type	Single	Dual	
1 Bed (2P)	-	8	
2 Bed (3P)	1	3	
2 Bed (4P)	2	11	
3 Bed (5P)	-	3	
<b>TOTAL</b>	<b>3</b>	<b>25</b>	
<b>% of Development</b>		<b>11</b>	<b>89</b>

PART V (10% of Units)		
Type	No.	%
1 BED (2P)	1	11
2 BED (3P)	1	
2 BED (4P)	1	
3 BED (5P)	-	
<b>TOTAL</b>	<b>3</b>	

COMMUNAL AMENITY SPACE REQUIREMENT m <sup>2</sup>			
m <sup>2</sup> requirement / unit	No. Units Proposed	Total m <sup>2</sup> Required / Unit	
5	8	40	
6	4	24	
7	13	91	
9	3	27	
<b>TOTAL</b>	<b>28</b>	<b>182</b>	

PROVISION m <sup>2</sup> (Landscape Spaces)	
Location	m <sup>2</sup> area
Public Open Space	286
Communal Open Space	433
<b>TOTAL</b>	<b>719</b>

GREEN ROOF AREA [msq]	
Location	m <sup>2</sup> area
3rd Floor: N.W. & N.E. roof area Maintenance Area	50.5
4th Floor: Green Roof A	75
4th Floor: Green Roof B	88
4th Floor: Green Roof C	75
<b>TOTAL</b>	<b>288.5</b>

CAR PARKING REQUIREMENT (As based on SDCC Maximum Parking Rates)			
Space Requirement per Unit Type	No. Units Proposed	Spaces Required	
0.75	8	6	
1	4	4	
1	13	13	
1.25	3	4	
<b>TOTAL</b>	<b>28</b>	<b>27</b>	

PROVISION	
Type	No.
Standard	13
Accessible	1
Electric	2
<b>TOTAL</b>	<b>16</b>
Motorcycle	2

PROVISION	
Location	Total
Sheltered	48.0
Open	14.0
<b>TOTAL</b>	<b>62</b>

Zone 2 (Residential): rates within town / village centres, within 400 m of a high quality public transport service

BICYCLE PARKING REQUIREMENT (As based on SDCC Maximum Parking Rates)			
No. Spaces required proportional to Total Apartments	Spaces as % value	Rounded Total	
1 per 5 apartments	5.6	6.0	
1 per 10 apartments	2.8	3.0	
<b>TOTAL</b>	<b>8.4</b>	<b>9</b>	

BICYCLE PARKING REQUIREMENT (As based on 'Design Standards for New Apartments - Guidelines for Planning Authorities 2018')			
No. Spaces required proportional to Total Apartments / Bedroom Numbers	Spaces as % value	Rounded Total	
1 per bedroom	5.6	6.0	
1 per 2 apartments	2.8	3.0	
<b>TOTAL</b>	<b>8.4</b>	<b>9</b>	

PROVISION			
No. Spaces Provided for Residents & Visitors	Location	Total	
Long Term (Residents)	Sheltered	48.0	
Short Term (Visitors)	Open	14.0	
<b>TOTAL</b>		<b>62</b>	

DATE	REV.	DETAILS

LEGEND	

Commencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Development Schedule
OSI licence no.:	AR 0106321	DWG No.:	403-P-00-00
OSI map ref. no.:	3391-05: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	n.t.s.







Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Oblique Aerial View
OSI licence no.:	AR 0106321	DWG No.:	403-P-00-02
OSI map ref. no.:	3391-09: 3391-04	SCALE@A3:	n.t.s.
Levels:	relative to OS datum	RAW:	

<p>--- Site Boundary - In Ownership of Applicant</p> <p>— Site Boundary - Inclusive of Works to the Site</p>	<p>Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14</p>
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DATE	REV.	DETAILS

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**horan rainsford**  
architects

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

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**LEGEND: SITE CONTEXT**

- SCHOOLS / EDUCATION CENTRES
- CHILDCARE FACILITIES
- SHOPPING FACILITIES
- 3 STOREY RESIDENTIAL PLANNING GRANTED (Ref: SD18A/0053)
- 4 STOREY RESIDENTIAL PLANNING GRANTED (Ref: ABP-307682-20)
- 3 / 4 STOREY RESIDENTIAL APARTMENTS
- 4 / 5 STOREY RESIDENTIAL APARTMENTS
- ▲ DUBLIN BUS STOP

- - - Site Boundary - In Ownership of Applicant
- Site Boundary - Inclusive of Works to the Site

**LEGEND**

Commencement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-08: 3391-04
Levels:	relative to OS datum
PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathbarham Dublin 14
STAGE:	PLANNING
DRAWING:	Aerial Site Map
DWG No.:	403-P-00-03
SCALE@A3:	1:5000
Rev.:	

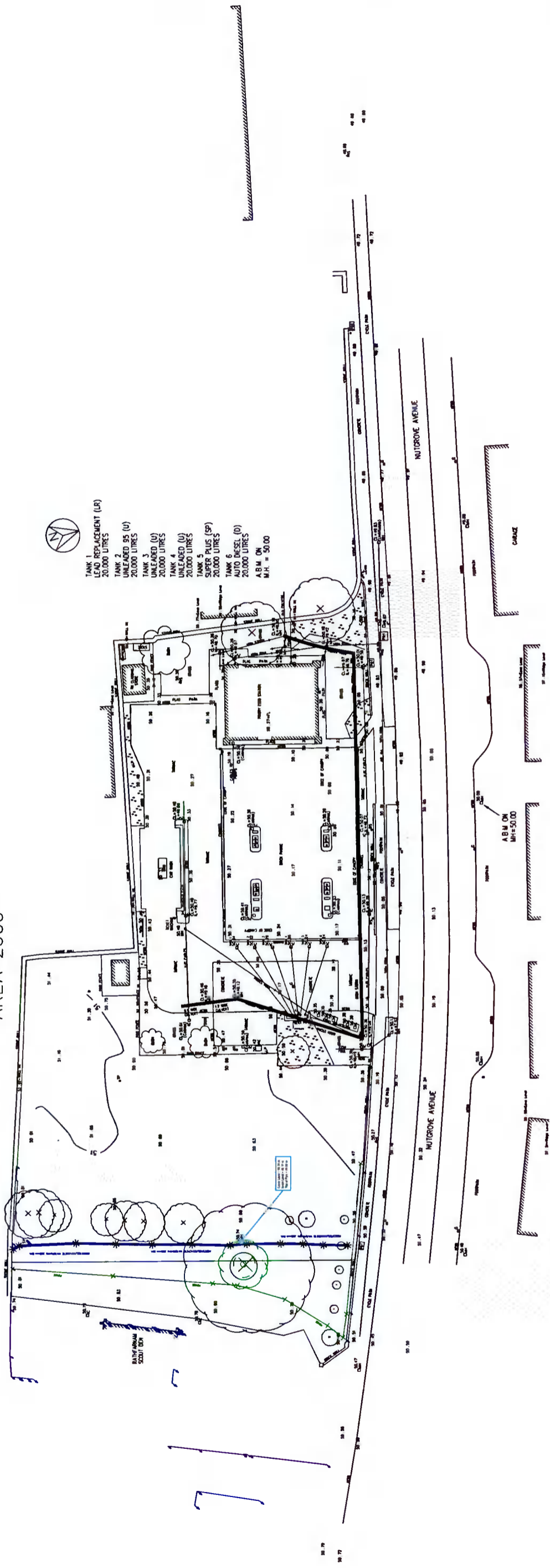


**horan rainsford architects**  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1

**RIAI**  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie

DATE | REV. | DETAILS

AREA 2600



- TANK 1  
LEAD REPLACEMENT (LR)  
20,000 LITRES
- TANK 2  
UNLEADED 95 (U)  
20,000 LITRES
- TANK 3  
UNLEADED (U)  
20,000 LITRES
- TANK 4  
UNLEADED (U)  
20,000 LITRES
- TANK 5  
SUPER PLUS (SP)  
20,000 LITRES
- TANK 6  
AUTO DIESEL (D)  
20,000 LITRES
- A.B.M. ON  
M.H. = 50.00

Commencement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-08: 3391-04
Levels:	relative to OS datum
PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
STAGE:	PLANNING
DRAWING:	Survey
DWG No.:	403-P-00-04
SCALE@A3:	1:500
Rev.:	



LEGEND

DATE REV. DETAILS

# SCHEDULE

## APARTMENT TYPES

8 No. 1 Bed (2 Person)	29%
4 No. 2 Bed (3 Person)	14%
13 No. 2 Bed (4 Person)	46%
3 No. 3 Bed (5 Person)	11%
<b>TOTAL No. APARTMENTS</b>	<b>  28</b>

## OVERALL AREA

Gross Floor Area	2,640 sq.m
Site Area (In Ownership of Applicant)	0,2821 ha
Site Area (Outside of Ownership but inclusive of Works)	0,0326 ha

## CAR PARKING

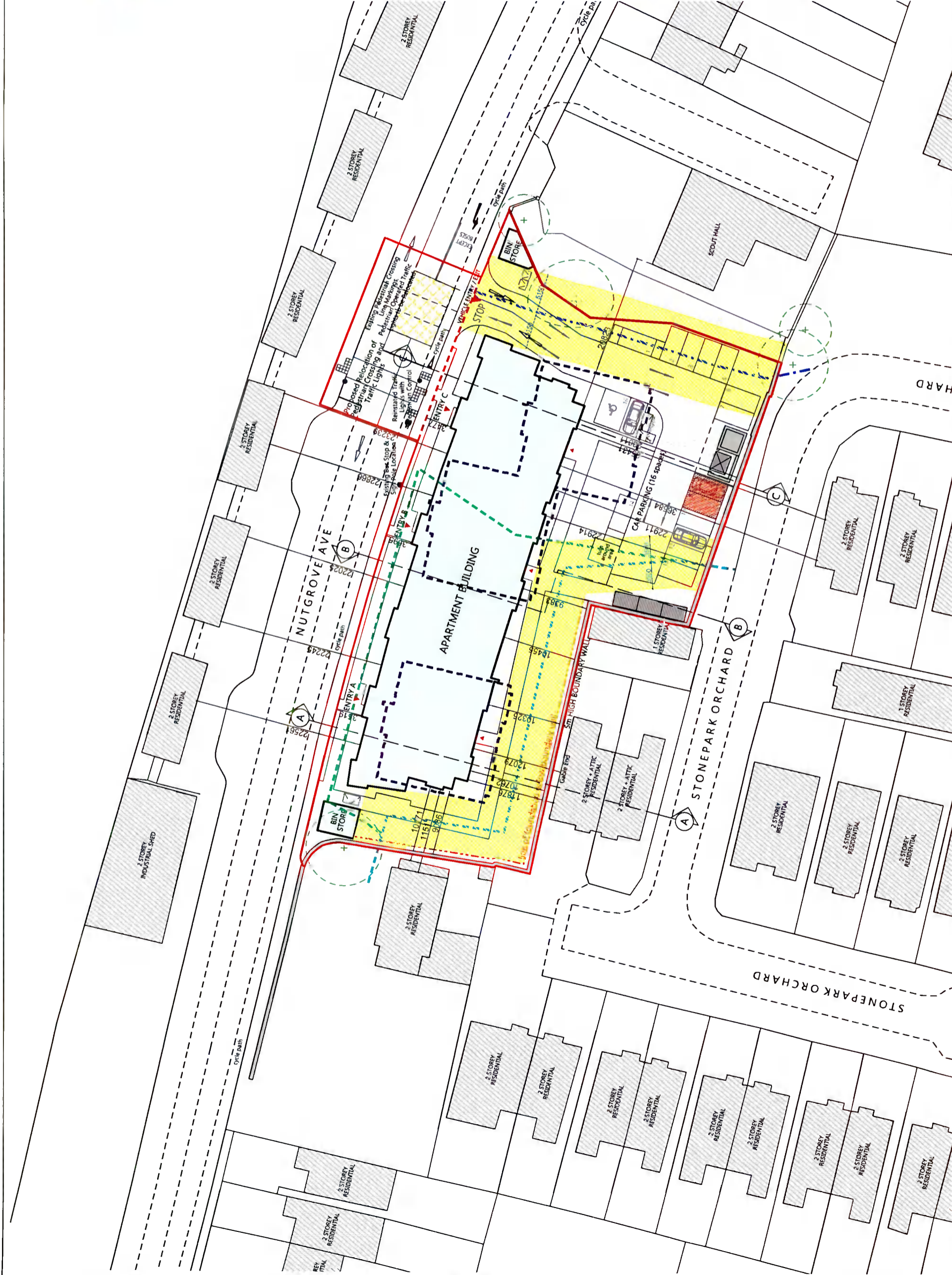
Standard spaces	13 spaces
Accessible spaces	1 space
Electric charging standard	2 spaces
<b>TOTAL No. CAR PARKING</b>	<b>  16 spaces</b>
Motorcycle parking	2 spaces

## BICYCLE PARKING

Long stay spaces	48 spaces
Short stay spaces	14 spaces
<b>TOTAL BICYCLE PARKING</b>	<b>  62 spaces</b>

## LEGEND

	Way-leave
	Existing Water Main (Retained in existing position)
	Diverted Surface Water Main
	Existing Surface Water Main to be removed & replaced by diverted water main
	Electric charging parking spaces
	Site Boundary - In Ownership of Applicant
	Site Boundary - Inclusive of Works to the Site
	Outline of previous application SD18A/0421 ABP-305455-19



Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
	bc		STAGE:
Drawn by:	th	DRAWING:	Site Layout Plan with Schedule & Legend
Checked:	AR 0106321	DWG No.:	403-P-00-05
OSI licence no.:	3391-09: 3391-04	Rev.:	
OSI map ref. no.:	relative to OS datum	SCALE@A3:	1:500
Levels:			






north

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 info@horanrainsford.ie  
 (353) 1 764 2404  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1





**LEGEND**

-  DLRCC - Lands within Boundary
-  SDCC - Lands within Boundary
-  Site Boundary - In Ownership of Applicant
-  Site Boundary - Inclusive of Works to the Site
-  Area of Works - Beyond Boundary of Ownership of Applicant



<b>PROJECT:</b>	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
<b>STAGE:</b>	PLANNING
<b>DRAWING:</b>	Site Layout Plan Indicating Lands within the SDCC and DLRCC Boundary
<b>DWG No.:</b>	403-P-00-10
<b>Rev.:</b>	Rev.:
<b>SCALE@A3:</b>	1:500
<b>Commenccment of Stage:</b>	October 2020
<b>Drawn by:</b>	bc
<b>Checked:</b>	th
<b>OSI licence no.:</b>	AR 0106321
<b>OSI map ref. no.:</b>	3391-09: 3391-04
<b>Levels:</b>	relative to OS datum



DATE	REV.	DETAILS	LEGEND







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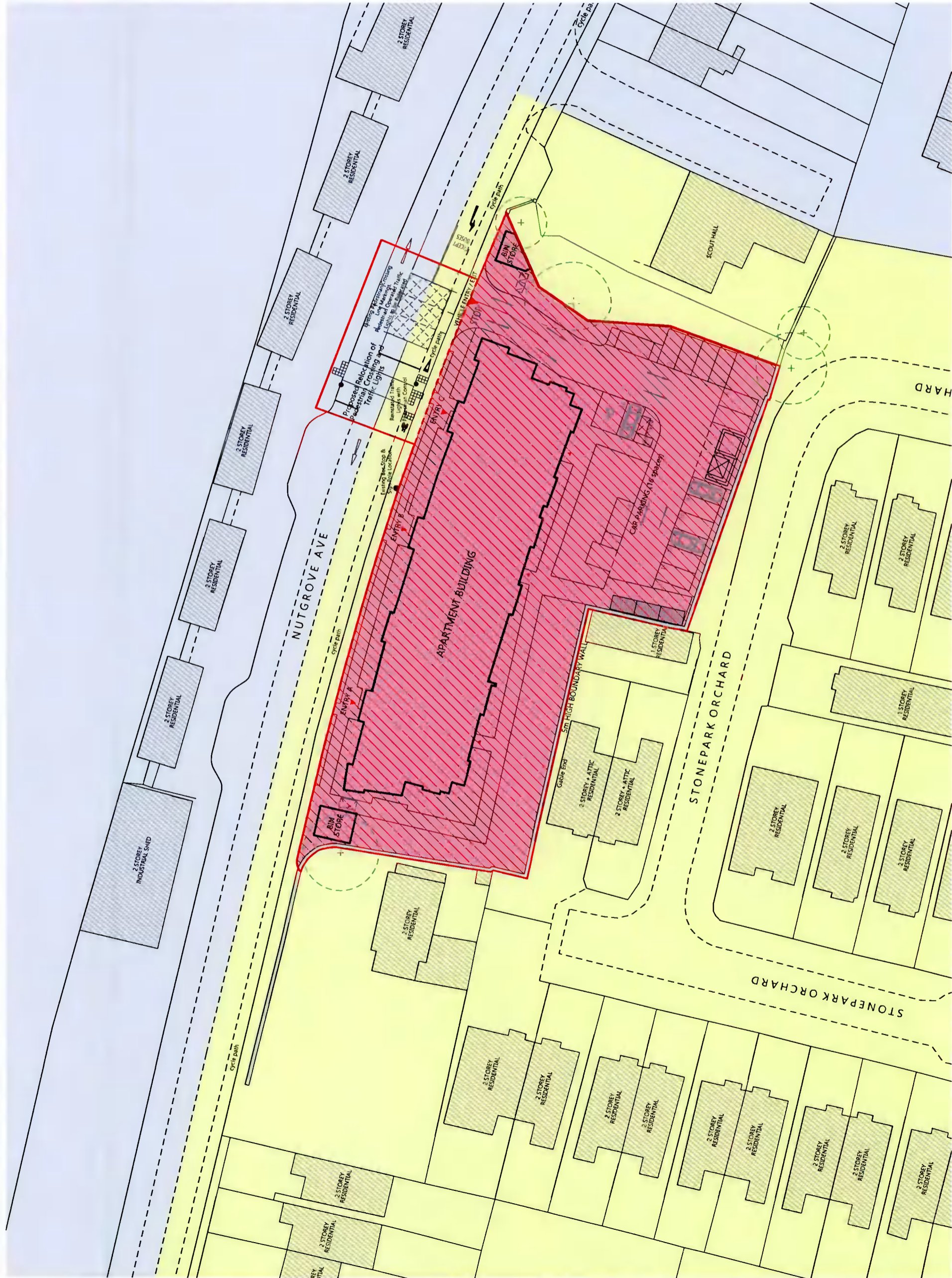
36 Main St  
Blackrock  
Dublin A94 E8H1


(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

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**LEGEND**

-  Privately owned & Managed, to remain in care of the Management Company and Not Taken In Charge by SDCC
-  Areas offered to be Taken in Charge by SDCC
-  DURCC - Lands within Boundary
-  SDCC - Lands within Boundary
-  Site Boundary - In Ownership of Applicant
-  Site Boundary - Inclusive of Works to the Site



DATE	REV.	DETAILS					
<p>Commencement of Stage: October 2020</p> <p>Drawn by: bc</p> <p>Checked: th</p> <p>OSI licence no.: AR 0106321</p> <p>OSI map ref. no.: 3391-09-3391-04</p> <p>Levels: relative to OS datum</p>							
<p>PROJECT: Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfriland Dublin 14</p> <p>STAGE: PLANNING</p> <p>DRAWING: Taking in Charge</p> <p>DWG No.: 403-P-00-11</p> <p>SCALE@A3: 1:500</p>							
							
<p style="text-align: right;">horan rainsford RIAI architects</p> <p style="text-align: right;">36 Main St Blackrock Dublin A94 E8H1</p> <p style="text-align: right;">(353) 1 764 2404 info@horanrainsford.ie www.horanrainsford.ie</p>							

LEGEND

DATE | REV. | DETAILS

# NUTGROVE AVE



cycle path

cycle path

VEHICLE ENTRY / EXIT

STOP

5500

5500

5500

6000

2

3

4

5

6

7

6950

1700

390

10

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

CAR PARKING (16 spaces)

2 No. electric charging parking spaces (orange colour hatch)

6000

1700

390

10

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

16 No spaces

16 No spaces

16 No spaces

secure & sheltered stacked bicycle parking

Gable End

1 STOREY RESIDENTIAL

Gable End

2 STOREY + ATTIC RESIDENTIAL

2 STOREY + ATTIC RESIDENTIAL

Ground Floor Plan 1:200

Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfrilandham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Ground Floor Plan
OSI licence no.:	AR 0106321	DWG No.:	403-P-02-00
OSI map ref. no.:	3391-09; 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:200

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--- Site Boundary - In Ownership of Applicant	LEGEND
--- Site Boundary - Inclusive of Works to the Site	

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**horan rainsford**  
architects

36 Main St  
Blackrock  
Dublin A94 E8H1

**RIAI**

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

NUTGROVE AVE

cycle path

STOP

CAR PARKING (16 spaces)

First Floor Plan

1:200

Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	First Floor Plan
OSI licence no.:	AR 0106321	DWG No.:	403-P-02-01
OSI map ref. no.:	3391-09; 3391-04	SCALE@A3:	1:200
Levels:	relative to OS datum	Rev.:	

Site Boundary - In Ownership of Applicant	--- (dashed red line)
Site Boundary - Inclusive of Works to the Site	— (solid red line)

LEGEND



DATE REV. DETAILS

# NUTGROVE AVE



<b>PROJECT:</b> Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14	<b>PLANNING</b> Second Floor Plan
<b>STAGE:</b> DRAWING: 403-P-02-02 DWG No.: 3391-09-3391-04 Levels: relative to OS datum	<b>Rev.:</b> SCALE@A3: 1:200
<b>Comencement of Stage:</b> October 2020	<b>OSI licence no.:</b> AR 0106321
<b>Drawn by:</b> bc	<b>OSI map ref. no.:</b> 3391-09-3391-04
<b>Checked:</b> th	<b>Levels:</b> relative to OS datum

<b>Comencement of Stage:</b> October 2020	<b>OSI licence no.:</b> AR 0106321
<b>Drawn by:</b> bc	<b>OSI map ref. no.:</b> 3391-09-3391-04
<b>Checked:</b> th	<b>Levels:</b> relative to OS datum

<b>Legend:</b> - - - Site Boundary - In Ownership of Applicant - - - Site Boundary - Inclusive of Works to the Site	<b>LEGEND</b>
<b>Second Floor Plan</b> 1:200	<b>DATE</b> <b>REV</b> <b>DETAILS</b>



# NUTGROVE AVE



Proposed Residential Development at the former filling station,  
Nuigrove Avenue, Rathfarnham Dublin 14

PROJECT:	PLANNING
STAGE:	Roof Plan
DRAWING:	403-P-02-04
DWG No.:	Rev.:
SCALE@A3:	1:200

Comencement of Stage: October 2020  
 Drawn by: bc  
 Checked: th  
 OSI licence no.: AR 0106321  
 OSI map ref. no.: 3391-08: 3391-04  
 Levels: relative to OS datum

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**LEGEND**

- - - Site Boundary - In Ownership of Applicant
- Site Boundary - Inclusive of Works to the Site

1 STOREY RESIDENTIAL

2 STOREY + ATTIC RESIDENTIAL

2 STOREY + ATTIC RESIDENTIAL

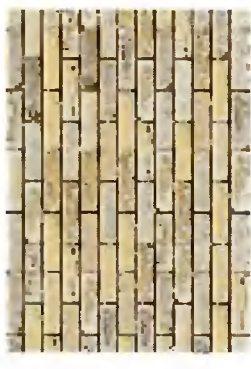
1:200

Roof Plan

DATE	REV.	DETAILS
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## Materials Examples:

Light / medium brown clay stock brick such as 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved.



Brick sample image



Similar brick facade



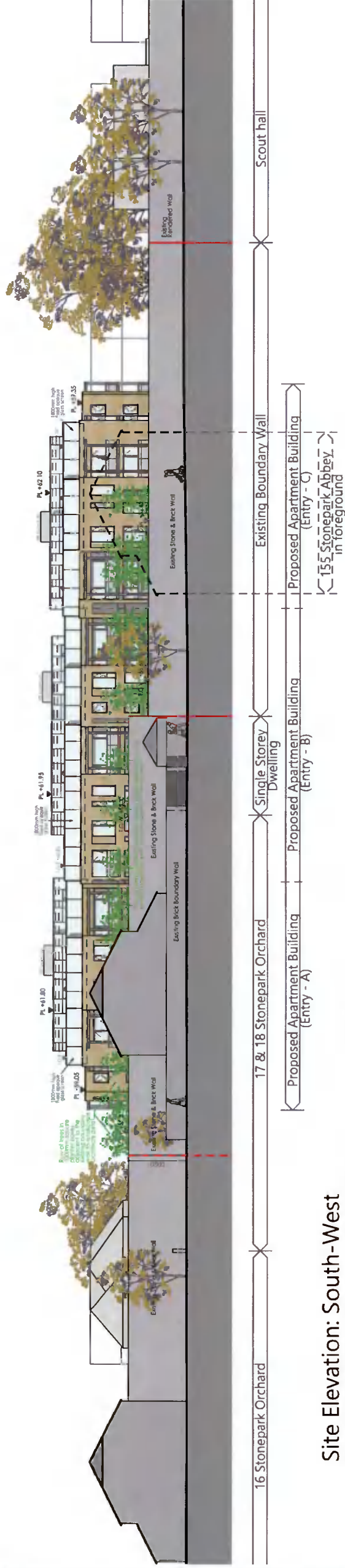
Similar brick facade



### Site Elevation: North-East

North-East boundary - Nutgrove Ave

1:400



### Site Elevation: South-West

South-West boundary - Stonepark Orchard

1:400

DATE	REV.	DETAILS

<p><b>MATERIALS LEGEND:</b></p> <ol style="list-style-type: none"> <li>Light / medium brown clay stock brick such as 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved</li> <li>Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms</li> <li>Opaque double glazed windows with dark grey powder coated aluminium frame</li> <li>Dark grey aluminium sill / flashing</li> <li>Steel frame balcony structure with galvanised steel balustrades</li> <li>Opaque glass balustrade to 1800mm height</li> <li>Glazed brickwork in selected colours, such as 'Istock Clerkenwell' or similar and approved</li> </ol>	
<p><b>LEGEND</b></p>	

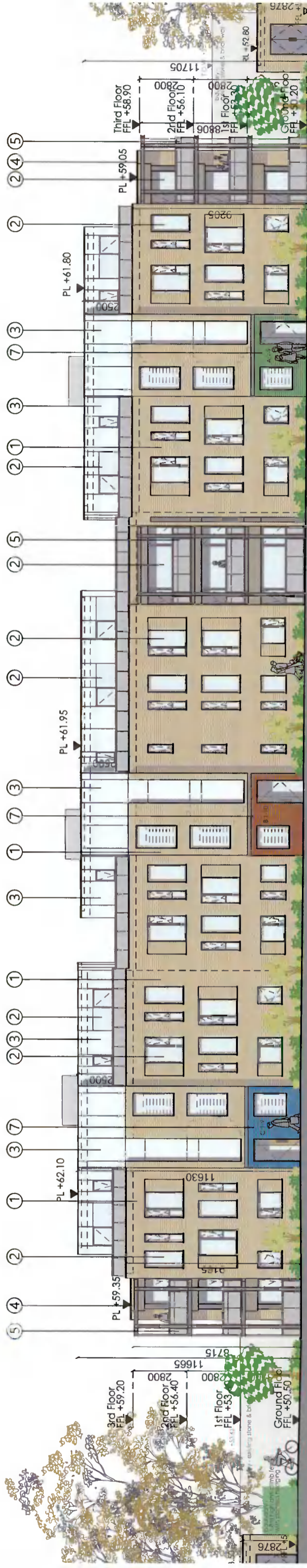
  

<p>Comencement of Stage: October 2020</p> <p>Drawn by: bc</p> <p>Checked: th</p> <p>OSI licence no.: AR 0106321</p> <p>OSI map ref. no.: 3391-09: 3391-04</p> <p>Levels: relative to OS datum</p>	<p>PROJECT: Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathlham Dublin 14</p> <p>STAGE: PLANNING</p> <p>DRAWING: Context Elevations: North-East &amp; South-West</p> <p>DWG No.: 403-P-04-00</p> <p>SCALE@A3: 1:400</p>
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horan rainsford architects
   
 36 Main St Blackrock Dublin A94 E8H1
   
 (353) 1 764 2404
   
 info@horanrainsford.ie
   
 www.horanrainsford.ie

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Site Elevation: North-East

Nutigrove Ave

1:200

Bin Store Vehicle Entry PROPOSED RESIDENTIAL DEVELOPMENT Landscape Area / Bin Store



Site Elevation: South-West

Private gardens / communal courtyard

1:200

Bin Store Vehicle Entry PROPOSED RESIDENTIAL DEVELOPMENT Landscape Area

DATE	REV	DETAILS

PROJECT:	Proposed Residential Development at the former filling station, Nutigrove Avenue, Rathlham Dublin 14
STAGE:	PLANNING
DRAWING:	Site Elevations: North-East & South-West
DWG No.:	403-P-04-01
OSI licence no.:	AR-0106321
OSI map ref. no.:	3391-09: 3391-04
Levels:	relative to OS datum
SCALE@A3:	1:200
Rev.:	

Commenccment or Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR-0106321
OSI map ref. no.:	3391-09: 3391-04
Levels:	relative to OS datum

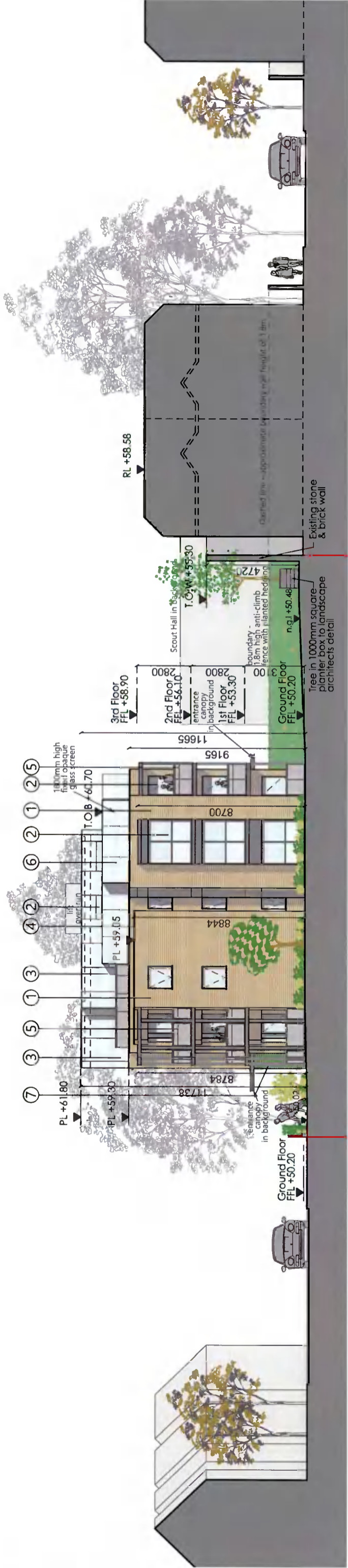
PROJECT: Proposed Residential Development at the former filling station, Nutigrove Avenue, Rathlham Dublin 14  
 STAGE: PLANNING  
 DRAWING: Site Elevations: North-East & South-West  
 DWG No.: 403-P-04-01  
 OSI licence no.: AR-0106321  
 OSI map ref. no.: 3391-09: 3391-04  
 Levels: relative to OS datum  
 SCALE@A3: 1:200  
 Rev.:

**MATERIALS LEGEND:**  
 1. Light / medium brown clay stock brick such as 'Kingscourt Country Manor - Stives Cream Rustica Buff Brick' or similar and approved  
 2. Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms  
 3. Opaque double glazed windows with dark grey powder coated aluminium frame  
 4. Dark grey aluminium sill / flashing  
 5. Steel frame balcony structure with galvanised steel balustrades  
 6. Opaques glass balustrade to 1800mm height  
 7. Glazed brickwork in selected colours, such as Istock Clerkenwell or similar and approved

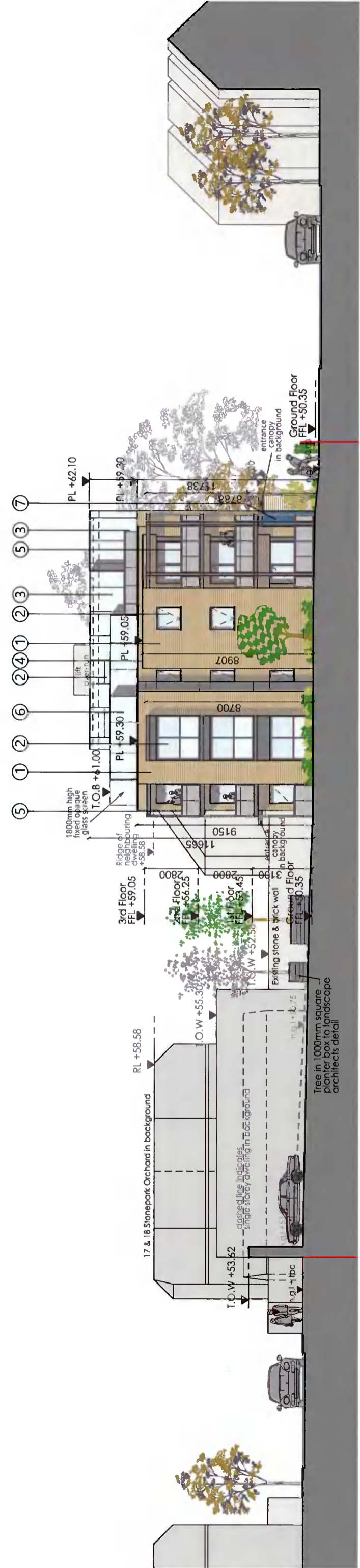
**LEGEND**

**horan rainsford architects**  
 RIAI  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie



**Site Elevation: North-West**  
Nutgrove Ave / Stonepark Orchard

1:200



**Site Elevation: South-East**  
Stonepark Orchard / Nutgrove Ave

1:200

DATE	REV.	DETAILS

PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathliffham Dublin 14
STAGE:	PLANNING
DRAWING:	Site Elevations: North-West & South-East
DWG No.:	403-P-04-02
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-09: 3391-04
Levels:	relative to OS datum
SCALE@A3:	1:200

Commenccement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-09: 3391-04
Levels:	relative to OS datum

**MATERIALS LEGEND:**

1. Light / medium brown clay stock brick such as 'Kingscourt Country Manor - Stives Cream Rustica Buff Brick' or similar and approved
2. Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms
3. Opaque double glazed windows with dark grey powder coated aluminium frame
4. Dark grey aluminium sill / flashing
5. Steel frame balcony structure with galvanised steel balustrades
6. Opaques glass balustrade to 1800mm height
7. Glazed brickwork in selected colours, such as 'Istock Clerkenwell' or similar and approved

**LEGEND**

**horan rainsford architects**

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

PROPOSED RESIDENTIAL DEVELOPMENT

October 2020

bc

th

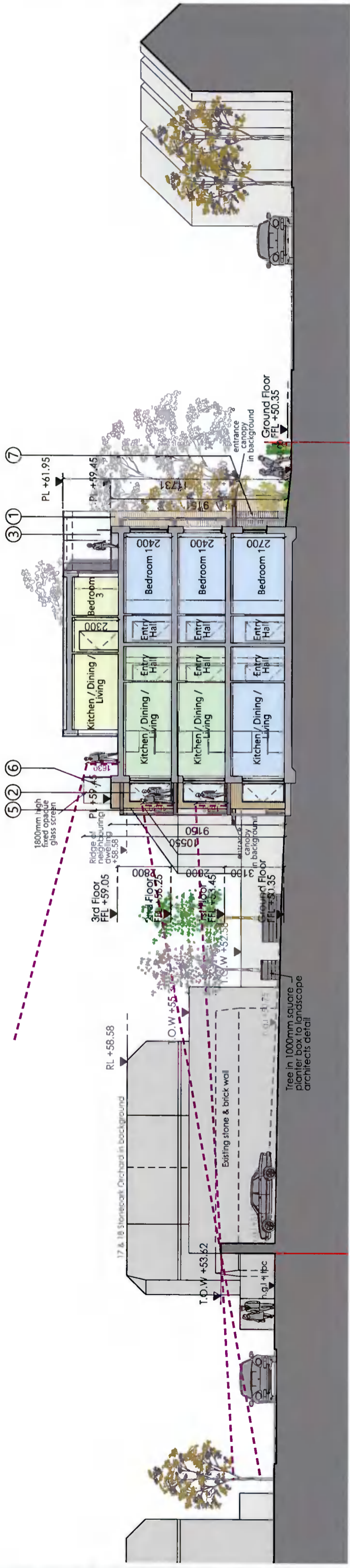
AR 0106321

3391-09: 3391-04

relative to OS datum

1:200

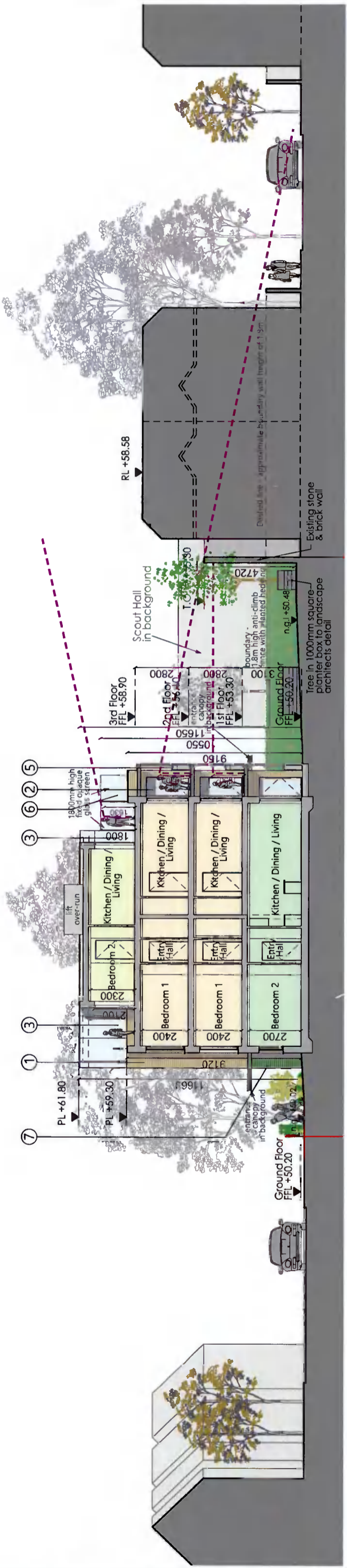
HORAN RAINSFORD ARCHITECTS | do not scale from drawing | use figured dimensions only | notify architect of discrepancies



Residential | Footpath | Stonepark Orchard | Footpath | Car Parking Area | Landscaping | PROPOSED RESIDENTIAL DEVELOPMENT | Landscaping | Footpath | Nutgrove Ave | Footpath | Residential

**Section B-B**  
Section through Centre of Building (Entry B)

1:200



Residential | Footpath | Nutgrove Avenue | Footpath | Landscaping | PROPOSED RESIDENTIAL DEVELOPMENT | Landscaped Courtyard | 17 & 18 Stonepark Orchard Residential | Footpath | Stonepark Orchard | Footpath | Residential

**Section A-A**  
Section through West of Building (Entry A)

1:200

**For more detail regarding Lines of Vision, refer to drawings 403-P-06-20 to 403-P-06-23**

DATE	REV.	DETAILS

<b>MATERIALS LEGEND:</b>	
1.	Light / medium brown clay stock brick such as 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved
2.	Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms
3.	Opaque double glazed windows with dark grey powder coated aluminium frame
4.	Dark grey aluminium sill / flashing
5.	Steel frame balcony structure with galvanised steel balustrades
6.	Opaque glass balustrade to 1800mm height
7.	Glazed brickwork in selected colours, such as 'Istock Clerkenwell' or similar and approved

<b>PROJECT:</b>	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
<b>STAGE:</b>	PLANNING
<b>DRAWING:</b>	Site Sections: A-A & B-B
<b>DWG No.:</b>	403-P-05-00
<b>Rev.:</b>	1:200
<b>SCALE@A3:</b>	relative to OS datum
<b>Commencement of Stage:</b>	October 2020
<b>Drawn by:</b>	bc
<b>Checked:</b>	th
<b>OSI licence no.:</b>	AR 0106321
<b>OSI map ref. no.:</b>	3391-09: 3391-04
<b>Levels:</b>	relative to OS datum

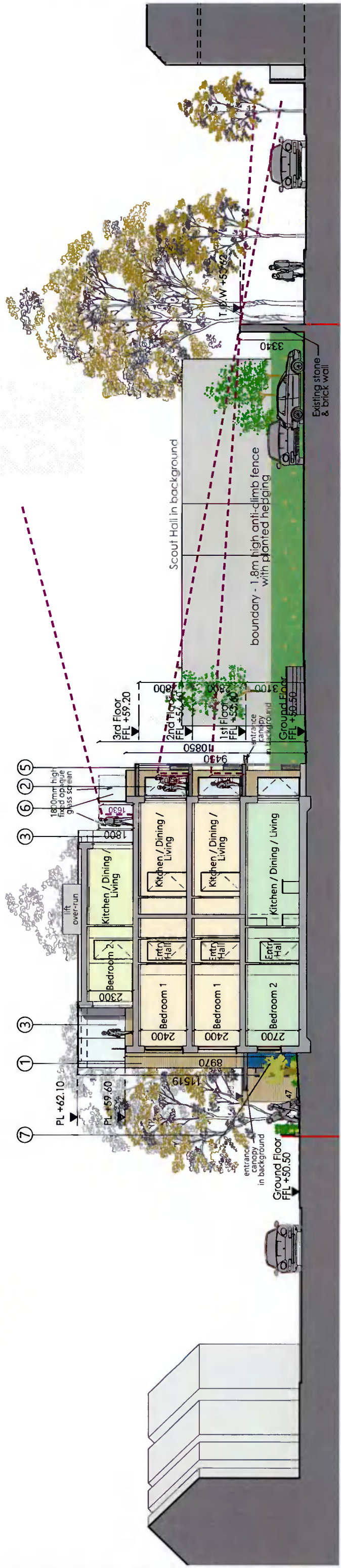
© HORAN RAINSFORD architects | do not scale from drawing | use figured dimensions only | notify architect of discrepancies

**horan rainsford**  
architects

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

<b>PROJECT:</b>	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
<b>STAGE:</b>	PLANNING
<b>DRAWING:</b>	Site Sections: A-A & B-B
<b>DWG No.:</b>	403-P-05-00
<b>Rev.:</b>	1:200
<b>SCALE@A3:</b>	relative to OS datum
<b>Commencement of Stage:</b>	October 2020
<b>Drawn by:</b>	bc
<b>Checked:</b>	th
<b>OSI licence no.:</b>	AR 0106321
<b>OSI map ref. no.:</b>	3391-09: 3391-04
<b>Levels:</b>	relative to OS datum



Residential | Footpath | Nutgrove Avenue | Landscaping | PROPOSED RESIDENTIAL DEVELOPMENT | Footpath | Car Parking Area | Stonepark Orchard | Footpath | Residential

**Section C-C**  
Section through East of Building (Entry C)

1:200

**For more detail regarding Lines of Vision, refer to drawings 403-P-06-20 to 403-P-06-23**

**horan rainsford architects**  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie

PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathlarnham Dublin 14
STAGE:	PLANNING
DRAWING:	Site Section: C-C
DWG No.:	403-P-05-01
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-08: 3391-04
Levels:	SCALE@A3: 1:200 relative to OS datum

**MATERIALS LEGEND:**

1. Light / medium brown clay stock brick such as 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved
2. Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms
3. Opaque double glazed windows with dark grey powder coated aluminium frame
4. Dark grey aluminium sill / flashing
5. Steel frame balcony structure with galvanised steel balustrades
6. Opaques glass balustrade to 1800mm height
7. Glazed brickwork in selected colours, such as 'Istock Clerkenwell' or similar and approved

DATE	REV.	DETAILS

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# 403 APARTMENT SCHEDULE | UNIT AREAS & STANDARDS

## PROPOSED NEW DEVELOPMENT | APARTMENT DESIGN STANDARDS

APARTMENT	TYPE	WIDTH: Living / Dining / Kitchen		AREA: Living / Dining / Kitchen		WIDTH: Bedrooms			AREA: Bedrooms			AREA: Storage			AREA: Private Amenity Space		AREA: Overall Floor Area		OVERALL UNITS			
		Min. Requirement (m)	Provision (m)	Min. Requirement (sq.m)	Provision (sq.m)	Min. Requirement (m)			Min. Requirement (m)			Min. Requirement (sq.m)	Aggregate	Min. Requirement (m)	Provision (m)	Min. Requirement (m)	Provision (m)	Total No. Units	Location Reference As depicted on the overall plans			
						Single	Double	Twin	Single	Double	Twin									Single	Double	Twin
1 Bed	1B-1	3.3	4.26	23	25.0	-	2.8	-	3.0	-	11.4	-	11.8	-	3	3.0	5	5.2	45	50	A-3; A-6	
	1B-2	3.3	4.75	23	26.6	-	2.8	-	3.0	-	11.4	-	11.8	-	3	3.0	5	5.0	45	53	A-4; A-7	
	1B-3	3.3	4.26	23	23.5	-	2.8	-	3.0	-	11.4	-	11.8	-	3	3.0	5	6.1	45	49	C-3; C-6	
	1B-4	3.3	4.75	23	26.6	-	2.8	-	3.0	-	11.4	-	11.8	-	3	3.0	5	5.0	45	53	C-4; C-7	
2 Bed (3 Person)	2B-1	3.6	4.36	28	38.7	2.1	2.8	2.8	2.8	3.6	7.1	13	20.1	9.8	12.4	6	6.0	7	9.6	63	88	B-1; B-4; B-7
	2B-2	3.6	4.8	28	28	2.1	2.8	2.2	2.9	-	7.1	-	20.1	10.0	13.0	6	6.6	7	7.0	63	82	B-2
2 Bed (4 Person)	2B-3	3.6	3.99	30	39.4	-	2.8	2.8	-	3.2	3.0	-	11.4	13	24.4	-	10.6	7	10.2	73	94	A-1
	2B-4	3.6	3.75	30	34.2	-	2.8	2.8	-	2.8	3.1	-	11.4	13	24.4	-	7.0	7	7.0	73	85	A-2; A-5; A-8 B-3; B-6; B-9
	2B-5	3.6	4.88	30	32.6	-	2.8	2.8	-	2.9	2.8	-	11.4	13	24.4	6	6.8	7	7.0	73	90	B-5; B-8
	2B-6	3.6	3.75	30	34.2	-	2.8	2.8	-	2.8	3.1	-	11.4	13	24.4	6	7.0	7	7.0	73	85	C-2; C-5; C-8
	2B-7	3.6	3.99	30	39.4	-	2.8	2.8	-	3.0	3.0	-	11.4	13	24.4	6	10.0	7	11.1	73	92	C-1
	3B-1	3.8	3.95	34	34.4	2.1	2.8	2.8	2.8	2.8	2.8	7.1	11.4	13	24.4	11	11.1	9	68.0	90	104	A-9
	3B-2	3.8	3.95	34	34.4	2.1	2.8	2.8	2.8	2.8	2.8	7.1	11.4	13	24.4	11	11.1	9	67.0	90	104	C-9
3B-3	3.8	3.95	34	40.7	2.1	2.8	2.8	2.8	2.8	2.8	7.1	11.4	13	24.4	9.4	12.1	9	102.8	90	121	B-10	

### PERCENTAGE OF PROPOSED NEW APARTMENTS WHICH EXCEED MINIMUM DESIGN STANDARDS:

A minimum of 10% of the overall development should exceed the minimum design standards.  
ALL units meet the minimum design standards with the majority of units exceeding the minimum design standards, as per table below.

### PROPOSED RESIDENTIAL UNITS:

No. Units which meet the standards	No. Units which exceed the standards	100 %
8	8	100%
4	4	100%
13	13	100%
3	3	100%
<b>TOTAL</b>	<b>28</b>	<b>100 %</b>

Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nulgrove Avenue, Rathlham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Schedule of Apartment Areas & Standards
OSI licence no.:	AR 0106321	DWG No.:	403-P-06-00
OSI map ref. no.:	3391-09: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	n.t.s.

**horan rainsford architects**  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie

DATE	REV.	DETAILS	LEGEND
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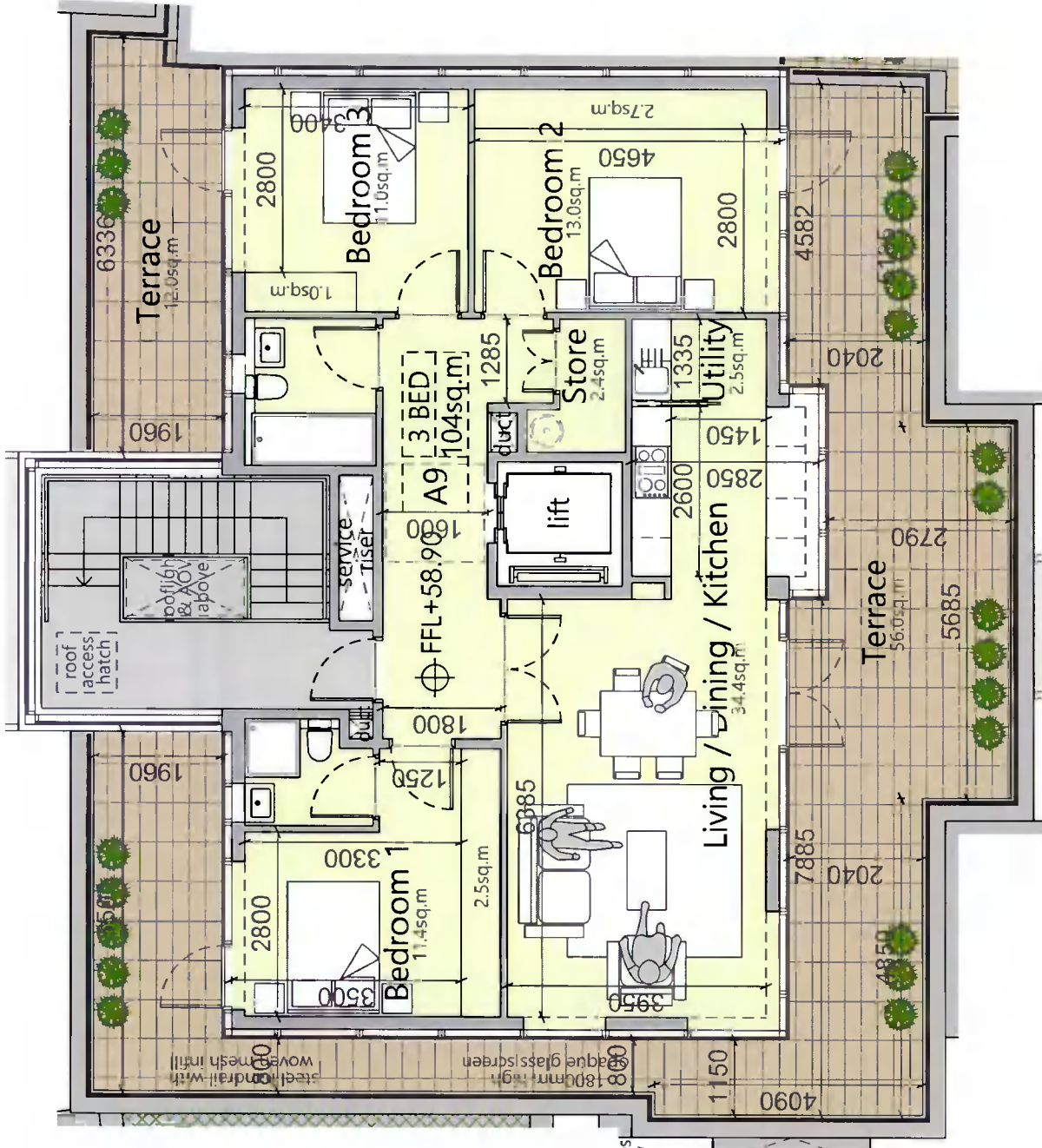












**APARTMENT TYPE: 3B-1**  
3-BED (5 person) Apartment

Location:  
- 3rd Floor with a South-West & North-East orientation  
- Facing onto the landscaped courtyard & Nutgrove Ave  
Apartment numbers:  
- A9

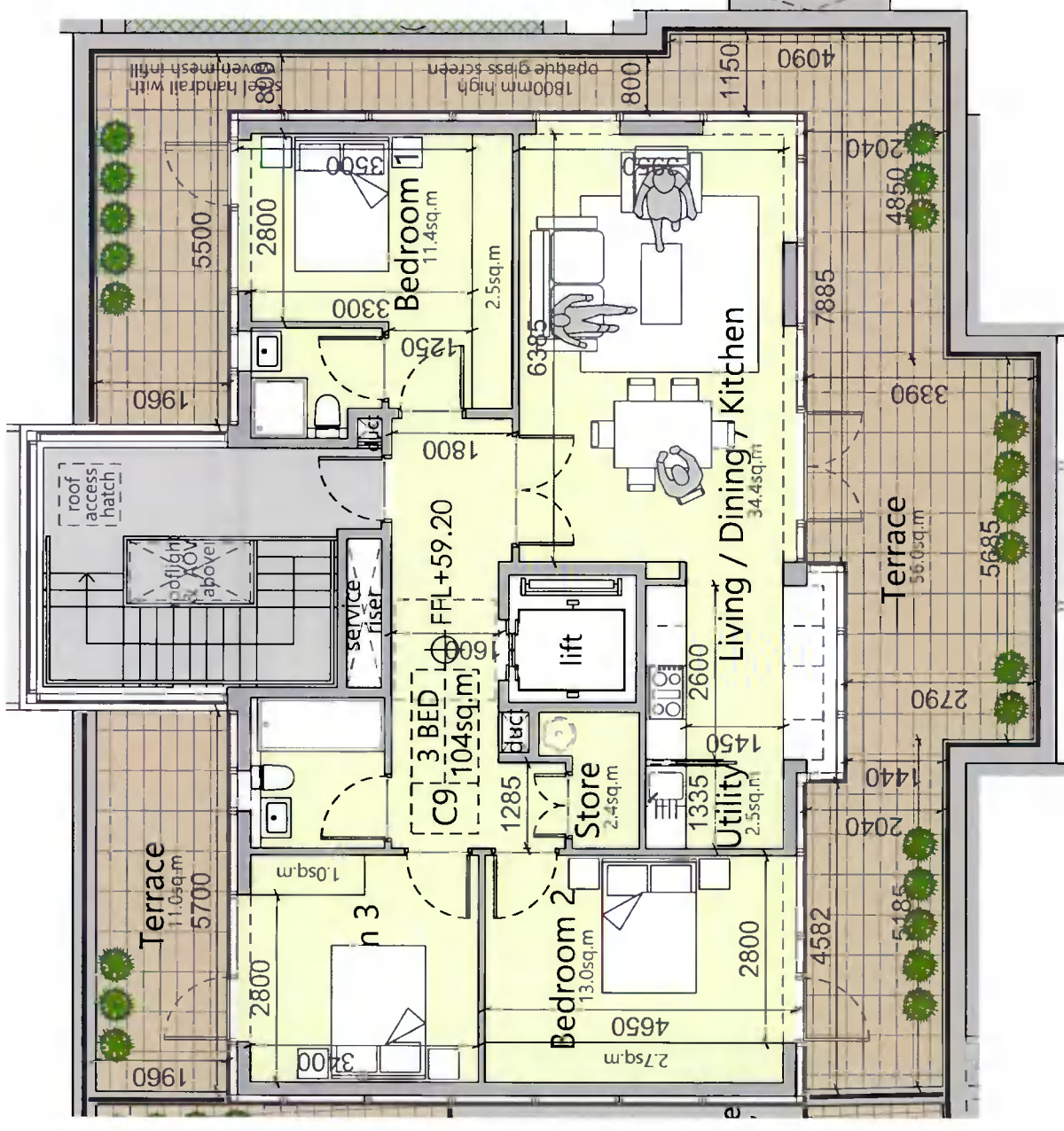
TOTAL NO. TYPE 3B-1 APARTMENTS = 1

Minimum Requirement		Proposed Apartment Provision	
3 BED (5 Person)	Total Area 90sq.m	3 BED (5 Person)	Total Area 104sq.m
Living/Dining/Kitchen	34sq.m	Living/Dining/Kitchen	34.4sq.m
Bedroom (11.4 + 13 + 7.1)	31.5sq.m	Bedroom (11.4 + 13 + 11)	35.4sq.m
Storage	9sq.m	Storage	11.1sq.m
Private Open Space	9sq.m	Private Open Space	68sq.m

Apartment Type Legend

1 Bed (2 person)
2 Bed (3 person)
2 Bed (4 person)
3 Bed (5 person)

LEGEND



**APARTMENT TYPE: 3B-2**  
3-BED (5 person) Apartment

Location:  
- 3rd Floor with a South-West & North-East orientation  
- Facing onto the landscaped courtyard & Nutgrove Ave  
Apartment numbers:  
- C9

TOTAL NO. TYPE 3B-2 APARTMENTS = 1

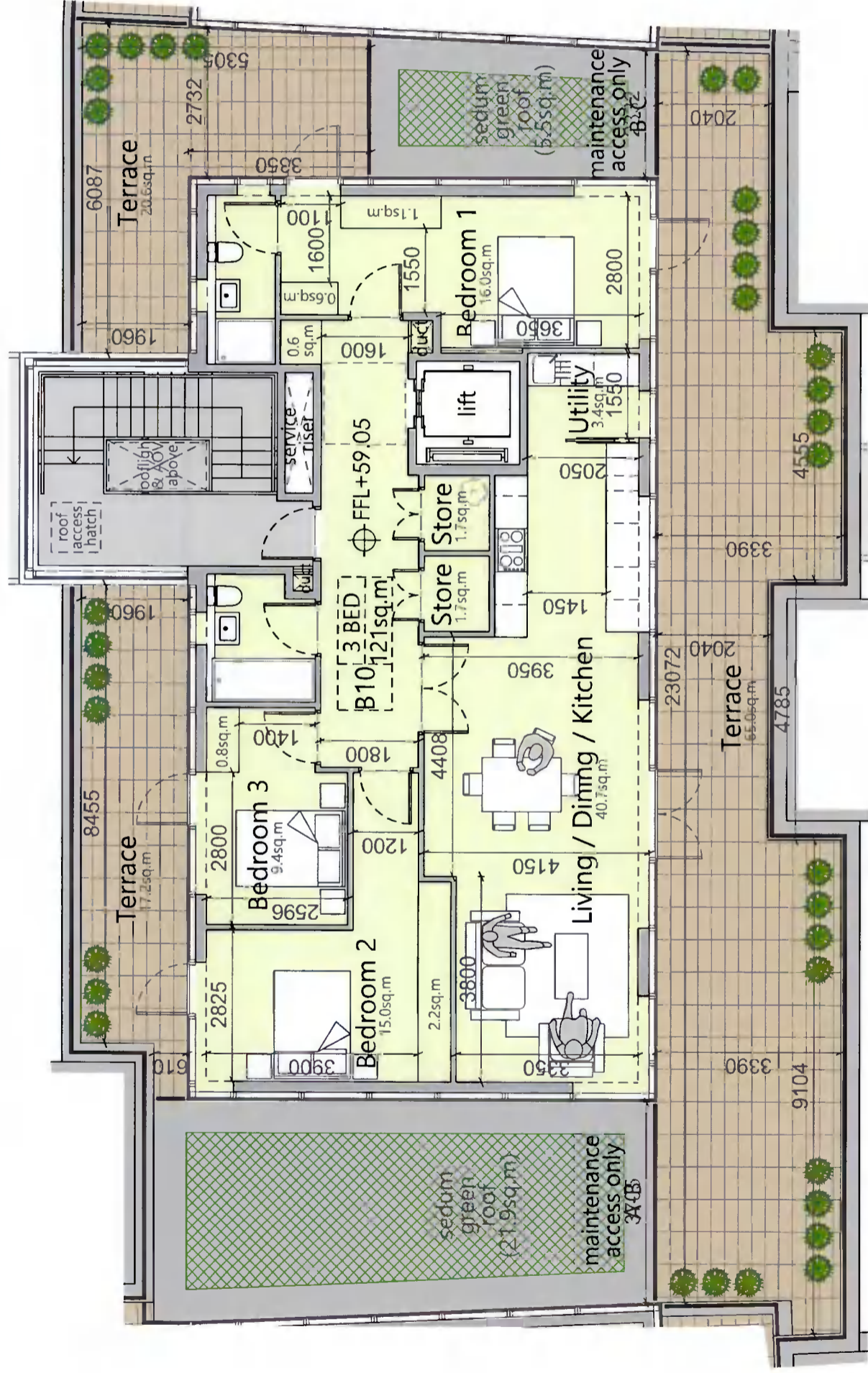
Minimum Requirement		Proposed Apartment Provision	
3 BED (5 Person)	Total Area 90sq.m	3 BED (5 Person)	Total Area 104sq.m
Living/Dining/Kitchen	34sq.m	Living/Dining/Kitchen	34.4sq.m
Bedroom (11.4 + 13 + 7.1)	31.5sq.m	Bedroom (11.4 + 13 + 11)	35.4sq.m
Storage	9sq.m	Storage	11.1sq.m
Private Open Space	9sq.m	Private Open Space	67sq.m

Comencement of Stage: October 2020  
 Drawn by: bc  
 Checked: th  
 OSI licence no.: AR.0106321  
 OSI map ref. no.: 3391-09: 3391-04  
 Levels: relative to OS datum

PROJECT: Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathliffham Dublin 14  
 STAGE: PLANNING  
 DRAWING: Typical Apartment Plans (3-Bed apartments)  
 DWG No.: 403-P-06-05  
 Rev.:  
 SCALE@A3: 1:100

HORAN RAINSFORD architects | do not scale from drawing | use figured dimensions only | notify architect of discrepancies

DATE | REV. | DETAILS



**APARTMENT TYPE: 3B-3**

3- BED (5 person) Apartment

- Location:
- 3rd Floor with a South-West & North-East orientation
  - Facing onto the landscaped courtyard & Nutgrove Ave
- Apartment numbers:
- B10

TOTAL NO. TYPE 3B-3 APARTMENTS = 1

Minimum Requirement		Proposed Apartment Provision	
3 BED (5 Person)	Total Area 90sq.m	3 BED (5 Person)	Total Area 121sq.m
	Living/Dining/Kitchen 34sq.m		Living/Dining/Kitchen 40.7sq.m
	Bedroom (11.4 + 13 + 7.1) 31.5sq.m		Bedroom (16 + 15 + 9.4) 40.4sq.m
	Storage 9sq.m		Storage 12.1sq.m
	Private Open Space 9sq.m		Private Open Space 102.8sq.m

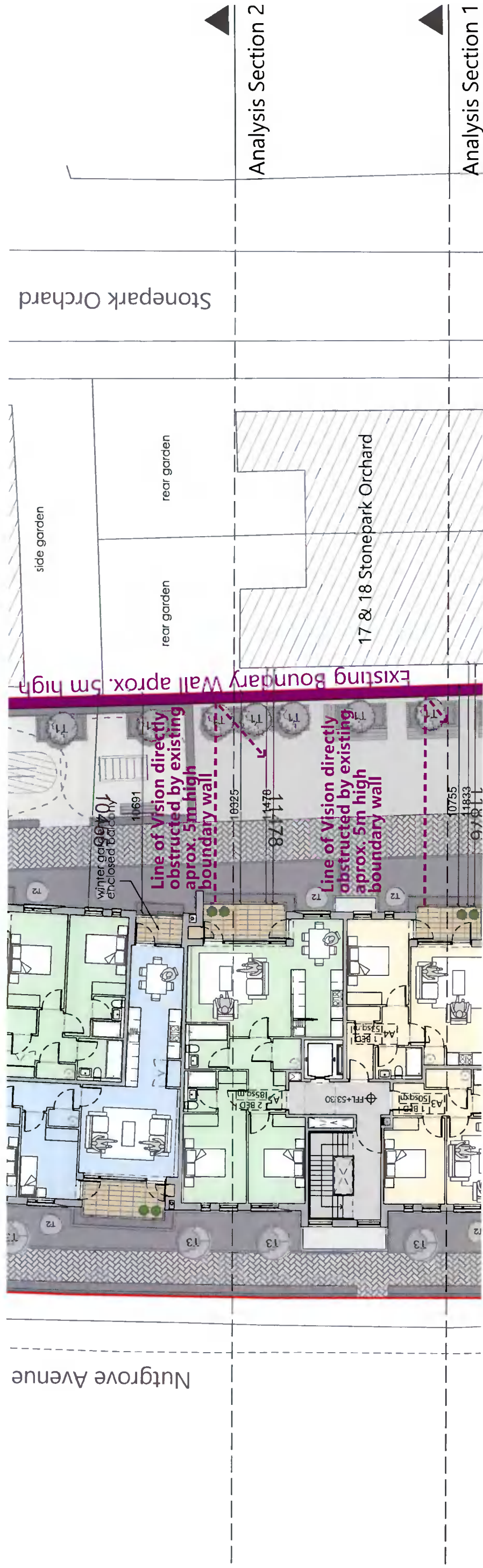
Apartment Type Legend

[Light Blue Box]	1 Bed (2 person)
[Medium Blue Box]	2 Bed (3 person)
[Dark Blue Box]	2 Bed (4 person)
[Yellow Box]	3 Bed (5 person)

LEGEND

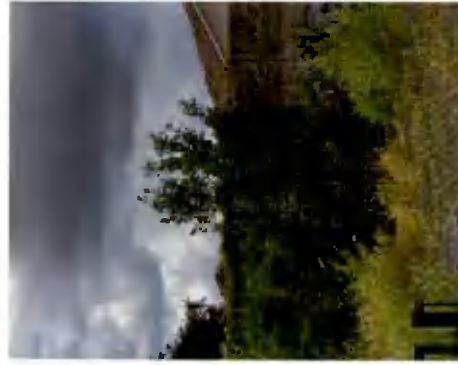
Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathlarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Typical Apartment Plans (3-Bed apartments)
OSI licence no.:	AR.0106321	DWG No.:	403-P-06-06
OSI map ref. no.:	3391-09: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:100

DATE | REV. | DETAILS



**Partial Plan: Typical 1st & 2nd Floor**

Partial Plan adjacent to gable end of 17 & 18 Stonepark Orchard 1:200



Line of Vision at the Ground, 1st & 2nd floor level are directly obstructed by the existing approx. 5m high boundary wall



**No Overlooking Analysis:**  
Study of the area adjacent to the gable end of 17 & 18 Stonepark Orchard



Line of Vision at the 3rd floor level are directly obstructed by the proposed 1800mm high fixed opaque glass screen



**LINES OF VISION ARE OBSTRUCTED:**

- at ground & 1st floor lines of vision are directly obstructed by the existing approx. 5m high boundary wall;
- at 2nd floor lines of vision are also directly obstructed by the existing approx. 5m high boundary wall at an angle of vision which oversails the neighbouring properties and only permits a view onto the roadway of Stonepark Orchard;
- at 3rd floor lines of vision are directly obstructed by the proposed 1.8m high fixed opaque glass screen which cannot be seen through but permits soft light onto the terraces for these top level apartments.

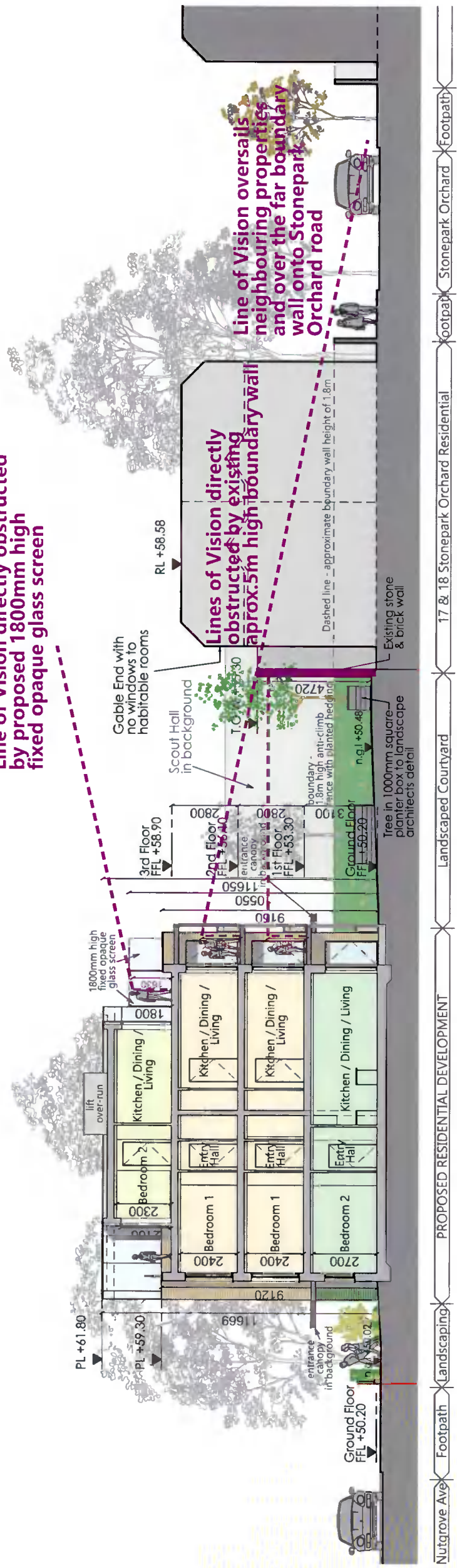
DATE	REV.	DETAILS	LEGEND
			<p>Eye Height / Line of Vision: As set out in the Metric Handbook: Planning and Design Data</p> <ul style="list-style-type: none"> <li>- Eye Height of an average adult woman = 1505mm</li> <li>- Eye Height of an average adult man = 1630mm</li> </ul> <p>Therefore 1630mm has been used to demonstrate No Overlooking by way of Lines of Vision from balconies</p>

Commencement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-09-3391-04
Levels:	relative to OS datum

PROJECT:	Proposed Residential Development at the former filling station, Nulgrove Avenue, Rathfrilandham Dublin 14
STAGE:	PLANNING
DRAWING:	No Overlooking Analysis: Partial Plan adjacent to gable of 17 & 18 Stonepark Orchard
DWG No.:	403-P-06-20
SCALE@A3:	1:200

**horan rainsford architects**  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie

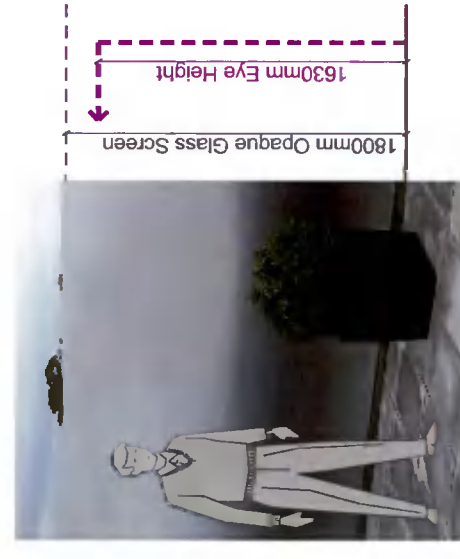
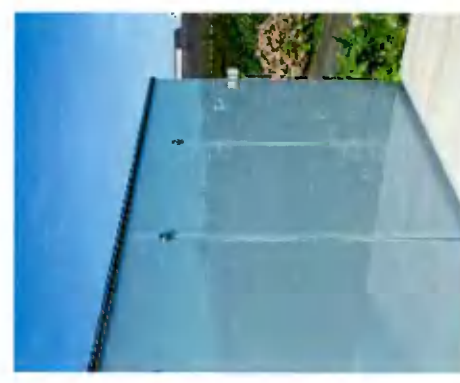
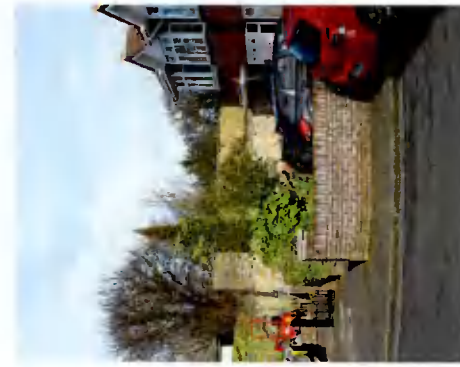
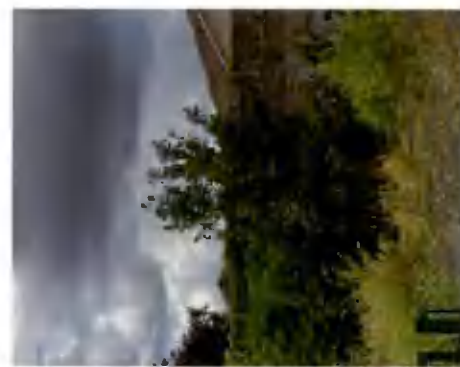
Line of Vision directly obstructed by proposed 1800mm high fixed opaque glass screen



Nutgrove Ave | Footpath | Landscaping | PROPOSED RESIDENTIAL DEVELOPMENT | Landscaped Courtyard | 17 & 18 Stonepark Orchard Residential | Footpath | Stonepark Orchard | Footpath

### Analysis Section 1

Section adjacent to gable end of 17 & 18 Stonepark Orchard 1:200



Line of Vision at the Ground, 1st & 2nd floor level are directly obstructed by the existing approx. 5m high boundary wall

Line of Vision at the 3rd floor level are directly obstructed by the proposed 1800mm high fixed opaque glass screen

### No Overlooking Analysis:

Study of the area adjacent to the gable end of 17 & 18 Stonepark Orchard

**LINES OF VISION ARE OBSTRUCTED:**

- at ground & 1st floor lines of vision are directly obstructed by the existing approx. 5m high boundary wall;
- at 2nd floor lines of vision are also directly obstructed by the existing approx. 5m high boundary wall at an angle of vision which overalls the neighbouring properties and only permits a view onto the roadway of Stonepark Orchard;
- at 3rd floor lines of vision are directly obstructed by the proposed 1.8m high fixed opaque glass screen which cannot be seen through but permits soft light onto the terraces for these top level apartments.

DATE	REV.	DETAILS	LEGEND
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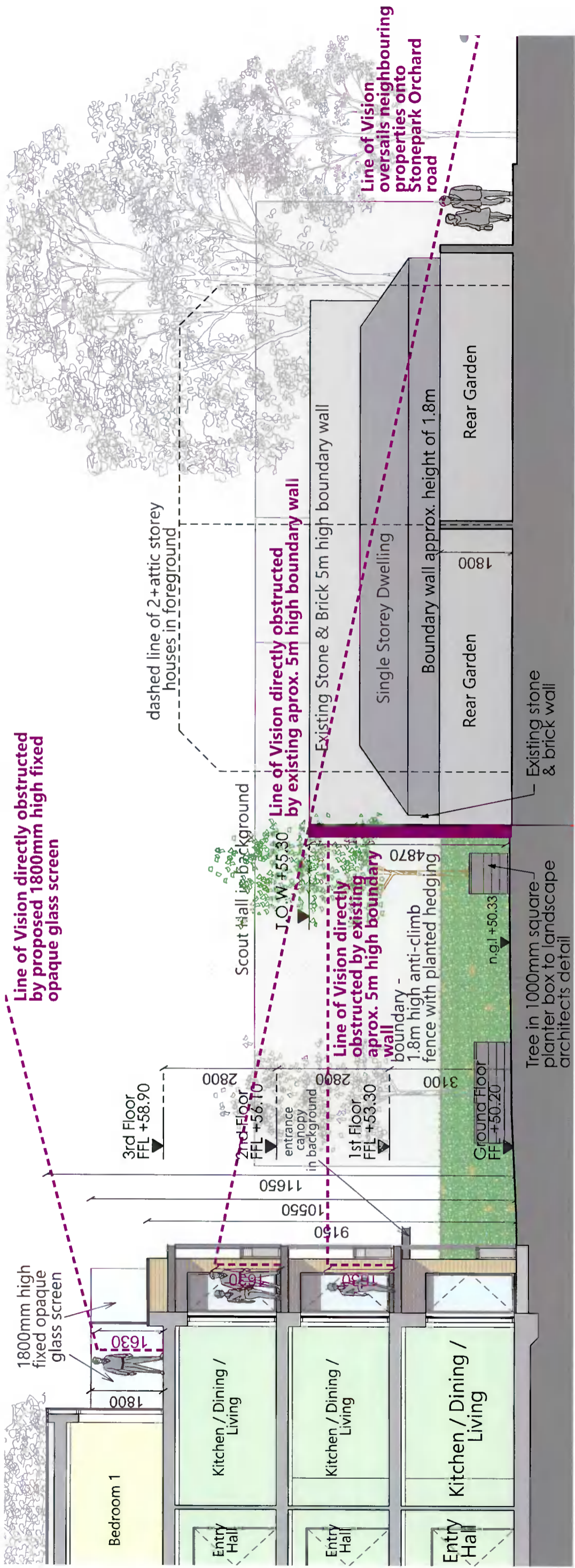
Eye Height / Line of Vision: As set out in the Metric Handbook: Planning and Design Data'

- Eye Height of an average adult woman = 1505mm
- Eye Height of an average adult man = 1630mm

Therefore 1630mm has been used to demonstrate No Overlooking by way of Lines of Vision from balconies

Commencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathmaham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	No Overlooking Analysis: Section adjacent to gable of 17 & 18 Stonepark Orchard
OSI licence no.:	AR 0106321	DWG No.:	403-P-06-21
OSI map ref. no.:	3391-09: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:200

**horan rainsford architects**  
**RIAI**  
 36 Main St  
 Blackrock  
 Dublin A94 E8H1  
 (353) 1 764 2404  
 info@horanrainsford.ie  
 www.horanrainsford.ie



**Analysis Section 2**

Section adjacent to rear / side gardens

1:100

**No Overlooking Analysis:**

Study of the area adjacent to the gable end of 17 & 18 Stonepark Orchard



Indicative person with an eye height of 1630mm standing behind a fixed opaque glass screen which directly obstructs any horizontal or downward view beyond the terrace

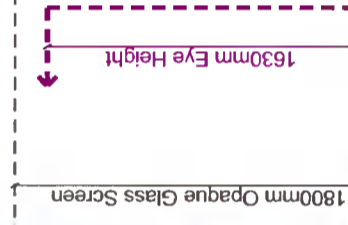


Diagram of eye level aligned with a 1800mm fixed opaque glass screen

- LINES OF VISION ARE OBSTRUCTED:**
- at ground & 1st floor lines of vision are directly obstructed by the existing approx. 5m high boundary wall;
  - at 2nd floor lines of vision are also directly obstructed by the existing approx. 5m high boundary wall at an angle of vision which oversails the neighbouring properties and only permits a view onto the roadway of Stonepark Orchard;
  - at 3rd floor lines of vision are directly obstructed by the proposed 1.8m high fixed opaque glass screen which cannot be seen through but permits soft light onto the terraces for these top level apartments.

PROPOSED RESIDENTIAL DEVELOPMENT | Landscaped Courtyard | Rear Gardens of 17 & 18 Stonepark Orchard Residential | Footpath | Stonepark Orchard

DATE	REV.	DETAILS

**LEGEND**

**Eye Height / Line of Vision:** As set out in the Metric Handbook: Planning and Design Data

- Eye Height of an average adult woman = 1505mm
- Eye Height of an average adult man = 1630mm

Therefore 1630mm has been used to demonstrate No Overlooking by way of Lines of Vision from balconies

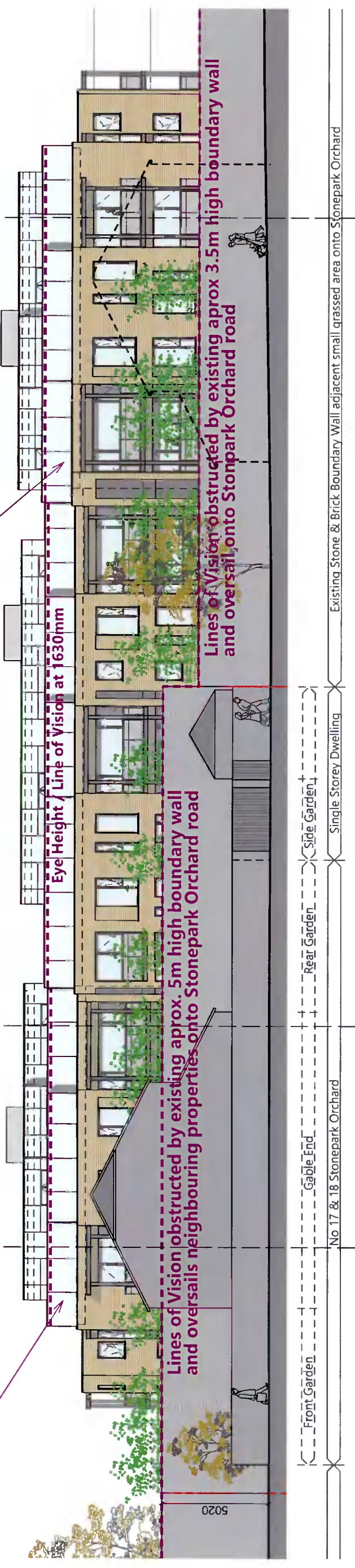
Commencement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-09: 3391-04
Levels:	relative to OS datum
PROJECT:	Proposed Residential Development at the former filling station, Nulgrove Avenue, Rathlarnham Dublin 14
STAGE:	PLANNING
DRAWING:	No Overlooking Analysis: Section adjacent to rear / side gardens
DWG No.:	403-P-06-22
Rev.:	
SCALE@A3:	1:100

Analysis Section 1

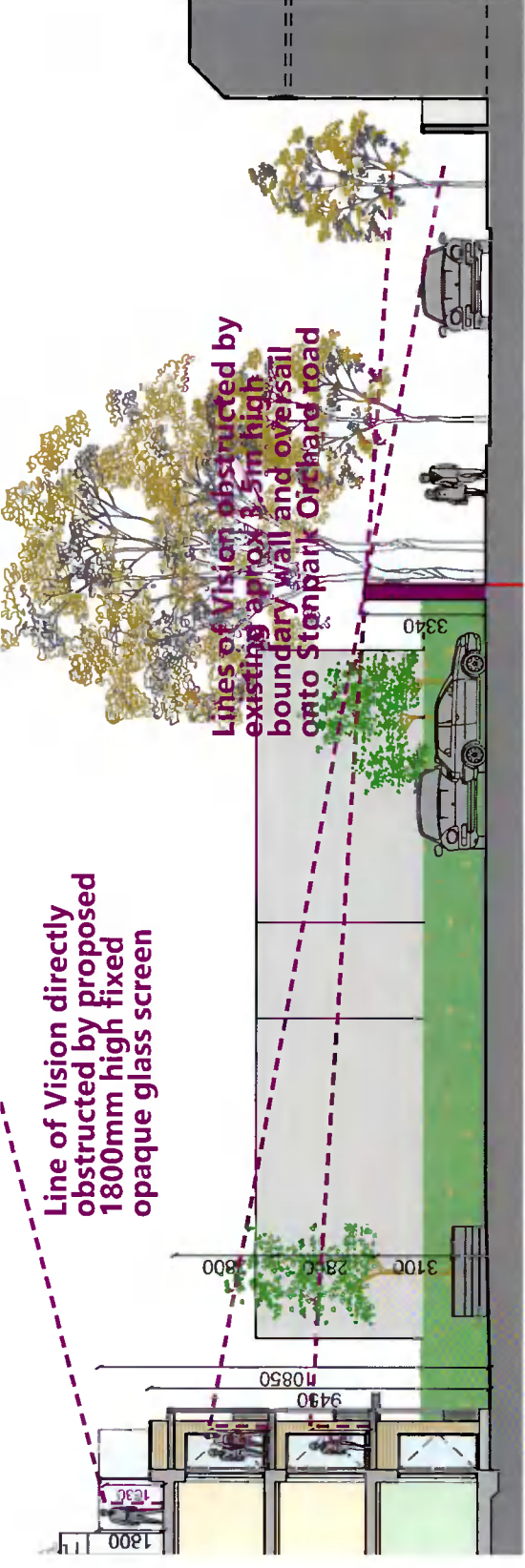
Line of Vision directly obstructed by proposed 1800mm high fixed opaque glass screen

Analysis Section 2

Analysis Section 3



South-West Elevation  
Elevation as seen from Stonepark Orchard  
1:200



PROPOSED DEVELOPMENT  
Analysis Section 3  
Section adjacent to approx. 3.5m high boundary wall  
1:200

**LINES OF VISION ARE OBSTRUCTED:**

- at ground & 1st floor lines of vision are directly obstructed by the existing approx. 5m high boundary wall;
- at 2nd floor lines of vision are also directly obstructed by the existing approx. 5m high boundary wall at an angle of vision which oversails the neighbouring properties and only permits a view onto the roadway of Stonepark Orchard;
- at 3rd floor lines of vision are directly obstructed by the proposed 1.8m high fixed opaque glass screen which cannot be seen through but permits soft light onto the terraces for these top level apartments.

**No Overlooking Analysis:**  
Study of the South-West elevation as seen from Stonepark Orchard

**Eye Height / Line of Vision:** As set out in the Metric Handbook, Planning and Design Data'  
- Eye Height of an average adult woman = 1505mm  
- Eye Height of an average adult man = 1630mm  
Therefore 1630mm has been used to demonstrate No Overlooking by way of Lines of Vision from balconies

Commencement of Stage:	October 2020
Drawn by:	bc
Checked:	th
OSI licence no.:	AR 0106321
OSI map ref. no.:	3391-06: 3391-04
Levels:	relative to OS datum
SCALE@A3:	1:200
PROJECT:	Proposed Residential Development at the former filling station, Nulgrove Avenue, Rathbarham Dublin 14
STAGE:	PLANNING
DRAWING:	No Overlooking Analysis: South-West Elevation as seen from Stonepark Orchard & Section adjacent to approx. 3.5m high boundary wall
DWG No.:	403-P-06-23
Rev.:	

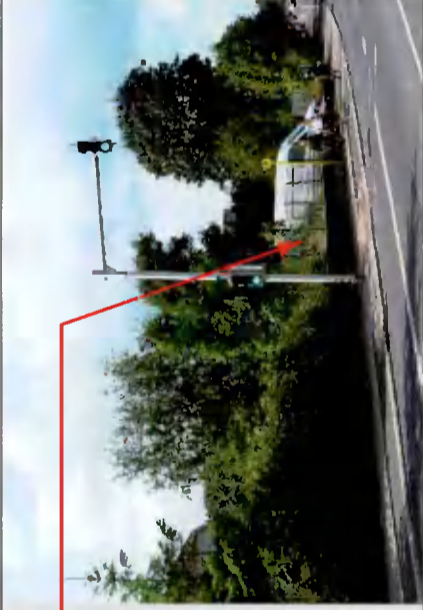
DATE	REV.	DETAILS	LEGEND

## EXISTING BOUNDARY TREATMENT:

### NORTH-EAST BOUNDARY: NUTGROVE AVE

The existing boundary consists of a concrete block stub wall and wire fence enclosing the site

*This boundary treatment will be removed and replaced with a new stub wall & fence with landscaping as part of the proposed re-development of this site*



### NORTH-WEST BOUNDARY

The existing boundary consists of a stone and brickwork wall at approx. 5m high at the south-west corner to approx. 2.4m at the north-west corner of the site

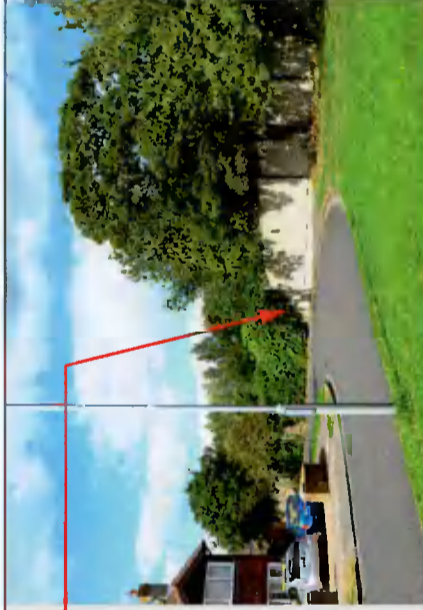
*This boundary treatment is shared with the neighbouring property and will be retained as it currently exists*



### SOUTH-WEST BOUNDARY: STONEPARK ORCHARD

The existing boundary consists of a stone and brickwork wall at approx. 5m high at the south-west corner adjacent to 17 & 18 Stonepark Orchard and then steps down to approx. 3.5m at the south-east corner of the site adjacent to the small green strip along Stonepark Orchard road

*This boundary treatment is shared with the neighbouring property and will be retained as it currently exists*



### SOUTH-EAST BOUNDARY

The existing boundary consists of post and wire fence

*This boundary treatment is shared with the neighbouring property of the Scout Hall*



## PROPOSED BOUNDARY TREATMENT:

### NORTH-EAST BOUNDARY: NUTGROVE AVE

Proposed upgrades to this boundary include the removal of the stub wall and fence to be replaced with a new brickwork stub wall at 300mm high with railing detailed to match balconies with hedge as specified by the Landscape Architect

*Refer to 'Stub wall & Railing' detail, Drawing: 403-P-20-01*



### NORTH-WEST BOUNDARY

There are no proposed changes to the existing boundary which consists of a stone and brickwork wall at approx. 5m high at the south-west corner to approx. 2.4m at the north-west corner of the site

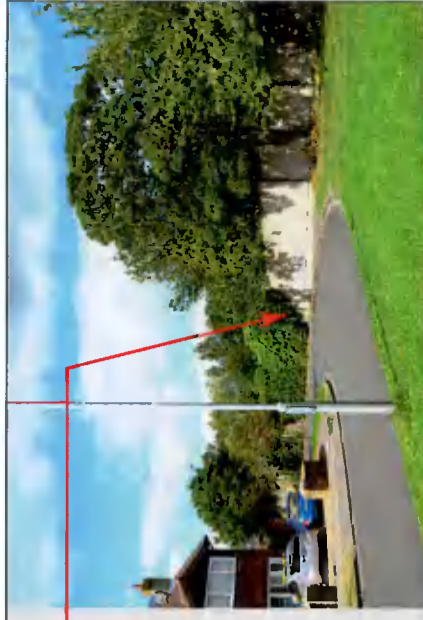
*This boundary treatment is shared with the neighbouring property and will be retained as it currently exists*



### SOUTH-WEST BOUNDARY: STONEPARK ORCHARD

There are no proposed changes to the existing boundary consists of a stone and brickwork wall at approx. 5m high at the south-west corner adjacent to 17 & 18 Stonepark Orchard and then steps down to approx. 3.5m at the south-east corner of the site adjacent to the small green strip along Stonepark Orchard road

*This boundary treatment is shared with the neighbouring property and will be retained as it currently exists*



### SOUTH-EAST BOUNDARY

The proposed upgrades to this boundary include the removal of the post and wire fence (to be agreed with neighbour) and replaced with a 1.8m high polyester powder coated anti-climb fence on pad foundations with a 1.8m high planted hedge

*Refer to the Landscape Architects documentation for detail and specification of hedge*



Boundary Treatment Legend

	Existing boundary condition
	No changes / upgrades proposed to this boundary
	Changes / upgrades proposed to this boundary

DATE | REV | DETAILS

LEGEND

Commencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathfarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Existing & Proposed Boundary Treatment
OSI licence no.:	AR 0106321	DWG No.:	403-P-10-01
OSI map ref. no.:	3391-09; 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:50

horan rainsford architects

RIAI

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

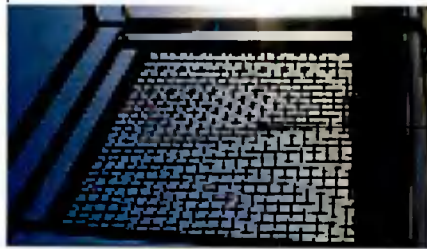
© HORAN RAINSFORD architects | do not scale from drawing | use figures dimensions only | verify architect of documents



## MATERIAL SPECIFICATION:

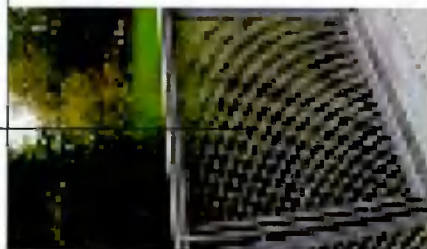


- Clay stock brick:
- Light / medium brown colour
  - 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved



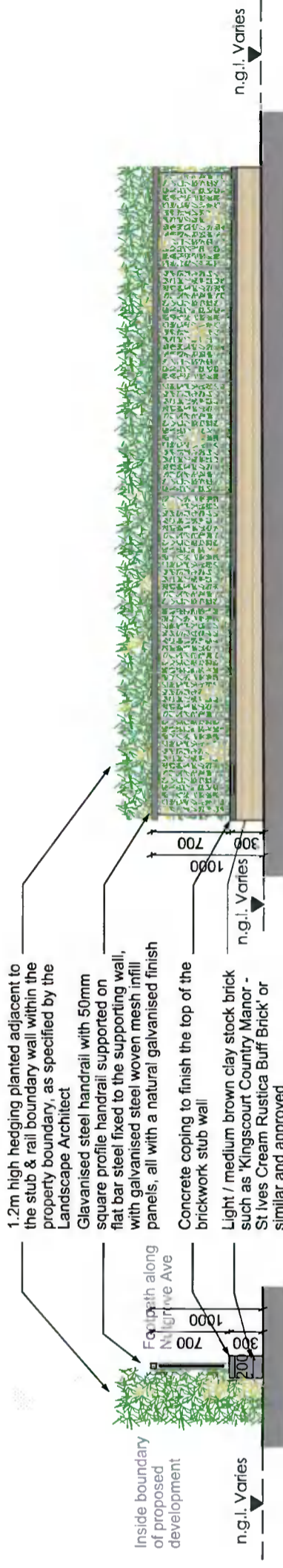
- Woven mesh infill panel for proposed NE Boundary wall:
- 'Grapels Mesh Balustrade Infill Panel with Plain Weave mesh at 2mm thick and apertures at 30mm'
  - U-Strip edge profile to frame and fix the mesh
  - made of galvanised steel with a natural galvanised finish or similar and approved

Images of woven mesh balustrades (above and below) are for the purpose of illustrating the woven mesh only



- Woven mesh infill panel for proposed balconies:
- 'Grapels Mesh Balustrade Infill Panel with Plain Weave mesh at 2mm thick and apertures at 20mm'
  - U-Strip edge profile to frame and fix the mesh
  - made of galvanised steel with a natural galvanised finish or similar and approved

## NORTH-EAST BOUNDARY WALL DETAIL



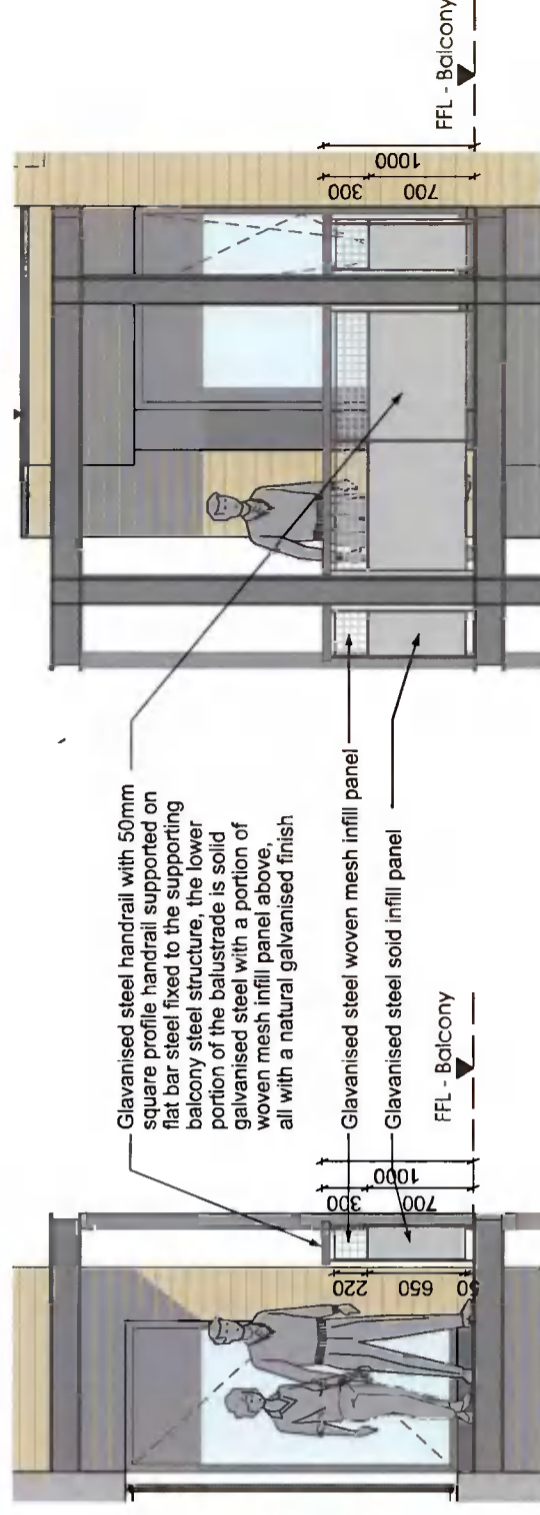
Section Detail

### Stub Wall & Railing

North-East Boundary: Nutgrove Ave 1:50

- The existing stub wall and fence will be removed and replaced with a new stub wall and railing:
- brickwork stub wall at 300mm high, brickwork to match the proposed apartment building with a concrete coping to top the wall
- steel railing with woven mesh infill panels at 700mm high fixed to the top of the brick stub wall
- planted hedging to the inside of this new boundary wall as specified by the Landscape Architect

## TYPICAL BALUSTRADE DETAIL



### Galvanised Steel Balustrade

Typical Balustrade Detail to all Balconies 1:50

Typical Balustrade Elevation

Commencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nutgrove Avenue, Rathlinham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	North-East Boundary Wall Detail & Typical Balcony Balustrade Detail
OSI licence no.:	AR 0106321	DWG No.:	403-P-20-01
OSI map ref. no.:	3391-09: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:50

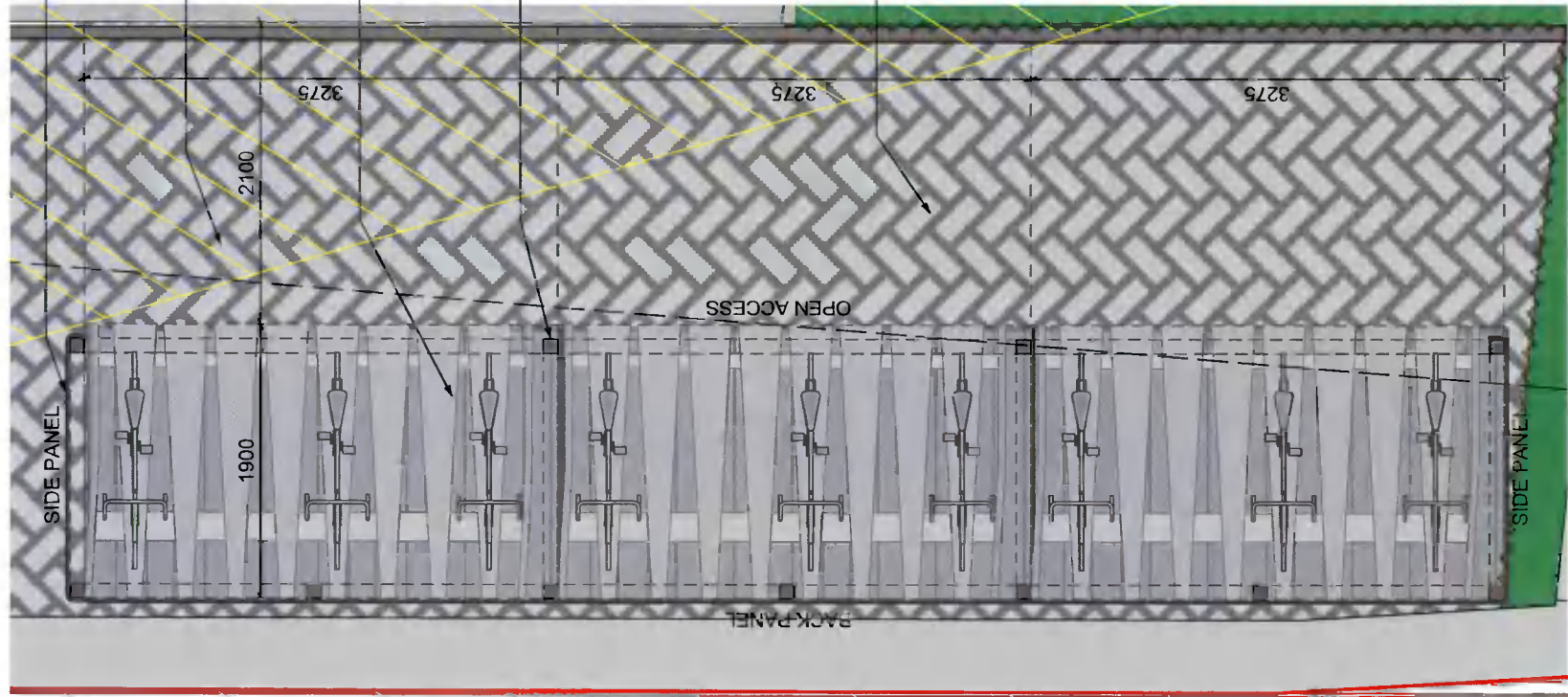
**horan rainsford**  
architects

RIAI

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

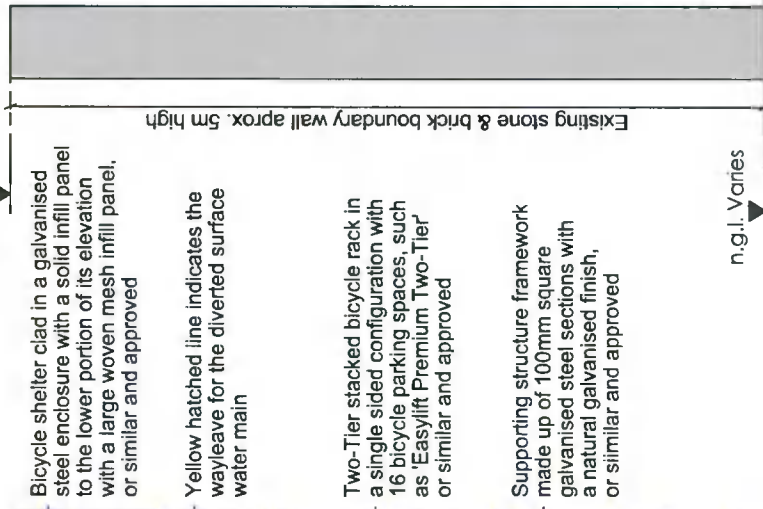
# BICYCLE SHELTER DETAIL



## Plan of Steel Frame Bicycle Shelter

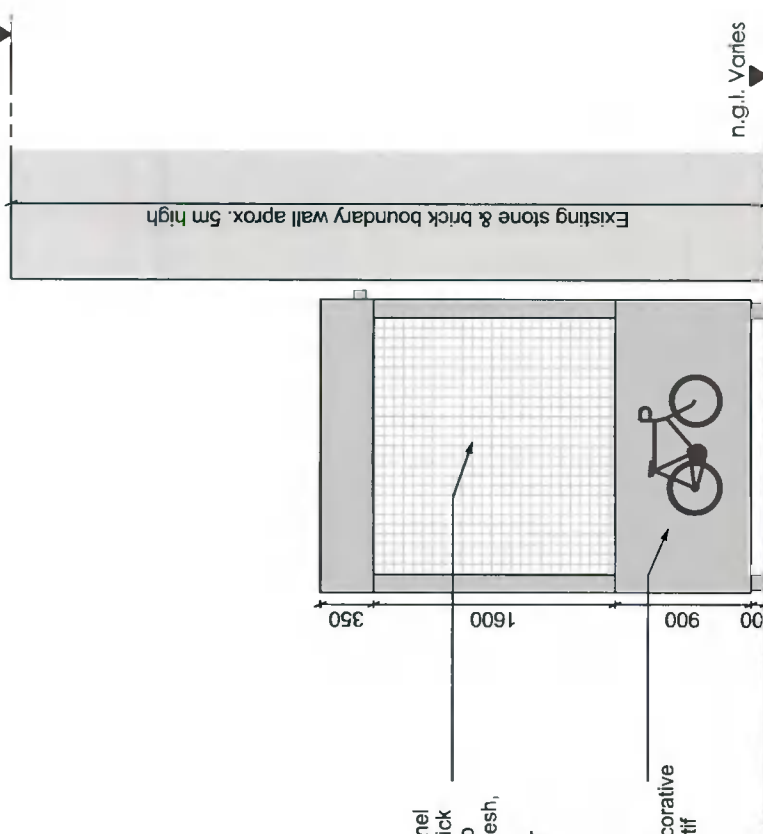
Shelter with two-tiered stacked bicycle racks 1:50

T.O.W +55.30



## Section of Steel Frame Bicycle Shelter

Shelter with two-tiered stacked bicycle racks 1:50



## Elevation of Steel Frame Bicycle Shelter

Typical 'Side Panel' elevation 1:50

Bicycle shelter clad in a galvanised steel enclosure with a solid infill panel to the lower portion of its elevation with a large woven mesh infill panel, or similar and approved

Yellow hatched line indicates the wayleave for the diverted surface water main

Two-Tier stacked bicycle rack in a single sided configuration with 16 bicycle parking spaces, such as 'EasyLift Premium Two-Tier' or similar and approved

Supporting structure framework made up of 100mm square galvanised steel sections with a natural galvanised finish, or similar and approved

Hard paved surface to Landscape Architects specification

Supporting structure framework made up of 100mm square galvanised steel sections with a natural galvanised finish, or similar and approved

'Grapels Mesh Balustrade Infill Panel with Plain Weave mesh at 2mm thick and apertures at 30mm, with U-Strip made of galvanised steel with a natural galvanised finish, or similar and approved

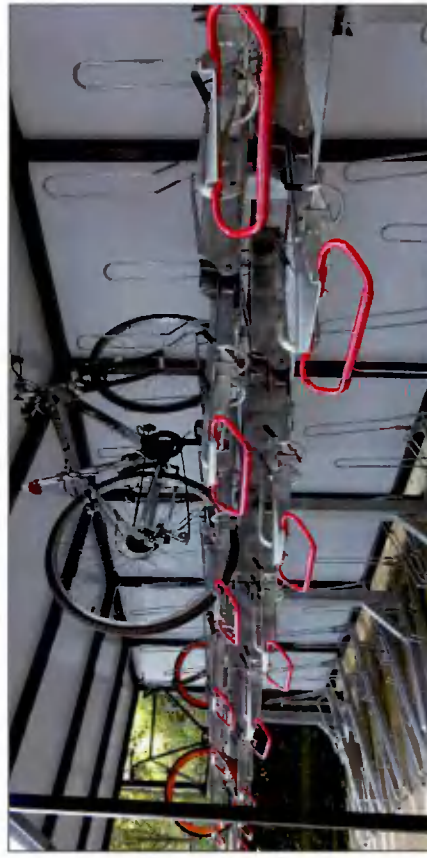
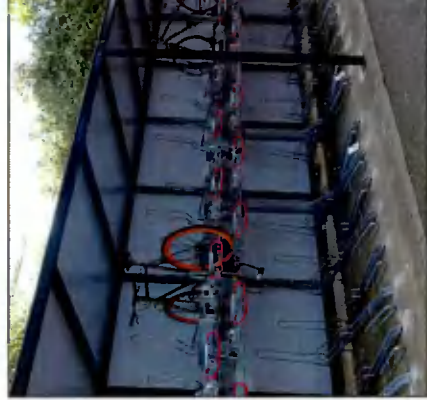
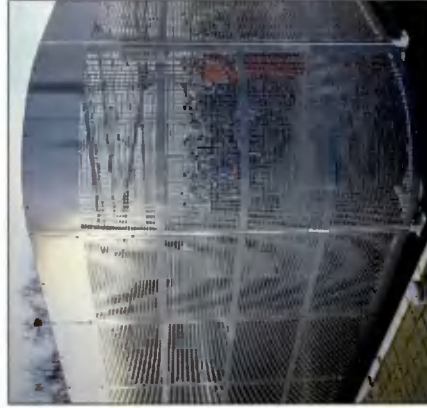
Galvanised steel flat panel with a natural galvanised finish with a decorative bicycle image cut-out / painted motif

## SPECIFICATION:

### Two-Tier Stacked Bicycle Rack:

Surface mounted bicycle rack with galvanised support structure and aluminium track and gas assisted lowering mechanism, or similar and approved

- 'EasyLift Premium Two-Tier'
- 1900mm Depth of bicycle rack
- 2100mm Minimum manoeuvring space



Images of typical bicycle shelters are for illustration purposes only

DATE	REV.	DETAILS

Comencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nuigrove Avenue, Rathfarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Bicycle Shelter Detail
OSI licence no.:	AR 0106321	DWG No.:	403-P-20-02
OSI map ref. no.:	3391-09: 3391-04	Rev.:	
Levels:	relative to OS datum	SCALE@A3:	1:50

PROJECT: Proposed Residential Development at the former filling station, Nuigrove Avenue, Rathfarnham Dublin 14

STAGE: PLANNING

DRAWING: Bicycle Shelter Detail

DWG No.: 403-P-20-02

Rev.:  

SCALE@A3: 1:50

PROJECT: horan rainsford architects

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
info@horanrainsford.ie  
www.horanrainsford.ie

PROJECT: Proposed Residential Development at the former filling station, Nuigrove Avenue, Rathfarnham Dublin 14

STAGE: PLANNING

DRAWING: Bicycle Shelter Detail

DWG No.: 403-P-20-02

Rev.:  

SCALE@A3: 1:50

PROJECT: horan rainsford architects

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LEGEND

**MATERIAL SPECIFICATION:**



**Glazing to top level:**

The top level is glazed in a combination of clear and opaque glass curtainwall system such as:

'Pilkington Optifloat Clear' & 'Pilkington Optiwhite' or similar and approved



**Opaque Glass Screen:**

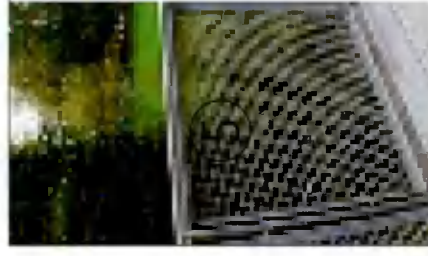
The top level terraces are enclosed to the South with a 1800mm high opaque glass screen, such as:

'Pilkington Optlam Translucent' or similar and approved



**Clay stock brick:**

- Light / medium brown colour  
- 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved



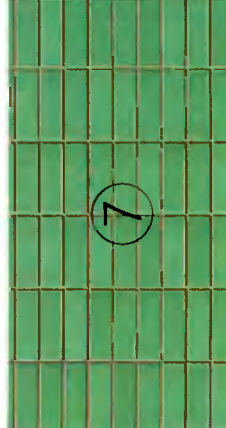
**Woven mesh infill:**

- Woven metal mesh infill to the upper part of the balustrade with a solid metal panel below  
- as per detail and specification on drawing 403-P-20-01

**Glazed brickwork at entrances:**

- 'Ibstock Clerkenwell' glazed bricks in a selection of colours (below) or similar and approved

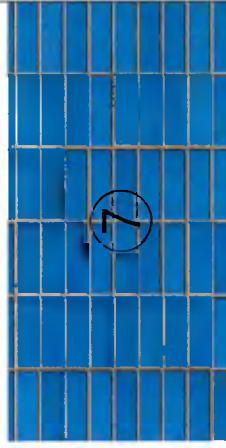
ENTRY A: 'Garland'



ENTRY B: 'Dark Salmon'



ENTRY C: 'Blue Bird'

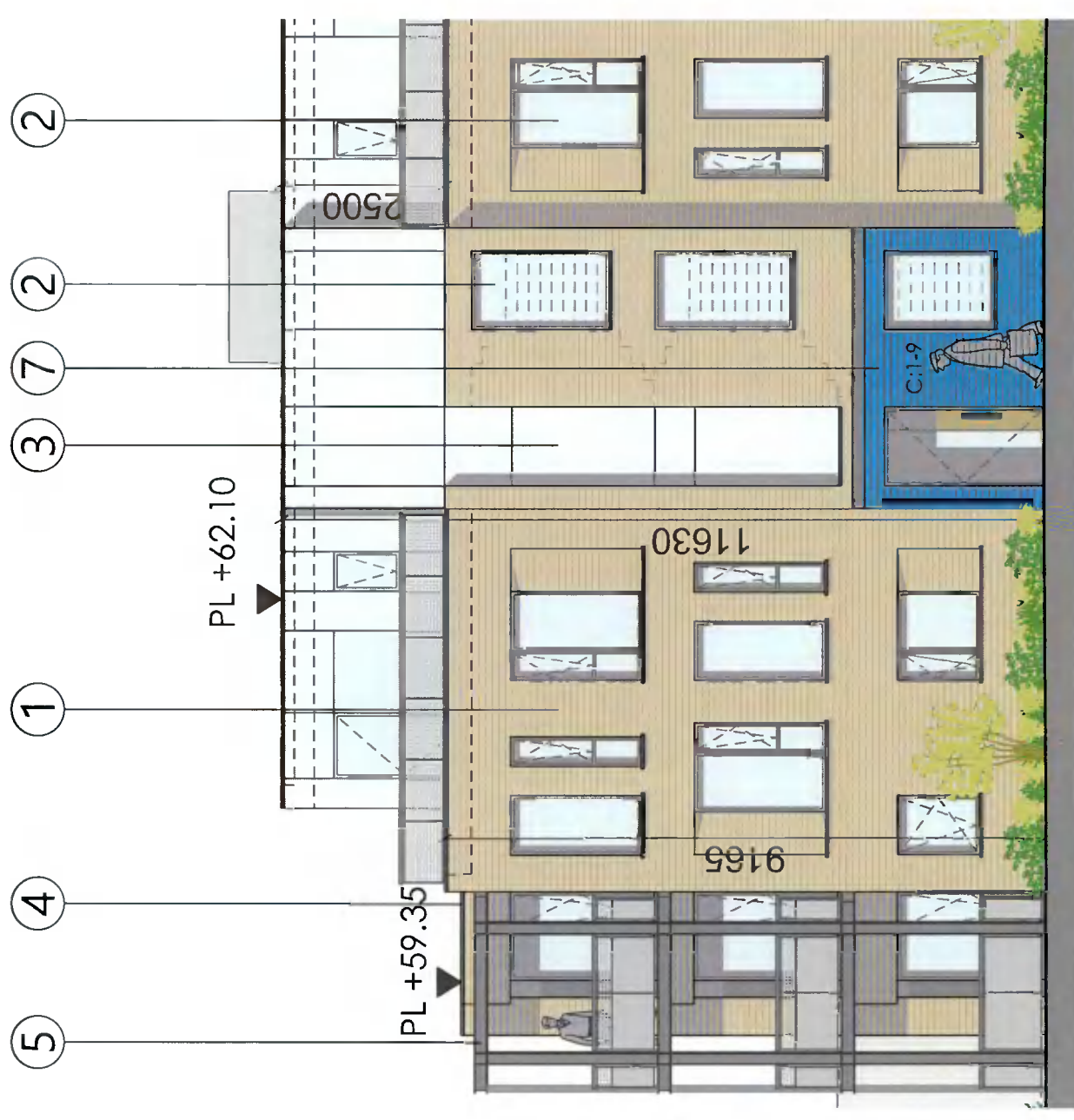


DATE	REV.	DETAILS

**MATERIALS LEGEND:**

1. Light / medium brown clay stock brick such as 'Kingscourt Country Manor - St Ives Cream Rustica Buff Brick' or similar and approved
2. Clear double glazed windows with dark grey powder coated aluminium frame, opening sections with a tilt and turn function and opaque glass to all non-habitable rooms
3. Opaque double glazed windows with dark grey powder coated aluminium frame
4. Dark grey aluminium sill / flashing
5. Steel frame balcony structure with galvanised steel balustrades
6. Opaques glass balustrade to 1800mm height
7. Glazed brickwork in selected colours, such as Ibstock Clerkenwell or similar and approved

**PARTIAL ELEVATION DEPICTING TYPICAL MATERIALS SELECTED**



**Partial North-East Elevation**

Typical material selection

1:100

Commencement of Stage:	October 2020	PROJECT:	Proposed Residential Development at the former filling station, Nulgrove Avenue, Rathlarnham Dublin 14
Drawn by:	bc	STAGE:	PLANNING
Checked:	th	DRAWING:	Typical Materials and Specification
OSI licence no.:	AR 0109321	DWG No.:	403-P-20-10
OSI map ref. no.:	3391-09:3391-04	SCALE@A3:	1:100
Levels:	relative to OS datum	Rev.:	

**horan rainsford architects**

**RIAI**

36 Main St  
Blackrock  
Dublin A94 E8H1

(353) 1 764 2404  
Info@horanrainsford.ie  
www.horanrainsford.ie