

# EXISTING EAST ELEVATION - FRONT

SCALE - 1 : 100

- Notes:**
1. This drawing is for Planning purposes only and is not intended for any other use.
  2. All dimensions are approximate only.
  3. All new foul drainage is to connect to the existing public foul drainage system.
  4. All new surface water drainage is to connect to the existing public surface water drainage system.
  5. This drawing is **COPYRIGHT**. No work or designs shown on this drawing shall be reproduced without written permission.

All areas intended for removal or part removal as part of this this planning application are indicated as thus:

Existing Dwelling - Schedule of External Finishes:
Pitched & lean to roof:
Concrete roof tiles in brown.
Soffits, fascias & barge:
White UPVC.
Rainwater goods:
White UPVC.
Wall finish 'A':
Brickwork where shown on elevations.
Wall finish 'B':
Dashed render, where shown on elevations
Pilinth:
Sand / cement render painted.
External doors:
Timber doors in brown and white UPVC framed sliding doors.
Windows:
White UPVC framed double glazed windows.

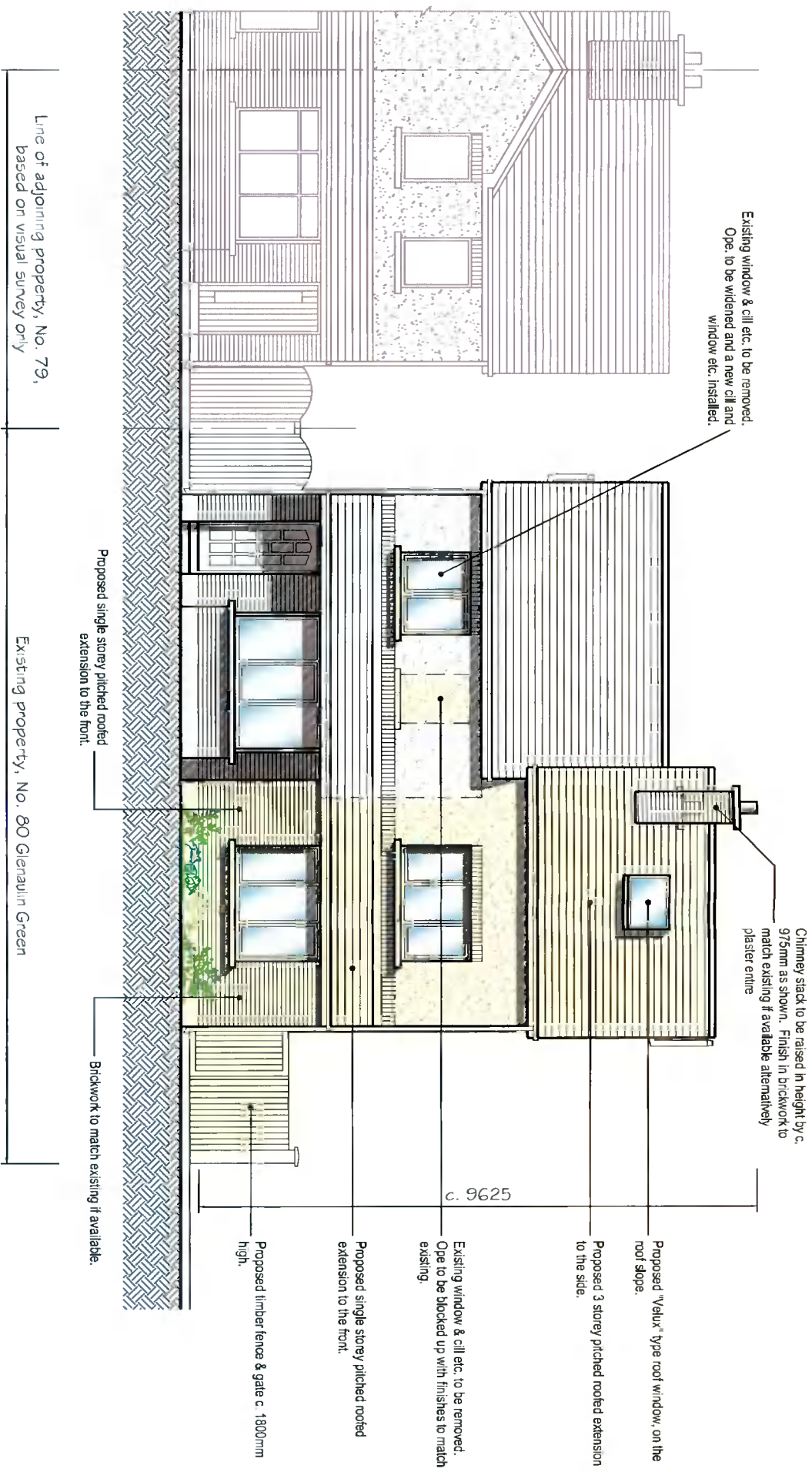
PLANNING

REV	DATE	AMENDMENT



**Paul O'Connell & Associates**  
 Architecture / Project Management

PROJECT:	80 GLENALLIN GREEN, DUBLIN 20
DRAWING:	EXISTING EAST ELEVATION - FRONT
STATUS:	<b>PLANNING</b>
DATE:	10/04/2021
SCALE:	AS INDICATED
REV:	A3
REF:	80GG-201020-PL-014



# PROPOSED EAST ELEVATION - FRONT

SCALE - 1 : 100

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  4. All new surface water drainage is to connect to the existing public surface water drainage system.
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All new works which are the subject of this planning application are indicated as thus:

**Proposed Extensions - Schedule of External Finishes:**

- Pitched & lean to roof:  
Proposed roof finish to be interlocking concrete roof tiles in brown.
  - Flat roof:  
Proposed flat roof finish to be felt, asphalt or other proprietary roofing membrane.
  - Roof Windows (pitched roof):  
Proposed roof windows to be "Velux" type roof windows in the roof slope, to further size selection.
  - Roof Windows (flat roof):  
Proposed roof windows to be glazed roof windows on weathered up-stands, to further size selection.
  - Soffits, fascias & barge:  
Proposed soffits, fascias and barge etc. to be white UPVC.
  - Rainwater goods:  
Proposed rainwater goods to be white UPVC.
  - Wall finish "A":  
Proposed wall finish "A" to be brickwork, where shown on elevations.
  - Wall finish "B":  
Proposed wall finish "B" to be dashed render, where shown on elevations
  - Pilinth:  
Proposed pilinth to be sand / cement render / painted selected colour.
  - External doors:  
Proposed external doors to be timber, aluminium, UPVC or attached in selected colour.
  - Windows:  
Proposed windows to be white UPVC framed double glazed units.
- Note!**  
All external finishes are to match those of the main dwelling as near as possible in style & colour.

PLANNING

REV	DATE	AMENDMENT



Paul O'Connell & Associates

Architecture / Project Management

PROJECT: 80 GLENDAULIN GREEN, DUBLIN 20	SCALE: AS INDICATED
DRAWING: PROPOSED EAST ELEVATION - FRONT	SIDE: A2
STATUS: PLANNING	DATE: 1004/2021
DRAWING NO: 80GG-201020-PL-015	REV: 