



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1697

Date : 20th February 1992

Dear Sir/Madam,

Development : Change from bungalow to dormer bungalow

LOCATION : Site No. 5, Finnstown Fairways, Lucan.

Applicant : J. Murphy

App. Type : Additional Information

I wish to inform you that by Order dated 19.02.92 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanala against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanala within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala will be invalid unless the correct fee is received by An Bord Pleanala within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £200; any other appeal is £100.

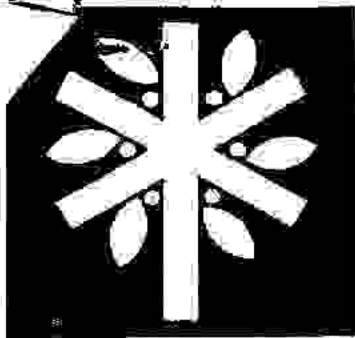
Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £30.

Sebastian Ryan
3 The Crescent
Lucan
Co. Dublin

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'L. D.', written over a dotted line.

for PRINCIPAL OFFICER



THE LUCAN PLANNING COUNCIL

COMHAIRLE PLEANÁLA LEAMHCAÍN

24

The Principal Officer,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Handwritten notes and stamps:
- A signature or initials at the top.
- "3/2" written below the signature.
- A date stamp: "30 JAN 92".
- A circled number: "1414".

3 The Crescent,
Lucan,
Co Dublin.

OBJEC

January 28th, 1992.

Dear Sir,

Re: Application for change to dormer bungalow,
Site 5, Finnstown Fairways, Lucan, Co Dublin.

Ref: 91A 1697

We wish to record our objection to this application.

Permission was granted in 1989 (Reg Ref 88A 1461) on foot of a Material Contravention for 13 edifices variously described as chalets or golf homes. From this it can be inferred that they were intended as holiday homes and as such were acceptable to Dublin County Council despite their location in an agricultural zoning where housing development is not normally permitted.

The present application is for a considerable enlargement to one of the chalets or golf homes for which the original permission was given. If permission is now granted for one enlargement it will be difficult to refuse it for further applications relating to the other sites and a dangerous precedent would be set. The end result would be a wedge of substantial houses in a green belt area which is particularly sensitive.

We would stress the importance of preserving the open space character of the lands west of the Newcastle Road, and south of Tandy's Lane. Whilst a limited number of small holiday homes associated with a golf course may be acceptable, a housing estate is most surely not.

Yours faithfully,

Sebastian Ryan,
Secretary.

FILE REF: 91A 1697

MEETING	COMMENTS <i>Noted by</i>	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P <u>28/1/92</u> <u> </u>	CW Brady ↔ Thanks done's unsuitable help single studies		

BYE LAW APPLICATION FEES

REF. NO.: 91A/1027 CERTIFICATE NO.: 16661B
 PROPOSAL: Change Regular Type
 LOCATION: Site 5 Finstown, Fairways, Lcan
 APPLICANT: John Murphy

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	255	£30	£25	£25 paid 13/11/91	
B	Domestic Ext. (Improvement/Alts.)	@ £30				251706	
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: MOH Grade: cl/s Date: 3/10

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

COMHAIRLE CHONTAE AITHA GLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN 1.

John Doolin,
37 Coolkill,
Sandyford,
Co. Dublin.

REG. REF.: 91A/1697

RE: Change bungalow type at Site 5 Finntown, Fairways, Lucan for John Murphy.

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is € 55.00.
Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = €30.00
AMOUNT DUE = €25.00

Yours faithfully,


for PRINCIPAL OFFICER

PLANNING APPLICATION FEES

Reg. Ref. 91A/1697 Cert. No. 26967

PROPOSAL Change Bungalow type

LOCATION Site 5, Finstown, Fairways, Limerick

APPLICANT John Murphy

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£16	£16		
2	Domestic	@£16				
3	Agriculture	@50p per m ² in excess of 300m ² . Min. £40				
4	Metres	@£1.75 per m ² or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m ² or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade Date

Column 1 Endorsed: Signed: Grade Date

Columns 2,3,4,5,6 & 7 Certified: Signed: John Murphy Grade GD Date 30/10

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade Date

F. A. Hinchy,
Senior Executive Draughtsman/Technician

RE: Change Bungalow type, Site 5 Finstown, Lucan

REG. REF.: 910/1697

RE: LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) (FEES AND AMENDMENT)
REGULATIONS, 1983 - ARTICLE 6.1

A reduced fee (i.e. 1/2) has been paid in respect of the above application.
Please confirm this is the correct fee under Article 6.1 of the Local
Government (Planning and Development) (Fees and Amendment) Regulations, 1983.
File Reg. Ref.: 89A/1587 on which a full fee was paid is attached.

Michael O'Han

Richard Whelan,
Staff Officer,
Registry Section.

Mr. R. Whelan,
Registry Section.

*Slight increase in area of site when compared
with 89A/1587 (D.R. L119/07 d/d. 22/11/90).
See attached dtg*

*KY
6/11/91.*

A. Hinchy,
Senior Executive Draughtsman/Technician

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANGIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ /
DATED

ENTERED IN CONTRIBUTION REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

P/754/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/1697 Date Received : 23rd December 1991

Correspondence : John Doolin,
Name and : 37 Coolkill,
Address : Sandyford,
 co. Dublin

ON FOOT
BN 7134

Development : Change from bungalow to dormer bungalow
Location : Site No. 5, Finnstown Fairways, Lucan.
Applicant : J. Murphy
App. Type : Permission
Zoning :
Floor Area : sq.metres

CONTRIBUTION:	
Standard:	39,300
Roads:	
S. Servs:	
Open Space:	
Other:	
SECURITY:	
Band/ C.I.F.:	16,000
Cash:	19,000

(MG/AC)

Report of the Dublin Planning Officer dated 17 February, 1992.

This is an application for PERMISSION for change of bungalow type at Finnstown, Lucan, Co. Dublin for J. Murphy.

Planning permission for housing development at this location (7 no. houses) was granted under Reg. Ref. No. 88A/1461 (on foot of a Section 4 motion for a development comprising housing, a garden centre and holiday chalets).

Reg. Ref. No. 89A/1587 refers to a subsequent grant of permission for alterations to approved plans for the aforementioned housing development to provide foul drainage with connection to existing sewer instead of septic tanks. The layout submitted with this application deviated from that granted permission under Reg. Ref. No. 88A/1461. However, this matter was clarified by additional information and the original layout was resubmitted. This layout provided for a cul-de-sac development of 7 no. bungalows on large sites, i.e. 0.5 to 0.75 acres. Lodged plans provided for 7 no. identical L-shaped bungalows with a pitched roof profile and a brick finish.

Reg. Ref. No. 91A/0557 refers to a grant of permission for change of bungalow plan at site No. 6 Finnstown, Fairways, Lucan for J. Harper.

This site was inspected on 02.12.91. Construction has commenced on a bungalow at Site No. 7. The road layout has already been provided. Individual plots

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1697

Page No: 0002

Location: Site No. 5, Finnstown Fairways, Lucan.

have been marked out on site.

The current application relates to Site No. 5 Finnstown. This is a 0.5 acre site located to the west of the proposed bungalow development at Finnstown.

The ^{original} newspaper advertisement ~~is~~ considered to be inaccurate. This states that permission is sought "to change bungalow type" at Finnstown, Lucan. It does not make reference to the Site No. i.e. 5, as mentioned above or the fact that the change of house type is from a previously approved single-storey house to a dormer bungalow. A revised newspaper notice is required.

Lodged plans indicate a 230 sq.m. dormer bungalow. This is to be located some 10m. from the site frontage in approximately the same position as that previously approved under Reg. Ref. No. 89A/1587. It is a larger dwelling than that previously approved i.e. c. 19m larger. However given the size of the site, can be accommodated.

At its nearest point the proposed development will be located some 4m. from the boundary with the adjoining site to the north (No. 6). It will be located some 4.5 metres from the boundary with Site No. 4 to the south-east. It will be located some 8m. from the approved bungalow at Site No. 4 and some 12 metres from that previously approved at Site No. 6 (Under Reg. Ref. 91A/0557).

No windows are proposed in either gable. Drawings indicate some 3 no. dormer windows at the front elevation and 4 no. rooflights to rear. Proposed finishes include rendered finish to walls and blue/black slates to roof.

The proposed development is for a low profile dormer bungalow and is considered to be acceptable.

ADDITIONAL INFORMATION was requested from the applicant on 16.12.91 with regard to the following:-

1. It is considered that the newspaper notice submitted does not accurately describe the proposed development. The applicant is requested to submit a revised newspaper notice as follows:

"Co. Dublin - Permission is sought for change from bungalow to dormer bungalow at Site No. 5, Finnstown, Fairways, Lucan - J. Murphy".

Additional Information including a revised newspaper notice was submitted on 23.12.91.

One objection has been received. This has been noted.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1697

Page No: 0003

Location: Site No. 5, Finnstown Fairways, Lucan.

Roads Department report *not received*

Sanitary Services Department report *not received*

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (7) conditions:-

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 23.12.91 save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 That arrangements made for the payment of the financial contribution in the sum of £39300.00 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 89A/1587 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 05 That the arrangements made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £16000.00 or a cash lodgement of £10000.00 in respect of the overall development, required by Condition No. 5 of planning permission granted

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1697

Page No: 0004

Location: Site No. 5, Finnstown Fairways, Lucan.

under Reg. Ref. 89A/1587 be strictly adhered to in respect of the above proposal.

REASON: In the interest of the proper planning and development of the area.

- 06 The development shall be carried out in conformity with Condition Nos. 6-21 incl. of the decision to grant permission by Order No. P/2875/90 dated 03.07.90 Reg. Ref. 89A/1587 save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.

REASON: In the interest of the proper planning and development of the area.

- 07 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON: In the interest of reducing air pollution.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1697

Page No: 0005

Location: Site No. 5, Finnstown Fairways, Lucan.

Endorsed: *[Signature]* for Principal Officer
G. Boothman A/SEDL for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (7) conditions set out above is hereby made.

Dated: 19th FEBRUARY 1992

[Signature]
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 1991.

P/5605/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1697

Date Received : 25th October 1991

Correspondence : John Doolin,
Name and : 37 Coolkill,
Address : Sandyford,
Co. Dublin

Development : change bungalow type

Location : Finnstown, Lucan

Applicant : J. Murphy

App. Type : Permission

Zoning :

Floor Area : 230 sq.metres

(MG/AC)

Report of the Dublin Planning Officer dated 5 December 1991.

This is an application for PERMISSION for change of bungalow type at Finnstown, Lucan, Co. Dublin for J. Murphy.

Planning permission for housing development at this location (7 no. houses) was granted under Reg. Ref. No. 88A/1461 (on foot of a Section 4 motion for a development comprising housing, a garden centre and holiday chalets).

Reg. Ref. No. 89A/1587 refers to a subsequent grant of permission for alterations to approved plans for the aforementioned housing development to provide foul drainage with connection to existing sewer instead of septic tanks. The layout submitted with this application deviated from that granted permission under Reg. Ref. No. 88A/1461. However, this matter was clarified by additional information and the original layout was resubmitted. This layout provided for a cul-de-sac development of 7 no. bungalows on large sites, i.e. 0.5 to 0.75 acres. Lodged plans provided for 7 no. identical T-shaped bungalows with a pitched roof profile and a brick finish.

Reg. Ref. No. 91A/0557 refers to a grant of permission for change of bungalow plan at site No. 6 Finnstown, Fairways, Lucan for J. Harper.

This site was inspected on 02.12.91. Construction has commenced on a bungalow at site No. 7. The road layout has already been provided. Individual plots have been marked out on site.

The current application relates to site No. 5 Finnstown. This is a 0.5 acre site located to the west of the proposed bungalow development at Finnstown.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

The newspaper advertisement is considered to be inaccurate. This states that permission is sought "to change bungalow type" at Finnstown, Lucan. It does not make reference to the site No. i.e. 5, as mentioned above or the fact that the change of house type is from a previously approved single-storey house to a dormer bungalow.

Lodged plans indicate a 230 sq.m. dormer bungalow. This is to be located some 10m. from the site frontage in approximately the same position as that previously approved under Reg. Ref. No. 89A/1587. It is a larger bungalow than that previously approved i.e. c. 19m². However given the size of the site it can be accommodated.

At its nearest point the proposed development will be located some 4m. from the boundary with the adjoining site to the north (No. 6). It will be located some 4.5 metres from the boundary with Site No. 4 to the south-east. It will be located some 8m. from the approved bungalow at Site No. 4 and some 12 metres from that previously approved at Site No. 6 (Under Reg. Ref. 91A/0557).

No windows are proposed in either gable. Drawings indicate some 3 no. dormer windows at the front elevation and 4 no. rooflights to rear. Proposed finishes include rendered finish to walls and blue/black slates to roof.

It is considered that the applicant should be requested to submit a revised newspaper notice which accurately describes the location and type of the proposed development.

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

01 It is considered that the newspaper notice submitted does not accurately describe the proposed development. The applicant is requested to submit a revised newspaper notice as follows:

Co. Dublin - Permission is sought for change ^{from} bungalow type to dormer bungalow at Site No. 5, Finnstown, Fairways, Lucan - J. Murphy.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

mg
.....
for Dublin Planning officer

.....
Endorsed:-
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : 16th DECEMBER 1991

.....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 0754 /92 Date of Decision : 19th February 1992

Register Reference : 91A/1697 Date Received : 23rd December 1991

Applicant : J. Murphy

Development : Change from bungalow to dormer bungalow

Location : Site No. 5, Finnstown Fairways, Lucan.

Floor Area : Sq. Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : 161291//231291

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 7 ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 20/2/92

John Doolin,
37 Coolkill,
Sandyford,
Co. Dublin

Reg. Ref. 91A/1697
Decision Order No. P/ 0754 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 23.12.91 save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 That arrangements made for the payment of the financial contribution in the sum of £39300.00 in respect of the overall development required by Condition No. 4 of planning permission granted under Reg. Ref. 89A/1587 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 05 That the arrangements made for the lodgement of security in the form of an approved Insurance Company Bond or Letter of Guarantee in the sum of £16000.00 or a cash lodgement of £10000.00 in respect of the overall development, required by Condition No. 5 of planning permission granted under Reg. Ref. 89A/1587 be strictly adhered to in respect of the above proposal.
REASON: In the interest of the proper planning and development of the area.
- 06 The development shall be carried out in conformity with Condition Nos. 6-21 incl. of the decision to grant permission by Order No. P/2875/90 dated 03.07.90 Reg. Ref. 89A/1587 save as amended to conform with the revisions indicated in the plans lodged with Dublin County Council in connection with this application.
REASON: In the interest of the proper planning and development of the area.
- 07 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON: In the interest of reducing air pollution.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1697

Date : 3rd January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change from bungalow to dormer bungalow

LOCATION : Site No. 5, Finnstown Fairways, Lucan.

APPLICANT : J. Murphy

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information received on 23rd December 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

John Doolin,
37 Coolkill,
Sandyford,
Co. Dublin

91A/1697
L.O.O. adv
A. L

Ev Herald
21/12/91

54 Muckross Avenue,
Perrystown,
Dublin 12

Ph: 554620 - (h)
362044 (o)

December 23 1991

Dublin County Council,
Planning Department,
Block 2, Irish Life Centre,
Lr. Abbey Street,
Dublin 1

Decision Order Number: P/5605/91
Register Reference: 91A/1697

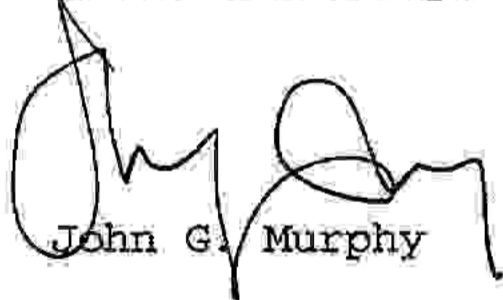
DC DUBLIN - Permission is
sought for change from bungalow
to 2 storey bungalow at site No. 5,
Finstown Fairways, Liscannore

Dear Sir,

Further to your recent correspondence I have pleasure providing you with the following information:

I enclose a copy of my most recent advertisement. I hope it complies with your requirements. Please contact me regarding any aspect of this information.

Yours sincerely,


John G. Murphy

RECEIVED
23DEC1991
Reg. Sec.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Decision Order Number : P/ 5605 /91. Date of Decision : 16th December 1991

Register Reference : 91A/1697 Date Received : 25th October 1991

Applicant : J. Murphy

Development : change bungalow type

Location : Finnstown, Lucan

Dear sir/Madam,

With reference to your planning application, received here on 25.10.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

01 It is considered that the newspaper notice submitted does not accurately describe the proposed development. The applicant is requested to submit a revised newspaper notice as follows:

Co. Dublin - Permission is sought for change from bungalow to dormer bungalow at Site No. 5, Finnstown, Fairways, Lucan - J. Murphy.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

PRINCIPAL OFFICER

Date : 17/12/91

John Doolin,
37 Coolkill,
Sandyford,
Co. Dublin

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY CASH
 CHEQUE
N.O.
P.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

N 51706

£25.00

Received this 13th day of November 19 11

from John Murphy,
54 Muckross Ave,
Perrystown

the sum of twenty five Pounds

Pence being Balance

bye-law fee on 91A/1691

S. CAREY
Principal Officer

54 Muckross Avenue,
Perrystown,
Dublin 12

Dublin County Council,
Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1

November 12 1991

Dear Sir/Madam,

Ref: REG/REF 91A-1697

Please find enclosed my cheque for additional fees for change of
bungalow type at Site No.5 Finnstown Fairways, Lucan, Co. Dublin.

Yours faithfully,


John G. Murphy

13 NOV 91

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1697

Date : 29th October 1991

Our Ref.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Date

Dear Sir/Madam,

DEVELOPMENT : Change bungalow type
LOCATION : Finnstown, Lucan
APPLICANT : J. Murphy
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 25th October 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

John Doolin,
37 Coolkill,
Sandyford,
Co. Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE N° 5
 (If none, give description sufficient to identify) FINDSTOWN FAIRWAYS, LUCAN, CO. DUBLIN

3. Name of applicant (Principal not Agent) MR JOHN MURPHY
 Address 5A MUCROSS AVE, PAUMERS TOWN, DUB 12 Tel. No. 55 46 20

4. Name and address of person or firm responsible for preparation of drawings JOHN DOOLIN
37 COOLKILL, SANDYFORD CO. DUB. 2698322

5. Name and address to which notifications should be sent AS (4)

6. Brief description of proposed development CHANGE OF BUNGALOW TYPE ON SITE NUMBER 5

7. Method of drainage MAINS 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor or use when last used n/a
 (b) Proposed use of each floor n/a

FINNSTOWN, LUCAN - I intend to apply to Dublin County Council for planning permission to change bungalow type on my site at Finnstown, Lucan, Co. Dublin J. Murphy.

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 0.5 ACRES
 (b) Floor area of proposed development 30 NS0496 230 Sq. m.
 (c) Floor area of buildings proposed to be retained within site n/a Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. 16 25/10

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal. NS0496
IN FULL

15. List of documents enclosed with application. NEWSPAPER ADVERTISEMENT, 4 COPIES OF:- SPECIFICATIONS, DRWS n°s. M001/1, M001/2, M001/3, M001/4, M001/5, M001/6, M001/7, M001/8

16. Gross floor space of proposed development (See back) _____ Sq. m.
 No of dwellings proposed (if any) 1 Class(es) of Development R/B
 Fee Payable € 46.00 Basis of Calculation R/€16 B/€30
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) John Doolin Date 17 Oct '91

Application Type P/B FOR OFFICE USE ONLY
 Register Reference 91R/167
 Amount Received € 17.10 1.32.4
 Receipt No _____
 Date _____

25/10

Er
 Harold
 24/10/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each.
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (Improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET
DUBLIN 1

BYE LAW APPLICATION

N 50456

Received this

21 JUL 1911

day of

1911

the sum of

Five

Pounds

the sum being

5/00

S. CAREY

Principal Officer

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL
DUBLIN 1.

Issue of this receipt is not an
STREET wledgement that the fee
tendered is the prescribed application
fee. ~~.....~~ N-50991

PAID BY
CASH
CHEQUE
M.D.
P.L.
I.T.

€16.00

25th day of October 1991

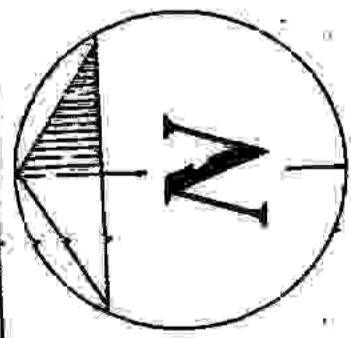
Received this
from John Murphy
54 Melrose Avenue

the sum of Sixteen Pounds

application at site 5 Insdown Farm, Loan
Pence being 60 for planning

Michael O'Leary Cashier

S. CAREY
Principal Officer



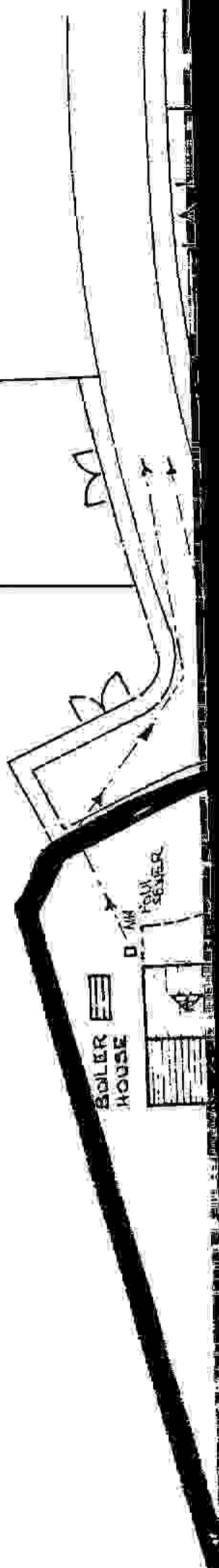
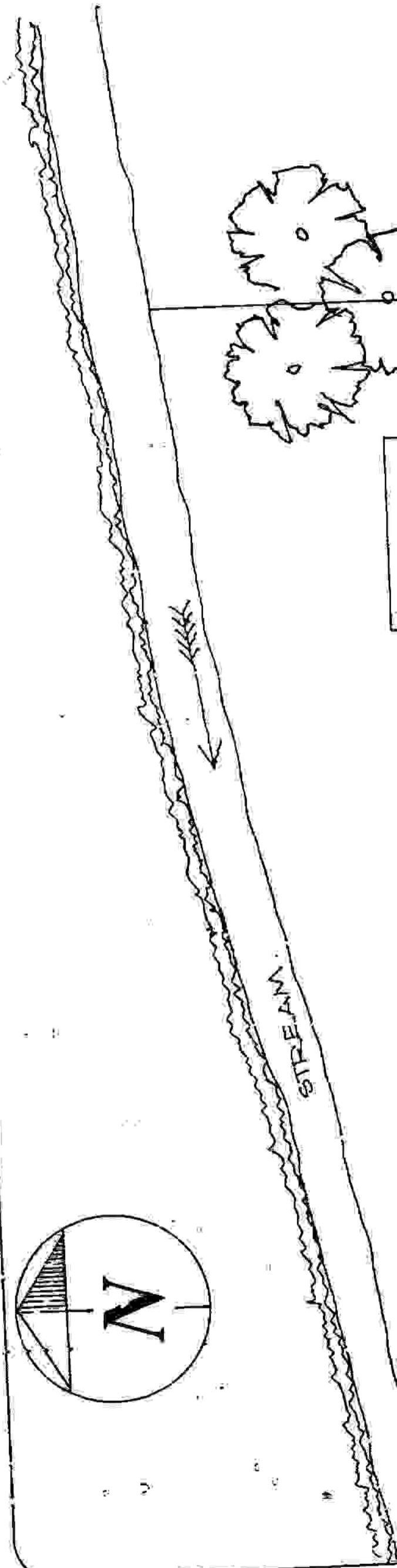
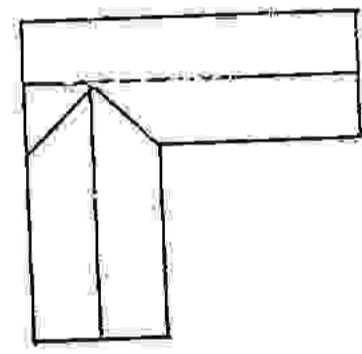
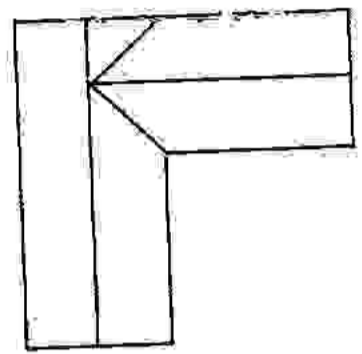
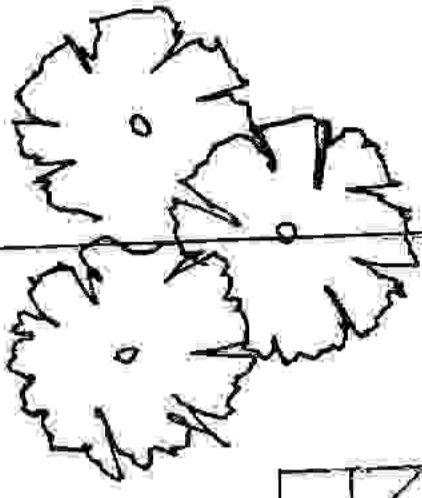
STREAM

SITE 7

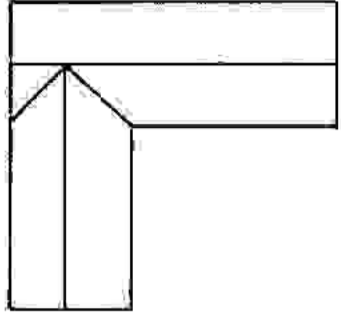
SITE 6

GARDEN
CENTRE-
SITE

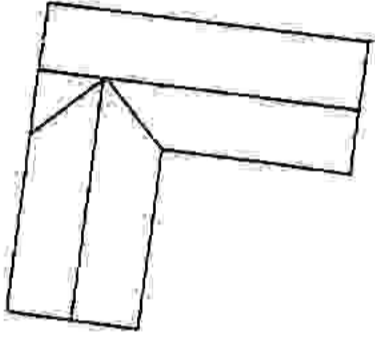
BOILER
HOUSE
PUMP
TOWER



PAGE ON CONFIDENTIAL



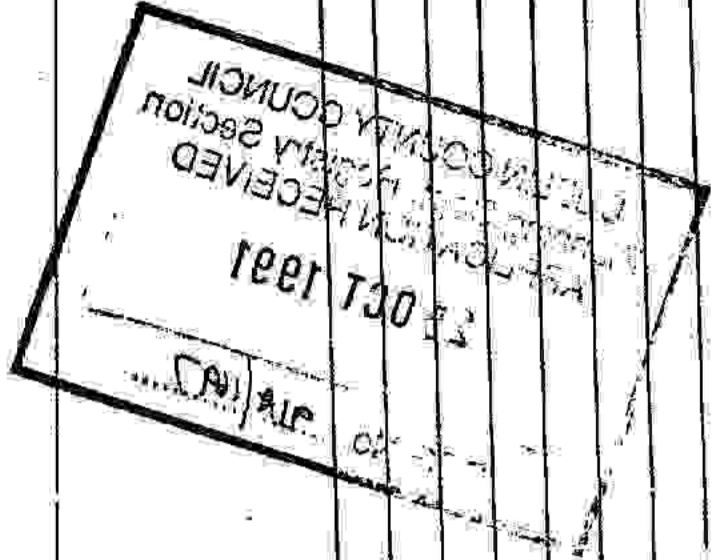
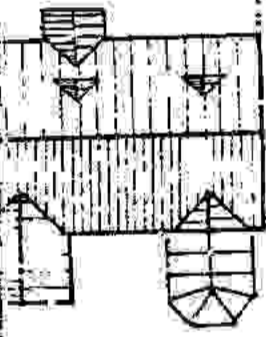
SITE 3.



SITE 4.

SITE NO 5
80A/1587

SURFACE WATER



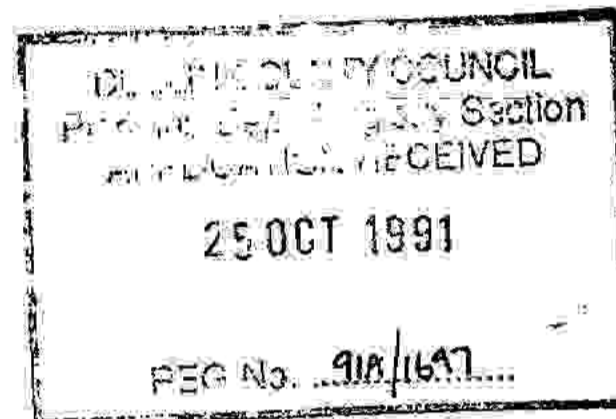
BLOCK PLAN . SCALE 1:500

Notes

No.

SPECIFICATION

FOR
THE ERECTION OF
ONE BUNGALOW
AT
FINNSTOWN
LUCAN
CO. DUBLIN
FOR
MR. JOHN MURPHY



John Doolin
37 Coolkill,
Sandyford,
Co. Dublin.

PRELIMINARIES

MATERIALS AND WORKMANSHIP

The builder will complete the work in a thorough, tradesmanlike and substantial manner.

All materials shall conform with the relevant Irish or British Standards and the materials shall preferably be Irish.

REQUIREMENTS OF THE DEPARTMENT OF LOCAL GOVERNMENT AND CONDITIONS OF THE DUBLIN COUNTY COUNCIL.

The builder shall conform in all respects to the requirements of the Department of Local Government including testing of drains, water piping and fittings and shall conform with any County Council conditions relating to the Bungalow.

SAFETY

All scaffolding etc. shall comply with the Building (Safety Health and Welfare) Regulations 1959.

WATER: A clean supply of water shall be available throughout the contract.

EXCAVATION: Excavate 200mm of top soil from the entire building site and excavate for foundations to the depth shown on drawings.

FOUNDATIONS: Strip concrete foundations poured to dimensions shown on drawings.

Mix 1: 2: 5. Mix B.

RISING WALLS: Rising walls shall be 100mm outer leaf core block as shown, 100mm cavity with 50mm insulation on inner leaf and 100mm inner leaf core, block except where specified differently on drawings.

PARTITION WALLS: To be 100mm solid block at ground floor level.

To be 100 mm o/all stud partitions at first floor level. Fully insulated for sound suppression.

DAMP PROOF COURSES AND DAMP PROOF MEMBRANES:

A good quality P.V.C. D.P.C. to be used in all external walls to a height of not less than 150mm above ground level and a D.P.C. under all internal partitions. A 1000 guage visqueen D.P.M. to be used in all concrete floors.

Vertical D.P.C.'s at all window jambs in cavity walls.

ALUM CONSERVATORY To be double glazed white aluminum conservatory over selected Butterfly brick base (aged face type).

PATIO: To be 400 x 400 x 50mm selected concrete paving slabs laid on sand base.

FLOORS FINISH: Ground floor finish to be 50mm concrete screed on 150mm site concrete on 1000 gauge visqueen DPM on sand blinding on 150mm compacted hardcore with 1 meter wide perimeter insulation all round. First floor finish to be 125 * 25mm T & G floor finish on 150 * 50mm floor joists at 300mm centres.

CILLS AND LINTELS To be precast and prestressed concrete lintels and cills with D.P.C.'s as shown.

WALLPLATES: To be good quality 100mm x 75mm red deal timber fixed with 12mm dia. M.S. bolts at 2 metre intervals.

ROOF FINISH: To be Tegral asbestos roofing slate, colour blue black, 600 * 300mm on 35 * 19mm battens, at 450mm centres on roofing quality sarking felt on 175 * 50mm rafters at 300mm ctrs.

VALLEYS: To be finished in 5 lbs. Lead flashing.

ROOF EAVES: Shall be 300 mm wide and constructed with 112mm x 38mm timber furring pieces with 100mm x 18mm T.G. and V. jointed boarding finish. The fascia shall be Ex. 225mm x 25mm red deal.

PURLINS: Where shown to be 175mm x 75mm and at the valleys to be 225mm x 50mm.

BARGE BOARDS: To be Ex. 225mm x 25mm red deal fixed to a 750mm wide gable ladder construction piece.

BRICK CHIMNEY: To be selected "Butterley" brick.

CAPPINGS: Concrete capping to be weathered and tongued and laid on a D.P.C.

CEILINGS: To be 10mm plaster slabs skimmed and finished smooth with ceiling plaster.

INTERNAL PLASTER: To be drylined plasterboards with joints taped and skimmed.

EXTERNAL PLASTER: To be 3 coats knapp plaster finish, smooth stucco except where otherwise specified. Corner blocks to be outlined over black painted plinth as shown.

SKIRTING: To be Ex. 112mm x 18mm red deal.

ARCHITRAVES: To be Ex. 75mm x 18mm red deal.

DOORS: To be good quality 50mm flush doors.

DOOR SADDLES: To be Ex. 150mm x 25mm red deal.

WINDOWS: To be Double Glazed white UPVC finish with Georgian finish as shown.

VELUX: All velux rooflights to have built in shades and permanent vents. Fitted in accordance with manufacturers instructions and specifications.

DOOR JAMBS: External jambs to be Ex. 112mm x 50mm hardboard timber with 150mm concrete sphyds at their base. Internal door jambs to be Ex. 112mm x 38mm red deal.

DRAINAGE: Excavate along lines shown on plans for all drains to required levels and also for gullies and junctions to required depths and widths. 100mm diameter P.V.C. wavin soil and surface water pipes to be used with 150mm P.V.C. gully traps and a 100mm diameter soil vent pipe. 125mm gutters with 75mm rain water pipes to be used.

MANHOLE & A.J.: A.J.'s to be P.V.C. and manholes to be built on site with 220mm blocks plastered internally on 150mm concrete base.

VENT PIPES: To be provided at head of drain, carried 900mm minimum over eaves level on highest window level and fitted with cowl or cage.

RAINWATER PIPES: Provide and fix P.V.C. gutters and downpipes as indicated on drawings to discharge to surface-water drain.

DORMERS: Dormer cheeks and front overhead panels to be finished with 125mm thick uPVC Swish cladding panels fixed to 100 x 75mm vertical battens at 300mm ctrs. insulated and covered with roofing quality sarking felt with foilbacked plasterboard internally Swish purpose desinged cladding to be 125mm T.G. & v. type, Tegral Slate finish.

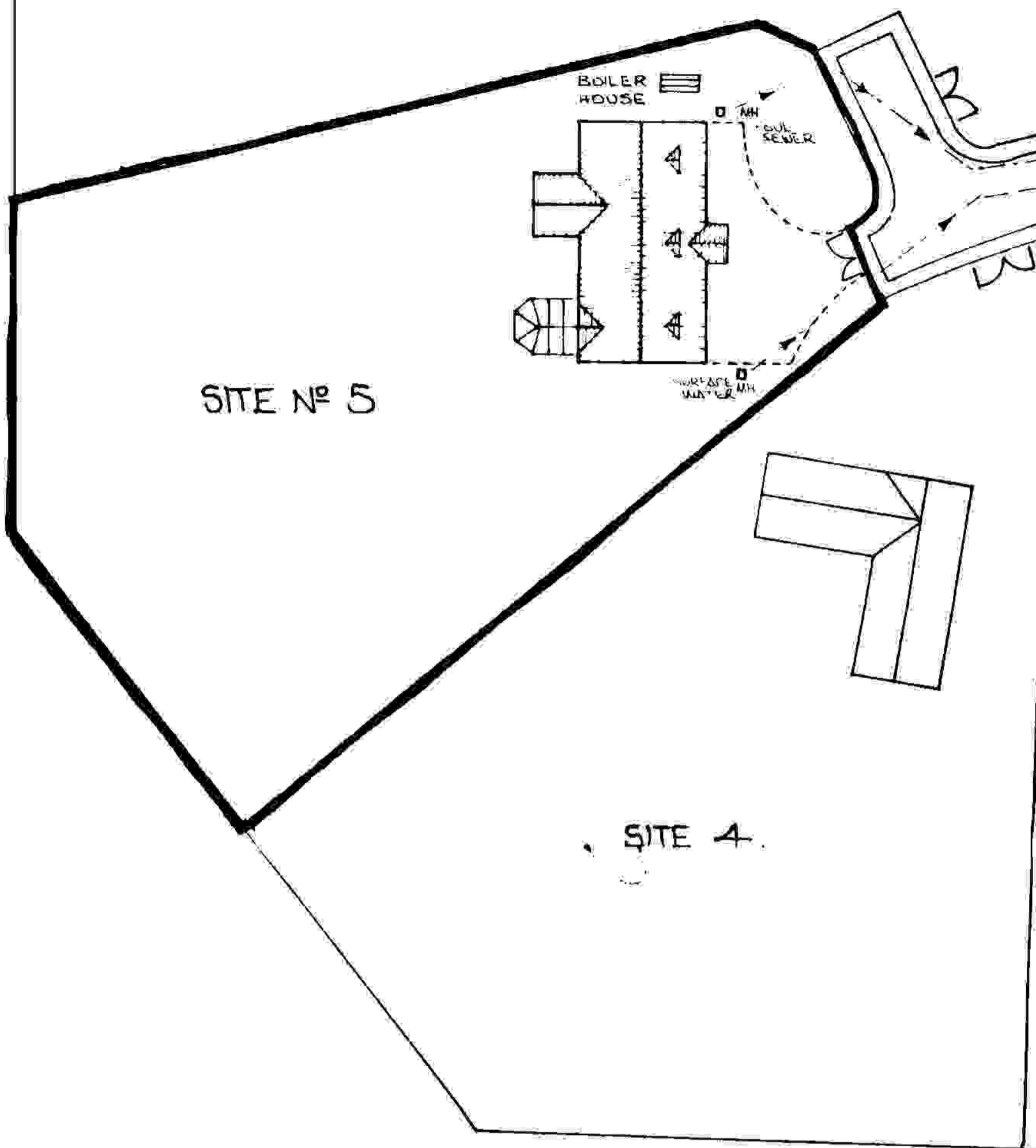
ELECTRICAL:

To be carried out in accordance with the E.S.B's specifications and regulations. Provide for lighting points complete with all ceiling roses, plates, switches and lampholders. Provide for power plugs. All wiring to be concealed and completed to the satisfaction of the E.S.B.

CONCRETE MIXES:

Concretes	Aggregates	Nominal Mix		
		Cement	Fine Aggregate	Graded Course Aggregate
Mix	Maximum Size			
A	40mm	1	3	6
B	20mm	1	2	5
C	14mm	1	3	6

The water/cement ratio shall be kept to the minimum needed to ensure reasonable workability but should not exceed 35 litres per 50kg of cement.



SITE N^o 5

BOILER HOUSE

AM
FOUL SEWER

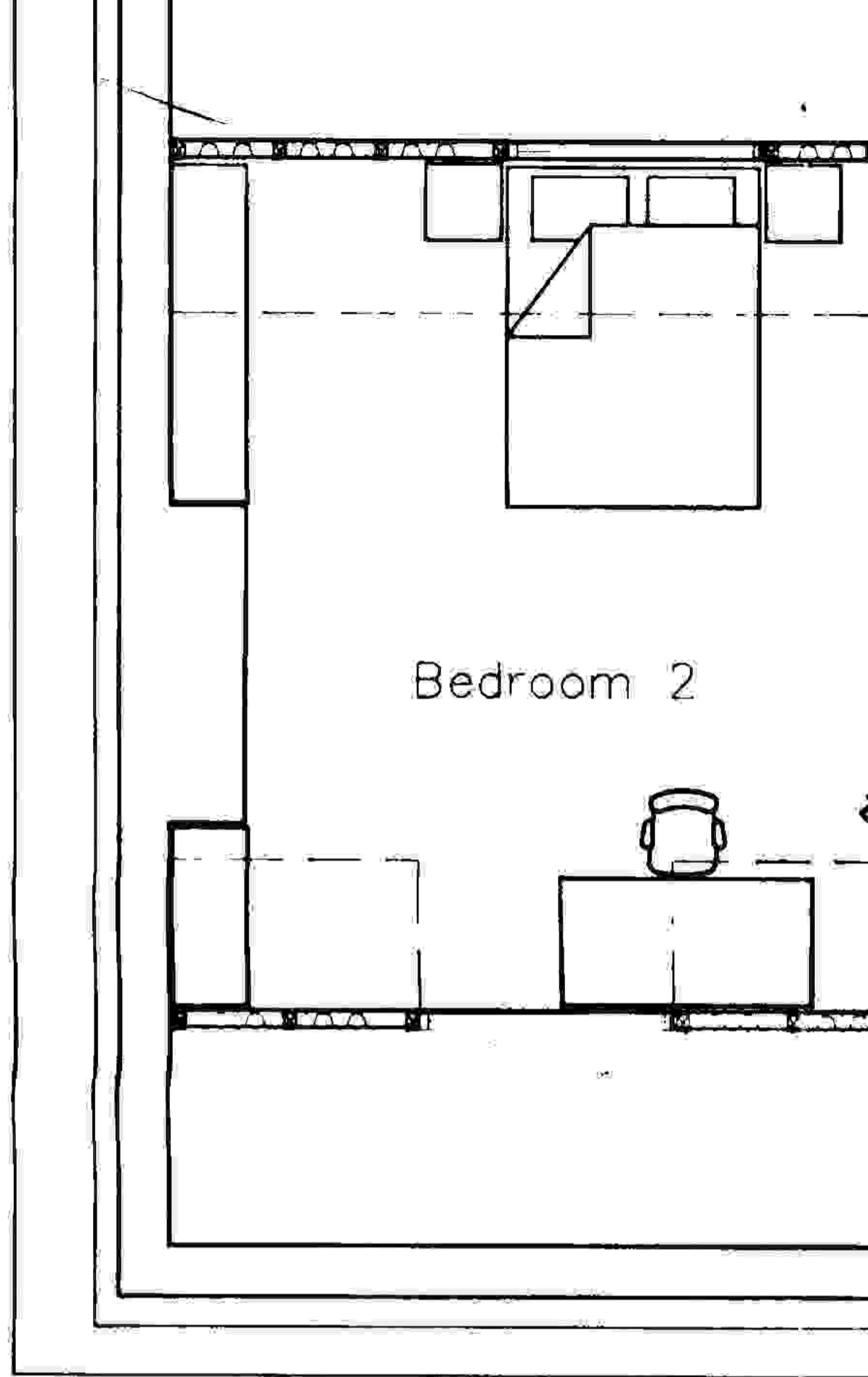
AM
SURFACE WATER

SITE 4

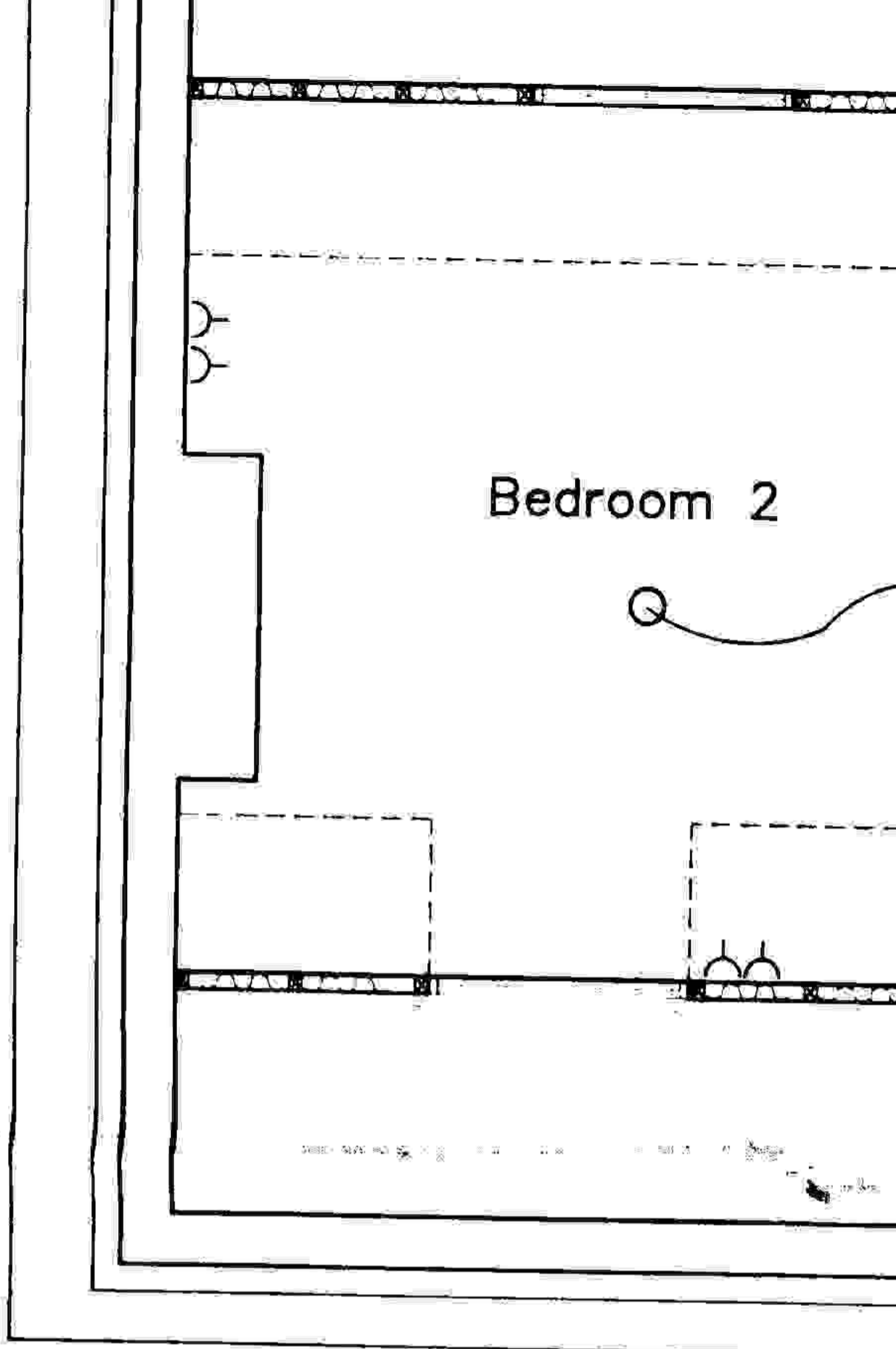
BLOCK PLAN • SCALE 1 : 500

Notes

Hand-drawn block plan showing two sites. Site No 5 is a large irregular polygon on the left. Site 4 is a smaller area on the right containing a boiler house, a row of three small buildings, a surface water manhole, a foul sewer manhole, and a rectangular structure. Utility lines and arrows are shown connecting these structures.

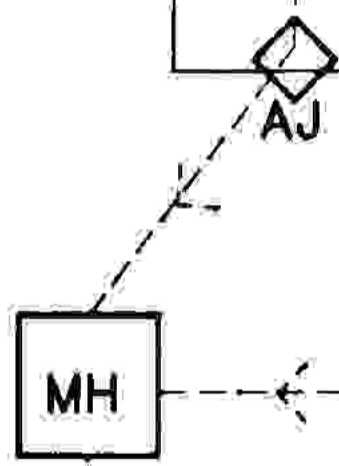
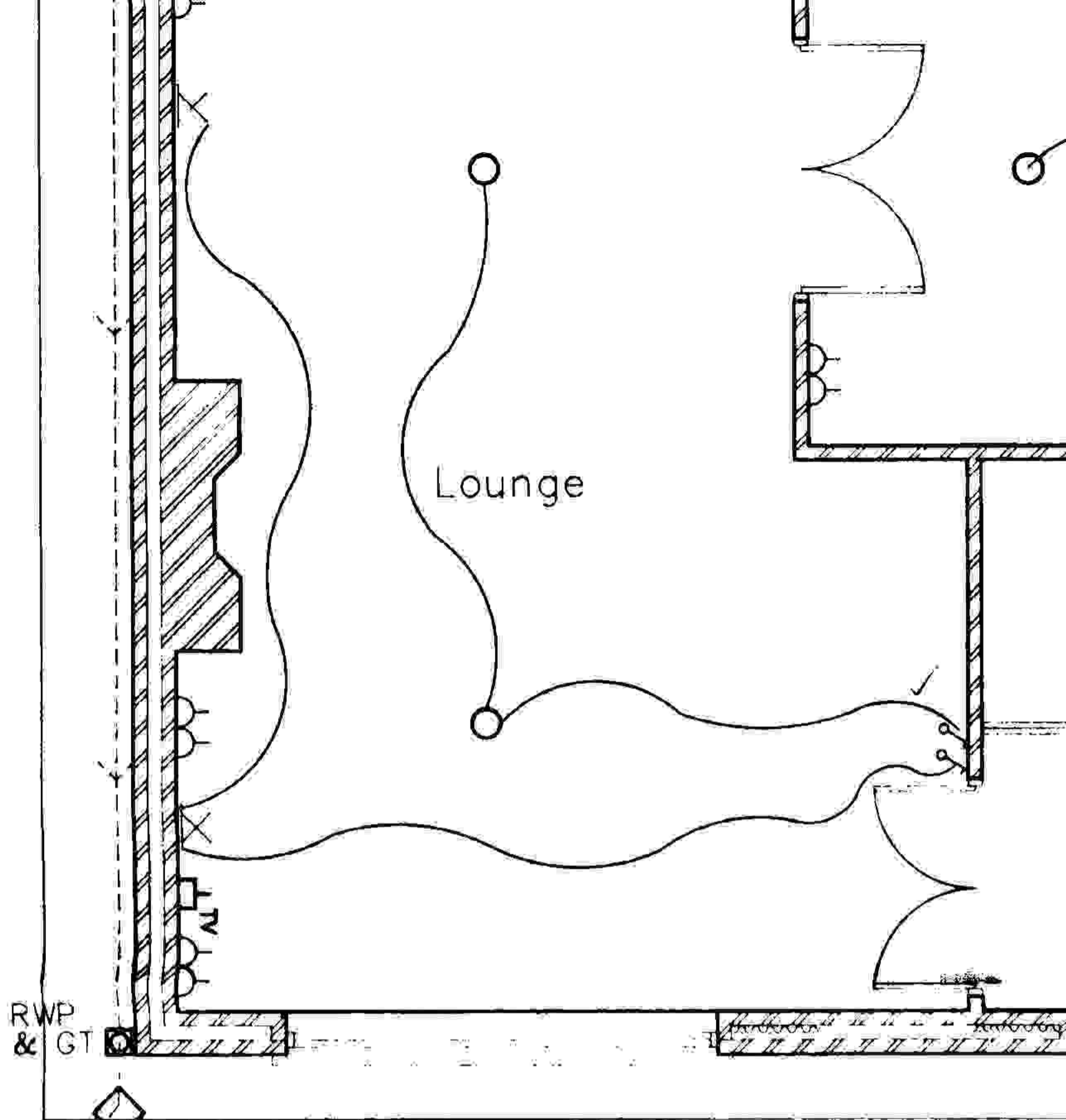


FIRST FLOOR PLAN



Bedroom 2

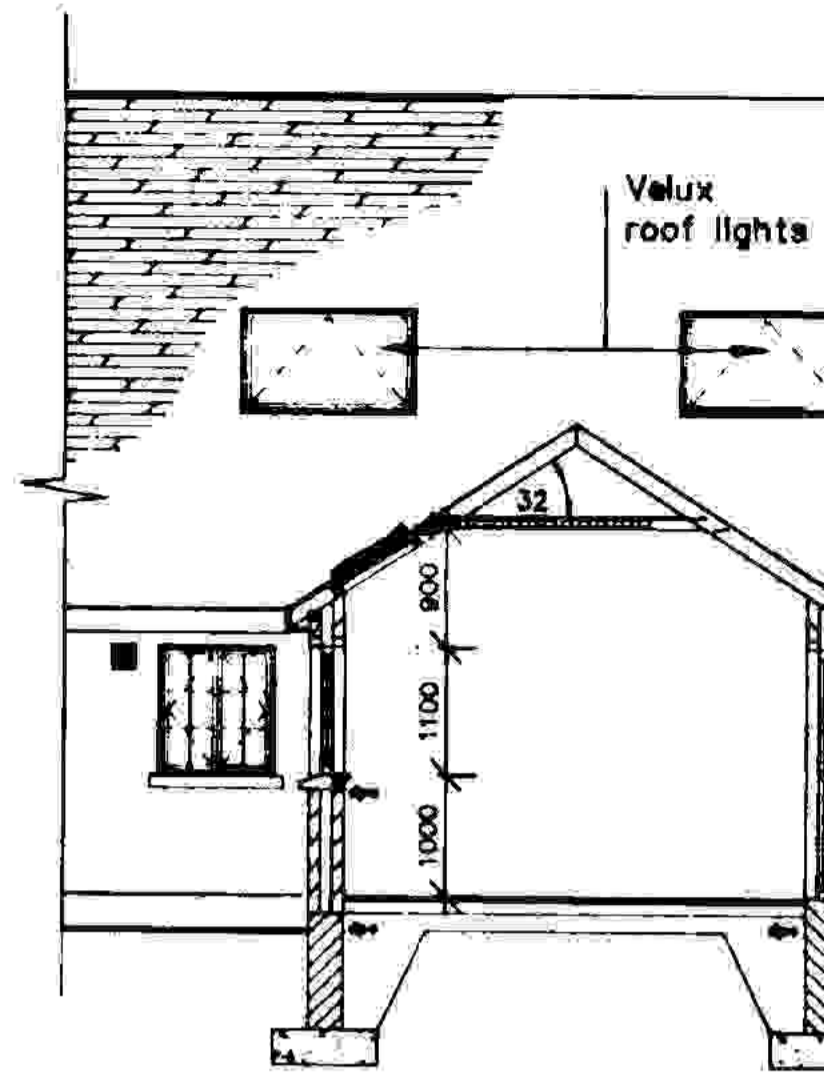
FIRST FLOOR PLAN



100mm Dia. PVC
pipe laid at a 1:50 fall

TO MAIN
SURFACE WATER DRAIN

Floor Finish:
 Ground floor finish to be 50mm concrete screed on 150mm site concrete on 1000 gauge visqueen DPM on sand blinding on 150mm compacted hardcore with 1 meter wide perimeter insulation all round.
 First floor finish to be 125*25mm T.& G. floor finish on 150*50mm floor joists at 300mm centres.

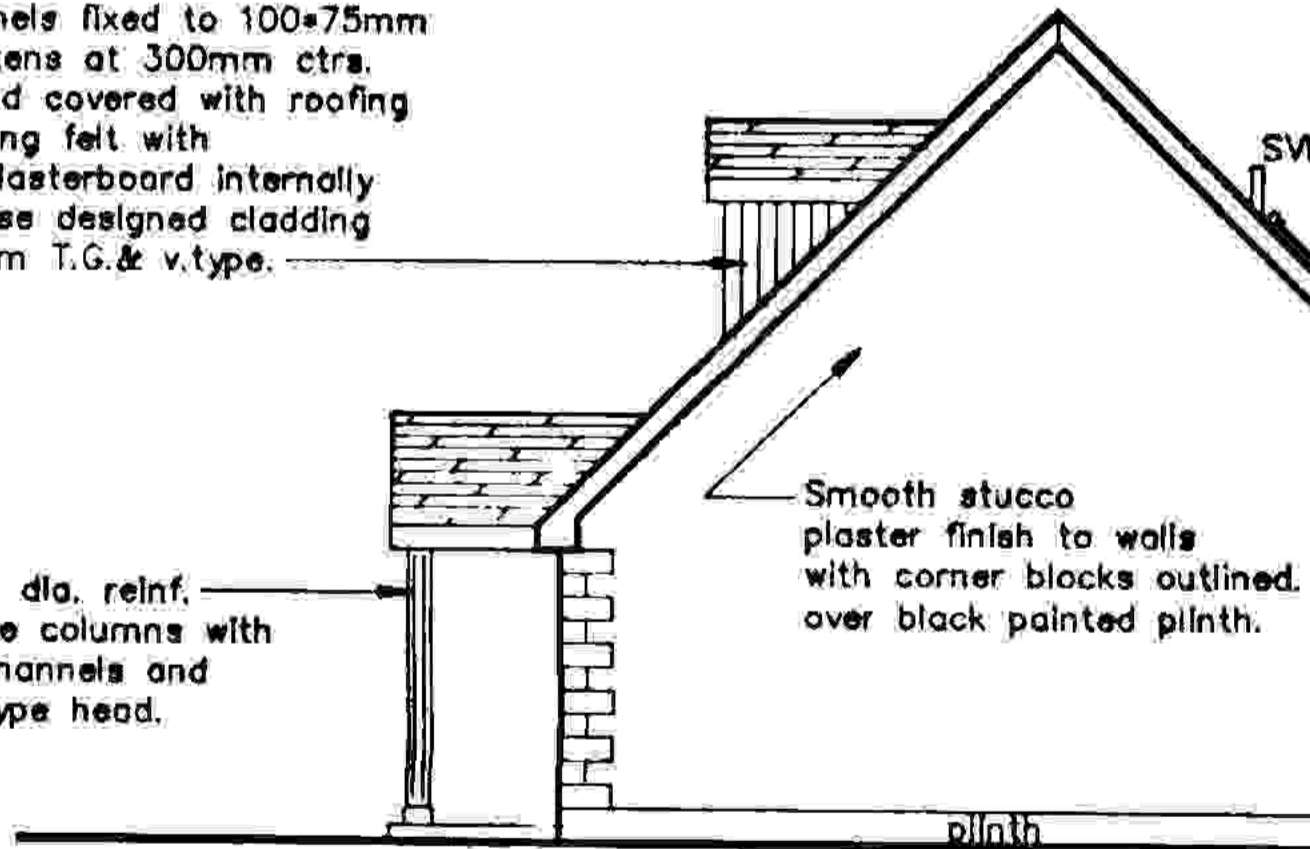


SECTION B-B.

Domner cheeks and front overhead panels to be finished with 125mm thick uPVC Swish cladding panels fixed to 100*75mm vertical battens at 300mm ctra. insulated and covered with roofing quality sarking felt with foilbacked plasterboard internally Swish purpose designed cladding to be 125mm T.G.& v.type.

200mm dia. reinf. concrete columns with relief channels and Doric type head.

Smooth stucco plaster finish to walls with corner blocks outlined over black painted plinth.



SIDE ELEVATION.

Lounge

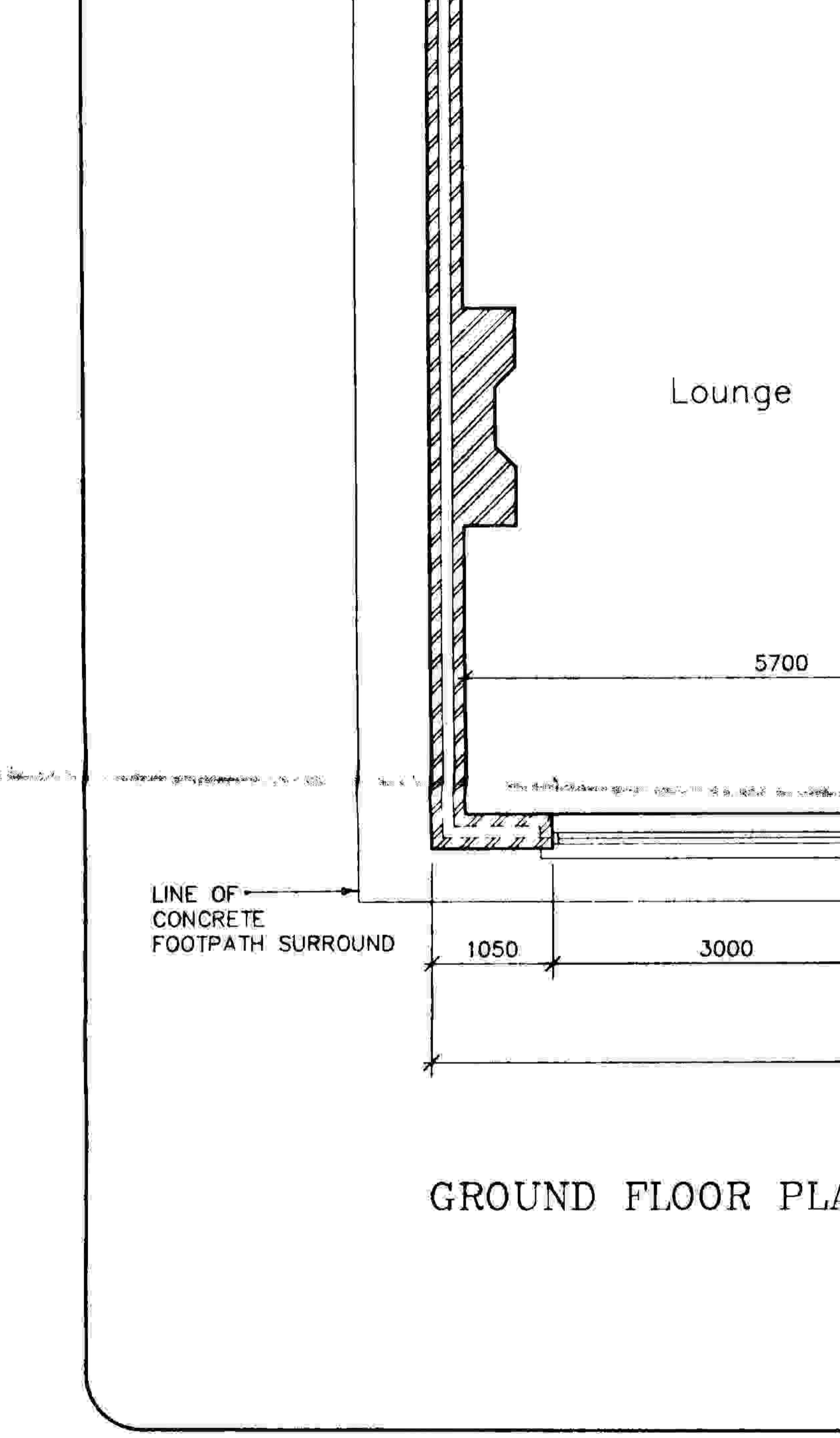
5700

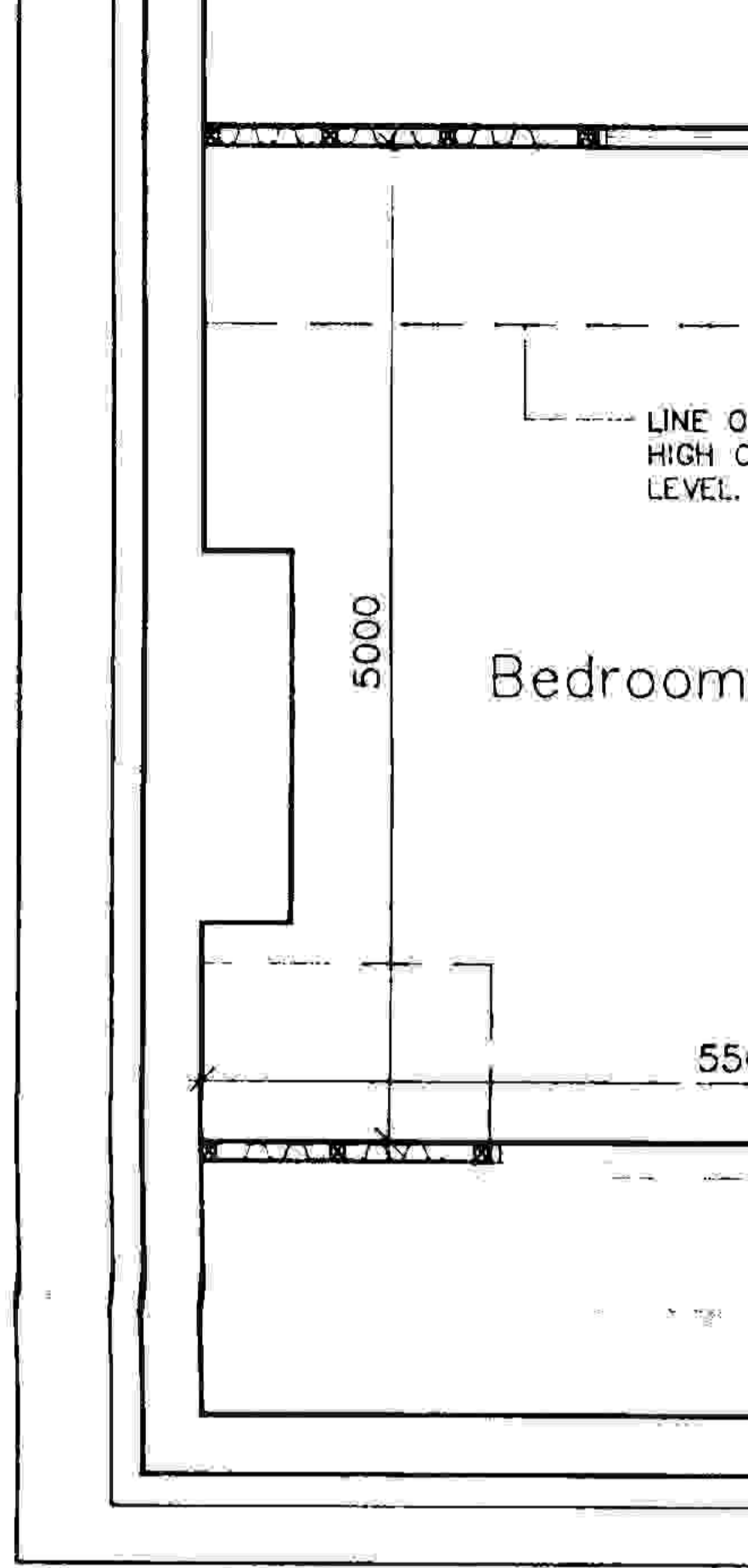
LINE OF
CONCRETE
FOOTPATH SURROUND

1050

3000

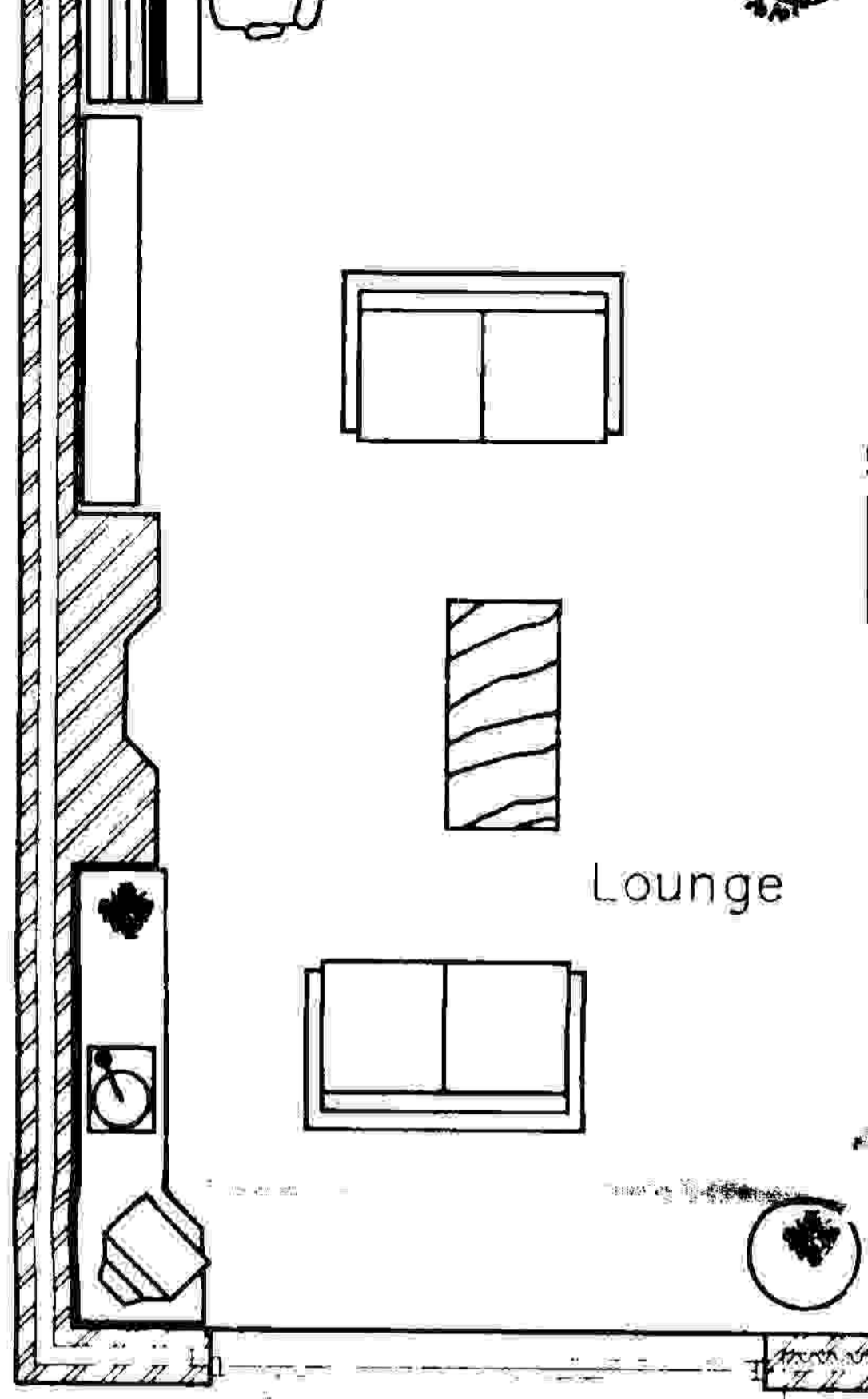
GROUND FLOOR PLAN





Handwritten notes and a north arrow symbol are located on the left side of the page, partially obscured by the large empty space of the floor plan.

FIRST FLOOR PLAN



Lounge

