

BYE LAW APPLICATION FEES

REF. NO.: 91A/1778

CERTIFICATE NO.: 16789 B

PROPOSAL: Bungalow + Septic Tank + Domestic Gate Lodge

LOCATION: Laurel Hill, Stocking Lane

APPLICANT: B.P.J. Moles

*log 11/11/91*

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>£55</u>	<u>£55</u>	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M <sup>2</sup> or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: S.O Date: 14/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_



Bloc 2, Ionad Bheatha na h-Iann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1778

Date : 14th November 1991

Dear Sir/Madam,

Our Ref.

Your Ref.

Date

Development : Construct a bungalow, septic tank and new entrance  
gates and to remove existing derelict gate lodge

LOCATION : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 11th November 1991

Your application in relation to the above was submitted with a fee of  
32.00 .

On examination of the plans submitted it would appear that the  
appropriate amount should be 72.00 .

I should be obliged if you would submit the balance of 40.00  
as soon as possible as a decision cannot be made on this application  
until the correct fee is received.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

T.P. Byrne & Associates,  
Emmet Bridge House,  
38 Upper Clanbrassil Street,  
Dublin 8

PLANNING APPLICATION FEES

Reg. Ref. 91A/1778

Cert. No. 27108

PROPOSAL... Bungalows... t. Seltic Tank + Domestic gate lodge

LOCATION... "Kewell Hill" Stocking lane

APPLICANT... B.P. J. Moles

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£/32	£/32	—	
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40.				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40	£40	nil	£40	£40.00 15/1 N54371

Jayme Byrnes  
Office on 16/12/91  
He is arranging to  
send in Balance  
Due  
16/12/91

Column 1 Certified: Signed: ..... Grade: ..... Date: .....

Column 1 Endorsed: Signed: ..... Grade: ..... Date: .....

Columns 2,3,4,5,6 & 7 Certified: Signed: *Ruba* Grade: *S.O* Date: *14/11/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: ..... Grade: ..... Date: .....

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ /  
DATED

ENTERED IN CONTRIBUTION REGISTER:

*Calculate with  
replacement  
Dwelling*

DEVELOPMENT CONTROL ASSISTANT GRADE

*[Signature]* 15/4/92

Marjorie O'Shea.

EASTERN HEALTH BOARD

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date 14.02.92  
Time 11.15 A.M.

Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAUREL HILL' SPOCKING LANE RATHFARNHAM.

For: B + J. MOLES.

Plans lodged: 11. Nov. 91.

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

These proposals are unacceptable to this section for the following reasons

- 1/ Percolation tests carried out on a section of the site failed (see report of 8/1/92 copy attached)
- 2/ Two trial holes inspected in the area to where the bio Disc and percolation area is to be sited had a high water table level above that recommended in S.R.B 75. (see report of 3/12/91 copy attached)
- 3/ The siting of the percolation area does not comply with the distance requirements of S.R.B 75.
- 4/ The distance between the percolation area and the adjoining septic tank and percolation area is insufficient
- 5/ Method of disposal of surface waters from dwelling, barn and stables not shown.
- 6/ The proposed location of the percolation area is under the driveway.

Sta Devine  
for John O'Keilly SEAO  
10/2/92

City South Env Health Officer  
10 Feb 92

Maya O'Shea

EASTERN HEALTH BOARD

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
P.C. 14.02.92  
11.15

Reg. Ref: 91A | 1778

Proposed: BUNGALOW + SEPTIC TANK

At: "LAUREL HILL" STOCKING LANE RATHFRANKHAM

For: BY I HOLES

Plans lodged: 11. Nov 1991

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

On Monday 6<sup>th</sup> and Tuesday 7<sup>th</sup> January 1992 I supervised two percolation tests on the above site. Percolation test holes were located in the percolation area as shown in the revised plan (copy attached). Both percolation tests failed. Indeed the level of water had increased in one of the test holes.

These revised proposals are unacceptable to this section as the soil is unsuitable for the treatment & disposal of septic tank effluent.

See also previous reports.

John Smith Env. Health Officer.  
8/1/92

Ola Devine  
for John O'Leilly EBHO  
2/1/92

Register Reference : 91A/1778

Date : 14th November 1991

Development : Construct a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge

724896

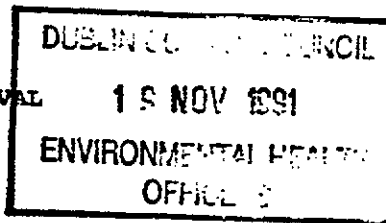
LOCATION : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

APP. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 11th November 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

*These proposals as submitted are unacceptable to this section for the following reasons.*

Yours faithfully,

*Two trial holes were inspected on this site on 28/Nov/91*

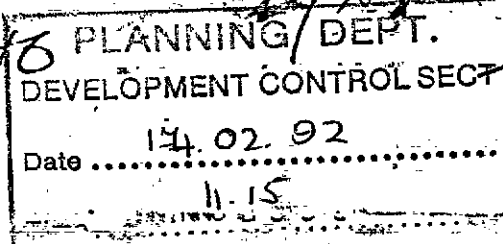
.....  
FOR PRINCIPAL OFFICER

*One was open to a depth of 7ft and had a clearance above water table level of 5 1/2 ft. The second trial hole was opened to a depth of 5 1/2 ft and had a clearance above water table level of 3 1/2 ft.*

- 1. The siting of the septic tank and percolation and reserve percolation areas does not follow the contours of the land and is sited uphill from the dwelling.*
- 2. The water table level in this part of the site is high. Percolation tests would be required to determine if this area of the site is suitable for the treatment & disposal of septic tank effluent.*
- 3. The septic tank and percolation areas are not shown to comply with 11A5 S&B 1975.*
- 4. The septic tank and percolation areas are not the required distance from the dwelling.*
- 5. The distance between percolation pipes is less than 2m.*

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*John O'Reilly*  
*3/12/91*



Marjorie O'Shea

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAUREL HILL' STUCKING LANE RATHFRUHAM

For: MR & MRS B. MOLES

Plans lodged: 11. Nov. 91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

F.A.O. MARJORIE O'SHEA, PLANNING DEPT, DUBLIN Co Council,

Please find attached my report of 12.3.92 to the bye-law section of Dublin Co Council. This report covers the best information received from you.

by Smyth Env. Health Officer  
18/3/92

for Ha Davine  
John O'Keilly JHO  
18/3/92

PLANNING DEPT.  
DEVELOPMENT CONTROL SEC.  
Date ..... 23.03.92  
Time ..... 11.00



Marjorie O'Shea.

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAWNER HILL' STOCKING LANE RATHFRILHAM

For: MR & MRS B. MOLES

Plans lodged: 11 Nov '91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

My report of 10th Feb 1992 refers to this additional information.  
(Copy of my report attached).

PLANNING DEPT.  
DEVELOPMENT CONTROLLER  
Date ..... 23.03.92 .....  
Time ..... 11.00 .....  
.....

However, on Monday 9th & Tuesday 10th March 1992 I supervised percolation tests on the above site. The tests were undertaken in the area of the percolation area from the 'bio disk' unit.

The results of the percolation tests was a T value of 20 requiring a percolation area of 48 MTS and a reserve percolation of 48 MTS. to be provided.

The soil appears suitable for the treatment and disposal of effluent from an independent sewage treatment system. Conditions Nos. 3, 4, 5 & 6 of my report of 10th Feb 92 still apply.

Colby Smyth EHO  
12-3-92

for Ma Devine  
John O'Reilly SEHO.  
18/3/92

Mayorie O'Shea.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1778.  
DEVELOPMENT: Bungalow.  
LOCATION: Stocking Lane.  
APPLICANT: B & J Motes.  
DATE LODGED: 8.4.92.

This submission is additional information. We refer to the previous Roads Report dated 13.12.91. The sight line towards Scholarstown road is very restricted and any improvement to be carried out would require works outside the site outlined in red. Stocking lane is substandard in alignment and cross section at this location.

Therefore, permission should be refused as:-

- 1. Additional turning movements which would be generated by the proposed development at an access with very restricted vision would endanger public safety by reason of traffic hazard.

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 04.05.92 .....  
Time ..... 12.30 .....

GC/BMcC  
1.5.92.

SIGNED: Garrett Curran  
DATE: 1/5/92

ENDORSED: E. Madden  
DATE: 1st May 92

Marjorie O'Shea

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAUREL HILL' STOCKING LANE RATHFRUHAM

For: B & J Mores

Plans lodged: 11. Nov. 91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

F.A.O. MARJORIE O'SHEE, PLANNING DEPT, DUBLIN Co Council  
A.I. received 8th April in Planning Dept.

I refer to your fax of this evening 14th April 92.

These proposals are acceptable to this section subject to

1. the distance between the percolation area & the <sup>proposed</sup> dwelling being a minimum of 20mts at any point.

2. The percolation area not being located under the driveway.

NOTE: percolation tests determined that 48mts of percolation and 18mts of reserve percolation piping are required.

3. Compliance with SR 6 1991

PLANNING DEPT.  
DEVELOPMENT CONTROL  
Date ..... 15.04.92 .....  
Time ..... 4.00 .....

by Smyth EHO  
14/4/92

for Denise  
for John O'Reilly Principal EHO  
14/4/92

P/1714/92

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

BELGARD

CONTENTS:
Standard: M
Roads: Replacement
S. Sers: Dwyll
Open Space:
Other:
SECURITY:
Bond / C.I.F.:
Cast:

Register Reference : 91A/1778

Date Received : 8th April 1992

Correspondence : T.P. Byrne & Associates,  
 Name and : Emmet Bridge House,  
 Address : 38 Upper Clanbrassil Street,  
 Dublin 8

Development : Construct a dormer bungalow, septic tank and new  
 entrance gates and remove existing derelict gate lodge

Location : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

App. Type : Permission

Zoning : To protect and provide for the development of agriculture

Floor Area : 278 Sq.metres

MOS  
 (MOS/BB)

Report of the Dublin Planning Officer dated 14th April, 1992.

~~DOMARK~~ This is an application for PERMISSION. The proposed development consists of a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge at "Laurel Hill", Stocking Lane for B. & J. Moles.

### PLANNING HISTORY OF SITE

Under Reg. Ref. 90A/0912, outline planning permission was granted for the replacement of gate lodge at Laurel Hill, Stocking Lane, Rathfarnham.

### THE SITE

The site is zoned 'B' in the 1983 County Development Plan with the objective "to protect and provide for the development of agriculture". The site area is stated to be 0.8 acres. There is an existing gate lodge at the western part of the site which it is propose to demolish as part of the proposed development. The applicant proposed to maintain the northern side wall of the gate lodge as a boundary wall. A large part of the site was formerly a walled orchard and high stone walls (c. 10 feet in height) form the site boundaries to the south

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Reg. Ref. 912/178 Record of Executive Business and Manager's Orders

Page No: 0002

Location: "Laurel Hill", Stocking Lane

and east. One of the former orchard walls runs approx. 4 metres inside the northern boundary of the site. The site also contains 2 former agricultural buildings which it is proposed to retain.

### PROPOSAL

The proposed house is a dormer bungalow and not "a bungalow" as described in the advertisement submitted. It is simple in form with a rendered finish on the external walls. The floor area of the proposed house is stated to be 278 sq.m., incorporating a garage. Several bedrooms are provided in the roof space at first-floor level and velux roof lights are provided to serve these rooms. It is proposed to design a new improved splayed access to serve the proposed house and the existing house "Laurel Hill" and to use the random rubble from the demolished gate lodge as a finish on the wing walls and pillars.

### REPORTS

The Supervising Environmental Health Officer has reported (report dated 03.12.91) that the proposed drainage arrangements are unacceptable on the grounds that: (i) the proposed septic tank and percolation areas are located uphill from the proposed house, (2) the water table where it is proposed to site the septic tank and percolation areas is high, (3) the proposed septic tank and percolation areas are not located the required distance from the dwelling, (4) the applicant has not shown that the design of the proposed septic tank and percolation areas are in accordance with IIRS SR6 1975 requirements.

The Roads Department report recommends refusal due to the substandard access and additional turning movements. *The roads dept. has no objection to the earlier application (90/912)*  
The design of the proposed house is considered acceptable from a planning point of view. It will not result in the overlooking of adjoining gardens to the north (i.e. those attached to the bungalow and cottages). The proposed entrance arrangement is acceptable and should be visually pleasing.

Unsolicited additional information in relation to revised septic tank drainage arrangements was submitted to this Department on 17.01.92.

The reports of the Supervising Environmental Health Officer dated 08.01.92 and 10.02.92 states that the revised proposals are unacceptable to the Supervising Environmental Health Officer.

It notes that trial holes inspected on 28.11.91 in the area where the biodisc and percolation area are site had a high water table level. Percolation tests carried out (i.e. on 06.01.91 and 07.01.91) also failed.

# COMHAIRLE CHONTAE ÁTHA CLIATH

Reg. Ref. 91A1178  
**Record of Executive Business and Manager's Orders**

Page No: 0003

Location: "Laurel Hill", Stocking Lane

ADDITIONAL INFORMATION was requested from the applicant with regard to the following:-

1. The proposed drainage arrangements are unacceptable to the Supervising Environmental Health Officer on the grounds that:

- (a) percolation tests carried out on the the site failed.
- (b) the water table level is above that recommended in IIRS SR6 1975 on that part of the site where it is proposed to locate a biodisc and percolation area.
- (c) the siting of the percolation area does not comply with the distance requirements laid down in SR6 1975.
- (d) an insufficient distance is maintained between the proposed percolation area and adjoining septic tanks and percolation areas.
- (e) the proposed percolation area is located under the proposed driveway.
- (f) the applicant has not indicated proposed method of disposal of surface water from the dwelling.

The applicant is requested to indicate if he is prepared to modify the proposed drainage arrangements so as to demonstrate that they are in accordance with the requirements of the Supervising Environmental Health Officer, and specifically in accordance with the recommendations laid down in IIRS SR6 1991 available from EOLAS. If the applicant is so prepared he is requested to submit details showing this.

NOTE: The applicant should note that revised drainage arrangements may necessitate the relocation of the proposed house on the site. The applicant is advised to consult with the Supervising Environmental Health Officer for the area (33 Gardiner Place, Tel. 727777) prior to submitting this additional information.

2. The advertisement submitted does not accurately describe the proposed development. The house type proposed on the site is a "dormer bungalow" rather than a bungalow. The applicant is requested to submit a revised advertisement which accurately describes the proposed dormer bungalow.

3. The applicant is requested to stated what the proposed finished floor levels of the dormer bungalow will be.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Reg. Ref. **Record of Executive Business and Manager's Orders**

Page No: 0004

Location: "Laurel Hill", Stocking Lane

This additional information was submitted to this department on the 8th April, 1992.

The applicant has re-advertised the proposed development as requested. The new advertising adequately describes the proposed development. The proposed finished floor level is stated to be 130.3 sq. metres.

The Health Inspector has reported (phone 14th April - Colm Smyth) that the Additional Information was submitted following discussions with the Health Inspector.

He has informed that the proposed development is now acceptable to him.  
(Report dated 14.4.92)

He recommended the conditions that should be attached to any permission. These are:-

- (i) That a distance of 20 metres be maintained between the percolation area and the proposed dwelling.
- (ii) The percolation area is not<sup>to</sup> be located under driveway.
- (iii) Compliance with SR6 1991 requirements. He notes that percolation tests carried out on the site determine that 48 metres of percolation piping and 48 metres of reserve percolation piping are required.

The house has been relocated on site slightly to enable ~~the~~ compliance with the requirements of the Principal Environmental Health officer.

The proposed development considered acceptable. The principal<sup>LE</sup> of a house on this site has already been accepted under Reg. Ref. 90A/912.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1990, subject to the following (8) conditions :-

### C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 8th April 1992 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Page No: 0005

Location: "Laurel Hill", Stocking Lane

permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That a financial contribution in the sum of £ \_\_\_\_\_ be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

*omit  
replacement  
dwelling*

4 05 That the water supply arrangements be in accordance with the requirements of the Sanitary Services Department.

4 05 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

5 06 That the requirements of the <sup>Supervising</sup> Principal Environmental Health Officer be complied with. In this regard:

(a) The proposed development is to comply with <sup>recommendations</sup> regulations laid down in SR6 1991 with regard to septic tank development.

(b) The percolation area is to be located at a minimum distance of 20 metres from the proposed house.

(c) The percolation area is not to be located under the driveway.

NOTE: The applicant should note that percolation tests carried out on the site determined that 48 metres of percolation piping and 48 metres of reserve percolation piping are required.

5 05 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

06 That obscure glazing be used in the side velux roof light serving Bedroom No. 6.

REASON: In the interest of residential amenity.

748 *See over: please work*

NOTE: The applicant should note that the gable wall of the existing gate lodge which it is proposed to use as a boundary wall may be reduced to 2



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Page No: 0006

Location: "Laurel Hill", Stocking Lane

metres in height, if required.

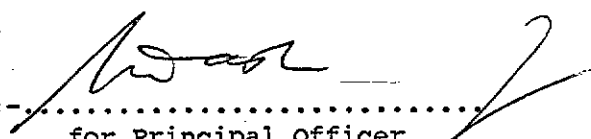
7. That the disposal of surface water is to be in accordance with the requirements of the Planning Authority.

8. Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in enclosed fireplaces or appliances suitable only for burning solid smokeless fuels.

Reason: in the interest of reducing air pollution

Richard Cernina SEP  
for Dublin Planning Officer

15/4/92

Endorsed:   
for Principal Officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (8) conditions set out above is hereby made.

Dated: 15<sup>th</sup> APRIL 1992

  
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated

10<sup>th</sup> February 1992



**EASTERN  
HEALTH  
BOARD**

**BORD  
SLAINTE  
AN OIRTHIR**

**ENVIRONMENTAL HEALTH OFFICERS'  
SERVICE**

**33 Gardiner Place  
Dublin 1  
Tel 727777**

{no reply}  
10.40.

**F A X T R A N S M I S S I O N**

**DATE:** 14<sup>th</sup> April 1992 **TIME:** 11.30AM

**TO:** MARJORIE D SHOE  
PLANNING DEPT

**FROM:** Colm Smyth ENV. Action Officer

**No of Pages:** TWO. including Cover.

**COMMENTS:** URGENT

**SIGNED:** Colm Smyth

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A/1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAWRENCE HILL' STOCKING LANE RATHFRUHAM

For: B & J MURPHY

Plans lodged: 11. Nov. 91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

F.A.O. MARJORIE O'SHEE, PLANNING DEPT. DUBLIN CO COUNCIL  
A.I. received 8th April in Planning Dept.

I refer to your fax of this morning 14th April 92.

These proposals are acceptable to this section subject to

1. The distance between the percolation area & the <sup>proposed</sup> dwelling being a minimum of 20mts at any point.

2. The percolation area not being located under the driveway.

NOTE: percolation tests determined that 48mts of percolation and 100% reserve percolation piping are required.

3. Compliance with SRG 1991

by Smith EHO  
14/4/92

St Devine  
for John O'Reilly Principal EHO  
14/4/92

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAWRENCE HILL' STOCKING LANE RATHFRILHAM

For: MR & MRS B. MOLES

Plans lodged: 11-Nov-91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

My report of 10th Feb 1992 refers to this additional information.  
(Copy of my report attached).

PLANNING DEPT.
DEVELOPMENT CONTROLLER
Date ..... 23.03.92 .....
Time ..... 11.00. ....

However, on Monday 9th & Tuesday 10th March 1992 I supervised percolation tests on the above site. The tests were undertaken in the area of the percolation area from the 'bio disk' unit. The results of the percolation tests was a T value of 20 requiring a percolation area of 48 m<sup>2</sup>s and a reserve percolation of 48 m<sup>2</sup>s. to be provided.

The soil appears suitable for the treatment and disposal of effluent from an independent sewage treatment system. Conditions nos. 3, 4, 5 & 6 of my report of 10th Feb 92 still apply.

for John O'Reilly SEHO.  
18/3/92

John Smyth EHO  
12-3-92

Marjorie O'Shea

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAVAGE HILL' STOCKING LAKE RATHFRUHAM

For: MR & MRS B. MOLES

Plans lodged: 11-Nov-91

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

F.A.O. MARJORIE O'SHEA, PLANNING DEPT, DUBLIN Co Council,

Please find attached my report of 12-3-92 to the Bye-law section of Dublin Co Council. This report covers the last information received from you.

by Smyth Env. Health Officer  
18/3/92

for Mr Davine  
John O'Leary SEHO  
18/3/92

PLANNING DEPT.  
DEVELOPMENT CONTROL SEC. 1

Date ..... 23.03.92

Time ..... 11.00

P/752/92

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/1778

Date Received : 11th November 1991

*Correct for file: 15/1/92*

Correspondence : T.P. Byrne & Associates,  
Name and : Emmet Bridge House,  
Address : 38 Upper Clanbrassil Street,  
Dublin 8

Development : Construct a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge

Location : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

App. Type : Permission

Zoning : To protect and provide for the development of agriculture

Floor Area : 278 Sq.metres

*MCS*  
(MOS/AC)

Report of the Dublin Planning Officer dated 17 February, 1992.

This is an application for PERMISSION. The proposed development consists of a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge at "Laurel Hill", Stocking Lane for B. & J. Moles.

### PLANNING HISTORY OF SITE

Under Reg. Ref. 90A/0912, outline planning permission was granted for the replacement of gate lodge at Laurel Hill, Stocking Lane, Rathfarnham.

### THE SITE

The site is zoned 'B' in the 1983 County Development Plan with the objective "to protect and provide for the development of agriculture". The site area is stated to be 0.8 acres. There is an existing gate lodge at the western part of the site which it is proposed to demolish as part of the proposed development. The applicant proposes to maintain the northern side wall of the gate lodge as a boundary wall. A large part of the site was formerly a walled orchard and high stone walls (c. 10 feet in height) form the site boundaries to the south and east. One of the former orchard walls runs approx. 4 metres inside the northern boundary of the site. The site also contains 2 former agricultural buildings which it is proposed to retain.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

### PROPOSAL

The proposed house is a dormer bungalow and not "a bungalow" as described in the advertisement submitted. It is simple in form with a rendered finish on the external walls. The floor area of the proposed house is stated to be 278 sq.m., incorporating a garage. Several bedrooms are provided in the roof space at first-floor level and velux roof lights are provided to serve these rooms. It is proposed to design a new improved splayed access to serve the proposed house and the existing house "Laurel Hill" and to use the random rubble from the demolished gate lodge as a finish on the wing walls and pillars.

### REPORTS

The Supervising Environmental Health Officer has reported (report dated 03.12.91) that the proposed drainage arrangements are unacceptable on the grounds that: (i) the proposed septic tank and percolation areas are located uphill from the proposed house, (2) the water table where it is proposed to site the septic tank and percolation areas is high, (3) the proposed septic tank and percolation areas are not located the required distance from the dwelling, (4) the applicant has not shown that the design of the proposed septic tank and percolation areas are in accordance with IIRS SR6 1975 requirements.

*recommend refusal due to the substantial access and additional highway movements*

The Roads Department report is ~~unavailable at the time of writing.~~  
The design of the proposed house is considered acceptable from a planning point of view. It will not result in the overlooking of adjoining gardens to the north (i.e. those attached to the bungalow and cottages). The proposed entrance arrangement is acceptable and should be visually pleasing.

Unsolicited additional information in relation to revised septic tank drainage arrangements was submitted to this Department on 17.01.92.

The reports of the Supervising Environmental Health Officer dated 08.01.92 and 10.02.92 states that the revised proposals are unacceptable to the Supervising Environmental Health Officer.

It notes that trial holes inspected on 28.11.91 in the area where the biodisc and percolation area are sites had a high water table level. Percolation tests carried out (i.e. on 06.01.91 and 07.01.91) also failed.

Before a decision is made on this application, the applicant should be requested to submit additional information showing acceptable drainage arrangements, which will more than likely result in the relocation of the proposed house. In addition to this the applicant should be asked to submit a revised advertisement, which will more accurately describe the proposed development.

I recommend that ADDITIONAL INFORMATION be requested from the applicant with

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

regard to the following:-

01 The proposed drainage arrangements are unacceptable to the Supervising Environmental Health Officer on the grounds that:

(a) percolation tests carried out ~~in the proposed percolation area~~ *on the site* failed.

(b) the water table level is above that recommended in IIRS SR6 1975 on that part of the site where it is proposed to locate a biodisc and percolation area.

(c) the siting of the percolation area does not comply with the distance requirements laid down in SR6 1975.

(d) an insufficient distance is maintained between the proposed percolation area and adjoining septic tanks and percolation areas.

(e) the proposed percolation area is located under the proposed driveway.

(f) the applicant has not indicated proposed method of disposal of surface water from the dwelling.

*SHT* The applicant is requested to indicate if he is prepared to modify the proposed drainage arrangements so as to demonstrate that they are in accordance with the requirements of the Supervising Environmental Health Officer, ~~Dublin County Council~~ and specifically in accordance with the recommendations laid down in IIRS SR6 1975 <sup>1981</sup> available from EOLAS. If the applicant is so prepared he is requested to submit details showing this.

NOTE: The applicant should note that revised drainage arrangements may necessitate the relocation of the proposed house on the site. The applicant is advised to consult with the Supervising Environmental Health Officer for the area (33 Gardiner Place, Tel. 727777) prior to submitting this additional information.

02 The advertisement submitted does not accurately describe the proposed development. The house type proposed on the site is a "dormer bungalow" rather than a bungalow. The applicant is requested to submit a revised advertisement which accurately describes the proposed dormer bungalow.

03 The applicant is requested to state what the proposed finished floor levels of the dormer bungalow will be.



# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

*Richard Cimini SEP*

for Dublin Planning officer 19/2/92 Endorsed: *[Signature]* for Principal officer *[Signature]*

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : 20<sup>th</sup> FEBRUARY 1992

*[Signature]*  
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10<sup>th</sup> February 1992. *[Signature]*

Marjorie O'Shea.

EASTERN HEALTH BOARD

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date 14.02.92  
Time 11.11 A.C.

Reg. Ref: 91A 1778

Proposed: BUNGALOW AND SEPTIC TANK

At: 'LAUREL HILL' SPOUNING LANE RATHFRANHAM.

For: B J. MOLES.

Plans lodged: 11. Nov. 91.

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

These proposals are unacceptable to this section for the following reasons

- 1/ Percolation tests carried out on a section of the site failed (see report of 8/1/92 copy attached)
- 2/ Two trial holes inspected in the area to where the bio disc and percolation area is to be sited had a high water table level above that recommended in SAG 75. (see report of 3/12/91 copy attached)
- 3/ The siting of the percolation area does not comply with the distance requirements of SAG 75.
- 4/ The distance between the percolation area and the adjoining septic tank and percolation area is insufficient
- 5/ Method of disposal of surface water from dwelling, barn and stables not shown.
- 6/ The <sup>proposed location of the</sup> percolation area is under the driveway.

Sta Devine  
for John O'Keilly JRAO  
10/2/92

Colly Smith Env. Health Officer  
10 Feb 92

Maya O'Shea

EASTERN HEALTH BOARD

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
P. 14. 02. 92  
11.15

Reg. Ref: 91A | 1778

Proposed: BUNGALOW + SEPTIC TANK

At: LAUREL HILL STOCKING LANE RATHFRANKHAM

For: B & J HOLES

Plans lodged: 11. Nov 1991

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

On Monday 6th and Tuesday 7th January 1992 I supervised two percolation tests on the above site. Percolation test holes were located in the percolation area as shown in the revised plan (copy attached). Both percolation tests failed. Indeed the level of water had increased in one of the test holes.

These revised proposals are unacceptable to this section as the soil is unsuitable for the treatment & disposal of septic tank effluent.

See also previous reports.

John O'Shea Env. Health Officer  
8/1/92

Ma Devine  
for John O'Leilly 88116  
2/1/92

Register Reference : 91A/1778

Date : 14th November 1991

Development : Construct a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge

724896

LOCATION : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 11th November 1991

DUBLIN COUNTY COUNCIL  
15 NOV 1991  
ENVIRONMENTAL HEALTH  
OFFICE 2

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

*These proposals as submitted are unacceptable to this section for the following reasons.*

Yours faithfully,

*Two trial holes were injected on this site on 22/Nov/91*

.....  
for PRINCIPAL OFFICER

*One was open to a depth of 7ft and had a clearance above water table level of 5 1/2ft. The second trial hole was opened to a depth of 5 1/2ft and had a clearance above water table level of 3 1/2ft.*

- 1. The siting of the septic tank and percolation and reserve percolation areas does not follow the contours of the land and is sited uphill from the dwelling.*
- 2. The water table level in this part of the site is high. Percolation tests would be required to determine if this area of the site is suitable for the treatment & disposal of septic tank effluent.*
- 3. The septic tank and percolation areas are not shown to comply with 11AS SxO 1975.*
- 4. The septic tank and percolation areas are not the required distance from the dwelling.*
- 5. The distance between percolation pipes is less than 2m.*

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*John O'Reilly*  
*3/12/91*

*John O'Reilly* Env. Health Officer  
PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 14.02.92  
11-15  
9/12/91

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date 16.01.92  
Time 9.30 P.C.

EASTERN HEALTH BOARD

Reg. Ref: 91A | 1778

Proposed: BUNGALOW + SEPTIC TANK

At: "LAUREL HILL" STOCKING LANE RATHFRANKHAM

For: B4 J HOLES

Plans lodged: 11. Nov 1991

Architect:

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

On Monday 6<sup>th</sup> and Tuesday 7<sup>th</sup> January 1992 I supervised two percolation tests on the above site. Percolation test holes were located in the percolation area as shown in the revised plan (copy attached). Both percolation tests failed. Indeed the level of water had increased in one of the test holes.

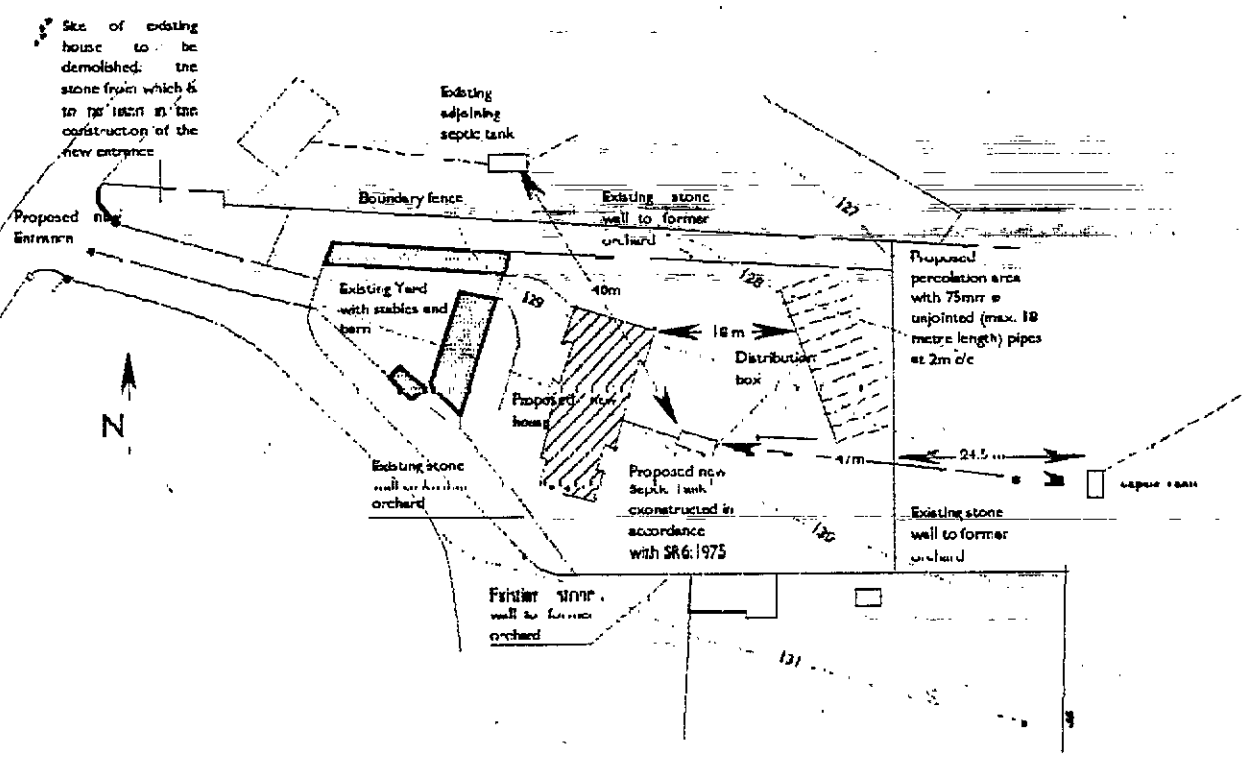
These revised proposals are unacceptable to this section as the soil is unsuitable for the treatment & disposal of septic tank effluent.

See also previous reports.

John Smyth Env. Health Officer  
8/1/92

Ma Devine  
for John O'Keilly EHO  
8/1/92

Recd next Dec 18<sup>th</sup>  
*B. Moles*

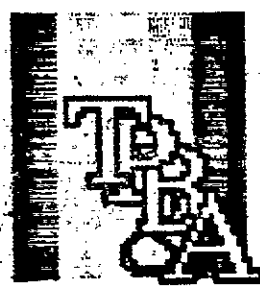


SITE PLAN 1:1000

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT.

Date ..... 16.01.92 .....

Time ..... 9.30 .....



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

**PROPOSED HOUSE AT 'LAUREL HILL',  
STOCKING LANE, CO. DUBLIN FOR MR.  
& MRS. B. MOLES.**

EMMAFIELD BRIDGE HOUSE  
38, UPPER CLANBRASSILL STREET  
DUBLIN 8

Drawing: REVISED SITE PLAN  
Drawing n° 91/25/17  
Scale: As noted

TELEPHONE 530320/1030 FAX 530331

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
© This drawing is copyright.

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A | 1778

Proposed: BUNGALOW + SEPTIC TANK

At: "LAUREZ HILL" STOCKING LANE RATHFRANKHAM

For: B + I HOLES

Plans lodged: 11. Nov 1991

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

On Monday 6<sup>th</sup> and Tuesday 7<sup>th</sup> January 1992 I supervised two percolation tests on the above site. Percolation test holes were located in the percolation area as shown in the revised plan (copy attached). Both percolation tests failed. Indeed the level of water had increased in one of the test holes.

These revised proposals are unacceptable to this section as the soil is unsuitable for the treatment & disposal of septic tank effluent.

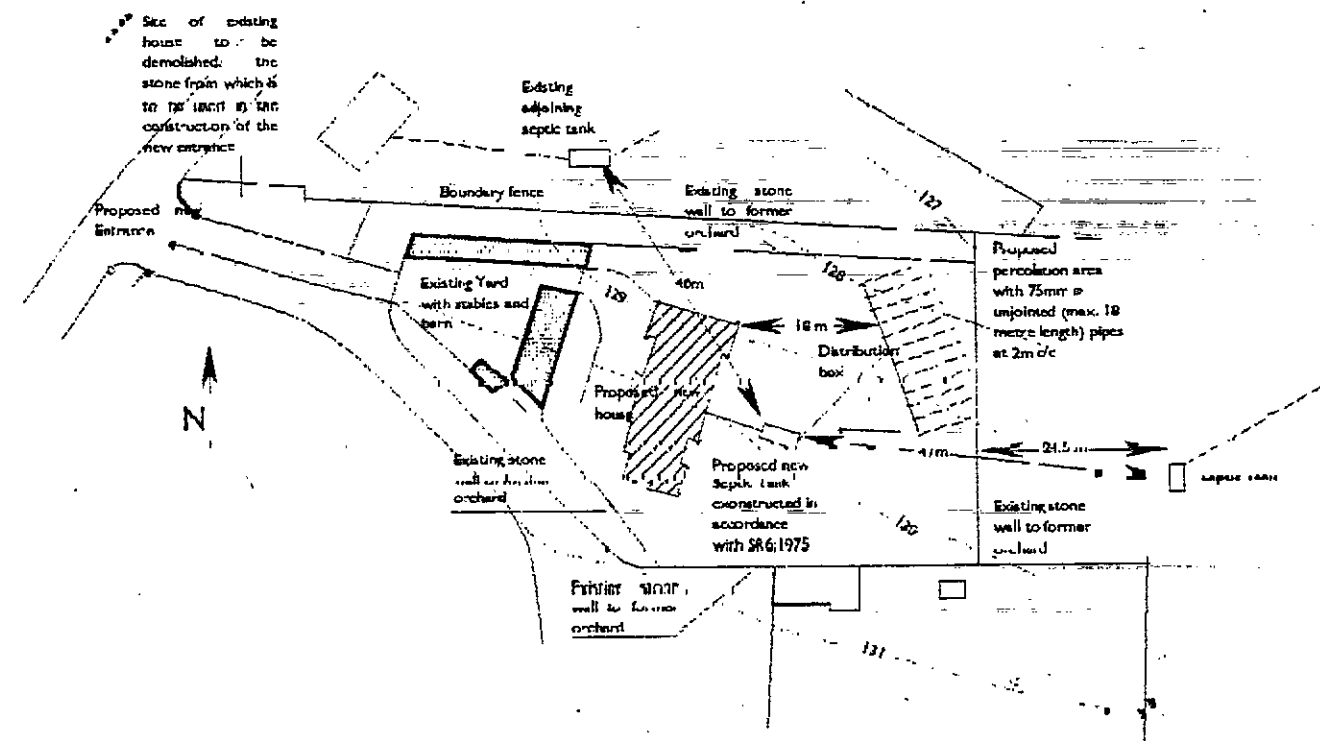
See also previous reports.

*John Smyth* Env. Health Officer  
8/1/92

*Ma Devine*  
for *John O'Reilly* SRHO  
2/1/92

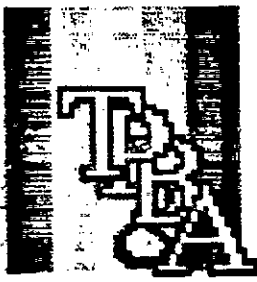
PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ..... 14. 01. 92
Time ..... 3.00

Rec'd 18th Dec 1992  
S. Byrnes



SITE PLAN 1:1000

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 14.01.92 .....  
Time ..... 3.00 .....



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

EMMAET BRIDGE HOUSE  
38, UPPER CLANBRASSILL STREET  
DUBLIN 8

TELEPHONE 530320/1030 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL',  
STOCKING LANE, CO. DUBLIN FOR MR.  
& MRS. B. MOLES.**

Drawing: REVISED SITE PLAN  
Drawing n<sup>o</sup>. 91/25/17  
Scale: As noted

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.

©This drawing is copyright.



Marjorie O'Shea.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1778.  
DEVELOPMENT: Replacement House.  
LOCATION: Stocking Lane.  
APPLICANT: Mr. & Mrs. Moles.  
DATE LODGED: 11.11.91.

The proposal is for a house with access onto Stocking Lane via a double recessed access shared with an existing property Laurel Hill.

The present access serving Laurel Hill is very substandard and the applicant's proposal to demolish the existing derelict house will not significantly improve vision. The sight line towards Scholarstown Road is particularly restricted and any improvement to be carried out would require works outside the site outlined in red.

Stocking Lane is substandard in alignment and Cross section at this location.

Therefore, permission should be refused as:-

1. Additional turning movements which would be generated by the proposed development at an access with very restricted vision would endanger public safety by reason of traffic hazard.

AMCS/BMCC  
13.12.91.

PLANNING DEPT. DEVELOPMENT CONTROL SECT Date ..... 17.12.91 ..... 3-45
---------------------------------------------------------------------------------

SIGNED: A. McStay  
DATE: 13/12/91

ENDORSED: G.P. Smith  
DATE: 16/12/91

Marjorie O'Shea

PLANNING DEPT.  
DEVELOPMENT CONTROL SECT  
Date ..... 06.12.91 .....  
Time ..... 12.30 .....  
Date : 14th November 1991

Register Reference : 91A/1778

Development : Construct a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge

LOCATION : "Laurel Hill", Stocking Lane

Applicant : B. & J. Moles

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 11th November 1991

DUBLIN COUNCIL  
15 NOV 1991  
ENVIRONMENTAL HEALTH  
OFFICE 3

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

*These proposals as submitted are unacceptable to this section for the following reasons.*

Yours faithfully,

*Two trial holes were inspected on this site on*

.....

for PRINCIPAL OFFICER

*22/Nov/91*

*One was open to a depth of 7ft and had a clearance above water table level of 5 1/2 ft. The second trial hole was opened to a depth of 5 1/2 ft and had a clearance above water table level of 3 1/2 ft.*

- 1. The siting of the septic tank and percolation and reserve percolation areas does not follow the contours of the land and is sited uphill from the dwelling.*
- 2. The water table level in this part of the site is high. Percolation tests would be required to determine if this area of the site is suitable for the treatment & disposal of septic tank effluent.*
- 3. The septic tank and percolation areas are not shown to comply with I.R.S S&B 1975.*
- 4. The septic tank and percolation areas are not the required distance from the dwelling.*
- 5. The distance between percolation pipes is less than 2mts.*

SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

*EN109 97a Devine for  
John O'Reilly SRHB  
3/12/91*

*John Smyth Env. Health Officer  
3/12/91*

**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

Proposed construction of a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge at "Laurel Hill", Stocking Lane for B. & J. Moles.

T. P. Byrne & Associates,  
Emmet Bridge House,  
38, Upper Clanbrassil Street,  
Dublin 8.

Reg. Ref. 91A-1778  
Appl. Rec'd: 11.11.1991  
Floor Area: 278 sq. m.  
Site Area:  
Zoning: B

Report of the Dublin Planning Officer, dated 19 December 1991

This is an application for PERMISSION for construction of a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge at "Laurel Hill", Stocking Lane.

In accordance with Section 10(a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority. *No fee has been received to date.*

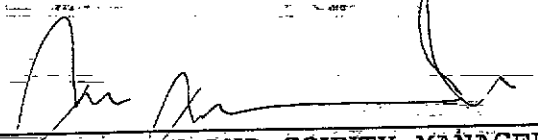
Accordingly, I recommend that no decision be made on this planning application.

Applicant to be informed accordingly.

Endorsed:-   
for Principal Officer

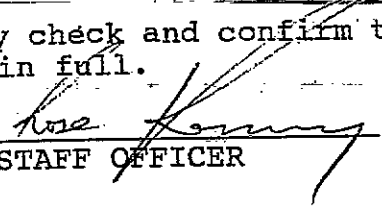
Order:- NOTED.

Dated: *20th* December, 1991.

  
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated *10th December*, 1991.

NOTE: I have carried out the necessary check and confirm that the required fee has not been paid in full.

  
STAFF OFFICER



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 1714 /92 Date of Decision : 15th April 1992

Register Reference : 91A/1778 Date Received : 8th April 1992

Applicant : B. & J. Moles

Development : Construct a dormer bungalow, septic tank and new  
entrance gates and remove existing derelict gate lodge

Location : "Laurel Hill", Stocking Lane

Floor Area : Sq. Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : 200292//080492

In pursuance of its functions under the above mentioned Acts, the Dublin  
County Council, being the Planning Authority for the County Health  
District of Dublin, did by Order dated as above make a decision to  
GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- <sup>8</sup>.....ATTACHED.

Signed on behalf of the Dublin County Council.....  
for Principal Officer

Date:.....  
P/4/92

T.P. Byrne & Associates,  
Emmet Bridge House,  
38 Upper Clanbrassil Street,  
Dublin 8

Reg.Ref. 91A/1778  
Decision Order No. P/ 1714 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 8th April 1992 save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.  
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.  
REASON: To prevent unauthorised development.
- 04 That the water supply arrangements be in accordance with the requirements of the Sanitary Services Department.
- 04 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 05 That the requirements of the Supervising Environmental Health Officer be complied with. In this regard:-  
(a) The proposed development is to comply with recommendations laid down in SR6 1991 with regard to septic tank development.  
(b) The percolation area is to be located at a minimum distance of 20 metres from the proposed house.  
(c) The percolation area is not to be located under the driveway.
- NOTE: The applicant should note that percolation tests carried out on the site determined that 48 metres of percolation piping and 48 metres of reserve percolation piping are required.
- 05 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 06 That obscure glazing be used in the side velux roof light serving Bedroom No. 6.  
REASON: In the interest of residential amenity.
- 07 That the disposal of surface water is to be in accordance with the requirements of the Planning Authority.
- 07 REASON: In the interest of the proper planning and development of the area.
- 08 Heating to be provided by the use of either oil, gas, electricity or by



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Reg.Ref. 91A/1778  
Decision Order No. P/ 1714 /91

Page No: 0003

smokeless fuels in fireplaces or appliances suitable only for burning  
solid smokeless fuels.

REASON: In the interest of reducing air pollution. NOTE: The applicant  
should note that the gable wall of the existing gate lodge which it is  
proposed to use as a boundary wall may be reduced to 2 metres in height,  
if required.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Register Reference : 91A/1778

Date : 9th April 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Construct a dormer bungalow, septic tank and new  
entrance gates and remove existing derelict gate lodge

LOCATION : "Laurel Hill", Stocking Lane

APPLICANT : B. & J. Moles

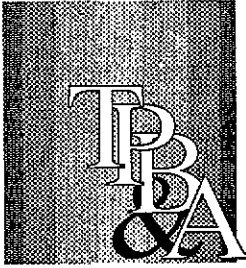
APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information  
received on 8th April 1992.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

T.P. Byrne & Associates,  
Emmet Bridge House,  
38 Upper Clanbrassil Street,  
Dublin 8



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

EMMET BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8

TELEPHONE 530320/10/30 FAX 530331

18 APR

**Dublin County Council**  
Planning Department  
Irish Life Centre  
Abbey St. Lr.  
Dublin 1

91A/1778  
1.4.0  
A.I.

3rd April 1992

**Construct a dormer bungalow, septic tank and new entrance gates and remove existing gate lodge at 'Laurel Hill', Stocking Lane. As requested 20th February 1992. Reg. ref. n<sup>o</sup> 91A/1778**

Dear Sir/Madam,

I enclose herewith, in quadruplicate, additional information as requested regarding the above.

Yours faithfully,

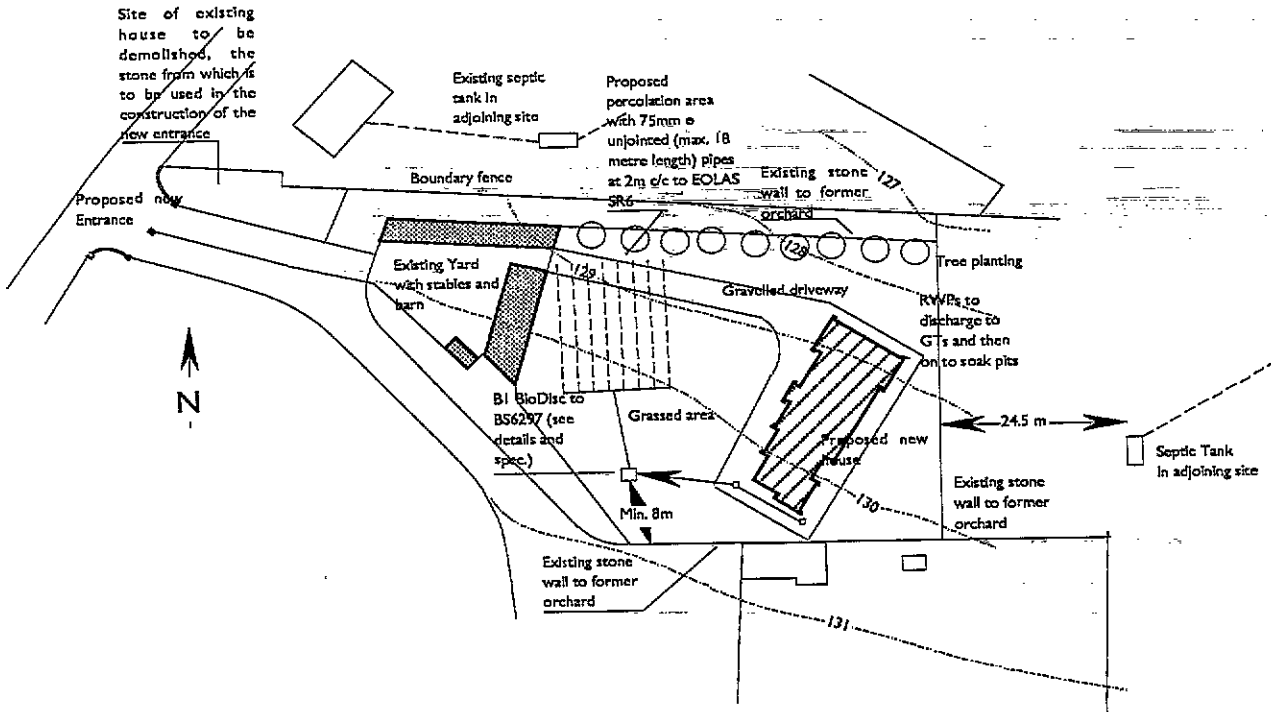
Tom Byrne Dip. Arch. Tech. MAI (Tech.)

Irish Press 1/4/92

CO. DUBLIN Planning permission being sought to construct a dormer bungalow, septic tank and new entrance gates and to remove existing dormer gate lodge at 'Laurel Hill', Stocking Lane. B & J Moles

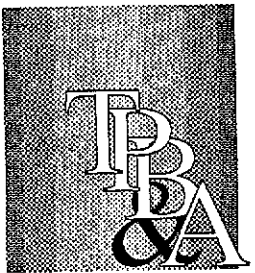
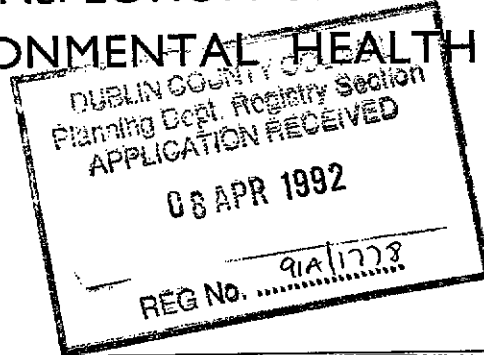


Floor levels:  
 Ground Floor Level=130.30  
 First Floor Level = 133.00



REVISED SITE PLAN FOLLOWING INSPECTION OF TRIAL HOLES PREPARED FOR ENVIRONMENTAL HEALTH OFFICER, MARCH 1992

1:1000



T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS

EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8

TELEPHONE 530320/10/30 FAX 530331

PROPOSED HOUSE AT 'LAUREL HILL', STOCKING LANE, CO. DUBLIN FOR MR. & MRS. B. MOLES

Drawing: SECOND REVISED SITE PLAN

Drawing n°: 91/25/18

Scale: As noted

Date: 16th January 1992

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.

©This drawing is copyright.



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street.  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Decision Order Number : P/ 0752 /92 Date of Decision : 20th February 1992

Register Reference : 91A/1778 Date Received : 11th November 1991

Applicant : B. & J. Moles

Development : Construct a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge

Location : "Laurel Hill", Stocking Lane

Dear Sir/Madam,

With reference to your planning application, received here on 11.11.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

- 01 The proposed drainage arrangements are unacceptable to the Supervising Environmental Health officer on the grounds that:
  - (a) percolation tests carried out on the site failed.
  - (b) the water table level is above that recommended in IIRS SR6 1975 on that part of the site where it is proposed to locate a biodisc and percolation area.
  - (c) the siting of the percolation area does not comply with the distance requirements laid down in SR6 1975.
  - (d) an insufficient distance is maintained between the proposed percolation area and adjoining septic tanks and percolation areas.
  - (e) the proposed percolation area is located under the proposed driveway.
  - (f) the applicant has not indicated proposed method of disposal of surface water from the dwelling.

The applicant is requested to indicate if he is prepared to modify the proposed drainage arrangements so as to demonstrate that they are in accordance with the requirements of the Supervising Environmental Health Officer, and specifically in accordance with the recommendations laid down in IIRS SR6 1991 available from EOLAS. If the applicant is so

T.P. Byrne & Associates,  
Emmet Bridge House,  
38 Upper Clanbrassil Street,  
Dublin 8



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

Reg.Ref. 91A/1778

Decision Order No. P/ 0752 /91

Page No: 0002

prepared he is requested to submit details showing this.

NOTE: The applicant should note that revised drainage arrangements may necessitate the relocation of the proposed house on the site. The applicant is advised to consult with the Supervising Environmental Health Officer for the area (33 Gardiner Place, Tel. 727777) prior to submitting this additional information.

02 The advertisement submitted does not accurately describe the proposed development. The house type proposed on the site is a "dormer bungalow" rather than a bungalow. The applicant is requested to submit a revised advertisement which accurately describes the proposed dormer bungalow.

03 The applicant is requested to state what the proposed finished floor levels of the dormer bungalow will be.

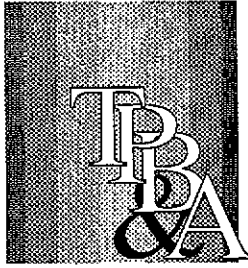
Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'D. J. ...', written over a dotted line.

PRINCIPAL OFFICER

Date : 21/2/92



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

EMMET BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8

TELEPHONE 530320/10/30 FAX 530331

Dublin County Council  
Planning Department  
Irish Life Centre  
Abbey St. Lr.  
Dublin 1

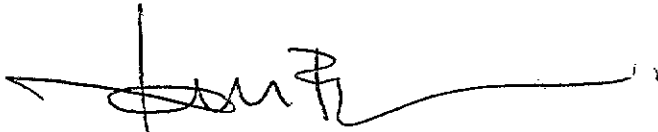
16th January 1992

**House at 'Laurel Hill', Stocking Lane, Co. Dublin for Mr. & Mrs. B. Moles**

Dear Sir or Madam,

We enclose 2 n<sup>o</sup> copies of revised Site Plan and specifications for a domestic-sized sewage treatment plant proposed to be used on the site.

Yours faithfully,

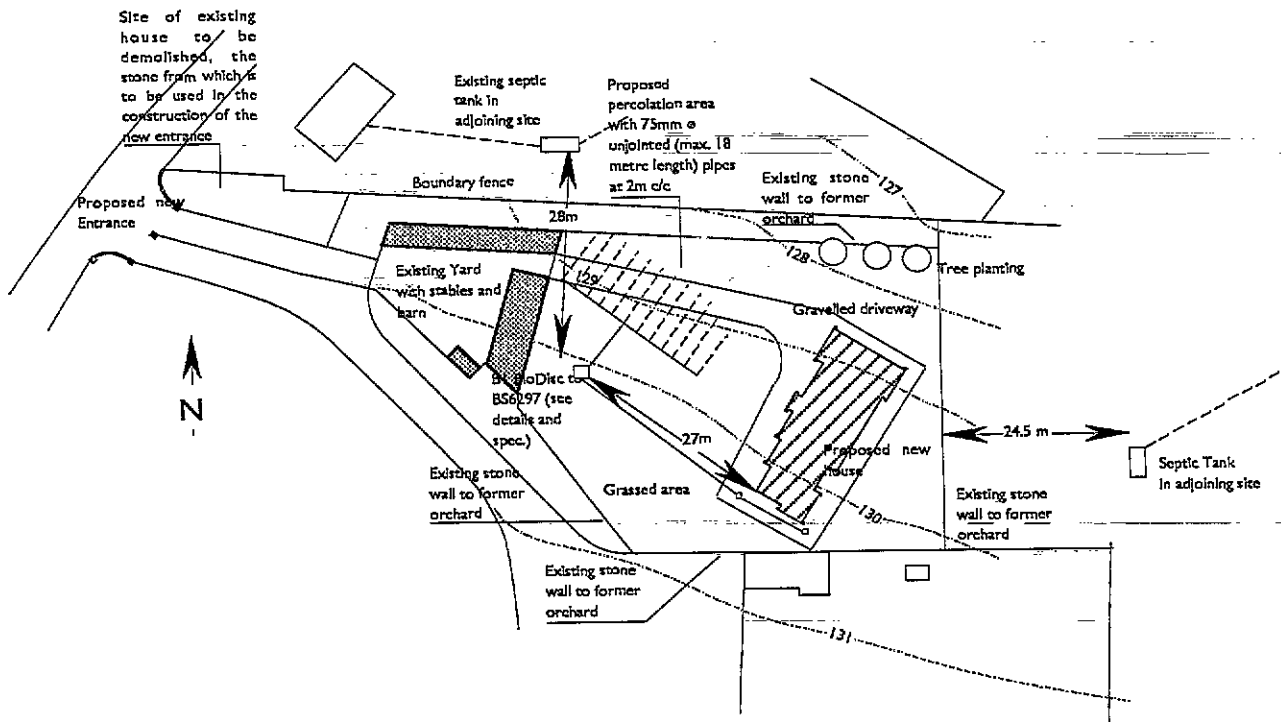
  
\_\_\_\_\_  
Tom Byrne Dip. Arch. Tech. RIAI (Tech.)

91A/1778

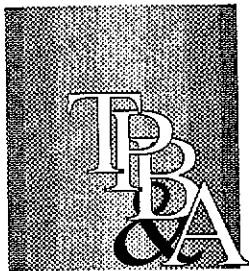
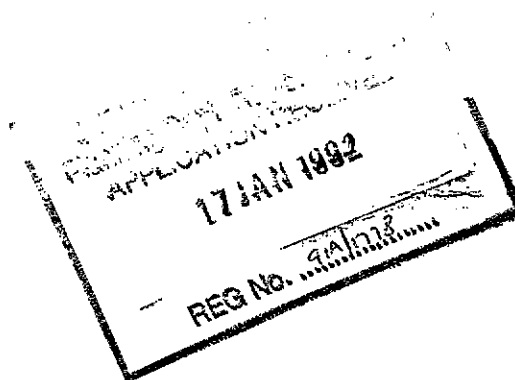
1.2.0.2

Mark A.1

17. JAN 92



SITE PLAN 1:1000



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

EMMET BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8

TELEPHONE 530320/10/30 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL',  
STOCKING LANE, CO. DUBLIN FOR MR.  
& MRS. B. MOLES.**

Drawing: SECOND REVISED SITE PLAN

Drawing n<sup>o</sup>: 91/25/18

Scale: As noted

Date: 16th January 1992

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.

©This drawing is copyright.

30

5. Specification

REG No. 1711/1982

BioDisc RBC Specification to BS6297

UNIT SIZE		B1	B2	B2/15	B3	B4	B5	B6	B7	B8	B9	B10	B11	B12	B13	
POP. EQUIVALENT		5	10	15	25	35	50	65	80	100	125	150	200	250	300	
LENGTH	mm	1950	3300	3300	3100	3800	4500	4050	4950	5400	6750	6420	7780	9130	11890	
WIDTH	mm	1700	1700	1700	2170	2170	2170	2700	2700	2700	2700	3200	3200	3200	3200	
O.A. HEIGHT	mm	2305	2305	2305	2780	2780	2780	3230	3230	3230	3230	3680	3680	3680	3680	
FLANGE HEIGHT	mm	2005	2005	2005	1925	1925	1925	2175	2175	2175	2175	2625	2625	2625	2625	
PIPEWORK	Dia mm	110	110	110	110	110	110	110	110	160	160	160	160	160	160	
MEDIA AREA	m <sup>2</sup>	56	80	120	200	280	400	520	680	804	1090	1256	1626	1979	2521	
RECYCLERATE	m <sup>3</sup> /h				0.16	0.20	0.20	0.20	0.30	0.40	0.50	1.20	1.80	1.80	1.80	
EMPTY WEIGHT	Tonnes	0.35	0.70	1.00	1.30	1.70	1.95	2.10	2.70	3.10	4.00	5.00	5.50	6.40	8.50	
FULL WEIGHT	Tonnes	2.40	4.50	6.20	9.50	11.80	14.20	17.80	22.30	24.60	31.40	40.00	48.50	57.00	81.00	
DESLUDGING PERIOD	Vol M <sup>3</sup>	0.90	1.60	2.4	3.40	3.80	4.90	5.20	6.50	6.30	8.15	14.0	15.5	17.6	24.0	
	Days	340	340	340	170	130	130	110	85	70	70	60	60	60	60	
TANK DETAILS	P.S.T. VOLUME m <sup>3</sup>	1.17	2.10	3.15	5.25	6.10	7.20	8.20	10.50	11.00	14.20	18.1	21.7	25.2	39.0	
	BIOZONE VOLUME m <sup>3</sup>	0.31	0.60	0.60	1.10	1.30	1.70	2.40	2.90	3.30	4.30	5.70	7.00	8.60	10.60	
	F.S.T. VOLUME m <sup>3</sup>	0.37	0.75	1.12	1.30	2.00	2.30	3.50	4.20	4.80	5.60	7.50	9.40	11.10	15.20	
	F.S.T. SURFACE AREA m <sup>2</sup>	0.52	0.09	1.13	1.09	1.69	1.64	2.47	2.97	3.35	3.91	4.20	5.40	6.40	7.20	
DRIVE DETAILS	ROTOR	Kw	0.04	0.04	0.04	0.04	0.15	0.15	0.15	0.25	0.25	0.25	0.55	0.55	0.55	0.75
	OUTPUT SPFFD	rpm	5.80	5.80	5.80	2.50	2.90	2.90	2.90	2.90	3.00	3.00	3.00	3.00	3.00	
	ROTOR SPEED	rpm	1.16	1.16	1.16	1.3	1.3	1.3	1.3	1.3	1.3	1.3	1.0	1.0	1.0	1.0
BEARING SIZE	mm	25	25	25	40	40	40	60	60	60	60	80	80	80	80	

All sludge storage periods assume that primary sludge is retained (at 5% solids content in the sludge and 100% plant utilization).

**Klargester**

## 5. Specification

### Bearings and Drive

The shaft is supported at each end on self-aligning spherical roller bearings. The bearing at the driven end is a fixed type, and the bearing at the non-driven end is an expansion type. The bearings incorporate a synthetic rubber lip seal to avoid ingress of moisture and dust into the bearing races. The bearings are designed for 100,000 hrs: 1 minimum life (300,000 hrs average life) of continuous duty at RBC rotational speeds of approximately 1-1.5 rpm. *Some of the smaller units are fitted with dry running elastomer bearings.*

The RBC is driven round at approximately 1-1.5 rpm by an integral geared motor via a chain and pinion drive, or peripherally by drive wheel and cog. The drive motor is totally enclosed, fan cooled, squirrel cage, induction type and is to IP65 enclosure. The motor is rated for continuous duty. The gearbox has all helical type gears and is designed for continuous duty to deliver the rated torque. Larger units are driven by direct shaft mounted helical gear reducers.

### Electrical Control Panel

The Klargestar standard starter is a basic unit consisting of components to connect, isolate and protect the drive motor and circuit, a loss of rotation alarm module can be added as an optional extra when specified.

The components protection is achieved by the use of bimetal trip (thermal) short circuit protection by instantaneous magnetic trips. Overall size of enclosure is: 300 x 300 x 135mm and mounted on steel tubular legs to allow for mounting on concrete base.

Both single and three phase electrics are available.

### B1 BIODISC

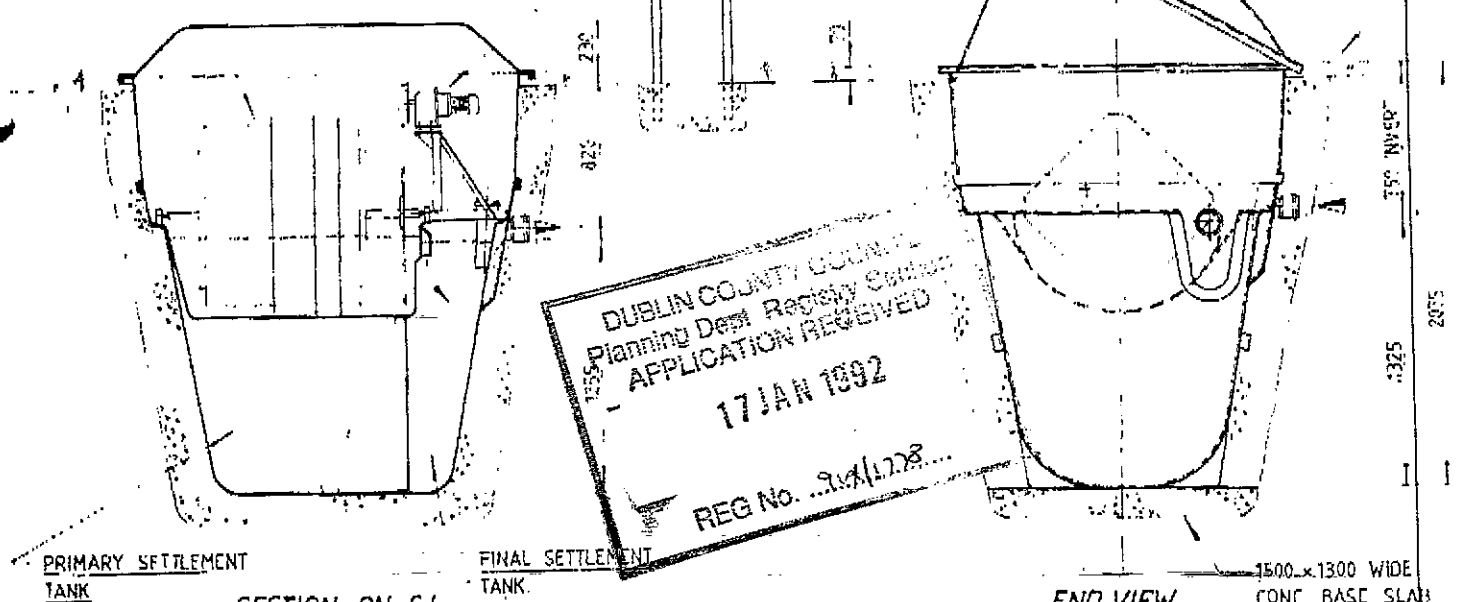
FREE STANDING OR WALL MOUNTED CONTROL PANEL

REMOVABLE GRP COVER

ROTATING MEDIA

DRIVE MOTOR/GEARBOX

EXCAVATION DIMENSIONS  
2150 (G) x 1900 MIN



DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Services  
APPLICATION RECEIVED  
17 JAN 1992  
REG No. ...814/1728...





# COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY    
 CASH    
 CHEQUE    
 M.O.    
 B.L.    
 I.T.

DUBLIN COUNTY COUNCIL   
 46/49 UPPER O'CONNELL STREET   
 DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee.   
 N 54371

£ 40.00

Received this 15th day of January 1978   
 from T.P. Byrne = Assoc.   
 38 Upper Clonbrasil St,   
 D.8

the sum of forty \_\_\_\_\_ Pounds

fee on 91A/1778

Balance being

Noelene Deane Cashier

S. CAREY Class 11 Principal Officer

T. P. Byrne & Assocs.,  
Emmet Bridge House,  
38, Upper Clanbrassil Street,  
Dublin 8.

91A-1778

19 December 1991

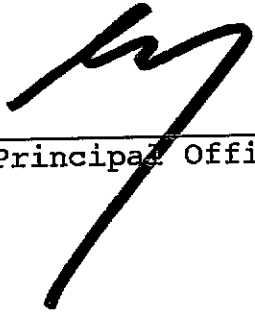
Re: Proposed construction of a bungalow, septic tank and new entrance gates and to remove existing derelict gate lodge at "Laurel Hill", Stocking Lane for B. & J. Moles.

Dear Sir,

With reference to your planning application received here on 11th November, 1991, in connection with the above, I wish to inform you that:-

In accordance with Section 10(2a) of the Local Government (Planning and Development) Act, 1982, it is not proposed to determine this planning application as the correct prescribed fee in respect of this planning application has not been submitted to the Planning Authority.

Yours faithfully,

  
\_\_\_\_\_  
for Principal Officer.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/1778

Date : 12th November 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, <sup>Our Ref.</sup> 1963 TO 1990

~~Your Ref.~~

Date

Dear Sir/Madam,

DEVELOPMENT : Construct a bungalow, septic tank and new entrance  
gates and to remove existing derelict gate lodge

LOCATION : "Laurel Hill", Stocking Lane

APPLICANT : B. & J. Moles

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 11th November 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

T.P. Byrne & Associates,  
Emmet Bridge House,  
38 Upper Clanbrassil Street,  
Dublin 8



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place/ in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building "LAUREL HILL", STOCKING LANE, CO. DUBLIN  
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) MR. & MRS. BERNARD MOLES  
Address..... Tel. No.....

4. Name and address of T.P. BYRNE & ASSOCIATES, EMMET BRIDGE HOUSE,  
person or firm responsible 38 UPR, CLANPARCEL ST., DUBLIN 8 Tel. No. 530320  
for preparation of drawings

5. Name and address to which T.P. BYRNE & ASSOCIATES  
notifications should be sent AS ABOVE

6. Brief description of CONSTRUCTION OF BUNGALOW & SEPTIC TANK, DEMOLISH EXISTING  
proposed development GATE LODGE, & CONSTRUCTION OF NEW ENTRANCE GATES

7. Method of drainage SEPTIC TANK 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-  
(a) Present use of each floor or use when last used N/A  
(b) Proposed use of each floor N/A DOMESTIC

CO DUBLIN Planning permission being sought to construct a bungalow, septic tank and new entrance gates and to remove existing detached gate lodge at Laurel Hill, Stocking Lane, B and J Moles.

Shil  
has  
6/11/91

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? YES

11.(a) Area of Site (.8 ACRE APP.) 278 (GROSS) 1355  
(b) Floor area of proposed development 1355  
(c) Floor area of buildings proposed to be retained within site N/A

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13.Are you now applying also for an approval under the Building Bye Laws? Yes  No  Place  in appropriate box.

RECEIVED  
11 NOV 1991  
Reg Sec

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
AS FAR AS POSSIBLE

15.List of documents enclosed with application. PEE CHECKS, NEWSPAPER AD, 4 NO. COPIES  
SITE LOCATION MAP, SITE PLAN, PLANT SECTIONS, ELEVATIONS  
2 NO. COPIES SPECIFICATION.

16.Gross floor space of proposed development (See back) 278 (GROSS) 1355

No of dwellings proposed (if any) 1 Class(es) of Development 1355  
Fee Payable £. 87 Basis of Calculation 1RE 32 FOR PLANNING / LESSER BBL  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 8/11/91

Application Type PIB FOR OFFICE USE ONLY

Register Reference 910/1378 1.52.2 11/11

Amount Received £. 22-14

Receipt No 22-14

Date

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum		(improvement/alteration)	£30.00 each
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	C	Building — Office/ Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	E	Petrol Filling Station	£200.00
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
8.	Petrol Filling Station.	£100.00			Min. Fee £30.00
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)			Max. Fee £20,000
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

# COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY **DUBLIN COUNTY COUNCIL**  
46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION.

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

REC. NO 50582

€55.00

Received this 11th day of November 1991

from TP Byrne & assoc  
Emmet Bridge House, 38 Upper Clabrossil Street

the sum of fifty five Pounds

Pence, being 60 1/2

Application at Laurel Hill, Stocking Lane

Michael O'N Cashier

**S. CAREY**  
Principal Officer

Glass  
1/10/91

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

of this receipt is not an acknowledgment that the money is the property of the Council

CASH

CHEQUE

M.O.

B.L.

I.T.

N. 51154

€3200

Received this

11th day of November 1981

from

TP Byrne & Assoc  
Emmet Bridge House, 38 Upper Clonross Street

the sum of

Three thousand

Pounds

application at Laurel Hill, Sodas Lane  
Pence, being for AJ planning

Michael O'K

Cashier

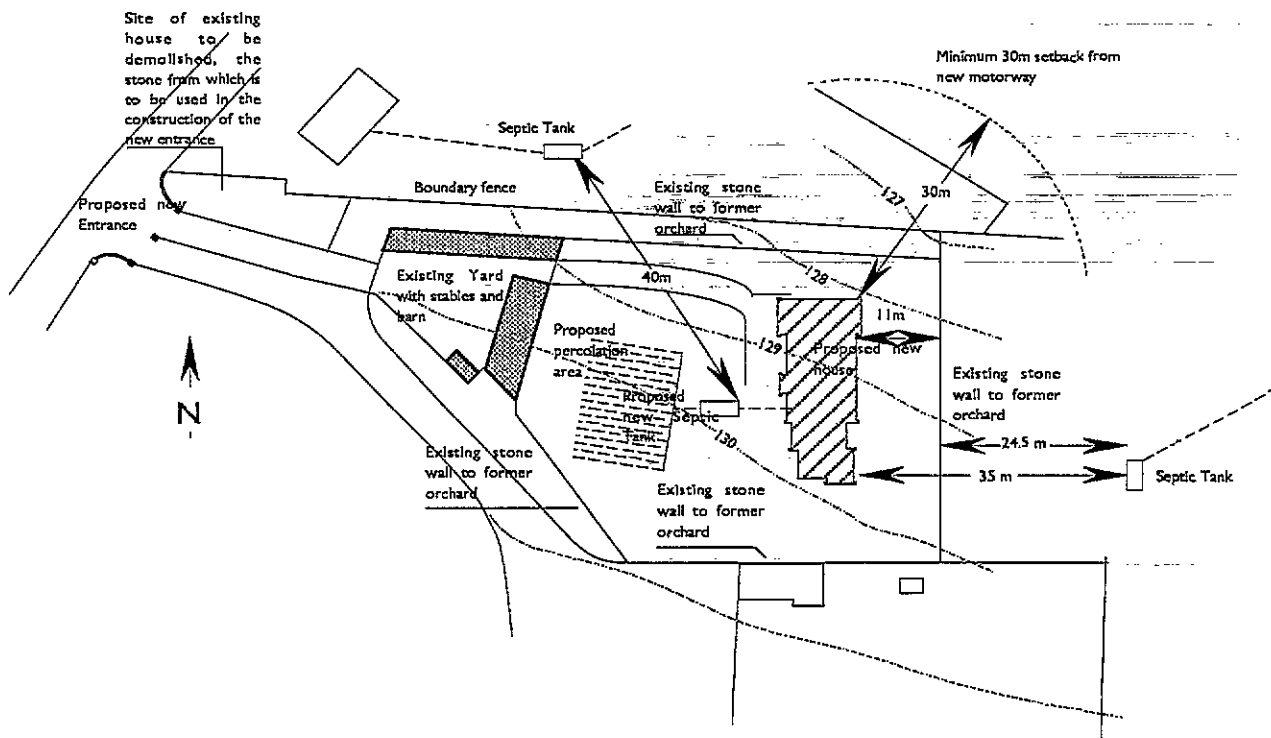
S. CAREY

Principal Officer

11620

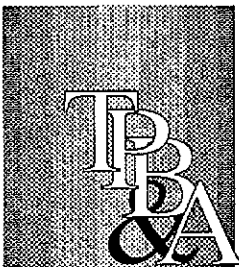






SITE PLAN 1:1000

DUBLIN COUNTY COUNCIL  
 Planning and Registry Section  
 APPLICATION RECEIVED  
 1 NOV 1991  
 REG No. 91A/1778



T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL',  
 STOCKING LANE, CO. DUBLIN FOR MR.  
 & MRS. B. MOLES.**

Drawing: SITE PLAN  
 Drawing n<sup>o</sup>: 91/25/01  
 Scale: As noted

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
 ©This drawing is copyright.

COUNTY COUNCIL  
 Planning & Property Section  
 APPLICATION RECEIVED  
 17 NOV 1991  
 REF No. 91A/1178.....

Sand/cement render.  
 Cut limestone  
 chimney stacks

White self-finish render

Lead flashing

Precast concrete coping  
 on D.P.C.  
 Provide 50mm stainless  
 steel angle every third  
 stone to ensure rigid  
 fixing.

Patent white UPVC  
 double glazed  
 conservatory

Precast concrete  
 cill with D.P.C.  
 under and behind.

Cut limestone  
 outer leaf.

150 550 2075

40°

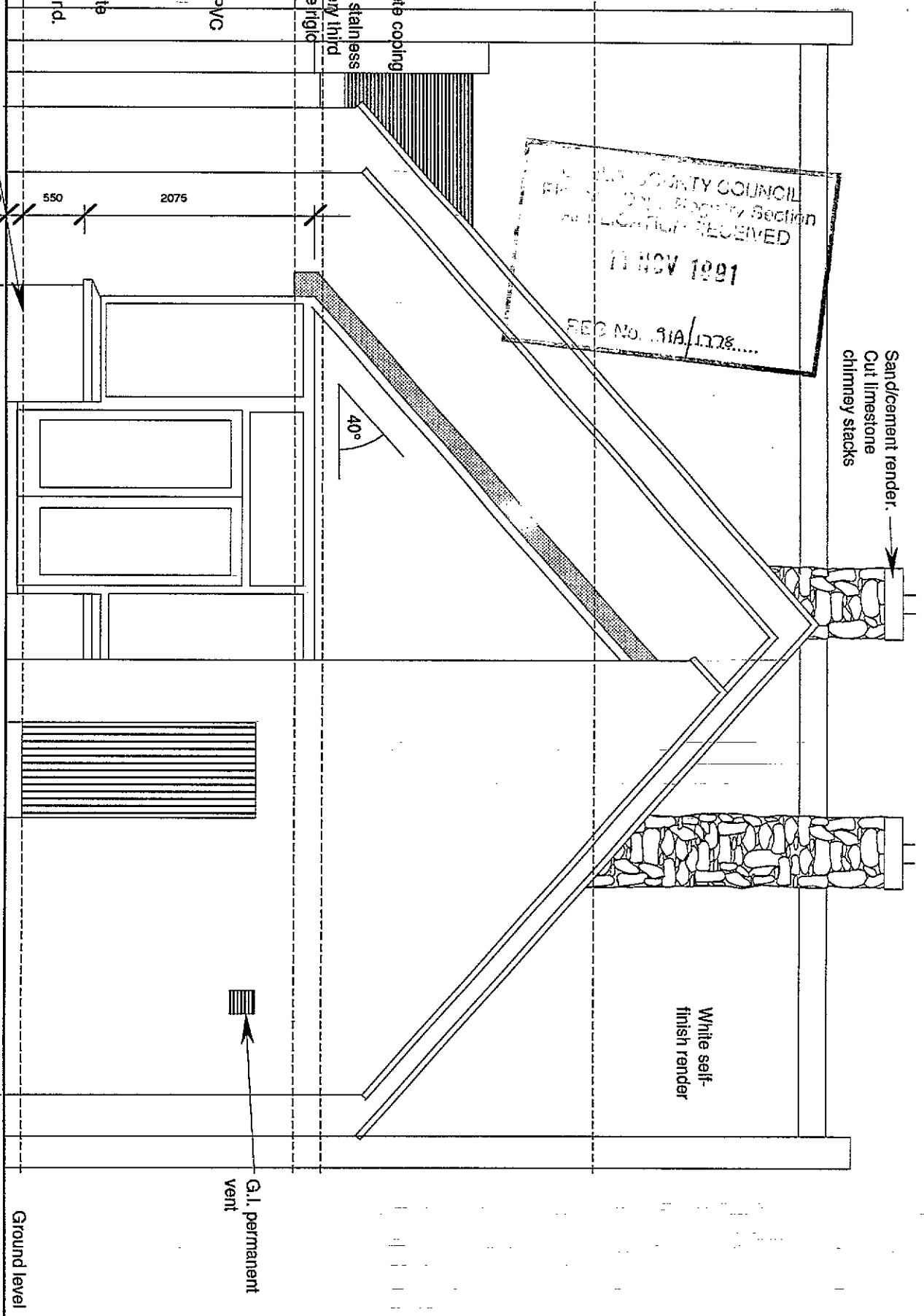
1hr fire protected door to boiler room

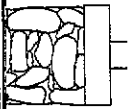
G.I. permanent vent

Ground level

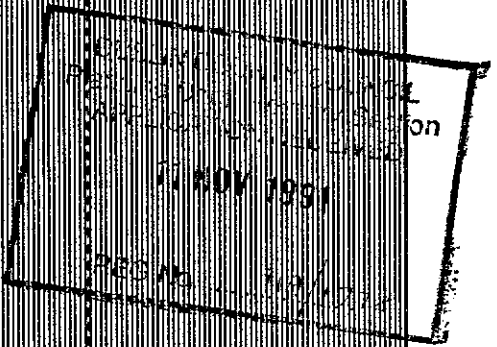
In-situ concrete strip  
 foundation with reinforcing  
 mesh top & bottom

**SIDE ELEVATION (1:50)**





Sand/cement render.  
Cut limestone chimney stacks



Precast concrete coping on D.P.C.  
Provide 50mm stainless steel angle every third stone to ensure rigid fixing.

25mm marine ply fascia and soffit boards

100mm Ø P.V.C. half round gutter

White P.V.C. windows

Ground level

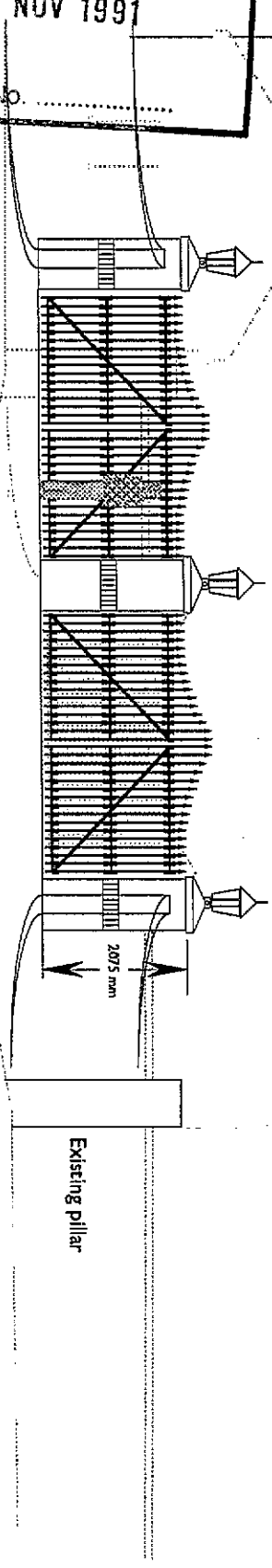
In-situ concrete strip foundation with reinforcing mesh top & bottom

**SIDE ELEVATION (1:50)**

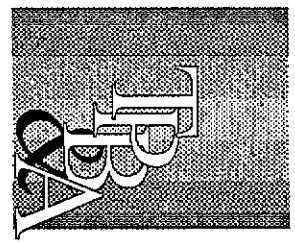
Re-use existing gable wall of house as boundary wall

DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 11 NOV 1991

225mm concrete blockwork	solid	Gates formed from MS flats and solid rods with cast arrowheads and twists	Reinforced concrete pillars, faced with random rubble from demolished gate-lodge with rustic brick bands and cut granite cappings.
wing walls faced with random rubble	taken from		
demolished gate-lodge and cut granite cappings.			



**ELEVATION TO STOCKING LANE 1:100**



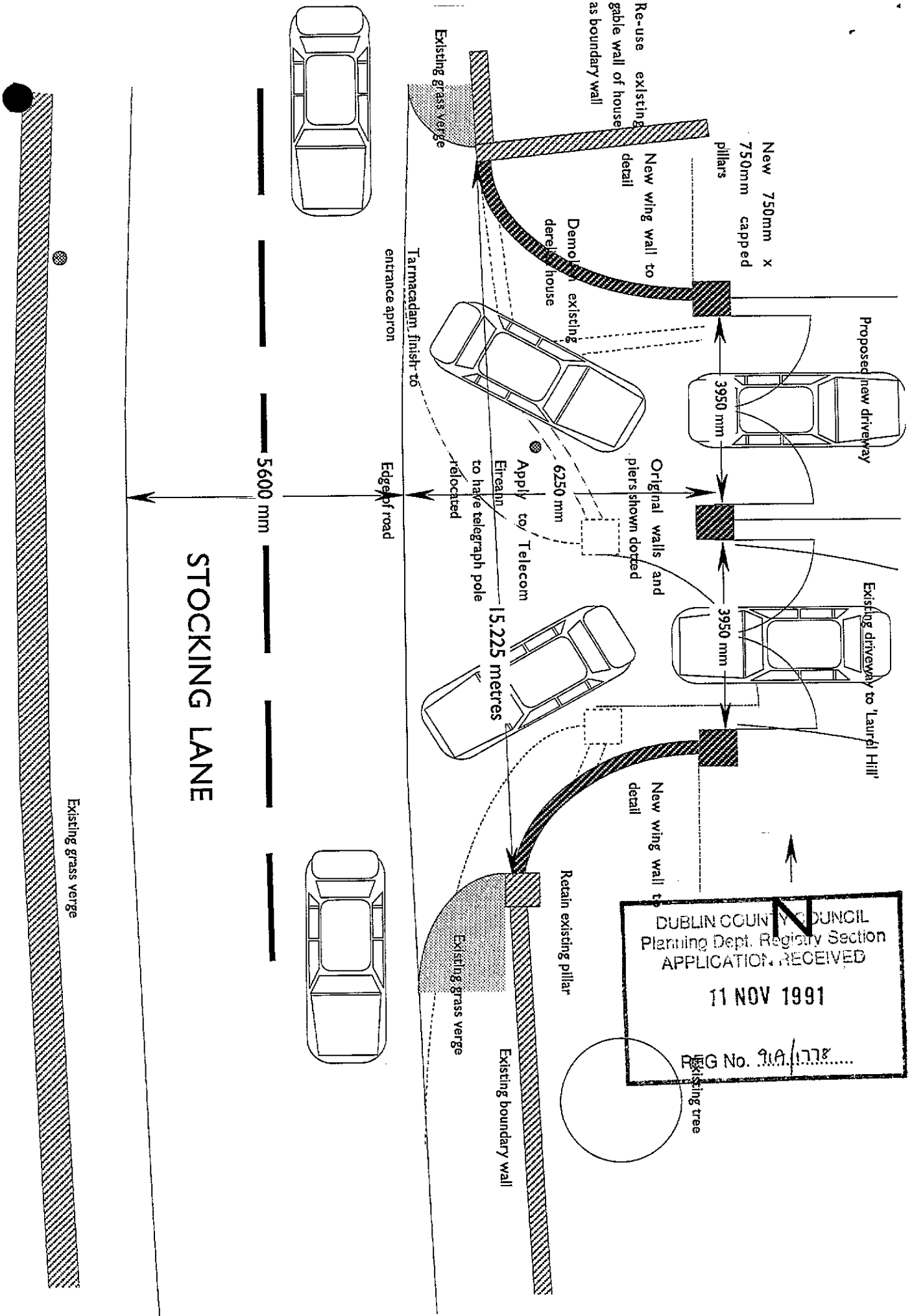
T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL',  
 STOCKING LANE, CO. DUBLIN FOR MR.  
 & MRS. B. MOLES.**

Drawing: Proposed new Entrance Gates  
 Drawing n<sup>o</sup>: 91/25/15  
 Scale: As noted

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
 ©This drawing is copyright.

PLAN 1:100

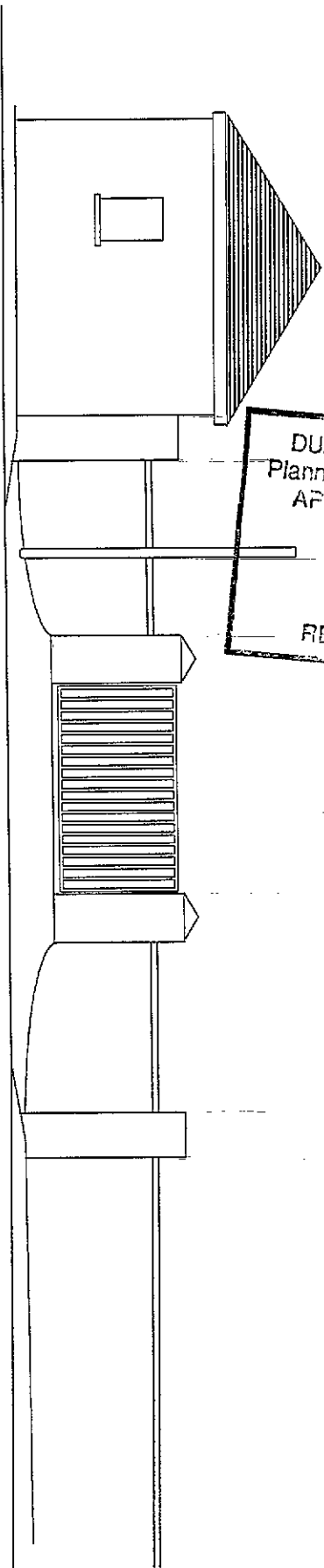


STOCKING LANE

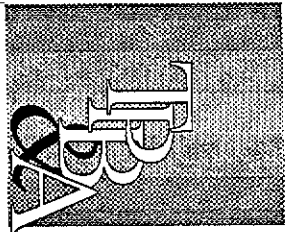
Existing grass verge

DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
11 NOV 1991  
FIG No. 91A/1778

DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
11 NOV 1991  
REG. No. ....



**ELEVATION 1:100**



TELEPHONE 530320/10/30 FAX 530331

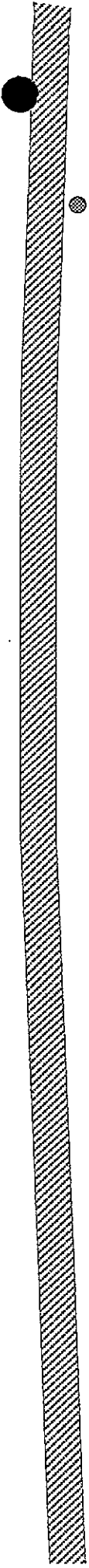
T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS  
EMMETT BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8

**PROPOSED HOUSE AT 'LAUREL HILL',  
STOCKING LANE, CO. DUBLIN FOR MR.  
& MRS. B. MOLES.**

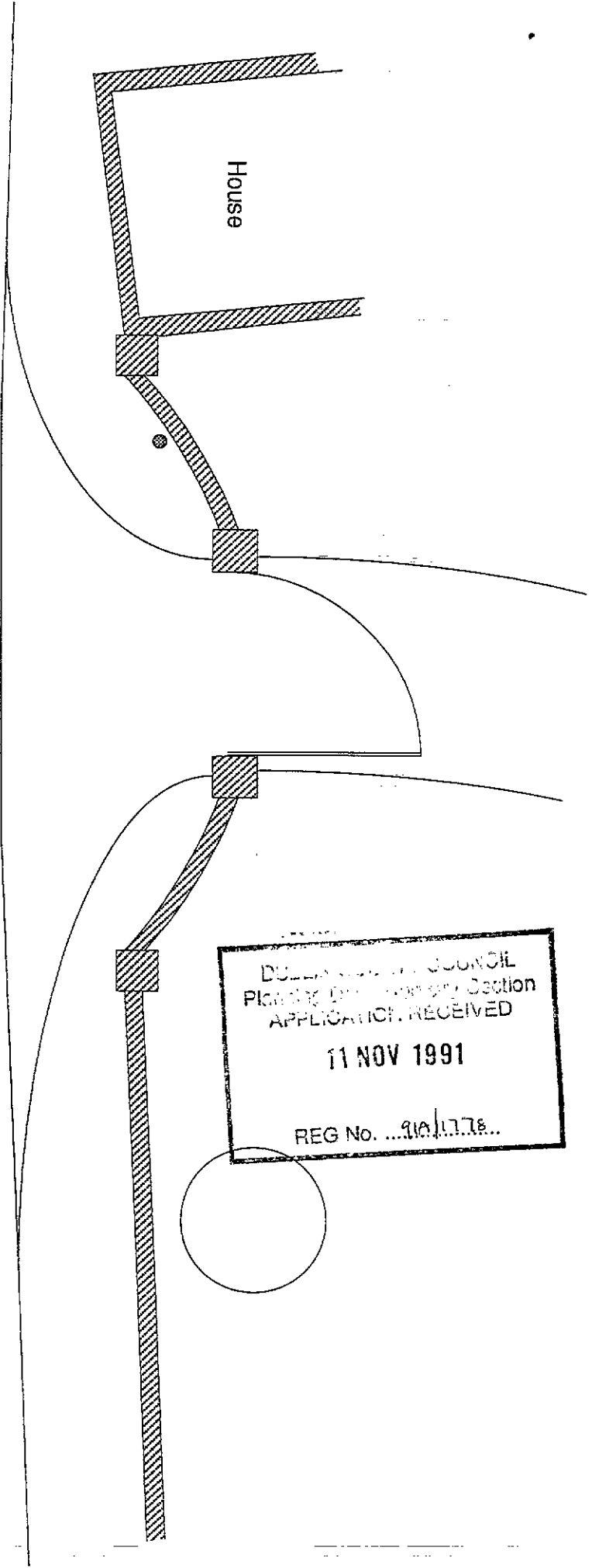
Drawing: Existing Entrance Gates  
Drawing n°: 91/25/14  
Scale: As noted

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
©This drawing is copyright.

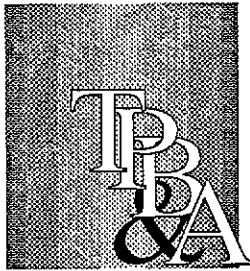
PLAN 1:100



STOCKING LANE



DUBLIN CITY COUNCIL  
Planning Department Section  
APPLICATION RECEIVED  
11 NOV 1991  
REG No. ...916/1778...



T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS

EMMET BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8

TELEPHONE 530320/10/30 FAX 530331

SPECIFICATION

*of*

WORKMANSHIP AND MATERIALS

*for*

PROPOSED CONSTRUCTION OF BUNGALOW

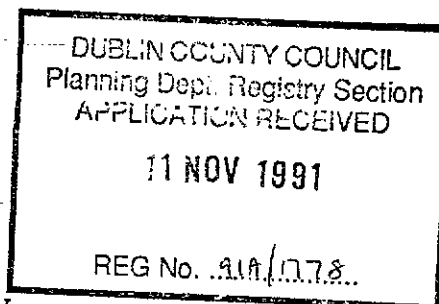
*at*

'LAUREL HILL'  
STOCKING LANE  
CO. DUBLIN

*for*

MR. & MRS. B. MOLES

OCTOBER 1991





*Table of Contents*

- A. DESIGN AND CLIENT TEAM
- B. APPENDIX DETAILS
- C. GENERAL SPECIFICATION

DESIGN AND CLIENT TEAM:

A

Client:

**MR. & MRS. B. MOLES**

Architectural Consultants:

**T. P. Byrne & Associates**

**Emmet Bridge House**

**38, Upper Clanbrassil Street**

**Dublin 8**

APPENDIX DETAIL

B

Minimum Sum for Public Liability:

**stg£1,000,000.00**

Date of Possession:

.....**1991**

Date of Completion:

.....**1991**

Liquidated and Ascertained Damages:

.....**IR£100 per week**

Defects Liability Period:

.....**12 months**

Period for Interim Certificates:

.....**2 weeks**

Time for issue of interim certificates:

.....**5 working days**

Time for honouring certificates:

.....**5 days**

Percentage of Certified value retained:

.....**5 %**

Limit of Retention Fund:

.....**IR£500**

Period of Final Measurement:

.....**1 month**

Period for Serving Notice of Arbitration:

.....**14 days**

Working Day:

**8.30am to 5.00pm Monday to Friday.**

**1.00 PRELIMINARIES****1.01 Pricing**

- 1.1.1 The tender price is to be all inclusive. Allow for everything indicated by the tender documents and from a *careful* inspection of the site, including any and all foreseeable additional works and risks. Include in the tender price for handing over the works clean, functioning and complete, fit for immediate occupation and use as intended.
- 1.1.2 Enter legible figures preferably in black ink.

**1.02 Tender documents**

- 1.2.1 The following documents are provided for tendering purposes;
- a One copy of the drawings as listed.
  - b One copy of the specification.
  - c One copy of the Form of Tender.
- 1.2.2 Other drawings or information may be ascertained by contacting T. P. Byrne & Associates at their offices.

**1.03 Inspecting the site**

- 1.3.1 The Contractors before tendering should examine the site and examine the conditions in conjunction with the drawing and specification. If any inaccuracy is discovered the Contractor is to see that they are adjusted before the Contractor signs, as no extra charge will be allowed on account of any inaccuracies which may occur in drawings and/or specification.

**1.04 Tendering procedures**

- 1.4.1 Submit the Form of Tender in a sealed envelope.
- 1.4.2 The Contractor will be obliged to submit a fully priced copy of the schedule of works within one week of being so requested.
- 1.4.3 The successful Contractor will be obliged to provide the priced Schedule of Rates which will be the basis for all extras or omitted works.

**1.05 General description of works**

- 1.5.1 The works comprise of alterations to a house.
- 1.5.2 The site is located at 'LAUREL HILL', STOCKING LANE, CO. DUBLIN
- 1.5.3 Access to the site can be gained by arrangement with the Architectural Consultant only.

**1.06 Form of Contract**

- 1.6.1 The Form of Contract shall be RIAI Form of Contract for Small Works without quantities.
- 1.6.2 Amendments to the contract will be written into both copies prior to signature.
- 1.6.3 Ensure that all sub-contractors and suppliers are aware of the contract conditions.

**1.07 Insurances**

- 1.7.1 Before commencing the work, the Contractor is to insure against all accidents or injury which may occur to persons or property or any person employed on the works, and he is to insure against all Third Party risks and is to indemnify the employer against all actions which may be taken or claims made on account of same.
- 1.7.2 The building is to be insured against fire for the full amount of the Contract together with the value of the existing structure.
- 1.7.3 The Contractor is to pay the premiums for the foregoing and is to lodge with the Architectural Consultants, before beginning the work, policies which are to be made out in the names of the Employer and Contractor.
- 1.7.4 The Contractor is to be responsible for all damage that may occur to the buildings, grounds, paths, etc., or from fire, theft or from want of proper scaffoldings, protection or cause whatever which may be due to the carrying out of his contract or caused by any workman employed by him.

**1.08 Possession and completion**

- 1.8.1 Refer to the appendix for details.

The Contractors are to state in their tenders the time they will require to complete work and provide a written programme of schedule of works including dates.

**1.10 Sub-Contracts**

- 1.10.1 No portion of the works may be sub-let without the Architectural Consultant's consent in writing and the party or parties appointed to be subject to his approval.

**1.11 Prime cost sums**

- 1.11.1 The words 'prime cost' or initials 'P.C.' applied to goods herein obtained and fixed by the Contractor shall mean, unless otherwise stated, the sum paid to the merchant after deducting all trade or any other discount for such goods in the ordinary course of delivery, and shall be exclusive of special carriage and the cost of fixing and the Contractors' profit: the Architectural Consultant reserves the right to allow the Contractor a maximum of 5% cash discount where such discount is allowed by the merchant to the Contractor.

**1.12 Nominated Sub-Contractors and suppliers**

- 1.12.1 Nominated sub-contractors and suppliers will be used as according to the schedule.
- 1.12.2 The Contractor should list on the Form of Tender the nominated work for which he wishes to tender.

**1.13 Provisional Sums**

- 1.13.1 All 'Provisional Amounts' herein are to be at the entire disposal of the Architectural Consultant, who may add or deduct from same or make alterations as he thinks fit. Any differences are to be adjusted at the settlement of final accounts.

**1.14 Maintenance**

- 1.14.1 The contractor shall repair or replace any defect, omissions or damages for a period of 6 months after the date for completion of the works at his own expense.

**1.15. Copies of drawings and specifications**

1.15.1 Two copies of all drawings and of this specification shall be furnished to the Contractor. The Architect shall furnish to the Contractor within fourteen days after the receipt by him of a request for any details which in the opinion of the Architectural Consultant are necessary to execute such work in order to fulfil the contract. One copy of the above shall be held on site by the Contractor and made available for reference.

**1.16 Alterations**

1.16.1 No alterations in any way to be made from the works as drawn or specified without the authority of the Architectural Consultant in writing.

1.16.2 In the course of the works the Architectural Consultant shall issue instructions regarding the details of construction as is relevant.

**1.17 Schedule of existing conditions**

1.17.1 Before the work commences agree with the Architectural Consultant a schedule of the condition of the site and building.

**1.18 Performance bond**

1.18.1 Immediately after execution of the contract, arrange and provide a performance bond with approved certificates for the sum of £ for the due performance of the contract.

**1.19 Special conditions**

1.19.1 The site shall be used only for the construction of the works. Any material on the site or arising from excavations is the property of the employer and may not be disposed of without the permission of the Architectural Consultant. Noise and nuisance shall be minimised as far as is practicable. The works shall be maintained in a clean and tidy condition. Rubbish and debris shall be removed from the site each day and shall not be permitted to cause an obstruction or become a fire risk. Any refuse apart from the building works such as refuse from tea-breaks etc. to be disposed of in a properly lined bin provided by the contractor and emptied every two days. No perishable goods to be left on site.

**1.20 Programming**

1.20.1 Upon acceptance of the successful tender the Contractor shall be obliged to prepare a detailed programme to the Architectural Consultant's directions.

**1.21 Labour and Welfare**

1.21.1 Provide everything necessary for the safety, health and welfare of all persons on the site at all times. Compliance with relevant acts, regulations and Bye-Laws.

**1.22 Protection of roads, services etc**

1.22.1 The Contractor shall provide, at his own expense, ample protection for the work during frost or inclement weather, or shall remove at his own expense any work injured by such weather.

1.22.2 The Contractor shall erect sufficient guards to prevent persons or animals from trespassing on the site. The Contractor shall protect from damage all public and statutory services, mains, pipes etc., in or near the site during the work and shall make good any damage to drains, roads, hedges, or neighbouring property caused by his staff in carrying out the work.

**1.23 Temporary works and services**

1.23.1 The Contractor will be responsible for the arrangements for any temporary works or temporary services that are required.

#### **1.24 Temporary facilities**

1.24.1 The Contractor shall be responsible for providing all necessary offices, lock ups etc, and including facilities for labour.

#### **1.25 Foreman**

1.25.1 The Contractor will be required to have on the works a responsible foreman at all times to receive and carry out the instruction of the Architectural Consultant.

#### **1.26 General and special attendances**

1.26.1 The Contractor will be required to give normal attendances as listed in SMM Clause B 9.2 to Nominated sub-contractors or suppliers. He shall also be required to make arrangements for the scheduling of their work on site and their handling of materials for co-ordinating dimensions and other information needed. He is also responsible for the receipt and storing in safe keeping of their goods, and the necessary assistance and power, plant etc, required for proper erection of their works.

#### **1.27 Handover**

1.27.1 The works should be handed over in a clean and working condition fit for occupation and use. The works shall be secure and all keys shall be handed over to the Architectural Consultant. One copy of all manufacturers catalogues and manuals to be handed over to the Architectural Consultant.

### **2.00 GENERAL REQUIREMENTS**

#### **2.01 Standards, regulations etc.**

2.1.1 The works should be executed in compliance with any regulations made by any competent authority having jurisdiction over the works and specifically in accordance with the requirements of the proposed building regulations.

2.1.2 All materials and workmanship are to comply with the relevant Irish or British Standards and Codes of Practices. This applies although there may be no specific mention of the individual standards. Where conflict of standards occur, the ruling standard shall be based on the priority in order of listing.

2.1.3 Materials and workmanship are to comply with any printed directions issued by the manufacturers of the proprietary materials and components used.

#### **2.02 Preliminary procedures**

2.2.1 The Contractor shall set out the works and shall amend any inaccuracy at his own expense.

#### **2.03 Materials, components and workmanship**

2.3.1 The materials and workmanship on same throughout to be the very best of their kind and consistent with the best building practice. Samples of all materials to be submitted to the Architectural Consultant for approval. The Contractor shall, at his own expense, find and convey to the site all materials, plant, tools and implements and all skilled and unskilled labour necessary for the due performance of the contract.

2.3.2 Work should be carried out under the direct supervision of operatives with suitable training experience and competents. Craftsmen shall undertake work requiring special skill. Apprentices are not to work unsupervised.

- 2.3.3 If any specified materials, components or details appear to be unfit for purpose or difficult to apply as intended the Contractor is requested to discuss such problems with the specifier as soon as they arise.
- 2.3.4 The work throughout to be done by thoroughly competent tradesmen to whom the recognised rates of wages are to be paid and it is to be carried out to the entire satisfaction of the Architectural Consultant whose award in all things relating to the works, the meaning of the drawings and specification, the quality of the materials and workmanship, the cost of extra or omitted works (if any) is to be final, binding and without appeal.

#### **2.04 Tolerances**

- 2.4.1 Work within dimensional limits that are suited to the structural stability and final appearance of the works.

#### **2.05 Records**

- 2.5.1 Keep a job diary according to those significant events in the course of the construction of the works including instructions, day works, exceptional weather, test results, poor workmanship, delay and their causes, labour problems, mile stone dates.

#### **2.06 Inspections**

- 2.6.1 Notify the Architectural Consultant of any work that must be inspected prior to covering up including significant structural work, drains, pipework and provisional items.

### **3.00 DEMOLITIONS/GENERAL REQUIREMENTS**

#### **3.01 General Requirements**

- 3.1.1 Major demolition is to be undertaken only by specialists working in accordance with BS 6187.
- 3.1.2 The extent of the work is indicated on the drawings.
- 3.1.3 Disconnect, seal off or remove existing surfaces and ascertain if shock or vibration could damage surrounding property or equipment or services. Check the existence of dangerous substances

#### **3.02 Materials**

- 3.2.1 Remove from the site any materials not required by the employer. The employer reserves the right to retain any materials without charge unless the contractor states a value on such materials in his tender.

#### **3.03 Workmanship**

- 3.3.1 Employ methods that cause no damage to surrounding property, equipment or services. The use of explosives is forbidden. Adequately secure and support partly demolished structures.
- 3.3.2 Prevent nuisance from dust, smoke or noise. Ensure infected timbers do not contaminate any materials on site.
- 3.3.3 Adjacent structures should be left in good order and with what ever propping is necessary. It should be made good to ensure the safety of persons, weather protection, stability and security.

3.3.4 Necessary screens, corridors or protected passages should be incorporated.

3.3.5 All exposed structures must be weather proofed in a suitable manner.

#### **4.00 ALTERATION AND REFURBISHMENT**

##### **4.01 Materials**

4.1.1 Remove from the site any materials that are not required by the employer. Employer reserves the right to retain any materials without charge unless the contractor states value on such materials in his tender. Materials should not be allowed to accumulate or become a health or fire risk.

4.1.2 Materials for salvage will be described as "set aside" for reuse or "hand to employer".

4.1.3 Any material complying with the Specification for hardcore may be reused.

##### **4.02 Preliminary Work**

4.2.1 Before tendering visit all locations given with the spot works and ensure the full extent of the work is understood and priced.

4.2.2 Before commencing work remove all debris and rubbish from the building and leave tidy. Disinfect if necessary. Make safe all services and liaise with service authorities. Check the drains and report.

4.2.3 Undertake opening up in order to become acquainted with the condition of the building. Provide attendance for specifier for same.

##### **4.03 Workmanship**

4.3.1 Work which exposes the building to the weather should be undertaken during favourable weather and completed as quickly as possible. Work should be undertaken with the minimum amount of disturbance to those parts of the building left undisturbed. Generally achieve the same standard and appearance as that originally achieved.

4.3.2 Carry out new work as specified in the appropriate work sections.

4.3.3 Provide props, struts, scaffolding and shores etc. as necessary to ensure the stability of all the existing structures. Make preliminary investigations and calculations where necessary and accept responsibility for the over all safety of the works and existing structures unless expressly made responsibility of others in the contract documents.

4.3.4 Prevent nuisance with particular reference to dust and noise and maintain good relations with adjoining occupiers.

##### **4.04 Spot Works description and pricing**

4.4.1 Alteration or repair work is described in self contained items that contain work in many trades. The following is included:

1. All works that can be seen or anticipated "on the spot".
2. Ancillary work normally associated.
3. Provision of all materials.
4. The proper bonding, jointing and making good to surrounding work.

4.4.2 The location of spot work is stated in most instances. Repetitive spot work is grouped and shall be priced to allow for the average cost.

4.4.3 The following terms are used:



- a. Carefully remove: Refers to components which are to be retained and are to be handled with care and protected from damage.
- b. Set aside for reuse: Clean and restore to serviceable condition and store.
- c. Cut opening: Form the new jams, level off at cill and fix new lintel.
- d. Block opening - reduce opening: Cut away finishes to exposed structure. Cut and bond a secure connection and wedge up at top and form new jams.
- e. Extend finishings: Extend the relevant finish over the areas effected from the existing plane.
- f. Making good will be deemed to be included with all spot works. *It is assumed that all finishings will be made good.*

**4.05 Protection**

4.5.1 Generally protect existing floors with hardboard. Maintain weather protection and security. Provide screens for dust control.

**5.00 CARPENTRY**

**5.01 General requirements**

5.1.1 Comply with CP 112 parts 2 & 3, structural use of timber.

**5.01.2 Materials**

5.1.3 All timber shall be clean, sound, merchantable, properly seasoned timber free from any defects and suitable for the works. It shall be free from sap, shakes waney edges, large loose or dead knots or other imperfections and shall comply with IS 96.

5.1.4 Structural timber shall be to BS 4978 and BS 5268. Each piece of timber shall be marked with the grade.

Location or Use	Strength Class	Origin	Grade
Roof timbers, ceilings and first floor joists	Group SC 2	Home-grown	SS
Ground floor joists, stud partitions and other use.	Group SC 1	Home-grown	GS
Exposed purlins	Douglas Fir SC4	Imported	SS

5.1.5 Non structural timber shall be softwood to CP 112 group S 2. Natural defects which will not effect the performance of the timber in use are acceptable.

5.1.6 Wrot timber for painting shall comply with BS 1186, joinery specification.

5.1.7 All timber is deemed sawn in standard section to BS 4471 tolerances.

5.1.8 Preservatives shall be applied to timbers to BS 5268 with approved pressure impregnation for high risk timbers in ground or water contact and organic solvent double vacuumed treatment to other exposed timbers. Timbers in contact with cement based construction to have organic solvent treatment. Treatments to be made good after any machining in two coats.

5.1.9 Exterior plywood to be WBP to BS 1455 grade 2 for painting and grade 3 for clear finish. Marine plywood to BS 1088. Chipboard, flooring to BS 5669 type 2 tongued and grooved on all edges. Medium density fibre board to be best quality Medite MDF

tongued and grooved where used for flooring. Floor boarding to be tongued and grooved to BS 1297.

- 5.1.10 All non standard metal fixings to be fabricated from mild steel suitably protected.
- 5.1.11 All external metalwork nails and other fastenings to be suitably corrosion protected by galvanising or other plating.
- 5.1.12 Nails to BS 1202 of suitable size and type. Screws to BS 1210 of suitable size and type. Twin threaded screws to be used for chipboard. Expanding bolts to be of approved manufacture. Timber connectors to be toothed plate to BS 1579. Straps to be galvanised predrilled factory made steel straps not less than 2.5 x 30 mm section. Joist hangers to be standard proprietary galvanised steel 2.5 mm thickness predrilled and sized to suit.
- 5.1.13 Timber adhesives to be cold setting synthetic resin to BS 1204 type MR for internal work and WBP for external and areas of high humidity and to be compatible with any treatments.
- 5.1.14 Prefabricated units to be by approved manufacturer and to CP 112. Roof trusses to be IS 193 at max. 600 mm centres and calculations to be submitted by the fabricator for approval of the Architectural Consultant. Provision to be made for support of tanks and openings for access, chimneys and roof lights. Diagonal bracing is required.

## **5.02 Workmanship**

- 5.2.1 Do not fix timber with a moisture content exceeding 22% for general non precision work, 17% for precision work 10% for flooring and 12% for fine work.
- 5.2.2 Timber shall be sawn truly square, bored at right angles to the face and correctly jointed with full contact surfaces with joints that tighten under load or resist tension as appropriate. Joints in the length of a structural member are not permitted unless approved.
- 5.2.3 Nails of adequate length may be predrilled to max. .75 diameter and should be driven on the slant where appropriate. Screws to be of adequate length and fixed at right angles. Predrilling to a thread core diameter is permissible. Plugs in masonry for screw fixings to be approved rawlplugs.
- 5.2.4 Bolting should be carefully predrilled at right angles and large thick washers used under head and not tightened to compression point.
- 5.2.5 Masonry bolts to have adequate penetration. Resin anchors to be used near edges of masonry.
- 5.2.6 Straps and anchors to have 2 screw fixings to timber. Straps to generally span at least 2 joists, rafters etc. Straps onto masonry wall to be 750 mm with four shot fixed masonry nails.
- 5.2.7 Joist hangers to be built in or screwed to wall in close contact.
- 5.2.8 Walls plates to be one length between changes of direction otherwise minimum 100 mm lap joints. Bed in mortar level and strap at 1200 centres maximum.
- 5.2.9 Built in timbers to be liberally coated with preservatives at ends and protected from damp surfaces.
- 5.2.10 Properly trim around openings with suitable joints and hangers. Trimming timbers to be doubled.
- 5.2.11 Stud walls to be constructed with tight joints securely nailed with sole plate and top rail and noggin at 1200 mm max.
- 5.2.12 Joists to be packed 50 mm from masonry walls with timber blockings. Joists to have bridging at all bearings and bridging or strutting at 1350 centres. Diagonal wind bracing is required for rafters and trusses where relevant.

- 5.2.13 Floor boards to be laid on level joists with staggered joints butted centrally over joists cramped and twice nailed at each support, nails punched. Access trap to be neatly formed. Leave entire smooth on completion.
- 5.2.14 Provide grounds, battens, bracketing, framework etc. to suit linings and components being fixed and with adequate fixings. Provide additional supports around large opes.
- 5.2.15 Frames to be installed plum and square and fix with cramps 600 mm max. centres and within 150 mm top and bottom. Two coats of paint to be applied around all untreated frames. Ensure DPC's are adequately located. Pact joint with mortar or other material specified. Frames in damp locations to have two flowing brush coats on preservative.
- 5.2.16 Form opes for service access trap doors etc. Notches and holes to be as small as possible and not closer than 100 mm apart. Notches to be formed by sawing down to a drilled hole and located only in the upper edge of the outside quarter of beams and joists to a maximum 1/8 depth of member. Holes for electrics to be drilled at centre line of member at two thirds span with maximum size 1/6 depth of member. Never work timber adjacent to point loads or areas of high stress. Floor notched services to be protected with steel plate laid flush over. Water tank support to be minimum 4 structural members. Support for plastic cisterns to be fully boarded. 6 battens for service equipment etc.

## **6.00 JOINERY**

### **6.01 General requirements**

6.1.1 Comply with BS 1186.

#### **6.01.2 Materials**

- 6.1.3 All timber to be wrot all faces and be merchantable properly seasoned straight timber free from any defects and selected for suitability of purpose.
- 6.1.4 Joinery for painting shall be to BS 1186 part 1 and seasoned. No pith, arris knots, plugs or inserts permitted in external joinery.
- 6.1.5 Internal joinery to be of best red deal with moisture content 9 - 16% and to IS 96 with tight growth rings and free from loose knots, slits or insect/fungus attack.
- 6.1.6 Hardwood to be African mahogany to BS 1186 part 1/class 1/class 2/class 1 S. Samples to be approved prior to usage. Timber to be free of decay and insect attack, clean and straight with sharp arris, free from splits, shakes and such defects and with exposed faces of single character throughout.
- 6.1.7 Lippings and beads to be a straight grained timber with good machining qualities.
- 6.1.8 Decorative timber veneers from selected timbers to be cut from minimum 0.6 mm thickness and to match adjacent veneers or solid timbers.
- 6.1.9 Moisture content to be not greater than 10%. Timber to be fully seasoned.
- 6.1.10 All softwood for external joinery to be treated with approved preservative to BS 5268. Machine surfaces to be treated after working.
- 6.1.11 Plywood to BS 1455 to be grade two for painting and grade one approved finish for clear finishing, grade three veneer for concealed work. Blockboard and laminboard to BS 3444, chipboard to BS 5669 type 1 and BS 2604, hardboard to BS 1142, medium density fibreboard to BS 1142, laminated plastic sheets to BS 3794 to be of Formica or similar quality.
- 6.1.12 Any board material being veneered must have a compensating balancing veneer.
- 6.1.13 Adhesives generally to be synthetic resin to BS 1203. Glue to BS 1186/2

- 6.1.14 All metalwork, nails, screws etc. to be used externally or in corrosive conditions to be galvanised or suitably plated. Nails to BS 1202 suitable for stopping. Screws to BS 1210, cupwasher to match screws to BS 1494. Steel dowels to be not less than 12 mm x 100 mm.
- 6.1.15 Flush doors to be metal free construction, glued lippings and facings free from core patterning, with suitable solid blockings and when described as fire resistant constructed to BS 476 part 8 standards for 30/30 or 60/60 ratings and marked and certified for same.
- 6.1.16 Semi-solid doors subject to the proceeding clause are to comply with BS 459 part 2 with 4 mm plywood facings and all edges lipped with hardwood. Apertures for glass to be framed with rebated softwood beads fixed with screws. Where doors are for clear seal beading is to be hardwood fixed with brad screw and cup washers.
- 6.1.17 Solid core doors subject to 350 are to be constructed cut from blockboard with hardwood lipping all edges and with 4 mm plywood facings. Apertures for glass to be framed with rebated hardwood lipping and beads fixed with brass, screws and cups.
- 6.1.18 All fire rated doors to have intumescent seals and smoke brushes used in a manner that will avoid damage and to be as certified to BS 476 part 8.
- 6.1.19 All specified doors are to consist of a tested frame and door to BS 476 part 8.
- 6.1.20 Defects in timber for joinery will be permitted up to the limits "B" for softwood and "A" for hardwood.

Defects	Rough Timbers Framing and Unwrot Timbers	'B' Quality Wrot Finishings and general Joinery.	'A' Quality High class Joinery.
Face knots	Up to 1/4 width	Isolated knots up to 25mm diameter.	Isolated small knots only, but none on exposed faces.
Edge knots	Up to 1/3 the thickness	Ditto	Ditto
Slope of	Maximum 1 in 8	Maximum 1 in 14	Maximum 1 in 14
Range of Growth	Minimum 4 rings per 25mm.	Minimum 6 rings per 25mm.	Minimum 8 rings per 25mm
Checks & Splits	Where exceeding 150mm in length not deeper than 1/4 thickness for more than 1/4 length.	Hair shakes not exceeding	None
Bow and Spring	Up to 25mm in 250mm	The finished joinery shall be completely free from these defects.	The finished joinery shall be completely free from these defects.
Twist	Up to 6 degrees in 10	Ditto	Ditto
Cup	Up to 3mm in 150mm.	Ditto	Ditto
Blue Stain	10 %	10%	10%

6.1.21 PVC sheeting shall be of an approved make.

## **6.02 Workmanship**

6.2.1 As much fabrication as possible should take place in the workshop. Fabrication and jointing should be to achieve appearance as indicated on the drawings producing joints by traditional and modern and machine shop practice and which tighten under stress having mechanical as well as adhesive key and generally conceal the end grain joints should generally be capable of dry push assembly and formed to naturally exclude moisture. Joints to be typically setout, framed, tennoned, mitred, dowelled etc. and well clamped and glued. Dottle tenons on members over 63 mm thick.

6.2.2 Joinery should be available for inspection prior to painting and decoration. Joinery for painting to be a fine smooth surface free from imperfections. Joinery for clear finishing to be similar but without blemish or stain. Angles and edges should be slightly rounded.

6.2.3 Gaps in moving parts should not exceed 1 mm clearance. Mouldings to be worked from the solid. Trims to be measured and scribed, pinned and stopped.

6.2.4 Joinery should be knotted and two coats primer applied as per painting specification before delivery to the works. Clear finish joinery should have one coat prior to deliver. Doors to be fully painted prior to hanging. Backs of frames to have two coats of primer.

6.2.5 Fixings generally to have adequate strength, visible fixings to be by back screwing or secret nailing. Brittle materials to be predrilled. Hardwood fixings generally to be let-in and plugged with grain matched plugs. Fixings to masonry and building inner frames to be as for carpentry. Board materials to be conditioned as recommended by the manufacturers.

6.2.6 Fix ironmongery to be obtained from specified sources and as specified elsewhere. All ironmongery to be left in good order and keys to be handed to specifier.

6.2.7 Provide general builders ironmongery as required for the works.

6.2.8 Maximum 6 mm tolerance between joinery and structure. Joints in joinery should not have any opening.

6.2.9 All skirting, architraves, plates and other joinery works should be accurately scribed to fit the contour of any irregular surface against which they may be required to form a close connection.

6.2.10 Any joinery which may shrink, warp, wind or become in any way defective before the end of the period of maintenance is to be replaced and made good by the Contractor at his own expense.

## **7.00 FINISHINGS**

### **7.01 Materials generally**

7.1.1 Cement shall be to IS 1, lime to be hydrated lime to IS 8. Water shall be clean and free from harmful impurities. Additives should not be used without approval. Plasticisers (where permitted) to be BS 4887. Pigments to BS 1014.

7.1.2 Backings to sealants generally to be expanded polyethylene cord or strip.

7.1.3 Expanded metal lathing to be Riblath galvanised lathing to manufacturers specification.

7.1.4 Metal beads and stops to BS 2989 in galvanised steel to suit rendering thickness and location.

### **7.02 Preliminary work**

- 7.2.1 Ensure backgrounds are ready to receive finishings dub out as necessary. Ensure satisfactory bonding surfaces by checking, curing and shrinkage is achieved, removal of any organic growth, grease, laitance or loose material and wetting to reduce suction. Scud coat to be applied as necessary.
- 7.2.2 Mixes to be dense screeds as per section 9. Rendering as for section 10, lime putty mixed to cream consistency and stand minimum 16 hours and generally comply with good practice and manufacturers specifications. Ensure all finishings are at correct temperature and humidity prior to fixing.

**7.03 Internal plasterwork and rendering**

- 7.3.1 Gypsum plaster to BS 1191 part 1. Sand for cement lime rendering to BS 1199 table 1. Coatings and other mouldings to be proprietary fibrous gypsum plaster to standard profiles.
- 7.3.2 Execute all plastering in gypsum plaster manufactured by Gypsum Industries Ltd. using grades of plaster, coats and thicknesses recommended by the manufacturer. Plasterboards, insulated boards and laths to be to IS 41.
- 7.3.3 Cement, lime and sand undercoats to be as follows:

<i>Background</i>	<i>No. of coats</i>	<i>Undercoats</i>	<i>Total thickness</i>
Brickwork	2	16	1:1:6
Blockwork	2	16	1:1:6
Keyed concrete	2	16	1:1:6
Expanded metal	3	20	1:1:6

- 7.3.4 Scud coat where required to be 1 sand; 3 cement forcibly thrown.
- 7.3.5 Workmanship generally to be BS 5492.
- 7.3.6 Apply undercoats initially in a thin coat then worked to full thickness. Bring to a level surface. Scratch undercoats, allow shrinkage drying to finish.
- 7.3.7 The finish coat in gypsum skim 1 - 6 mm thick to be applied on completely dry undercoats and to be brought to a smooth flat egg shell finish that does not deviate more than 3 mm from an 1800 mm straight edge. Do not wet or over trowel. External angles to be reinforced by corner beads.
- 7.3.8 Plasterboard, joints to be finished with neat board finish plaster. Reinforce all angles with 90 mm wide jute scrim embedded in undercoat. Plaster as soon as filling work has set.
- 7.3.9 Metal lathing to be fixed taut with key facing upwards and tying wires bent inwards. Cut edges and nail heads to be bitumen coated.
- 7.3.10 For plastering across different backgrounds fixed paper backed metal lathing across the junctions. For plastering across open chases bridge with expanded metal lathing fixed securely on both sides.
- 7.3.11 Metal beads to be securely fixed with plaster dabs reinforced with galvanised nails. Coat ends with bitumen.
- 7.3.12 Internal rendering to be two coats of 1:1:6 mix to 20 mm total thickness and finished with a wood float/steel float/scratched surface.
- 7.3.13 Provide for discontinuing plaster where movement joints occur.

- 7.3.14 Fix plasterboard with supports as recommended in BS 5492 and at all perimeters with galvanised nails with grey paper face outwards staggered ends joints avoiding frames. Fix from centre outwards using nails three times board thickness and minimum 15 mm from edges.
- 7.3.15 Fix gypsum plank with long side at right angles to supports and five fixings across width. Leave 5 mm gap and fill between all joints and at angles plaster reinforced with jute scrim.
- 7.3.16 Fix metal lathing rigid with galvanised nails with long way of mesh across supports, key facing upwards. Fix at 100 mm centres commencing from centre of sheet. Locate laps over supports minimum 25 mm. Tie laps with galvanised wire and turn inwards. Coat edges with bitumen paint.

## **8.00 PAINTING AND DECORATING**

### **8.01 General requirements**

- 8.1.1 Comply with BS 1650 painting of buildings.

### **8.02 Materials**

- 8.2.1 All paints to be from MacPhersons or HGW or similar approved.
- 8.2.2 Emulsion paint shall comply with IS 129 or equivalent relevant BS, woodwork primer shall comply with IS 18 or equivalent relevant BS, oil based undercoat shall comply with IS 115, hard gloss paint shall comply with IS 32 or equivalent relevant BS, white spirits shall comply with IS 11 or equivalent relevant BS

### **8.03**

- 8.3.1 Prepare all surfaces in accordance with the code of practice and the manufacturers instructions. Carefully order work. Remove ironmongery and other fittings and replace when decorating is complete. Clean, fill and rub down all surfaces receiving decoration. Use paints as specified. Do not add thinners unless specified. Stir and mix as required. Apply coating under suitable conditions by brush, roller or spray as determined by the type of material. All primers to wood and metal to be applied by brush. When spraying, masking of the adjacent areas will be required. Reprime any components that have deteriorated or have been damaged. When undercoating use a different tint for successive layers. Apply preservatives by full flood coats
- 8.3.2 For paper hanging prepare surfaces and hang linings only on dry surfaces that are perfectly flat and smooth. Apply adhesive as specified by the manufacturer. Finish perfectly smooth and with butt joints without any adhesive marks or other imperfections. Save all surplus linings and hand to employer.
- 8.3.3 No painting or exterior work to be done in wet or foggy weather. Take proper care in preparing surfaces for painting. All woodwork is to be sanded down and left free of machine marks, splinters, rough edges etc. before decorating. All cracks, crevices and holes in woodwork to be painted are to be scraped out, primed, and made good with filler. Knots should be treated to prevent bleeding. In woodwork which is to be varnished any cracks and holes should be filled to match the colour of the wood.
- 8.3.4 Internal joinery is to receive a primer, two undercoats of flat oil paint and one finishing coat of satin finish oil paint.
- 8.3.5 Exterior woodwork is to be primed and receive two undercoats of flat oil paint and one finish coat of gloss oil paint.
- 8.3.6 All ends of timbers and rafters in contact with walls are built in to same to be given one coat of salignum.
- 8.3.7 Exterior paint to be Powersheen applied in two coats to manufacturers recommendations.

## 9.00 ELECTRICAL INSTALLATION

### 9.01 General requirements

- 9.1.1 All work is to be undertaken by qualified electricians who are familiar with the current regulations.
- 9.01.2 The schedule of points is shown on the attached drawing.

### 9.02 Materials

- 9.2.1 All materials shall comply with the relevant BS and the above requirements.
- 9.2.2 All fixings should be complete with conduit fittings, cable clips, earthing clamps and all other minor accessories.
- 9.2.3 Cables generally shall be p.v.c insulated and sheathed cables with earth conductor, twin or three core as appropriate, IS 201, IS 204 or equivalent relevant BS.
- 9.2.4 SWA cable and Pyro cable should be used where relevant together with their necessary connectors.
- 9.2.5 Galvanised conduit to BS 4568 to be used.
- 9.2.6 Generally all switches, sockets, fused outlets etc. shall be white plastic in the MK range.

### 9.03 Workmanship

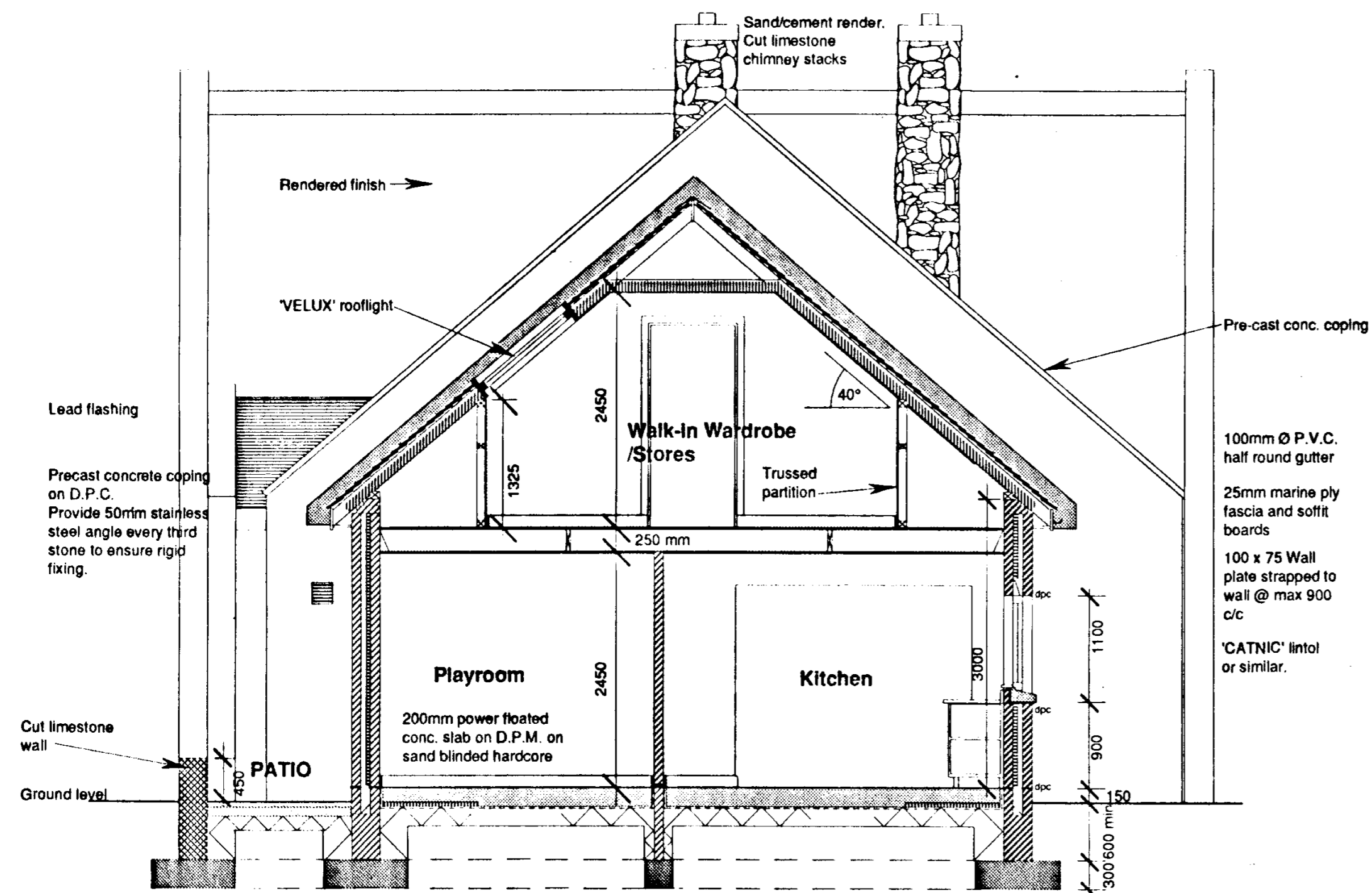
- 9.3.1 Locate electrical equipment in approximate positions as indicated on drawings. Agree cable routes and precise locations before commencing the installation. Mark out necessary holes, chases etc. for builders work.
- 9.3.2 Generally: Undertake all work in accordance with the ETCI Regulations or equivalent relevant BS. Make secure electrical connections in full contact that will not increase the line resistance or cause local heating.
- 9.3.3 Wiring system: Undertake the wiring on the 'looping in' principle. Make all joints at distribution boards, switches, specified outlet boxes and switchboxes. Joints in joint boxes and through joints are not permitted. Provide earth continuity.
- 9.3.4 Cable routes: Run cables as far as possible through floor and ceiling voids. Run parallel to walls and joists, etc. do not route diagonally. Maintain 250 mm min. clearance from hot water pipes. Do not embed in insulation.
- 9.3.5 Location of cables: Locate horizontal cables in walls within 150 mm of the ceiling or within the bank of 150 - 300 mm above the floor. Locate vertical cables directly above or below the switch or outlet being served. Do not embed any cable in walls or other part of the building's structure. Do not run cables in the cavity of hollow walls.
- 9.3.6 Fixing cables: Adequately support and secure cables without kinking and fix at max. 1.00 m centres with correctly sized plastic clips. Run through conduit as specified and provide rubber bushes at open ends.
- 9.3.7 Conduits: Fix conduits where specified. Fix close jointed conduit with the seam to the wall. Tees and elbow fittings are not permitted, bends, if unavoidable, shall be large radius machine made.
- 9.3.8 Drops to switches and sockets: Run the cables through metal conduit with min. 6 mm plaster cover terminated 300 mm above floor level or 150 mm above working surface and extended min. 50 mm into floor or roof space.
- 9.3.9 Damp conditions: Run cables through galvanized conduit or use mineral insulated cables to BS 6207. Make provision for condensation to drain from conduit.
- 9.3.10 Fixing generally: Undertake plugging, screwing, bolting and make general fixings as specified as appropriate.



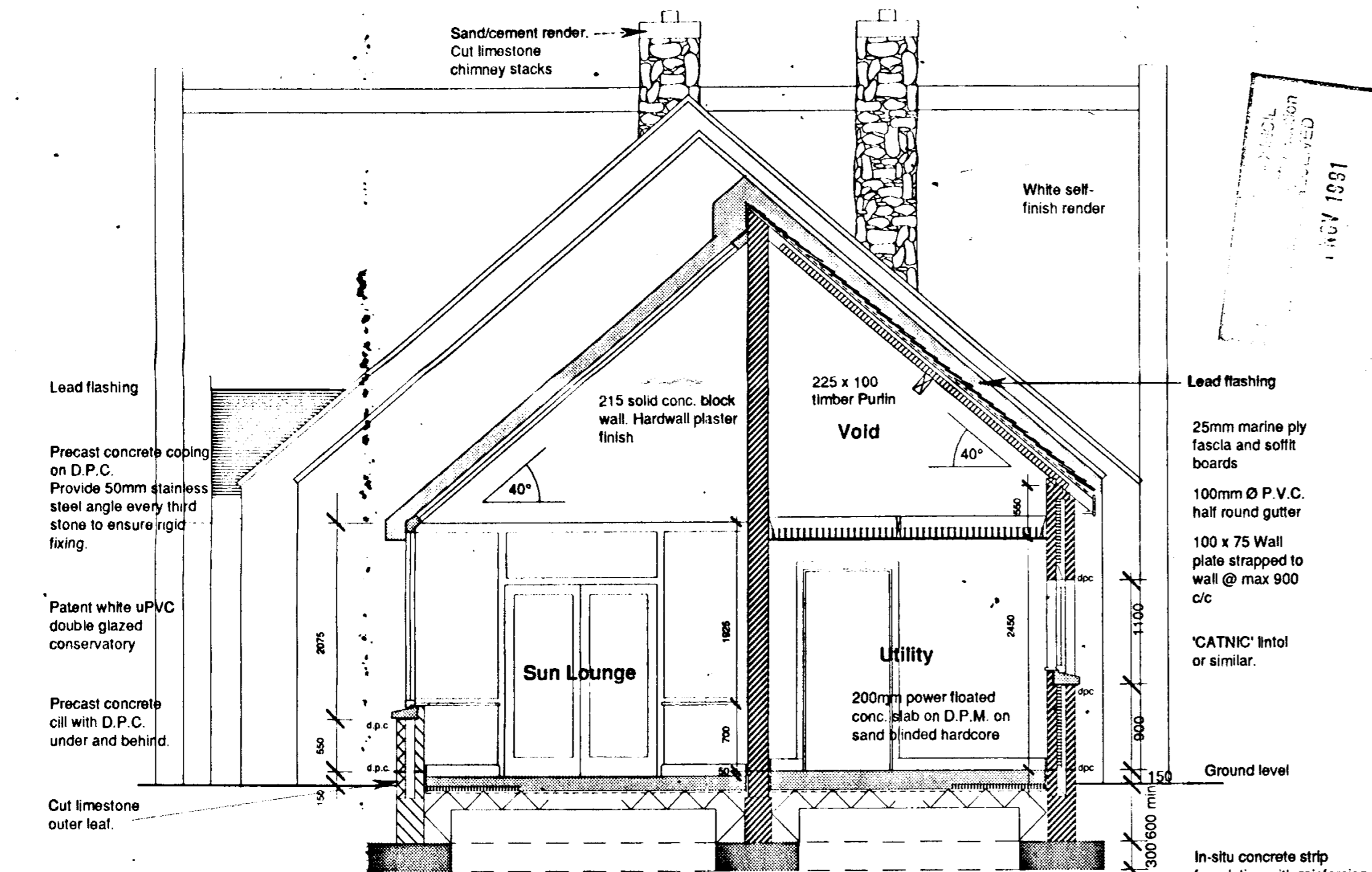
9.3.11 Check the entire installation is in good order and functioning correctly.

**10.00 MAINTENANCE**

10.1.1 The contractor is to provide maintenance manuals for any fixtures and fittings which are installed and are subject to maintenance. This should include for windows, electrical fittings and mechanical fittings.



SECTION C-C (1:50)



SECTION D-D (1:50)

**SPECIFICATION:**

**Foundations:**

Strip footing concrete mix B 1:2:4, A393 reinforcing mesh top and bottom. Depth not to be less than 600mm below ground level. Foundations to measure 900 x 300mm for 300mm cavity walls, 675 x 300mm for 225mm walls and 300 x 300mm for 100mm walls.

**D.P.C.'s:**

Heavy duty P.V.C. D.P.C. to be laid min. 150mm above ground level. Provide stepped and verticle D.P.C.s at external opes.

**Walls & Partitions:**

300mm cavity walls to consist of 100mm solid concrete block inner leaf, 50mm rigid insulation, 50 mm cavity, 100mm solid concrete block outer leaf finished externally with white self-finish rendering. Hardwall gypsum plaster finish internally. Stainless steel cavity ties to be used at 900 c/c horizontally and 450 c/c vertically. Cavity to extend min. 225mm below D.P.C. level. Precast concrete coping on D.P.C. to cap cavity walls externally. Internal 225mm & 100mm solid concrete block walls to be finished with hardwall gypsum plaster. Stud partitions to be trussed and to consist of 75 x 50 studs @ 900 c/c with plaster board and skim finish to both sides. 75 x 75 sole plate and head piece. 75 x 50 noggins. Ex 125 x 25 Bullnosed skirting boards. Walls to En suite and Bathroom to be finished with selected tile to ceiling level.

**Floors & Ceilings:**

Ground floor to consist of 200mm power floated solid concrete slab with 1 meter wide perimeter insulation on 1000 gauge visqueen D.P.M. on 200mm well consolidated sand blinded hardcore. Floors to Sun Lounge and Garage to be 150mm solid concrete slab on D.P.M. on sand blinded hardcore. First floor to consist of Ex 25mm T&G boarding on 225 x 50 joists @ 350 c/c bearing on steel joist hangers. 225 x 50 solid bridging, provide folding wedges to stabilise floor. Plaster board and skim finish to underside. Upper floor ceiling to be foil-backed plaster board and skim finish.

**Stairs:**

Stairs to be open rise staircase constructed as follows; Going: 250mm; Rise: 180mm. Treads to be Ex 50mm bullnosed hardwood housed and wedged into Ex 300 x 75 stringers. Allow min. 25mm nosing. 100 x 100 newel posts, Ex 50 x 50mm handrail

**Doors & Windows:**

Windows and External doors to be of white P.V.C.; Precast concrete cills under windows with D.P.C under and behind. Ex 32mm hardwood bullnosed window board. 'CATNIC' lintols or similar over external opes with stepped D.P.C. over 'SPANLITE' lintols or similar over internal opes in masonry partitions. Provide patent white P.V.C. conservatory with sliding doors. Internal doors to be flush panel timber doors. Ex 32mm timber door saddles. Ex 75 x 32 Architraves.

**Roofs:**

Blue black asbestos slates on 36 x 19 battens at 250 c/c on heavy duty untearable felt on 112 x 50 rafters @ 350 c/c birdsmouthed onto 100 x 75mm wall,plate. Wall plate to be strapped down to walf @ max 900 c/c. Lay min. 100mm glass fibre quilt insulation between rafters. 225 x 32 ridge board. 225 x 100 timber purlin. 112 x 50 collar ties @ 350 c/c. Provide and fit 1200 x 600mm 'VELUX' roof lights as shown on drawings. 25mm marine ply fascia and soffit boards. Ensure ventilation gap is provided for through ventilation to rafters.

**Flashings:**

Lead soakers and Code 4 lead flashing to be used where roofs abutt walls. Lead to be adequately lapped, wedged and clipped according to the lead associations recommendations. Patent flashings to be used around roof lights.

**Plasters:**

Hardwall gypsum plaster to be used internally. 3-coat sand cement render finish externally (scud,scratch and floating coats).

**Ventilation:**

Provide and fit 225 x 225mm galvanised iron permanent vents to all habitable rooms, bathrooms and En suites to the outside.

**Drainage:**

100mm P.V.C. soil vent pipe. Foul drains to be 100mm Ø P.V.C. drains laid @ 1:80 fall draining into a septic tank. Septic tank to be constructed as set out in Dublin Co. Council guidelines. 100mm Ø black P.V.C. half round gutter. 75mm Ø black P.V.C. rain water pipes to drain into back inlet gully traps and then to soakaways @ 1:100 falls in 100mm Ø drains.

**Paths, Patios:**

Paths to consist of 150mm concrete slab on D.P.M. on 150mm sand blinded hardcore. Patios to consist of selected paving slab laid on 100mm concrete slab on D.P.M. on 150mm blinded hardcore.

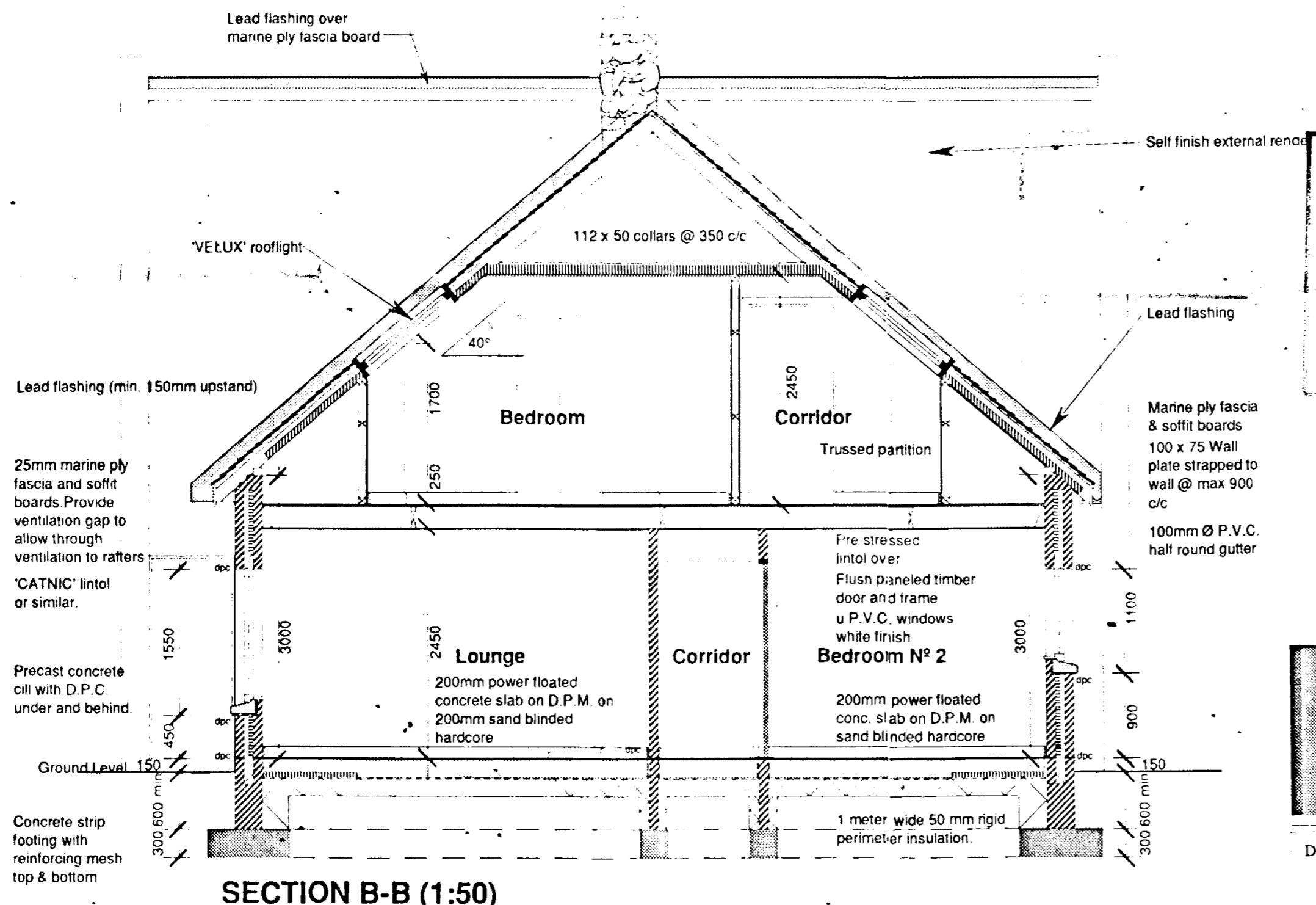
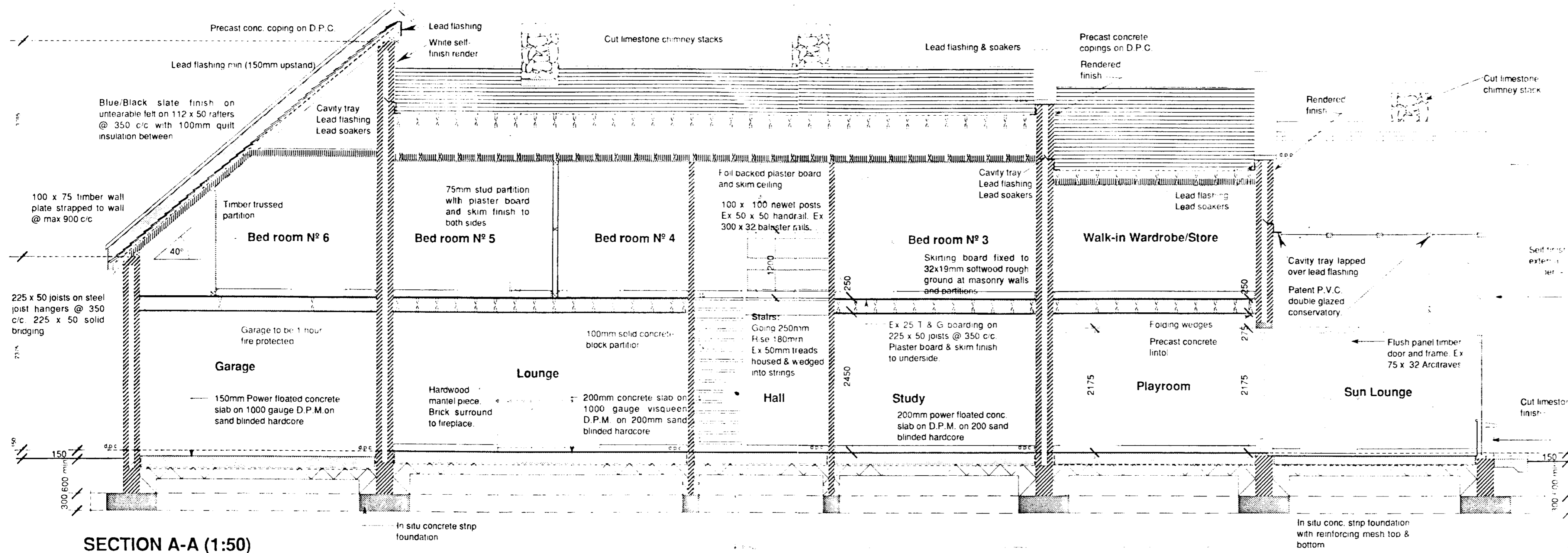


T. P. BYRNE & ASSOCIATES  
ARCHITECTURAL  
CONSULTANTS  
EMMET BRIDGE HOUSE  
38, UPPER CLANBRASSIL STREET  
DUBLIN 8  
TELEPHONE 530320/10/30 FAX 530331

PROPOSED HOUSE AT 'LAUREL HILL',  
STOCKING LANE, CO. DUBLIN FOR MR.  
& MRS. B. MOLES

Drawing: Sections C-C & D-D  
Drawing n°: 91/25/12  
Scale: 1:50

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
©This drawing is copyright.



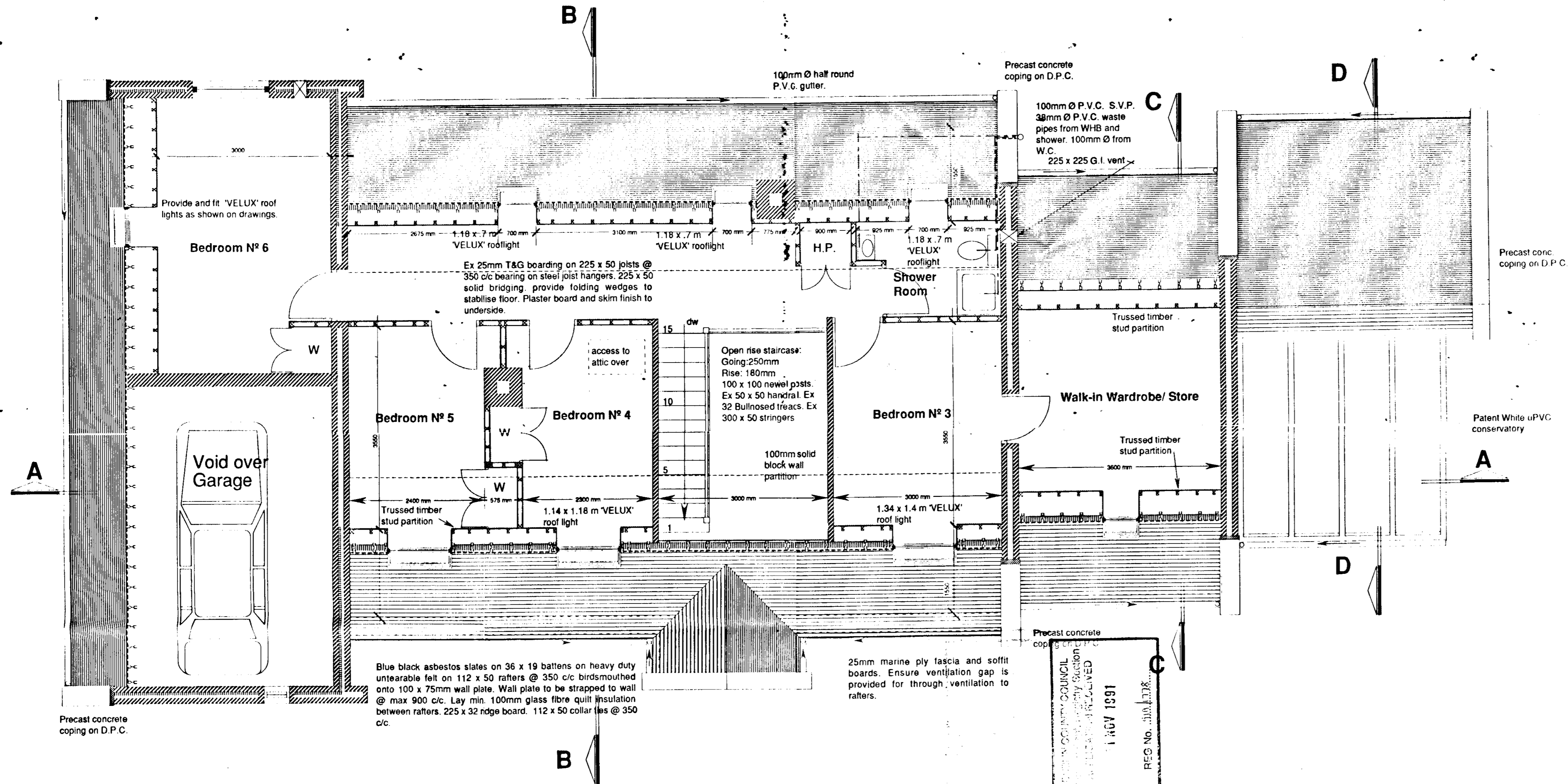
CIVIL ENGINEER  
 REGISTERED  
 NOV 1991  
 REG. NO. 91/1718



**T. P. BYRNE & ASSOCIATES**  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL'**  
 STOCKING LANE, CO. DUBLIN FOR  
 MRS. B. MOLES  
 Drawing: Section A-A & B-B  
 Drawing n°: 91/25/11  
 Scale: 1:50

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
 © This drawing is copyright.



FIRST FLOOR PLAN (1:50)

PLANNING PERMISSION RECEIVED  
 1 NOV 1991  
 REG. No. 111178

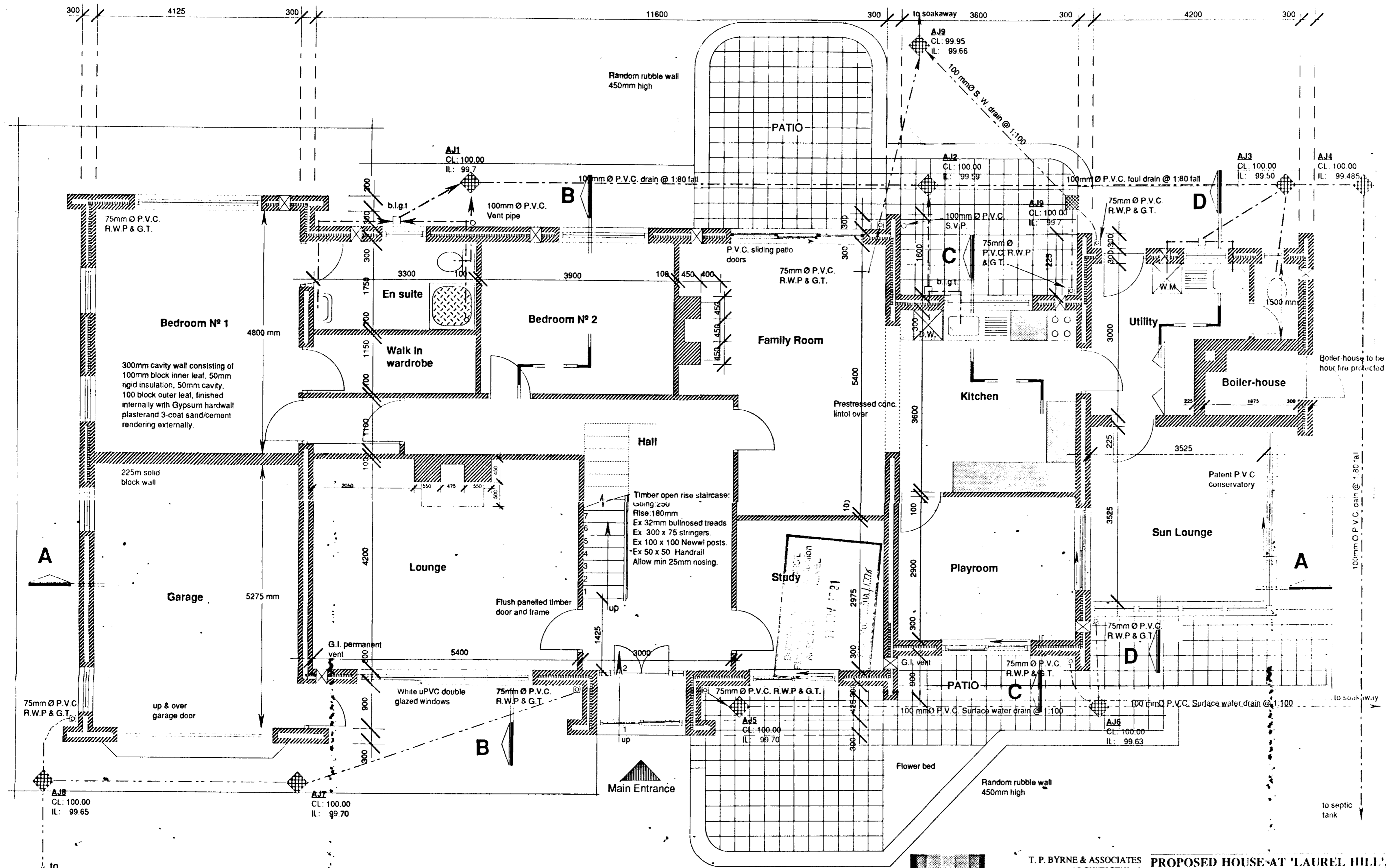


T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

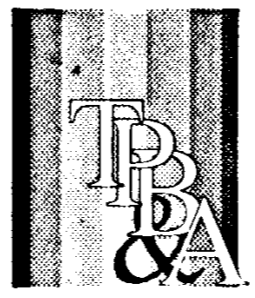
**PROPOSED HOUSE AT 'LAUREL HILL',  
 STOCKING LANE, CO. DUBLIN FOR MR.  
 & MRS. B. MOLES**

Drawing: First Floor Plan  
 Drawing n°: 91/25/10  
 Scale: 1:50

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
 ©This drawing is copyright.



**GROUND FLOOR PLAN (1:50)**

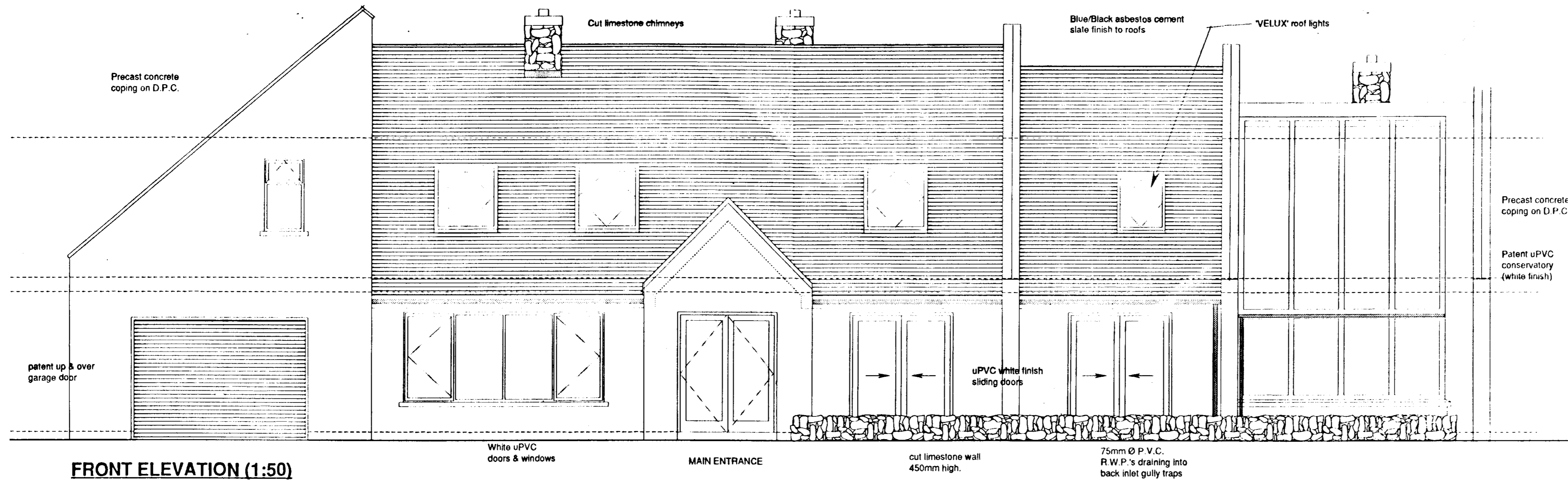


T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

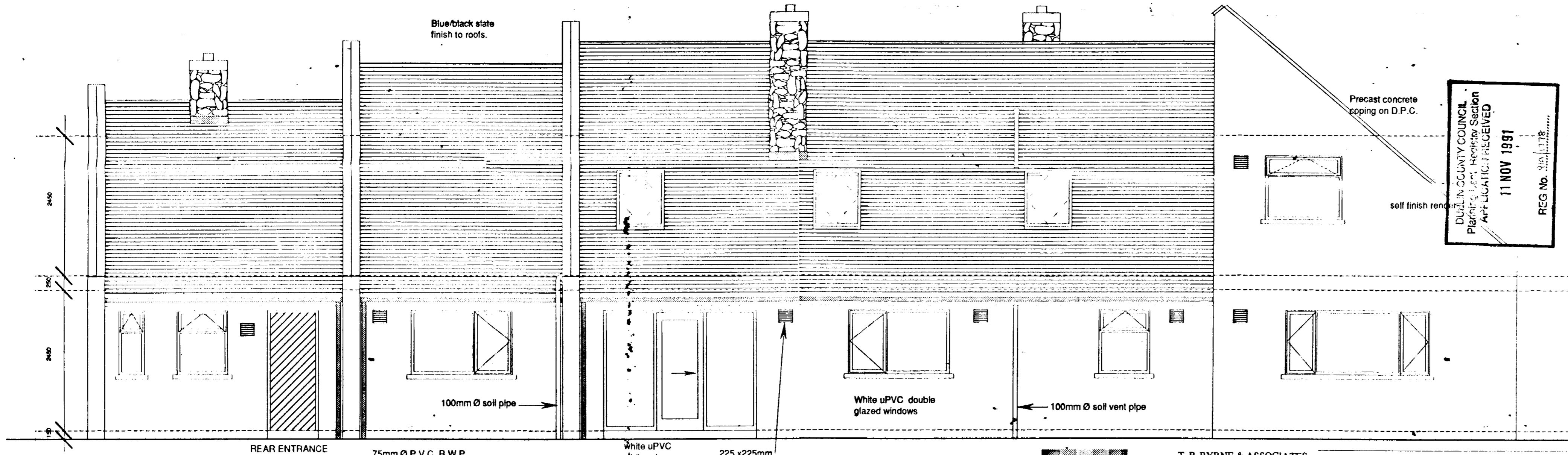
**PROPOSED HOUSE AT 'LAUREL HILL',  
 STOCKING LANE, CO. DUBLIN FOR  
 MR. & MRS. B. MOLES.**

Drawing: Ground Floor Plan  
 Drawing n°: 91/25/09  
 Scale: 1:50

Do not scale, use figured dimensions only. All dimensions must be checked on site and any discrepancies between site and figured dimensions to be brought immediately to the attention of the architect.  
 © This drawing is copyright.

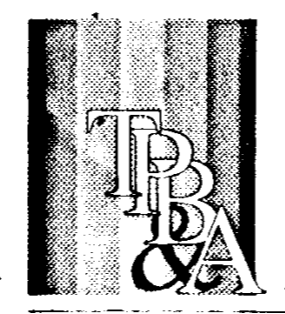


**FRONT ELEVATION (1:50)**



**REAR ELEVATION (1:50)**

DUBLIN COUNTY COUNCIL  
 Planning & Registry Section  
 APPLICATION RECEIVED  
 11 NOV 1991  
 REG. No. 91/1172



T. P. BYRNE & ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 EMMET BRIDGE HOUSE  
 38, UPPER CLANBRASSIL STREET  
 DUBLIN 8  
 TELEPHONE 530320/10/30 FAX 530331

**PROPOSED HOUSE AT 'LAUREL HILL',  
 STOCKING LANE, CO. DUBLIN FOR MR.  
 & MRS. B. MOLES**  
 Drawing: Elevations  
 Drawing n°: 91/25/13  
 Scale: 1:50