

COMHAIRLE CHONTAE AETHA CLIAITH

(DUBLIN COUNTY COUNCIL)

ENF. 8508

14/1/92

TO/ V. Healy
Senior Staff Officer

1322

RE/ lands at Unit 1, Dawson's Shopping
Centre, Woodlark, 91A/1767

Please find attached copy of correspondence received here on 26/11/91

in connection with the above.

The correspondence is an objection to
91A/1767, additional information requested on
20/12/91.

Mary Rice
STAFF OFFICER

ENCL.

EOH

Capitate des p... ?

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

M.S.

COMPLAINT SHEET

26 NOV

28 NOV 1991

LOCATION Re: Unit 1 Bownogue Shopping centre
914/1767

NATURE OF COMPLAINT on plans a door is inserted leading
to Unit 3.

DEVELOPER/OWNER Mr B Q Nguyen Bay Quana Nguyen

DATE DEVELOPMENT/USE COMMENCED

NAME OF COMPLAINANT Mr Colucci.

ADDRESS OF COMPLAINANT Unit 3 Bownogue Clonsilla.

SIGNATURE OF COMPLAINANT Giovanni A. Colucci DATE 26/11/1991

FOR OFFICE USE ONLY

Reg/BBL Files

Previous Enforcement Files

p.t.o.

SHOP NO 1

objectionable door into my property

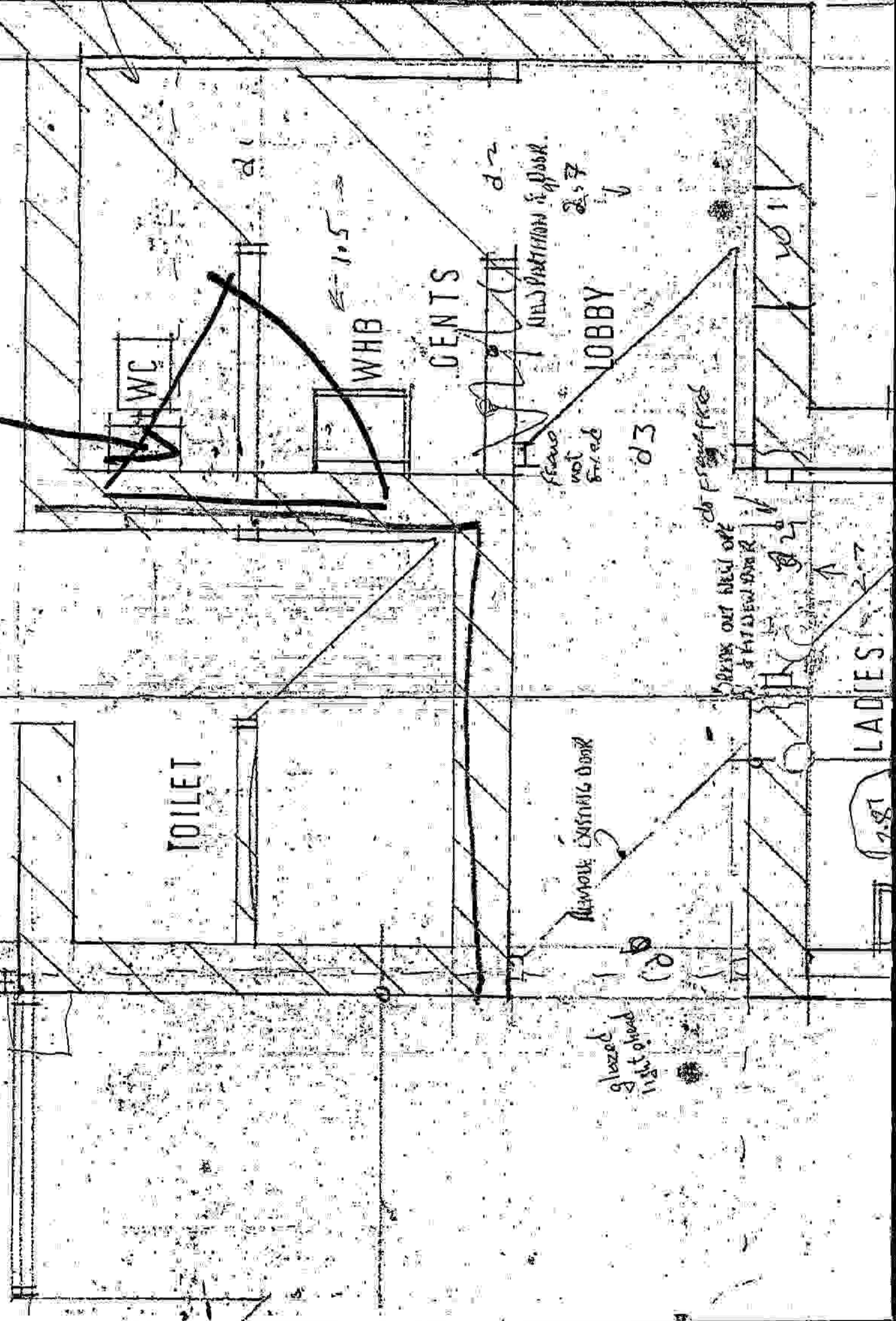
NOT

do not scale use only figured dimensions

hi level shelf for water storage

Basney Kelly

?? Cavendish Arch



TOILET

WC

WHB

GENTS

LOBBY

LADIES

REMOVE EXISTING DOOR

NEW PARTITION & DOOR

FRAME NOT FIXED

do not fire

do fire

REMOVE OUT NEW ONE & FIT NEW ONE

11 ft x 6 ft glazed

11 ft x 6 ft glazed

1.87

2.7

1.5

2.2

2.5

0.3

1.0

1.0

1, CHAPELIZOD HILL ROAD,
DUBLIN 20,
TEL: 264070

OBJECT

13th December, 1991.

1229

19/12

Dublin County Council,
Planning Dept.,
Irish Life Centre,
Lower Abbey Street,
Dublin, 1.

17 SEP 91

re: Planning Application for Chinese Take-Away at Shop No.1 Bawnogue Shopping Centre

Dear Sirs,

You recently received an application for a Chinese Take-Away at Shop 1 Bawnogue Shopping Centre, Clondalkin. The drawings which accompanied the application showed a new doorway being broken out for access to an 'open space'.

No such open space exists. The proposed door would lead to the toilets of a Tearooms in course of construction for our client Mr Antonio Colucci who also operates a Take-Away at Shop No. 3.

Apart from the misinformation, our client wishes to object to the proposal. His Take-Away adequately serves the area. Also, shop No.1 is too small for the proposed business and would lead to infringements of the Food Hygiene Regulations.

Yours faithfully,

Michael McNulty

91A/1767

per pro MC NULTY ASSOCIATES LTD.
MM/PC



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1767

Date : 21st December 1991

Dear Sir/Madam,

Development : Take-away restaurant, alteration to facade and
extension to rear

LOCATION : Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin
Dublin 22

Applicant : Mr. Bay Quang Nguyen

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, additional information was requested in
relation to this application on 20.12.91 and particulars of this request
have been entered in the Planning Register. The Register is available for
inspection at the Planning Department, Irish Life Centre, Dublin 1, during
office hours (9 a.m.-12.30 p.m. and 2.15 p.m.-4.30 p.m.)

A certified copy of an entry in the Register may be purchased on request
at the public counter at a cost of £5 per entry.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Michael McNulty,
1 Chapelized Hill Road,
Dublin 20.



Bloc 2, Ionad Bheatha na Creann,
Block 2, Irish Life Centre
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. John Deaton,
183 Lr. Rathmines Road,
Dublin 6.

Our Ref. RW/GC

Date; 7/11/91

Re; Proposed development at Unit 1, Bawnogue Shopping Centre, Bawnogue
for Bay Quang Nguyen.


Dear Sir,

I refer to the above planning and bye-law application received in this department on 7/11/91.

I return herewith your cheque in the sum of £141.75 which has not been made payable to "Dublin County Council".

As the 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you forward the amended cheque as soon as possible.

Yours faithfully,


for PRINCIPAL OFFICER

9/10/1767

BYE LAW APPLICATION FEES

REF. NO.: 9/A/1767 CERTIFICATE NO.: 16744 B
 PROPOSAL: License to take away Restaurant + external alts
 LOCATION: Unit 1 Baumogue Shopping centre 022
 APPLICANT: Bay Quang Nguyen

log 7/11/91

| | 1 | 2 | 3 | 4 | 5 | 6 | 7 |
|-------|---|---|----------------------|--------------|--------------|----------------|------------------|
| CLASS | DWELLINGS/AREA LENGTH/STRUCTURE | RATE | AMT. OF FEE REQUIRED | AMT. LODGED | BALANCE DUE | RED. FEE APPL. | AMT. OF RED. FEE |
| A | Dwelling (Houses/Flats) | @ £55 | | | | | |
| B | Domestic Ext. (Improvement/Alts.) | @ £30 | | | | | |
| C | Building for office or other comm. purpose <i>26.0m</i> | @ £3.50 per M ² or £70 | <i>191</i> | <i>14.50</i> | <i>13.50</i> | | <i>attached</i> |
| D | Building or other structure for purposes of agriculture | @ £1.00 per M ² in excess of 300 M ² Min. £70 | | | | | |
| E | Petrol Filling Station | @ £200 | | | | | |
| F | Dev. of prop. not coming within any of the forgoing classes | £70 or £9 per .1 hect. whichever is the greater | | | | | |

Column 1 Certified: Signed: *J. Young* Grade: *D/II* Date: *12/11/91*

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: *S.O* Date: *11/11/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1767 Cert. No. 22072

PROPOSAL Quays use to take away Restaurant + external alts

LOCATION unit 1 Baunogue Shopping Centre D 22

APPLICANT Bay Quays Nguyen

| CLASS | DWELLINGS/AREA LENGTH/STRUCT. | RATE | AMT. OF FEE REC. | AMOUNT LODGED | BALANCE DUE | BALANCE PAID |
|-------|-------------------------------|--|------------------|---------------|-------------|--------------------|
| 1 | Dwellings | @£32 | | | | |
| 2 | Domestic | @£16 | | | | |
| 3 | Agriculture | @50p per m2 in excess of 300m2. Min. £40 | | | | |
| 4 | Metres <u>26.0m</u> | @£1.75 per m2 or £40 | <u>45.50</u> | <u>47.25</u> | <u>1.75</u> | <u>overcharged</u> |
| 5 | x .1 hect. | @£25 per .1 hect. or £250 | | | | |
| 6 | x .1 hect. | @£25 per .1 hect. or £40 | | | | |
| 7 | x .1 hect. | @£25 per .1 hect. or £100 | | | | |
| 8 | | @£100 | | | | |
| 9 | x metres | @£10 per m2 or £40 | | | | |
| 10 | x 1,000m | @£25 per £1000m or £40 | | | | |
| 11 | x .1 hect. | @£5 per .1 hect. or £40 | | | | |

Column 1 Certified: Signed: J. G. [Signature] Grade DKL Date 12/11/91

Column 1 Endorsed: Signed: _____ Grade _____ Date _____

Columns 2,3,4,5,6 & 7 Certified: Signed: R. [Signature] Grade S.O. Date 11/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade _____ Date _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: *9/A/1767*

CAT. REF.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

REA OF SITE:

LOOR AREA OF PRESENT PROPOSAL: *280 ft²*
J. Y.
12/11/91.

ENSURED BY:

PERMITS BY:

KIND OF ASSESSMENT:

TOTAL ASSESSMENT:

NUMBERS ORDERED NO: BY / DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT (GRADE)

Q/A/1767

Mr. John Deaton,
183 Lr. Rathmines Road,
Dublin 6.

Our Ref. RW/GC

Date; 7/11/91

Re; Proposed development at Unit 1, Bawnogue Shopping Centre, Bawnogue
for Bay Quang Nguyen.

Dear Sir,

I refer to the above planning and bye-law application received in this department on 7/11/91.

I return herewith your cheque in the sum of £141.75 which has not been made payable to "Dublin County Council".

As the 2-month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you forward the amended cheque as soon as possible.

Yours faithfully,



for PRINCIPAL OFFICER

Date : 13th November 1991

Register Reference : 91A/1767

Development : Take-away restaurant, alteration to facade and extension to rear

LOCATION : Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin Dublin 22

Applicant : Mr. Bay Quang Nguyen

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 7th November 1991

DUBLIN COUNTY COUNCIL
6 JAN 1992
ENVIRONMENTAL HEALTH OFFICERS

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

.....
FOR PRINCIPAL OFFICER

Refusal Recommended.

This premises is too small for the operation of an extensive food business such as a Chinese take-away, and ~~it~~ ^{does} not comply with the Food Hygiene Regulations 1950-89.

Jackie Kelly
16-1-92.

for *Sta Devine*
John J. Kelly
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

16/1/92

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 19.01.92
Time 9.45

Case

SS only.

(P)

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1767

Date : 8th November 1991

Development : Take-away restaurant, alteration to facade and extension to rear

LOCATION : Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin Dublin 22

Applicant : Mr. Bay Quang Nguyen

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 7th November 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Date received in sanitary services

DUBLIN CO. COUNCIL SANITARY SERVICES
14 NOV 1991
SAN SERVICES

DUBLIN CO. COUNCIL SANITARY SERVICES
-2 JAN 1992
Returned *[Signature]*

FOUL SEWER

No objection to proposal as indicated

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 03. 01. 92
Time 3.00

SURFACE WATER

Existing system

[Signature]
13. 12. 91

J.R.
16/12/91

Register Reference : 91A/1767

Date : 8th November 1991

ENDORSED _____ DATE _____

WATER SUPPLY... Available for zoned use. 24 hour storage to be ~~provided~~ provided. Refer to C.F.O. P.J. Spain
20/11/91

[Signature]
20/11/91

ENDORSED 93 C/S/D DATE 17/12/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 03.01.92
Time 3.00

P/5819/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1767

Date Received : 7th November 1991

Correspondence : John Deaton Architects,
Name and : 183 Lower Rathmines Road,
Address : Dublin 6

Development : Take-away restaurant, alteration to facade and
extension to rear

Location : Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin
Dublin 22

Applicant : Mr. Bay Quang Nguyen

App. Type : Permission

Zoning :

Floor Area : Sq.metres

(MG/DK)

Report of the Dublin Planning officer dated 16th December, 1991.

This is an application for PERMISSION for a take away restaurant, alterations to facade and extension to rear at Unit 1, Bawnogue Shopping Centre for Mr. Bay Quang Nguyen.

The proposed development is located in an established neighbourhood centre which incorporates a small supermarket, various neighbourhood centre shops and residential accommodation over head.

This shopping centre was constructed on foot of a grant of permission under Reg. Ref. No. RA 1429. There have been a number of other applications in respect of the various units at this centre.

Reg. Ref. No. SA 2049 refers to a grant of permission for change of use of Unit 3 to take away.

Reg. Ref. No. WA 910 refers to grant of permission for tearooms on portion of previously approved arcade. This permission has been extended up to July, 1992.

Reg. Ref. No. TA 620 refers to a grant of permission for a single storey extension to rear of Unit 3.

Reg. Ref. No. 87A-0631 refers to a grant of permission for access gate and off-street parking to rear of Unit 3.

Reg. Ref. No. 88A-1711 refers to a grant of permission for a satellite signal

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

dish on roof of Unit No. 1.

This site was inspected on 11th December, 1991, and again on 13th December, 1991. Unit No. 1 adjoins the existing covered arcade. It was previously used as a book makers office but is now vacant.

The current application provides for the use of the unit as a takeaway and involves an area of 27 sq. m. (stated). This use is considered acceptable given the location of the unit in an established shopping centre and the fact that there is only one other take away outlet at this location.

Elevational changes include replacing the existing glazed side wall with brick and an additional entrance to side.

Roads Department report no objection.

There are a number of discrepancies in this application.

- The public notice refers to an extension to rear. However, from review of previous files it appears that there is no area to extend into the rear as the unit backs onto that previously approved under Reg. Ref. No. WA 910. In addition, from discussions with the applicant it appears that no extension is proposed.

- There is some overlap between the proposed unit and that approved under Reg. Ref. No. WA 910 in that the yard area indicated in the current application was previously approved to provide toilet facilities for the tea rooms approved under Reg. Ref. NO. WA 910. It has not been possible ~~to~~ site visit to gain access to this adjoining unit.

These matters should be clarified.

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

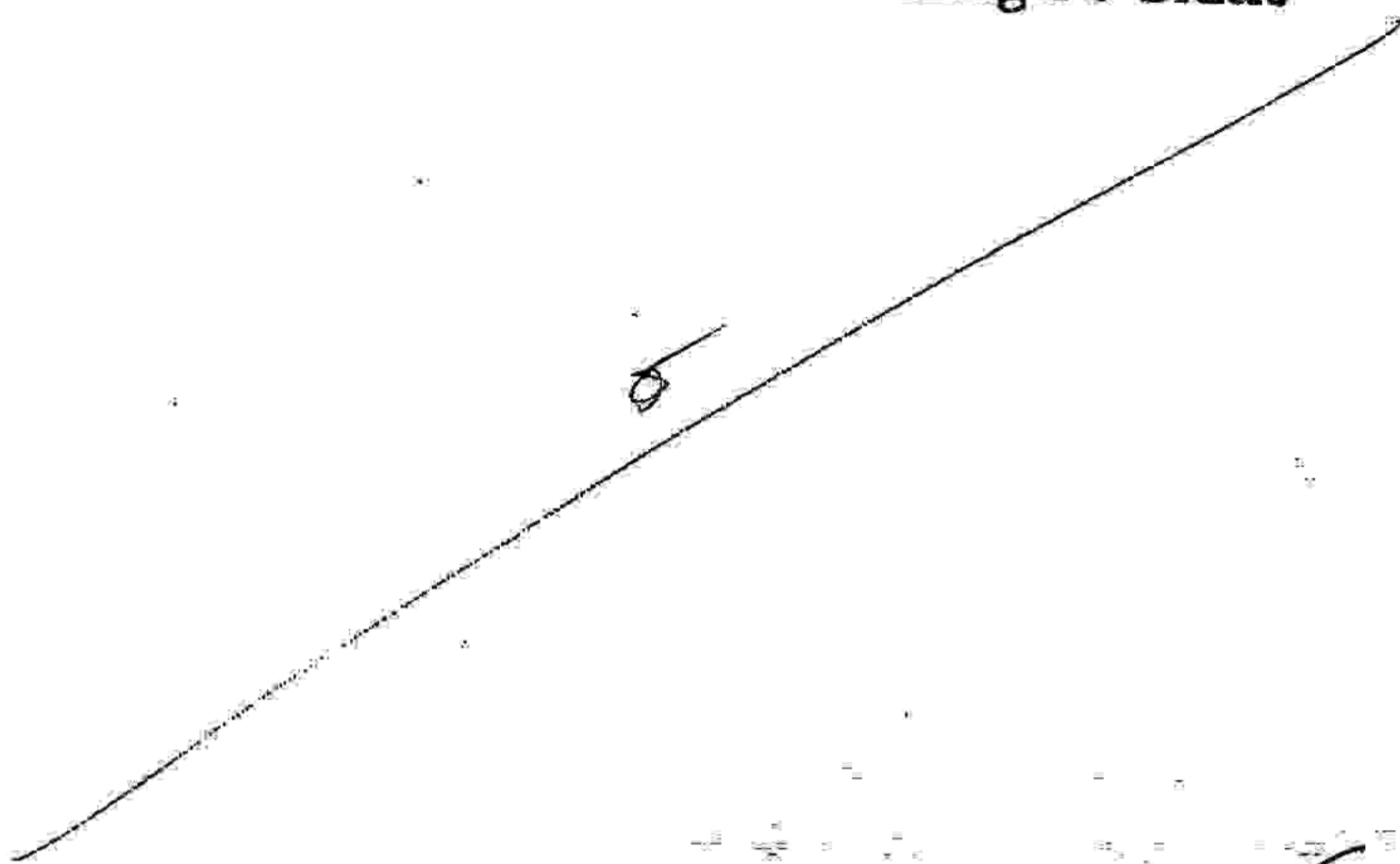
01 From a review of the planning history of the site it is apparent that the yard area indicated in the current application was previously approved to provide toilet accommodation to tea rooms approved at the adjoining unit under Reg. Ref. No. WA 910 (Permission extended up to July, 1992).

The applicant is requested to clarify his interest in this portion of the site.

02 The applicant is requested to confirm whether or not the proposed development involves an extension to the rear of Unit 1 as stated in the public notice.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders



M. Pendergast
.....
for Dublin Planning Officer

PK *W. [unclear]*
Endorsed: -
for Principal Officer

MS Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : *20th* DECEMBER 1991
.....

[Signature]
.....
~~ASSISTANT COUNTY MANAGER/APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *10th December* 1991.

JOHN DEATON Architects

LOWER RATHMINES ROAD, DUBLIN 6.
Telephone: (01) 961940 Fax: (01) 961940



FAX NO. 724896

URGENT

Dublin County Council,
Planning Department,
Building Control Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

11th December 1991.

RE: TAKE-AWAY AT BAWNOGUE SHOPPING CENTRE.
REF. 91A/1767.

Dear Sir/Madam,

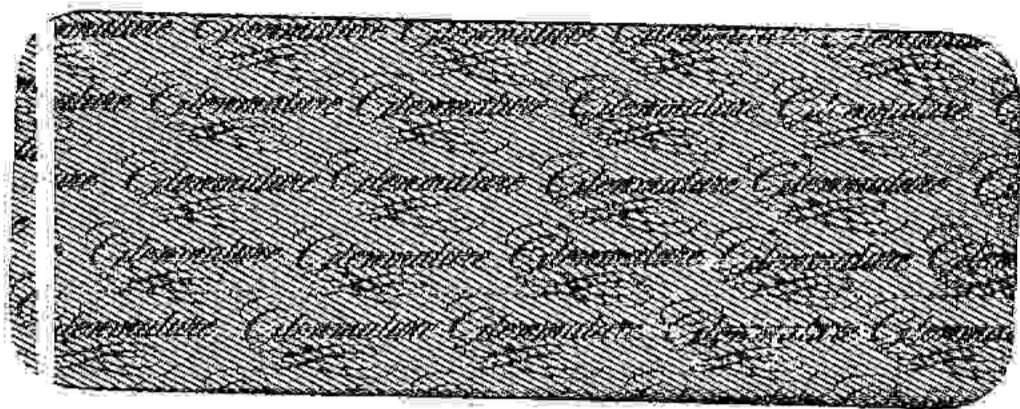
To facilitate the lodgement of additional information I hereby request that the period for consideration of the application be extended to the 7th February 1991.

Yours faithfully,



JOHN DEATON

12 DEC 91



JOHN DEATON Architects

183 LOWER RATHMINES ROAD DUBLIN 6
Telephone: (01) 961940 Fax: (01) 961940



FAX NO. 724896

URGENT

Dublin County Council,
Planning Department,
Building Control Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

11th December 1991.

RE: TAKE-AWAY AT BAWNOGUE SHOPPING CENTRE.
REF. 91A/1767.

Dear Sir/Madam,

To facilitate the lodgement of additional information I hereby request that the period for consideration of the application be extended to the 7th February 1991.

Yours faithfully,

A handwritten signature in cursive script, appearing to read 'John Deaton', written over a horizontal line.

JOHN DEATON

JOHN DEATON Architects

185 LOWER RATHMINES ROAD, DUBLIN 6.
Telephone: (01) 961940 Fax: (01) 961940



pa

FAX NO. 724896

URGENT.

Dublin County Council,
Planning Department,
Building Control Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

11th December 1991.

RE: TAKE-AWAY AT BAWNOGUE SHOPPING CENTRE.
REF. 91A/1767.

Dear Sir/Madam,

To facilitate the lodgement of additional information I hereby request that the period for consideration of the application be extended to the 7th February 1991.

Yours faithfully,



JOHN DEATON



Mary Galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1767.
DEVELOPMENT: Change of use to take-away restaurant.
LOCATION: Unit 1 Bawnogue Shopping Centre.
APPLICANT: Bay Quang Nguyen.
DATE LODGED: 7.11.91.

This proposal is in an existing shopping centre with adequate car park.

No Roads objection.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 04.12.91
Time 12.10

TR/BMcC
28.11.91.

SIGNED: [Signature]
DATE: 28/11/91

ENDORSED: [Signature]
DATE: 28/11/91



Blac 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg. Ref. 91A/1767
Decision Order No. P/ 5819 /91
Page No: 0002

Yours faithfully,

A handwritten signature in cursive script, appearing to read 'Col. O'Sullivan', written over a dotted line.

PRINCIPAL OFFICER

Date : 20/02/91

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1767

Date : 8th November 1991

Our Ref.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 TO 1990

Date

Dear Sir/Madam,

DEVELOPMENT : Take-away restaurant, alteration to facade and
extension to rear

LOCATION : Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin
Dublin 22

APPLICANT : Mr. Bay Quang Nguyen

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 7th November 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

John Deaton Architects,
183 Lower Rathmines Road,
Dublin 6



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building UNIT 1 BAWNOCUE SHOPPING CENTRE,
(If none, give description sufficient to identify) BAWNOCUE, CLONDALKIN, DUBLIN 22.

3. Name of applicant (Principal not Agent) BAY QUANG NGUYEN
Address 28 BIRCHVIEW CLOSE, KILNAMINTOSH, DUBLIN 24. Tel. No.

4. Name and address of person or firm responsible for preparation of drawings JOHN DEATON Architects 94.50
183 Lower Rathmines Road, Dublin 6 Tel. No. N 50580
Tel: (01) 261240 Fax: (01) 261240

5. Name and address to which notifications should be sent JOHN DEATON Architects
183 Lower Rathmines Road, Dublin 6
Tel: (01) 261240 Fax: (01) 261240

6. Brief description of proposed development CHANGE OF USE TO TAKE AWAY RESTAURANT & EXTERNAL ALTERATIONS.

7. Method of drainage WASTEWATER 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used RETAIL
(b) Proposed use of each floor RETAIL

CO. DUBLIN - Permission sought from Dublin County Council for take-away restaurant, alteration to facade and extension to rear at Unit 1, Bawnogue Shopping Centre, Bawnogue, Clondalkin, Dublin 22, for Mr. Bay Quang Nguyen.

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO.

11. (a) Area of Site 29.64m² Sq. m.
(b) Floor area of proposed development 27m² Sq. m.
(c) Floor area of buildings proposed to be retained within site 47.25 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) AGREEMENT TO PURCHASE

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. N 51153

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

15. List of documents enclosed with application. 4 copies (Site location map, para no 62/91/1 and 2 specification). Newspaper advert, Council letter & cheque.

16. Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) 4 and 2. Class(es) of Development Planning and Bye Law.
Fee Payable € 141.75 Basis of Calculation 147.25 + 194.50
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Date

Application Type P/B FOR OFFICE USE ONLY
Register Reference 91A/1767

Amount Received € 2.12.4

Receipt No 17-15
Date

RECEIVED
-7 NOV 1991
REG. SEC.

Irish
Govt
1/11/91

Cheque
returned
undated

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1., 2. & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.L.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

| PLANNING APPLICATIONS | | | BUILDING BYE-LAW APPLICATIONS | | |
|-----------------------|--|---|-------------------------------|--|---|
| CLASS NO. | DESCRIPTION | FEE | CLASS NO. | DESCRIPTION | FEE |
| 1. | Provision of dwelling — House/Flat. | £32.00 each | A | Dwelling (House/Flat) | £55.00 each |
| 2. | Domestic extensions/other improvements. | £16.00 | B | Domestic Extension | |
| 3. | Provision of agricultural buildings (See Regs.) | £40.00 minimum | C | Building — Office/Commercial Purposes | £30.00 each (min. £70.00) |
| 4. | Other buildings (i.e. offices, commercial, etc.) | £1.75 per sq. metre (Min. £40.00) | D | Agricultural Buildings/Structures | £1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00) |
| 5. | Use of land (Mining, deposit or waste) | £25.00 per 0.1 ha (Min. £250.00) | E | Petrol Filling Station | £200.00 |
| 6. | Use of land (Camping, parking, storage) | £25.00 per 0.1 ha (Min. £40.00) | F | Development or Proposals not coming within any of the foregoing classes. | £9.00 per 0.1 ha (£70.00 min.) |
| 7. | Provision of plant/machinery/tank or other structure for storage purposes. | £25.00 per 0.1 ha (Min. £100.00) | | | Min. Fee £30.00 |
| 8. | Petrol Filling Station. | £100.00 | | | Max. Fee £20,000 |
| 9. | Advertising Structures. | £10.00 per m ² (min £40.00) | | | |
| 10. | Electricity transmission lines. | £25.00 per 1,000m (Min. £40.00) | | | |
| 11. | Any other development. | £5.00 per 0.1 ha (Min. £40.00) | | | |

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA OLIAITH

RECEIPT CODE

PAID BY

CASH

CHEQUE

M.O.

B.L.

I.T.

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

This receipt is not an acknowledgement that the fee tendered is the prescribed application fee.

N 51153

£47.25

Received this

from John Donlon 11th day of November 1991

183 La Rathmaies road, D6

the sum of

£47.25

fourty seven

and five

Pounds

application at Natl. Bannogue Shopping centre, Pence, being £40 for planning

Michael O'Keefe

Cashier

S. CAREY

Principal Officer

Class

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL

CASH 46/49 UPPER O'CONNELL STREET, DUBLIN 1.

CHEQUE

M.O.

B.L.

I.T.

ISSUE of this receipt is not an acknowledgement that the fee tendered is BYE-LAW APPLICATION fee.

REG. NO. 50580

£94.50

Received this 11th day of November 1991

from John Deaton, 183 Le Rathmines road, D.6

the sum of ninety four Pounds

and fifty Pence, being for by-law application at Unit 1 Broomage Shopping centre, Ransare

Michael O'Hara Cashier

[Signature]

S. CAREY Principal Officer

4

COMHAIRLE CHONTAE ÁTHA CLIAITH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee.

N 51153

CASH

CHEQUE

M.O.

B.L.

G.T.

£ 47.25

Received this

11th day of November

1991

from John Doherty

183 Ln Rathmore road, D6

the sum of

by seven

hundred five

Pounds

Pence, being

£ 47.25

application at Vnt 1 Bannock Shoppers centre

Michael O'Leary

Cashier

S. CAREY
Principal Officer

Class 4

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the fee for application.

REC. No. N 50580

CASH

CHEQUE

M.O.

B.L.

L.T.

£94.50

Received this 11th day of November 1991

from John Deaton, 183 L. Rathmines road, D.6

the sum of ninety four Pounds fifty Pence, being fee for planning application at Unit 1 Bannogue Shopping centre Bannogue Class

Michael J Ha Cashier

S. CAREY Principal Officer 4

JOHN DEATON Architects

183 LOWER RATHMINES ROAD, DUBLIN 6.
Telephone: (01) 961940 Fax: (01) 961940



Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

4th November 1991.

RE: PROPOSED TAKE-AWAY RESTAURANT AT UNIT 1, BAWNOGE SHOPPING CENTRE, CLONDALKIN, DUBLIN 22.

Dear Sir/Madam,

On behalf of my client Mr. Bay Quang Nguyen, please find enclosed herewith an application for Planning Permission for the above mentioned development.

The proposal is for a Chinese Take-Away Restaurant to service the needs of the local community. There is no sit-down facility to be provided in this restaurant. The unit is adjacent to an area which was designated as a Arcade under the Original Planning Permission Granted, Reference SA/1844. Some extensions and alterations have been undertaken to the rear of this Arcade and my client is not aware of the current planning status of these alterations. This Arcade area was to be enclosed by a glass screen. This appears to have been abandoned by the developer. It is hoped that this Arcade area may be developed as a unit at some time in the future in which case my client would be interested in acquiring all or part of same. However, as this area is not within my client's ownership he is unable to make any proposals with regard to same. The proposal includes for necessary alterations of entrances and for the construction of a masonry wall to the kitchen in lieu of the glass screen. This wall is to be finished in decorative brickwork externally as per detail. The kitchen, toilets and allied services are to be installed to a high standard to the requirements of the Health Officer, together with all necessary ventilation and air handling equipment. An open yard is to be provided for bin storage and in this regard my client will enter into private contract to have bins removed regularly. The unit has remained unused for many months now and adjoining units appear also to be vacant. This reflects poor commercial demand in the area. My clients are prepared to proceed immediately with this development upon receipt of Planning Permission and accordingly we request that permission be granted for the development.

Yours faithfully,


JOHN DEATON

JOHN DEATON B. Arch. M.R.I.A.I.

| |
|---|
| DUBLIN COUNTY COUNCIL Planning Dept. Registry Section APPLICATION RECEIVED -7 NOV 1991 REG No. 91A/1767 |
|---|



SITE LOCATION 1:5000

LINE OF DUCT.

ACTING CHIMNEY TO EXTEND
OVER ALL COOKING APPLIANCES.

CHINESE COOKER.

STAINLESS STEEL TOP WITH
OPEN SHELVES OVER & UNDER.

4 BURNER STOVE

DEEP FRY FRIER.

FRONT FIBERGLASS PLASTERBOARD
4 SKIN ON 100x50 STUDS AT 400 C/C.

NEW GARDEN ADJOINING
DOOR TO MATCH EXISTING.

WING
TOILET

3.950

Kitchen

UNIT

1950

Take-away

THE
FRIG
DOOR.

SHelves OVER AND UNDER.

REFRIGERATOR.

NEW PARTY WALL EGG BRICK ON
C/SY 500 CONC FOOTING PUNTERED
ON KITCHEN SIDE. TO MATCH EXISTING WITH

CHEST FREEZER WITH DEY STORAGE
PRESSER OVER.

DEY STORAGE PRESSER.

FRIDGE DOOR ONLY LTR DISCRETE
SHELVES INSIDE OF DOOR.

COUNTER WITH STORAGE UNDER.

LARGER SECTION WITH ABSORBIN
DECORATIVE SECTION BEHIND.

Possible future extension
of unit

PURCHASE BOX TO DETAIL

Covered walkway

COVERED ARCADE

UNIT 2

Proposed take-away, Unit 1, Bawnage Shopping Centre
Dr. no. BQ/91/1 Plan
Scale 1:50

JOHN DEATON Architects
183 Lower Rathmines Road, Dublin 6
Tele: (01) 961940 Fax (01) 961940



OPEN YARD

EXISTING FOUR DEPTH

EXISTING MAINTENANCE

EXISTING CONNECTION

EXISTING CONNECTION

ACT SWP

81ST

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 - 7 NOV 1991

REC No. 91A/1767

GENERAL NOTES:

- ALL DRAINS TO BE LINED AT MINIMUM FALL OF 1:40
- ST ROBBING BYES TO THE WASTE PIPE RUNS.
- ALL DRAINS UNDER FLOORS TO BE ENCASED IN 100MM CONC.
- KITCHEN TO BE VENTILATED AS SHOWN
- PROVIDE INTAKE FAN TO KITCHEN
- PLASTER FINISH TO ALL CEILINGS AND WALLS
- TERNARLY, ALL WALLS IN KITCHEN TO BE TILED UP TO ROOMING HEIGHT. ALL FLOORS TO BE TILED.
- ROOF DETENTION & AHEADY TO R.S. 5839
- DEFENSIBLY LIGHTING TO R.S. 6266
- TABLE & ADEQUATE FIRE FIGHTING EQUIPMENT.
- ALL GINS TO BE STEEL WITH LIDS.

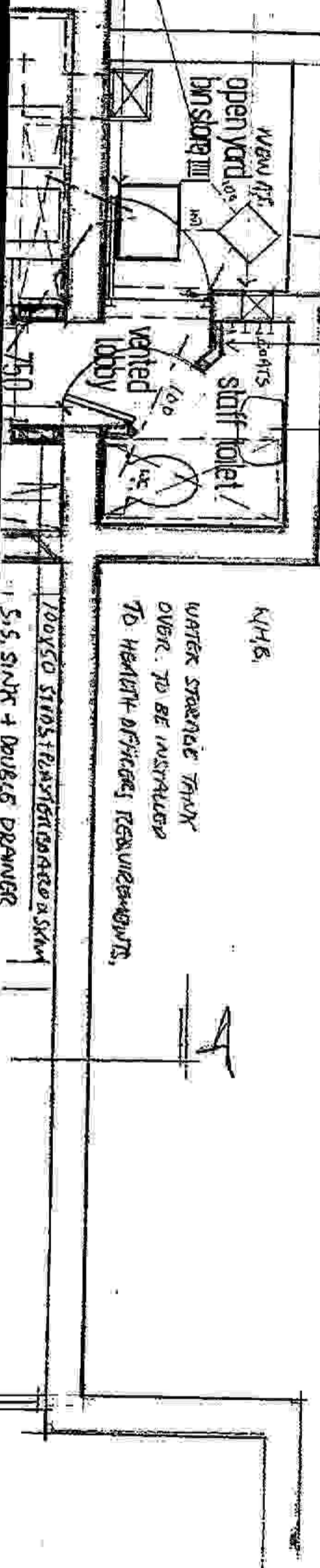
MAKE NEW DOOR OFF BATHING
 FIT REQUESTED 2ND LAYER + 225"
 SCHED BLACK CORRUGATIONS COVER OVER
 DOOR TO BE SAID WITH KICKER AND 225"225" LOUVERED VENT THROUGH
 STUP PARTITION

COFFIN EXTRACT FAN OPERATED
 BY LIGHT SWITCH AT TOWER

YARD GULLY/PROVIDE FIELD
 C.U. TAP IN WIRE FOR HOUSING
 DOWN

CREASE TRAP
 EXTRACT DUCT TO EXTEND
 ABOVE ROOF LEVEL.

DOUBLE SINK + SIS LOCKING



WATER STORAGE TANK
 OVER TO BE INSTALLED
 TO MEET DEFICIENCY REQUIREMENTS.

10050 STOPS PLASTER BOARD & SKIN
 S.S. SINK + DOUBLE DRAINAGE

750

NEW G.P.

open yard

bin store

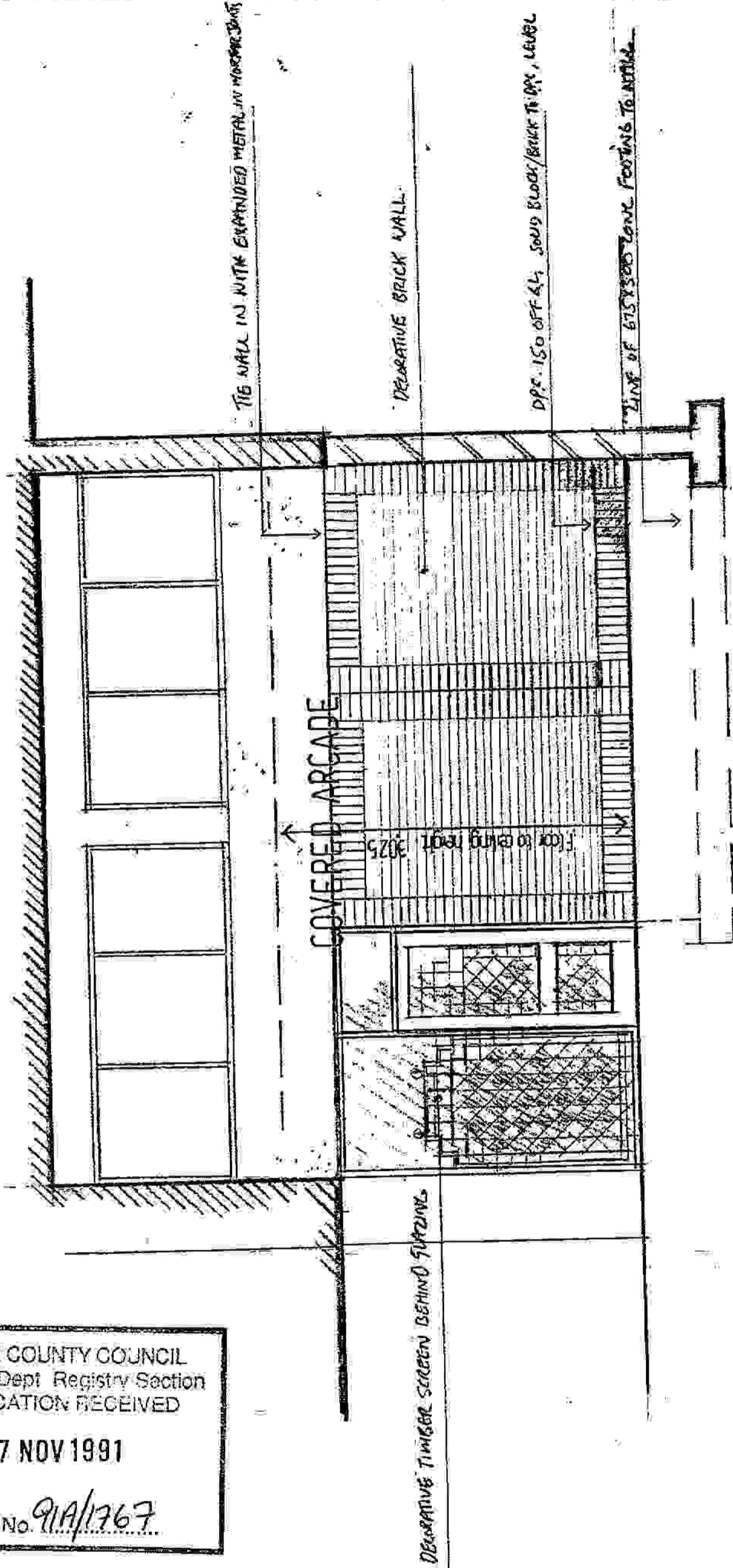
stairs

staff toilet

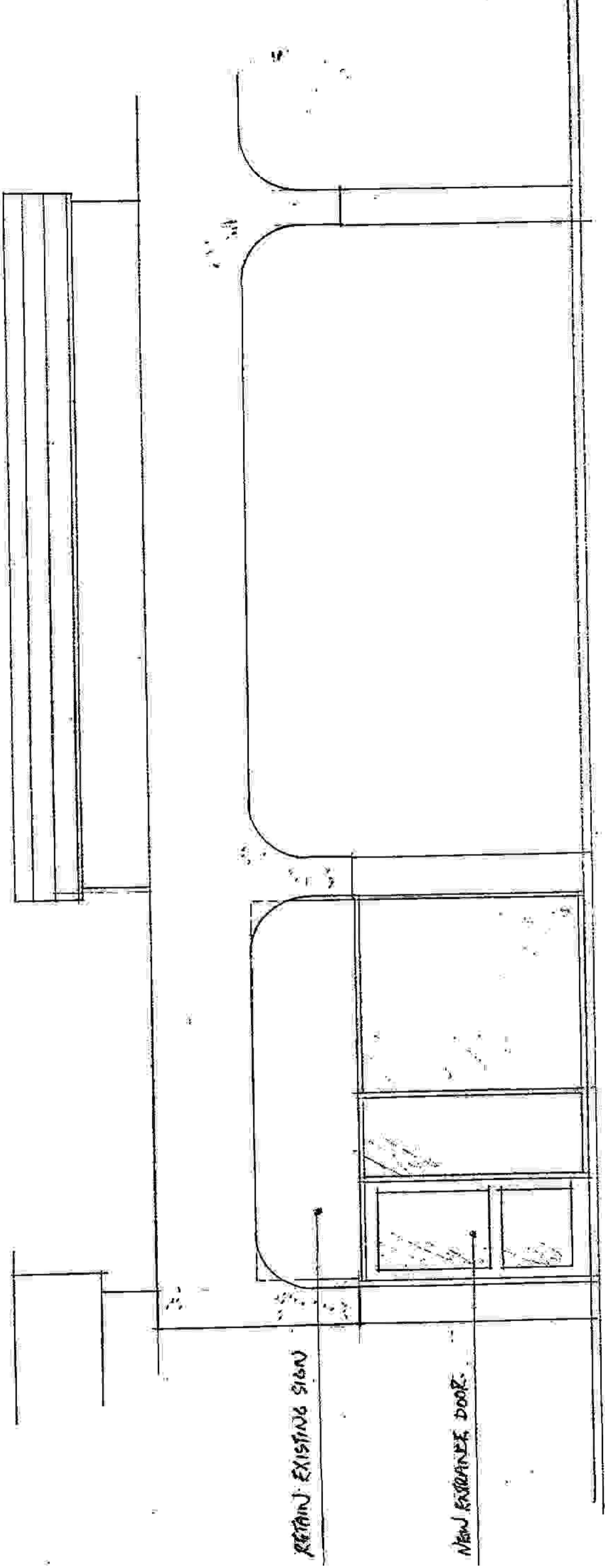
vented lobby

K/H/B

DUBLIN COUNTY COUNCIL
Planning Dept Registry Section
APPLICATION RECEIVED
-7 NOV 1991
REG No. 91A/1767



SECTION AA



RETAIN EXISTING SIGN

NEW EXTERIOR DOOR

COVERED ARCADE

UNIT 1

FRONT ELEVATION

Proposed take-away, Unit 1, Bawnoge Shopping Centre
Drg no. BQ/91/2 Section AA, Front Elevation. Scale 1:50

JOHN DEATON Architects
183 Lower Rathmines Road, Dublin 6
Tele: (01) 961940 Fax: (01) 961940

JOHN DEATON Architects

183 LOWER RATHMINES ROAD, DUBLIN 6.
Telephone: (01) 961940 Fax: (01) 961940



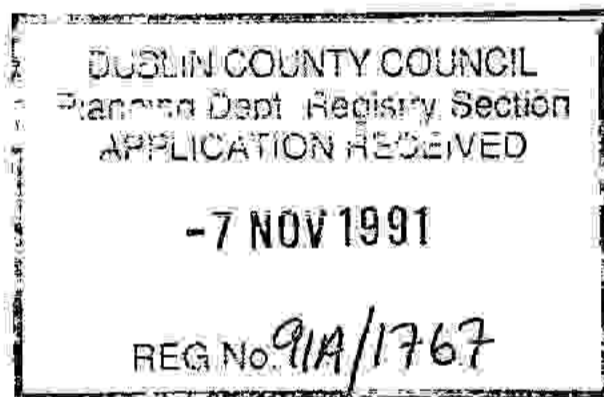
OUTLINE SPECIFICATION

FOR

ALTERATIONS

TO

UNIT 1



BAWNOGUE SHOPPING CENTRE

CLONDALKIN

DUBLIN 22

FOR

MR. BAY QUANG NGUYEN.

NOVEMBER 1991.

1. GENERAL CONDITIONS.

STATUTORY REQUIREMENTS

The Contractor shall conform to the provisions any acts or any rules and orders or statutory instruments and to the regulations and Bye-laws of any subsidiary regulations of the Minister of Health and Local Government of any statutory undertaker with whose systems the structure is connected and shall before making any variations from the specification that may be necessitated by so conforming, give to the Architect written notice specifying the variations proposed to be made, and the reason for making them, and apply for instructions thereon. The Contractor shall give all notices required by the said acts, regulations, rules, orders, statutory instruments and Bye-laws and shall pay all fees and charges legally demandable.

MATERIALS & WORKMANSHIP

The whole of the materials (except where otherwise stated in writing) and workmanship to be provided by the Contractor be the best of their respective kinds, and the contractor is to be entirely responsible for the proper efficient carrying out of the whole work.

NOTICES & FEES

Contractor is to provide all notices and pay all fees necessary for the due performance of the whole work.

CLEARING UP

On completion of the contract the Contractor is to remove and cart away all rubbish, broken brick etc. from the site. The building is to be left clean with all cavities properly flushed out.

EXCAVATOR

SURFACE SOIL

Excavate over site of new buildings to an average depth of 9" (or as required to remove vegetable soil top) and wheel, spread and level on site.

EXCAVATE FOR TRENCHES

Excavate for surface trenches to a depth to satisfy the Local Authority and to a solid bottom and get out and cart away.

Bottoms of all trenches are to be inspected and approved by the Local Authority before concrete is laid and should be levelled and well rammed to receive such foundations etc. Any trench excavated below the level shown or that required to obtain a good bottom shall be made up to a correct level with mass concrete without charge. Excavate over surface of site to levels indicated on the drawings. All earth removed is to be used as filling for portions of the planted areas.

PIPE & DRAIN

Excavate as required all trenches for pipes and drains to such depths as to give proper falls to outlets and to give a minimum cover of 900mm and 1200mm under trafficked areas. All pipes with less than minimum cover shall be encased in concrete to engineers detail. Form contraction joints in encasing to give maximum spacing of 9M. Where drainage trenches are less than 1M from foundations, fill trench with concrete up to level of bottom of footing.

RETURN, FILL
& RAM

Return and fill in selected excavated materials around foundations and at backs of walls and over pipes and drains up to original ground level as required, in layers not exceeding 9" thick and carefully ram and consolidate.

HARDCORE

Fill in to make up levels as shown on drawings under pavings with approved dry broken brick or stone hardcore well rammed and consolidated.

CONCRETOR

CEMENT

Cement shall be ordinary Portland Cement. It shall be delivered in the original sealed bags of the manufacturer and be stored in a proper manner to avoid deterioration in a damp proof shed on a timber floor.

FINE AGGREGATE

Sand to be clean coarse washed sand, free from clay, salt and other organic materials.

COARSE AGGREGATE

Coarse aggregate shall consist of approved broken whinstone, clean and free from clay c

other organic matter and shall be well graded from the nominal maximum sizes referred to hereafter.

CONCRETE MIXES.

The nominal mixes referred to hereafter shall have the following quantities of aggregate per cwt., cement and the coarse aggregate shall be of the nominal sizes stated.

| Nominal | Fine Aggreg. | Coarse Aggreg. | Nominal max. size of Agg. in ins. |
|---------|-----------------|-------------------|---|
| A 1:3:6 | 3 3/4 | 7 1/2 | 1 1/2" |
| B 1:2:4 | 2 1/2 | 5 | 3/4" |
| C 1:2:5 | 2 1/2 | 6 1/2 | 1 1/2" |

MIXING CONCRETE

Materials for concrete shall be measured in gauge boxes on a boarded platform. The proportions referred to above are for dry aggregate and due allowance shall be made for the moisture content.

PLACING CONCRETE

All concrete shall be transported and placed as quickly as possible after mixing and in all cases within 30 minutes. The concrete shall be spread so as to obtain a uniform thickness specified shown on the drawings. Compaction shall be completed before the initial set has taken place. Concrete shall be protected during the first stage of hardening from harmful effect of sunshine drying winds, cold, rain or running of surface water. The concrete shall be kept from drying out too quickly for at least 7 days by a layer of sand or other suitable materials kept damp.

FROST

Concreting shall not be done during frosty weather.

D.P.M.

Lay a damp proof membrane of polythene sheet such as "VISQUEEN" 1000 or equal over the blinded hardcore bed. Join to d.p.c. in walls and dress up over all vertical surfaces as required.

Lap the sheeting a minimum of 6" at all joints.

REINFORCEMENT

Steel reinforcement rods and mesh reinforcement shall comply in all respects with B.S. 785 and B.S. 1221 respectively. All steel shall be free from oil, dirt, loose rust scale or other matter, immediately before the placing of the concrete. All reinforcements during tamping and rods shall be secured at laps and intersections with binding wire or other approved means.

FOUNDATIONS

After excavations have been approved, form foundations to all walls, piers etc., of concrete mix A. These foundations unless otherwise stated to be of the following size:
Under 100mm walls - 300mm wide X 250mm deep
Under 225mm walls - 675mm wide X 300mm deep
Under 300mm walls - 900mm wide X 300 deep

LINTELS & CILLS

Provide where shown on drawings, door and window openings, concrete lintels of concrete mix B and according to dimensions and notes on the drawing. Generally the lintels are 4" deep with M.S. rods hooked each end, of 1/2" diameter and 3/4" diameter respectively and cills shall be 9" X 6" precast concrete throated on underside.

STEPS

Form steps to door of Mix A concrete, well packed into formwork and floated smooth.

DRAINLAYER

SALT GLAZED PIPES AND FITTINGS

The salt glazed ware pipes, bends, junctions and tapers for soil drains shall comply with B.S. 65 in all respects and have internal diameters of 4" except where otherwise shown on drawings. All to be first quality. All drains to be laid to true and even gradients, runs and form connection to junction bends etc. as shown on drawings. All to be of first quality. The whole system to be tested and approved to the satisfaction of the Local Authority.

GRADIENTS

Gradients to be as required by the Local Authority but normally as 1 in 40 for 4" diameter pipes, 1 in 60 for 6" diameter pipes etc.
Drains shall be constructed in accordance with BSCP 301:1971.

BLOCKLAYER

BLOCKS

Concrete blocks to be 9" or 4 1/2" nominal size well compacted true to shape, equal to or as manufactured by C.P.I Ltd.

MORTAR

Generally to be 1 part cement, 3 parts lime, 10 parts sand cement. Mortar to be 1 part cement to 3 parts sand.

WALLS

INTERNAL WALLS

The internal walls are constructed as stud partitions slabbed and skimmed.

ASHALTER

WORKMANSHIP

All materials used are to comply with their respective B.S. recommendations.

DAMP PROOF COURSE

All d.p.c. in walls are to comply in every way with B.S. 743 (type D) and to be fibre based d.p.c. weight 7 lbs per yard super. It shall be lapped 6" at angles and joints and shall be laid on a level bed of cement mortar as described and neatly pointed where exposed.

The horizontal d.p.c. in all walls is to be fitted 6" above finished ground level.

D.p.c. will also be required under all sills and over all lintels as shown on drawings.

Lay a damp proof membrane of polythene sheet such as Visqueen 1000 or equal. Join to d.p.c. in walls and dress up over all vertical surfaces as required. Lap the

sheeting a minimum of 6" at all joints.

CARPENTER AND JOINER

MATERIALS

Timber generally is to be sound, perfectly dry and thoroughly seasoned, free from sapwood, shakes, large loose or dead knots, waney edges or other defects and to be best variety and quality available having regard to the particular use intended.

Timber for carpentry work shall be clean sawn square to the various scantlings specified. Timber for joinery work shall be of selected quality to comply with B.S. 1944 for softwood joinery and hardwood is to be of prime selected quality.

Internal plywood is to be faced unless otherwise specified and to be in accordance with B.S. 1455 (first grade).

The whole of the work is to be accurately cut out and framed together in the best possible manner and prices are to include for all oak keys, wedges, tiles, nails, screws, bolts etc.

All dimensions are nominal unless otherwise stated. All wall plates, floor joists and battens are to be calcurised under pressure by supplier. Also all timbers where built walls is to be treated with CREOSOTE.

SKIRTING

To all new timber floors to be ex. 6" x 1" redwood once splayed at top and securely nailed to wood grounds.

METALWORKER

VENTILATORS

Where indicated on drawing to be 9" X 3" and 9" X 6" galvanised iron.
Vents to all toilets and habitable rooms.

MANHOLE COVERS

To be 4 cwt. heavy duty type 1.

REINFORCING RODS

All reinforcing rods to conform to B.S. 785 for mild steel bars and free from all scale or rust. All rods must be hooked up at both ends.

PLASTERER AND TILER

INTERNAL PLASTER

Internal stud partitions to be plasterboard and skim finish.
Ceilings to be finished with board and skim.

WINDOWS

All windows except as hereafter mentioned are to be glazed 6mm clear plate glass bedded in genuine linseed oil putty and finished with a neat filler where shown or as directed.

PAINTER

All paint to be delivered on the job in sealed tins and supplied strictly in accordance with the maker's instructions.

PREPARATORY WORK

All woodwork and metalwork to be carefully rubbed down to remove any dirt or loose rust and sand papered to a smooth surface and treated as hereafter described. All timber to be stopped and twice knotted and then all surfaces to be primed as recommended by the paint manufacturers.

GENERAL PAINTING

All external wood and metal usually painted including waste pipes from plumbing fittings down-pipes, gutters etc. to be twice undercoated and once finished with gloss paint to colours selected.