



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1748

Date : 18th December 1991

Dear Sir/Madam,

Development : Change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development

LOCATION : Orlagh Estate, Scholarstown Road, Dublin 16

Applicant : Gannon Homes Ltd.

App. Type : PERMISSION

I wish to inform you that by Order dated 18.12.91 it was decided to REFUSE PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanála against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanála within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanála to ascertain if an appeal has been lodged by the applicant.

Mr. C. O'Cleirigh,
20 Orlagh Grove,
Scholarstown Road,
Templeogue, Dublin 16.

Dublin County Council Comhairle Chontae Atha Cliath Planning Department



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
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Lower Abbey Street,
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Telephone (01) 724755
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Register Reference : 91A/1748

Date : 18th December 1991

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala will be invalid unless the correct fee is received by An Bord Pleanala within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £100; any other appeal is £50.

Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

.....
.....

for PRINCIPAL OFFICER

Mr C. O'Cleirigh,
20 Orlagh Grove,
Scholarstown Road,
Templeogue,
Dublin 16.

VH/LD

6th December 1991

Dear Sir,

Further to your letter of objection dated 25th November, 1991, I wish to inform you that there is no limit to the number of applications a person is entitled to make in respect of a property in which they have an interest. Please also note that your letter cannot be accepted as an objection to any possible future planning application. It is a matter of objecting to each planning application when it is lodged.

Yours faithfully



for PRINCIPAL OFFICER

91A/1748
1175

20. Orlagh Grove,
Scholarstown Road,
Templeogue,
Dublin 16.

OBJ

25/11/91

Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

[Handwritten signature]
25/11/91

26 21 01

Re:- Application B 91A/1748.

Dear Sirs,

Gannon Homes Limited were granted permission for neighbourhood shopping development with four residential units overhead some time ago.

They have consistently made applications for change of use of first floor from residential to office, doctors surgery, dentist's surgery etc. etc.

How many times to they have to be denied their application?

Please note that I object most strongly to this application and any further applications to change the previously granted permission of residential use to any form of commercial use.

Yours faithfully,

[Handwritten signature]

Ciaran O Cleirigh.

When
replying to
this objection inform
Mr. O. Kerrigh that there is
no limit to the no. of AP's
a person may make. Also
inform him it is not possible
to accept his objection as an objection
to any possible future AP's drawn
to his attention to weekly lists. M. G. i

91A/1748
1175

20 Orlagh Grove,
Scholarstown Road,
Templeogue,
Dublin 16.

OBJEC

25/11/91

Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

[Handwritten signature]
28/11

26 NOV 91

Re:- Application B 91A/1748.

Dear Sirs,

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How many times to they have to be denied their application?

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[Handwritten signature]

Ciaran O Cleirigh.

When
replying to
this objection inform
Mr O. Claviger that there is
no limit to the no. of appeals
a person may make. Also
inform him it is not possible
to accept his objection as an objection
to our possible future appeals during
his attention to weekly lists. M. J.

FILE REF: 91A 1748

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H + P 26/11/91 =====</p>	<p>CCs Gov strongly Recommends Refusal</p> <p>CCs Hannon Shake unfavourably of the proposal & overall situation Regarding these premises</p> <p>No account being taken of local residents wishes.</p> <p>Not right that ^{new} applications being made while original proposals still will An Band Pleasants</p> <p>↳ Balcony of proposed units overlooks adjacent back gardens & looks into bedrooms of houses across road. Road is narrow This will increase traffic/parking Close to ^{intersect} center change with green route</p>		

PLANNING APPLICATION FEES

Reg. Ref. 91A/1748

Cert. No. 27050

PROPOSAL. These are to be used for a Local & Fitness Centre

LOCATION. Onagh Estate, Schelbostown Road, D16

APPLICANT. Gannon Homes Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres 211.00m	@£1.75 per m2 or £40	369.25	393.75	24.50	overpayment
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: *[Signature]* Grade: D/II Date: 8/11/91

Column 1 Endorsed: Signed: *[Signature]* Grade: Date: 8/11/91

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: S.O. Date: 8/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

ASSESSMENT OF PROPOSED DEVELOPMENT

EG. REF.: 911/1748

CAT. REF.:

SERVICES INVOLVED: WATER/FOUR SEWER, SURFACE WATER

REA OF SITE:

TOTAL AREA OF PROPOSED DEVELOPMENT

2272 sqm
J.L.
8/11/91.

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: 2/ /
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1748.
 DEVELOPMENT: Health and fitness centre.
 LOCATION: Orlagh Estate, Scholarstown Road.
 APPLICANT: Gannon Homes Ltd.
 DATE LODGED: 5.11.91.

The proposal is for a change of use of the first floor area over four retail outlets. A total of 22 off street car parking spaces are proposed to cater for all the developments at this location. Permission was previously granted for 4 flats over these shops (Reg. Ref: 89A/236).

The proposal includes over 100sq. metres of open exercise area plus 2 sunbed rooms and a steam room. While such a development is not specifically referred to in the development plan with respect to car parking the requirement based on function rooms would be large. While overlapping use of the car park may be appropriate to week days, it is considered that on Saturdays a congestion and hazard could occur.

It is noted that the shops serve a large housing development.

Permission should be refused as:-

1. The parking associated with the proposed development would lead to a congestion and the turning movements which would result from the proposed development would endanger public safety by reason of traffic hazard.

GC/BMcC
28.11.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 04.12.91
Time 12.10

SIGNED: Garnett Curran
DATE: 2/12/91

ENDORSED: C.F.R.L.
DATE: 3/12/91

Register Reference : 91A/1748

Date : 13th November 1991

Development : Change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development

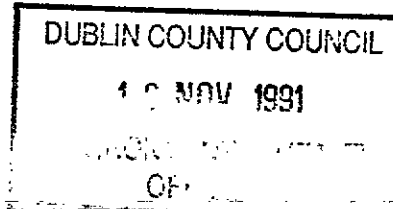
LOCATION : Orlagh Estate, Scholarstown Road, Dublin 16

Applicant : Gannon Homes Ltd.

App. Type : PERMISSION

Planning officer : M.O'SHEE

Date Recd. : 5th November 1991



Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

.....
for PRINCIPAL OFFICER

These proposals are acceptable to this section subject to -

- 1. Suitable and adequate ventilation being provided to all rooms and especially the lobby and sanitary accommodation.*



for *Sta Devino*
John O'Keilly
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

by Synth Env. Health Officer
25/11/91

Filed.

P/5685/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1748

Date Received : 5th November 1991

Correspondence : Conroy Crowe Kelly,
Name and : 26 Kingram Place,
Address : Dublin 2

Development : Change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development

Location : Orlagh Estate, Scholarstown Road, Dublin 16

Applicant : Gannon Homes Ltd.

App. Type : Permission

Zoning : *AI*

Floor Area : *725* Sq.metres

MOS
(MOS/BB)

Report of Dublin Planning Officer dated 10th December, 1991.

This application is for PERMISSION. The proposed development consists of the change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development at Orlagh Estate, Scholarstown Road, Dublin 16.

The planning history of the site is as follows:-

Reg. Ref. 89A/0236 - Permission granted by An Bord Pleanala for 4 no. shops and 4 no. flats overhead (Order P/5/82396 dated 9/1/91).

Reg. Ref. 91A/0283 - Application made for proposed change of use from residential use to office use at first floor and subsequent alterations to previously approved two-storey shops and flat development, was withdrawn prior to its determination.

Reg. Ref. ~~91A/0616~~ *91A/0616* - Permission granted by Dublin County Council for a single storey ~~toilet~~ *storey* extension to the rear of the newsagents/grocery in the already approved shopping development (Decision Order P/2616/91 dated 12/6/91).

Reg. Ref. 91A/0915 - Decision made by Dublin County Council to grant

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1748

Page No: 0002

Location: Orlagh Estate, Scholarstown Road, Dublin 16

permission for change of use at first floor from 4 residential units to dentist's surgery, doctor's surgery, optician, and office unit and subsequent minor alterations in previously approved neighbourhood shopping development. This decision is currently on appeal to An Bord Pleanála.

PROPOSAL

In the current application permission is being sought for the change of use of the first floor to Health and Fitness Centre. It is maintained that such a facility would be of benefit to the residents of the area.

22 no. car parking spaces are provided for to the side ~~and~~ⁱⁿ front of the existing development, which is the no. of spaces which were conditioned to be provided in the decision to grant permission under Reg. Ref. 91A/0915, which is currently before An Bord Pleanála.

The proposed floor plan shows the provision of a large exercise room (c. 102 sq. m.), 2 no. sun beds, steam room and changing rooms.

The Roads Department in its report dated 3/12/91 states that it is considered that traffic congestion and hazard ^{could} occur on Saturdays when the proposed car park would be inadequate to cater for the combined car parking ~~to~~^{demand} of the approved shops and the proposed health and fitness centre.

The Roads Department recommend refusal on the grounds that "the parking associated with the proposed development would lead to a congestion and the turning movements which would result from the proposed development would endanger public safety by reason of traffic hazard".

A letter objecting to the proposed change of use from residential units to a health centre has been received from a local resident, who is objecting to any form of commercial use at first floor level.

While health/fitness centres are not specifically listed as a land use in the 1983 Plan, such a use would probably be a use which could be regarded as a permissible use in an A1 zone ~~which~~^{such as} as on the grounds that they are a form of ~~residential buildings~~^{recreational}, similarly they would probably be a use which could be 'open for consideration' in A zones ^(site is zoned 'A' in the 1991 Draft Development Plan).

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1748

Page No: 0003

Location: Orlagh Estate, Scholarstown Road, Dublin 16

Notwithstanding the fact that such a land use would provide for a useful local recreational facility in a residential area, the proposed development together with the approved development (i.e. 4 no. shops) would in my opinion generate a demand for off street car parking facilities over and above what is being provided, particularly on Saturdays, which would lead to ~~construct~~ car parking and traffic congestion, on the basis of the ~~above~~ report. *on street*

on the basis of the above report

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 ~~subject to~~ the following

(1) ~~conditions~~
Reason

REASONS FOR REFUSAL

01 It is considered that the proposed development together with ~~the site~~ *the site (ie 4 no. shops)* ~~(i.e. 4 shops)~~ the development which has already been approved on would generate a demand for off-street car parking over and above what is been provided for as part of the proposed development. The car parking demands generated by the approved shops and the proposed health and fitness centre would be likely to coincide particularly on Saturdays, as well as at other times during the week (e.g. mornings). The proposed development would result in on street car parking, traffic congestion as well as an increase in turning movements at the site. ~~The proposed development would thereby endanger public safety by reason of traffic hazard.~~ *which would lead to traffic congestion*

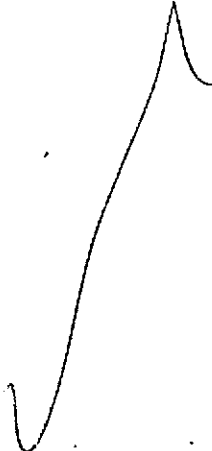
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1748

Page No: 0004

Location: Orlagh Estate, Scholarstown Road, Dublin 16



Richard Cremins SEP

for Dublin Planning Officer 11.12.91

[Signature]

Endorsed:-----
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to REFUSE PERMISSION for the above proposal for the () reasons set out above is hereby made.

Dated : 18th DECEMBER 1991

[Signature]

ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

Marjorie O'Shea.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	03.12.91
Time	4.45

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1748.
 DEVELOPMENT: Health and fitness centre.
 LOCATION: Orlagh Estate, Scholarstown Road.
 APPLICANT: Gannon Homes Ltd.
 DATE LODGED: 5.11.91.

The proposal is for a change of use of the first floor area over four retail outlets. A total of 22 off street car parking spaces are proposed to cater for all the developments at this location. Permission was previously granted for 4 flats over these shops (Reg. Ref: 89A/236).

The proposal includes over 100sq. metres of open exercise area plus 2 sunbed rooms and a steam room. While such a development is not specifically referred to in the development plan with respect to car parking the requirement based on function rooms would be large. While overlapping use of the car park may be appropriate to week days, it is considered that on Saturdays a congestion and hazard could occur.

It is noted that the shops serve a large housing development.

Permission should be refused as:-

1. The parking associated with the proposed development would lead to a congestion and the turning movements which would result from the proposed development would endanger public safety by reason of traffic hazard.

GC/BMcC
28.11.91.

SIGNED: Garnett Anne ENDORSED: C.F. Lk
 DATE: 2/12/91 DATE: 3/12/91



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 5685 /91 Date of Decision : 18th December 1991

Register Reference : 91A/1748 Date Received : 5th November 1991

Applicant : Gannon Homes Ltd.

Development : Change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development

Location : Orlagh Estate, Scholarstown Road, Dublin 16

Floor Area : Sq. Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

Conroy Crowe Kelly,
26 Kingram Place,
Dublin 2



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/1748
Decision Order No. P/ 5685 /91
Page No: 0002

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- ...!.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 19/12/91.....

Reg.Ref. 91A/1748
Decision Order No. P/ 5685 /91
Page No: 0003



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

REASONS FOR REFUSAL

- 01 It is considered that the proposed development together with the development which has already been approved on the site (i.e. 4 no. shops) would generate a demand for off-street car parking over and above what is been provided for as part of the proposed development. The car parking demands generated by the approved shops and the proposed health and fitness centre would be likely to coincide particularly on Saturdays, as well as at other times during the week (e.g. mornings). The proposed development would result in on street car parking, as well as an increase in turning movements at the site which would tend to create serious traffic congestion. The proposed development would thereby endanger public safety by reason of traffic hazard.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1748

Date : 6th November 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development

LOCATION : Orlagh Estate, Scholarstown Road, Dublin 16

APPLICANT : Gannon Homes Ltd.

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application received on 5th November 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Conroy Crowe Kelly,
26 Kingram Place,
Dublin 2

C O N R O Y C R O W E K E L L Y
A R C H I T E C T S

KINGRAM PLACE, FITZWILLIAM SQUARE, DUBLIN 2 613990 613991 Fax 765715

BARRY CONROY Dip Arch
MICHAEL CROWE BArch
DANIEL KELLY BArch

Our Ref: 9002 DK/AK.

Planning Department,
Dublin County Council,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

5th November, 1991.

RE: CHANGE OF USE OF FIRST FLOOR FROM FOUR FLATS TO HEALTH AND
FITNESS CENTRE IN PREVIOUSLY APPROVED NEIGHBOURHOOD SHOPPING
DEVELOPMENT AT ORLAGH ESTATE, SCHOLARSTOWN ROAD, DUBLIN 16.
REGISTER REF: 89A/236.

Dear Sirs,

On behalf of our client Gannon Homes Ltd. we wish to apply for full
Planning Permission for a change of use of the first floor area from
residential to a Health and Fitness centre.

We enclose for your attention the following information:

1. ARCHITECTS DRAWINGS IN QUADRUPLICATE:

9002 D 100 Rev D	9002 D 113 Rev C
9002 D 105 Rev D	9002 D 112
9002 D 110 Rev D	9002 D 123
9002 D 111 Rev B.	

2. ENGINEERS DRAWING IN QUADRUPLICATE:

E 223/06 Rev G.

3. Newspaper advertisement dated 22nd October 1991.

4. Cheque in the sum of £393.75.

5. Completed application form.

6. Architects report.

Should you require any further clarification or information please
contact the undersigned.

Yours faithfully,

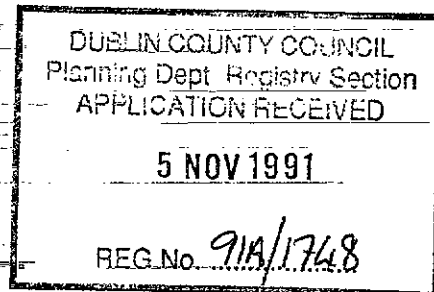
Daniel Kelly

Daniel Kelly.

CONROY CROWE KELLY ARCHITECTS.

Encs.

cc Gannon Homes Ltd.



C O N R O Y C R O W E K E L L Y
A R C H I T E C T S

KINGRAM PLACE, FITZWILLIAM SQUARE, DUBLIN 2 613990 613991 Fax 765715

BARRY CONROY Dip Arch
MICHAEL CROWE Arch
DANIEL KELLY Arch

OUR REF: 9002 DK/AK.

ARCHITECTS REPORT

PROPOSED CHANGE OF USE OF FIRST FLOOR OF PREVIOUSLY APPROVED DEVELOPMENT
AT ORLAGH ESTATE, SCHOLARSTOWN ROAD, DUBLIN 16.

CHANGE OF USE FROM RESIDENTIAL TO HEALTH AND FITNESS CENTRE.

BACKGROUND:

Dublin County Council Register Reference No. 89A/236.
An Bord Pleanala Reference No. PL/5/82396.
Dublin County Council Register Reference No. 91A/0915.

Planning Permission was granted for a development comprising four shops and four flats in a two storey block by An Bord Pleanala on the 31st of January, 1991.

Dublin County Council decided to grant Planning Permission for a change of use of the first floor from residential to office and clinic use. This decision is now the subject of an appeal to An Bord Pleanala.

PROPOSAL:

This application is for change of use of the first floor to Health and Fitness Centre.

REASON FOR CHANGE OF USE:

It is now felt that flats located over shops in this type of development will be inappropriate. Professional advice has indicated that these units would be very difficult to sell.

Discussion with the Planning Department indicated that any alternative use of the first floor should be community orientated. We consider that a Health and Fitness Centre would fit that description, would be a facility for the immediate locality and would benefit the residents socially.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

5 NOV 1991

REG No. 91A/1748

CAR PARKING:

A Health and Fitness Centre is not referred to in Dublin County Council Development Plan Schedule of car parking requirements. The existing permissions on site requires 20 spaces. 6 spaces would have been allocated to the old first floor layout (4 flats), 8 spaces are therefore provided for the 1st floor in the present proposal and the total on site carparking provision is 22.

SERVICES:

Service connections to foul surface and water mains are as per enclosed Engineers drawings.

CONROY CROWE KELLY ARCHITECTS

NOVEMBER, 1991.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.
2. Postal address of site or building ORLAGH ESTATE, SCHOLARSTOWN ROAD
(If none, give description sufficient to identify) DUBLIN 16
3. Name of applicant (Principal not Agent) GANNON HOMES LTD
Address 68 ANNIENS STREET, DUBLIN 1 Tel. No. 366 233
4. Name and address of person or firm responsible for preparation of drawings CAROLY CLARE KEENE, 26 KINGRAM PLACE
DUBLIN 2 Tel. No. 613990
5. Name and address to which notifications should be sent AS NO 4 above

6. Brief description of proposed development CHANGE OF USE OF 1st FLOOR TO HEALTH AND FITNESS CENTRE
7. Method of drainage MAINS 8. Source of Water Supply MAINS

Irish
Pres
22/10/91

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. SHOPS - GROUND FLOOR / RESIDENTIAL - 1st
(b) Proposed use of each floor AS NO 6

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 1620 Sq. m.
(b) Floor area of proposed development 225 Sq. m.
(c) Floor area of buildings proposed to be retained within site / Sq. m.

DUBLIN 16 Planning permission sought for change of use of first floor area from 4 residential units to health and fitness centre and subsequent minor alterations in previously approved neighbourhood shopping development at Orlagh Estate, Scholarstown Road, Dublin 16. Signed Gannon Homes Ltd

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

393.75 5/11
51076

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
AS FAR AS PRACTICABLE

15. List of documents enclosed with application.
SEE ACCOMPANYING LETTER

16. Gross floor space of proposed development (See back) 225 Sq. m.

No of dwellings proposed (if any) Class(es) of Development
Fee Payable £ 393.75 Basis of Calculation 225 m² x 1.75 / m²
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Daniel P. Kelly Date 5/11/1991

Application Type P FOR OFFICE USE ONLY
Register Reference 91A/1748
Amount Received £ 22-10 2-32-4
Receipt No
Date

RECEIVED
- 5 NOV 1991
REG 22

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£30.00 each £3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00 Max. Fee £20,000
8.	Petrol Filling Station.	£100.00			
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1

Issue of this receipt is not an
admission of liability or a judgement that the fee
tendered is the prescribed application
fee. N 51076

€ 393.75

Received this 5th day of November 1991

from *General House No. 17,
68 Anniens St.,
D.1*

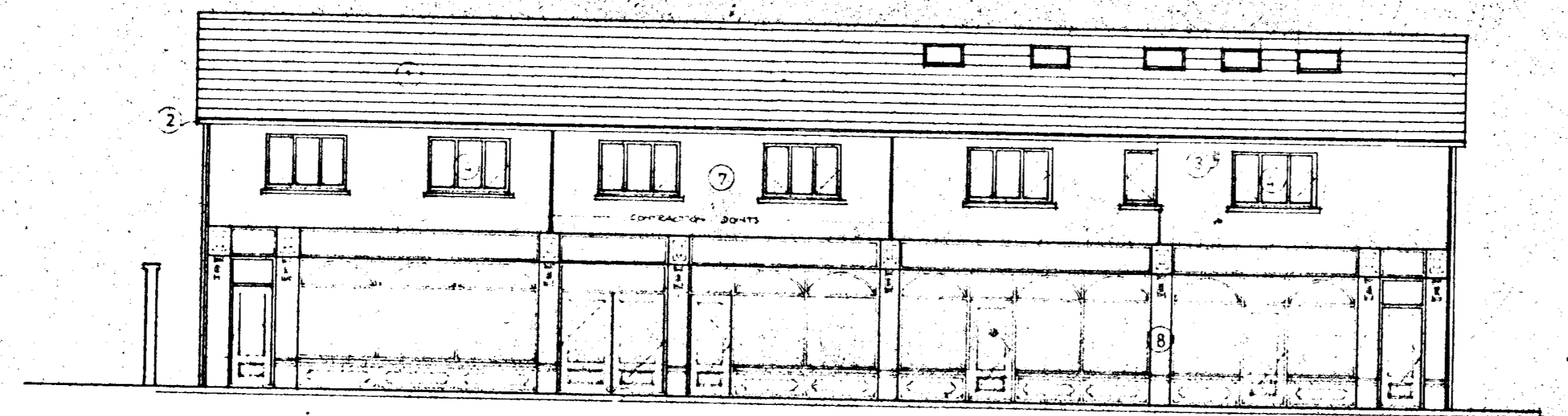
the sum of *three hundred and ninety three* Pounds
seventy five Pence being
planning application at subject site

Madeline Doane Cashier

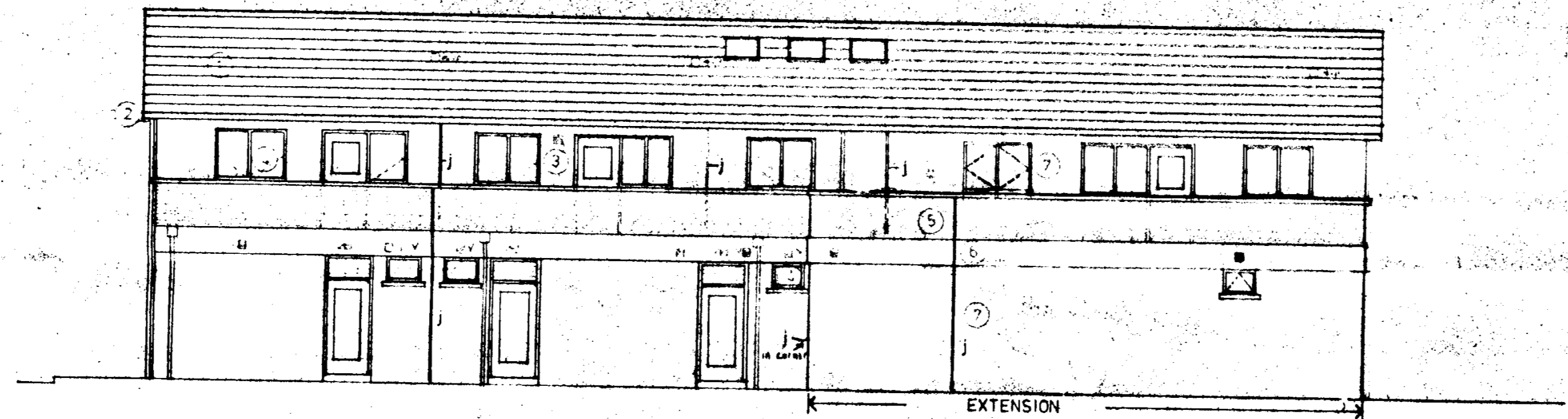
S. CAREY Principal Officer

1 Do not scale this drawing
 2 Errors and omissions to be immediately notified to the Architect
 3 All dimensions to be checked on site

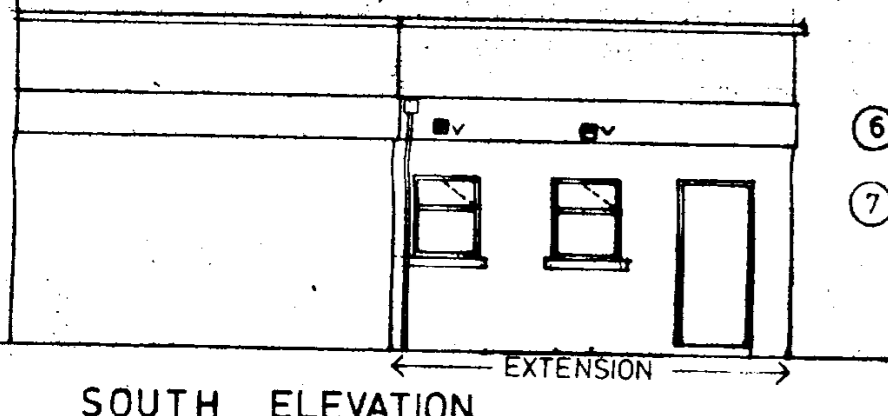
J INDICATES CENTER JOINT IN
 DTYPE LEAF 25MM WIDE



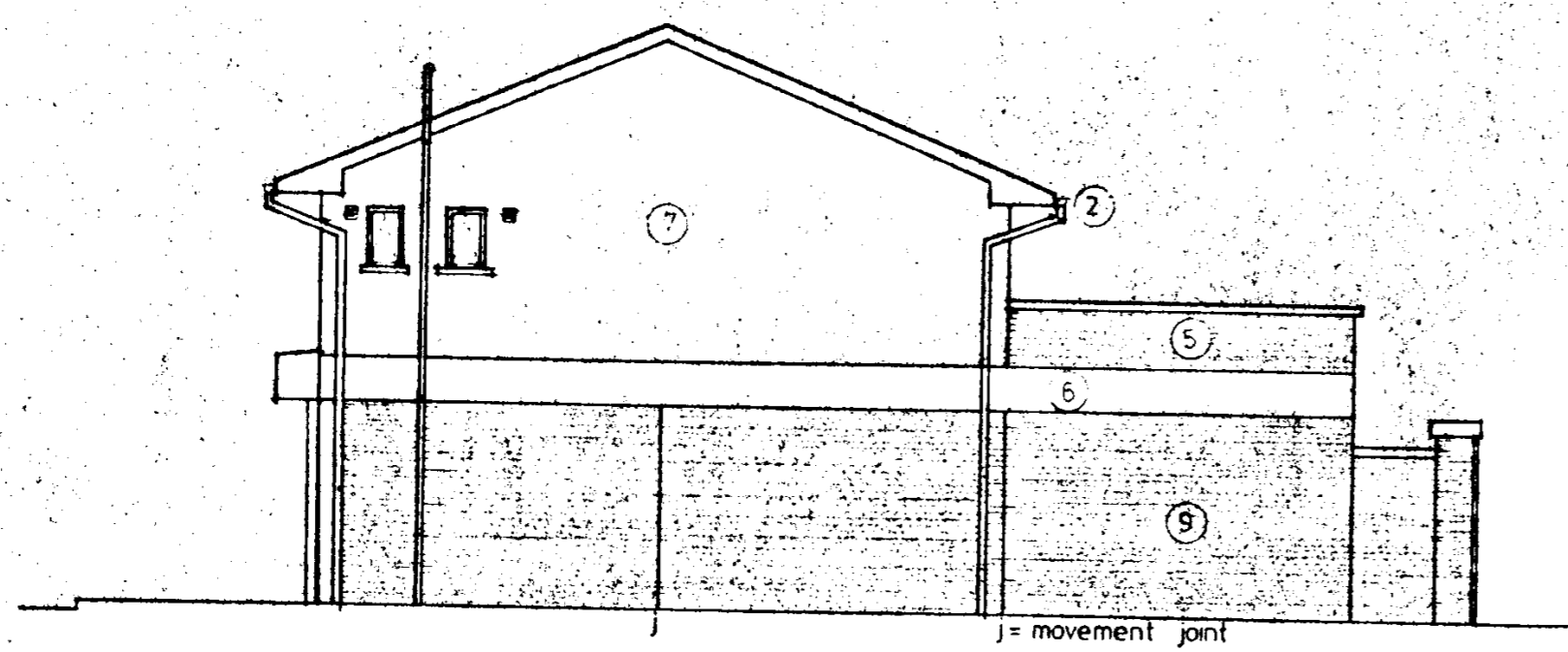
WEST ELEVATION



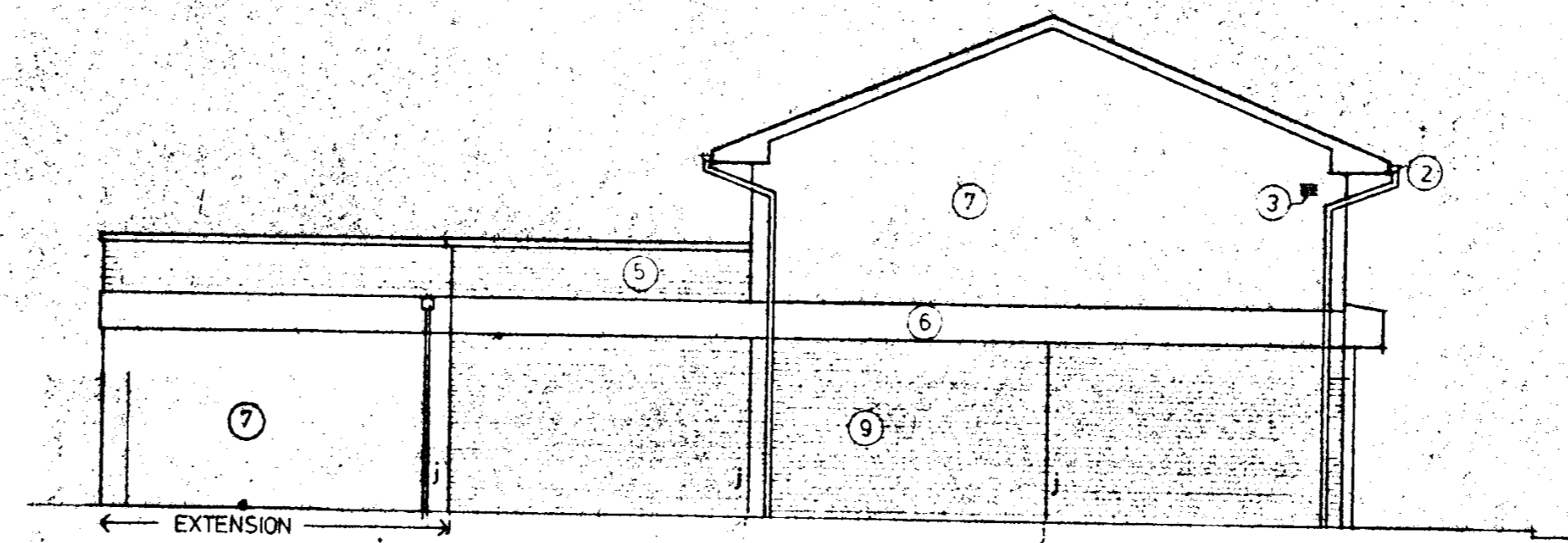
EAST ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

ELEVATIONAL MATERIALS.

1. Selected roof tiles.
2. PVC W round gutters with round PVC down pipes.
3. 225 x 225mm vents.
4. Hardwood double glazed windows.
5. Brick faced parapet.
6. Smooth plaster band.
7. Selected plaster finish.
8. Timber shop fronts.
9. Brick work.

LEININ COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 5 NOV 1991
 REC No. 91A/1248

REVISIONS TO EXTEND
 REVISIONS

Revisions	date	init
ELEVATIONS	9002 D 111	

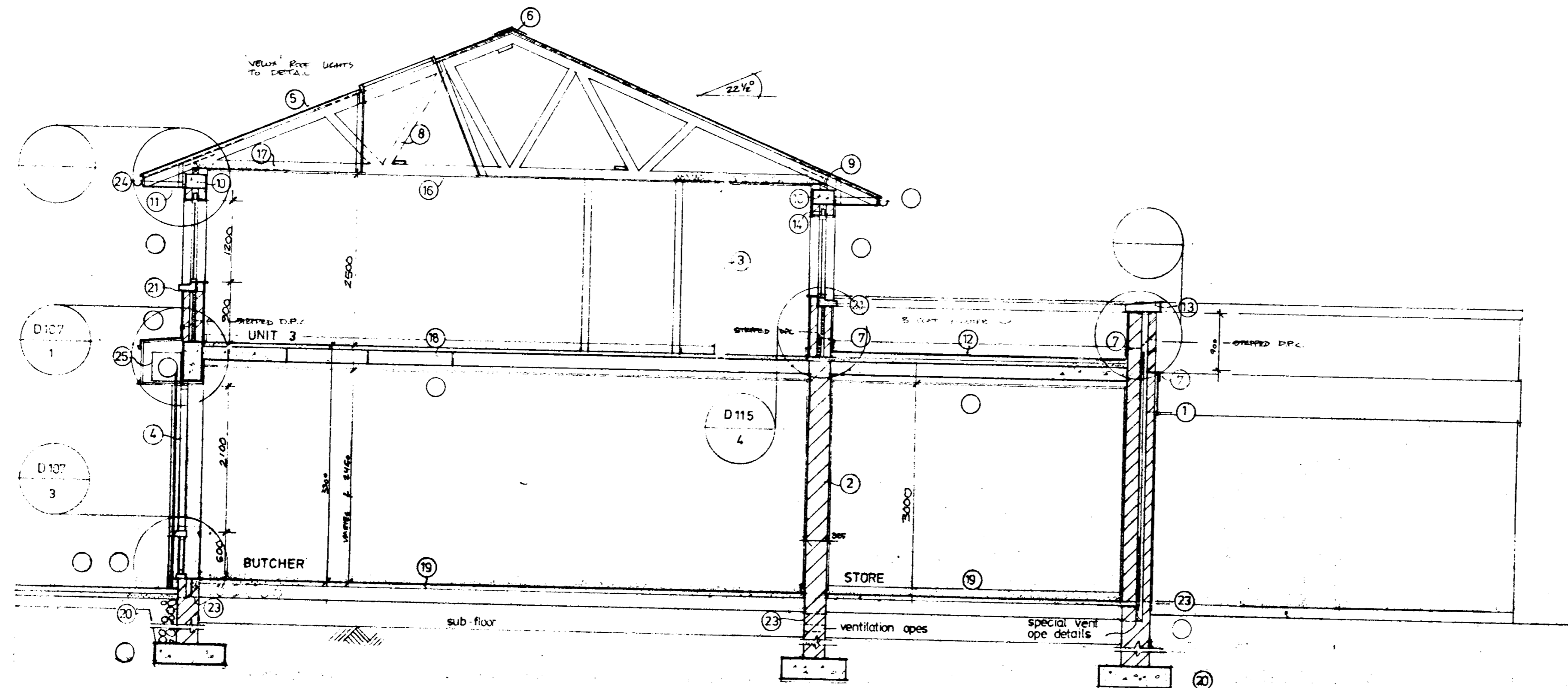
PROPOSED SHOPS
 at
 SCHOLARSTOWN
 ROAD

GANNON HOMES LTD

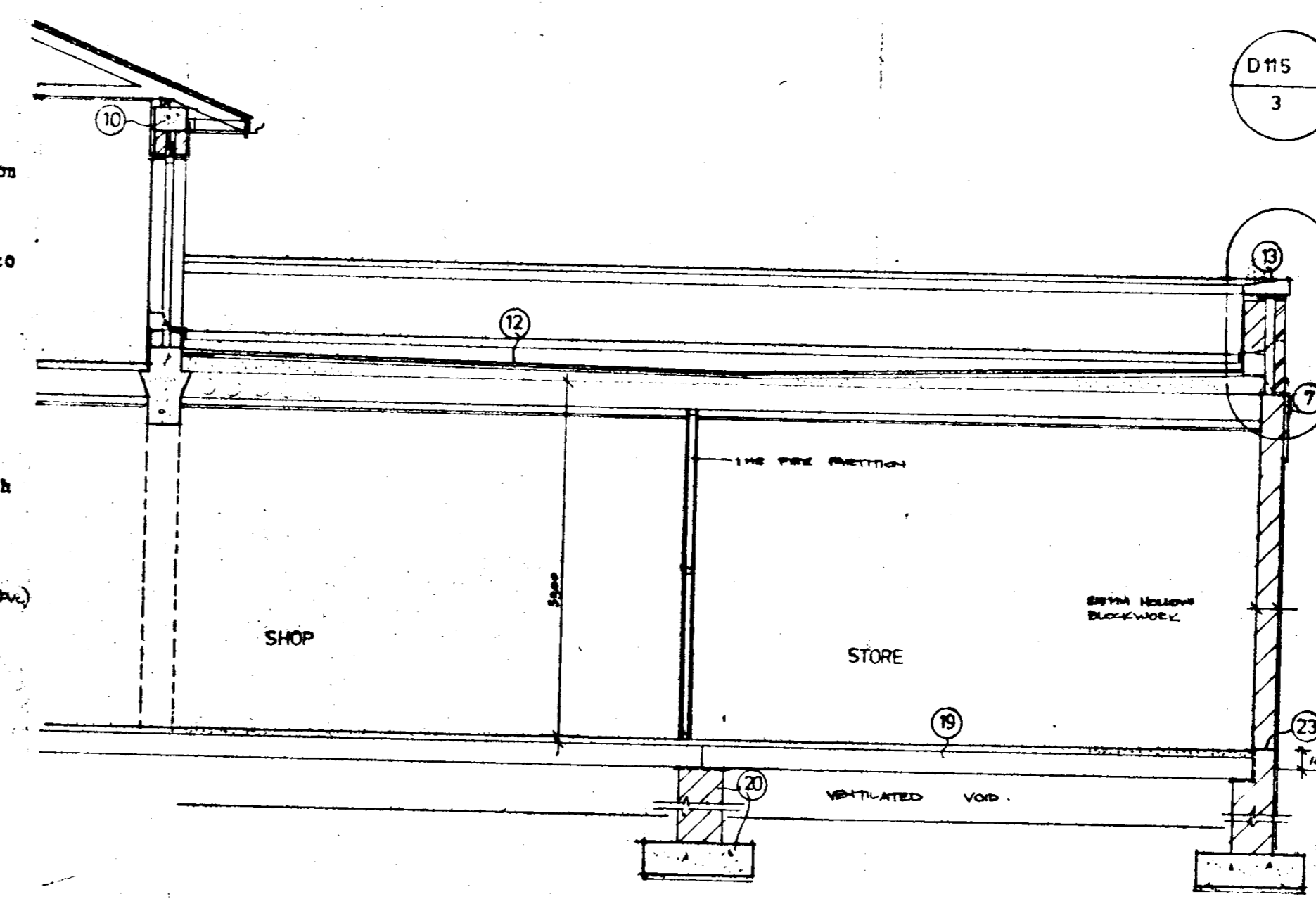
CONROY CROWE KELLY
 ARCHITECTS

26 KINGRAM PLACE
 FITZWILLIAM SQUARE
 DUBLIN 2
 TELEPHONE: 613990 FAX: 613391

1. Do not scale this drawing.
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SECTION A - A



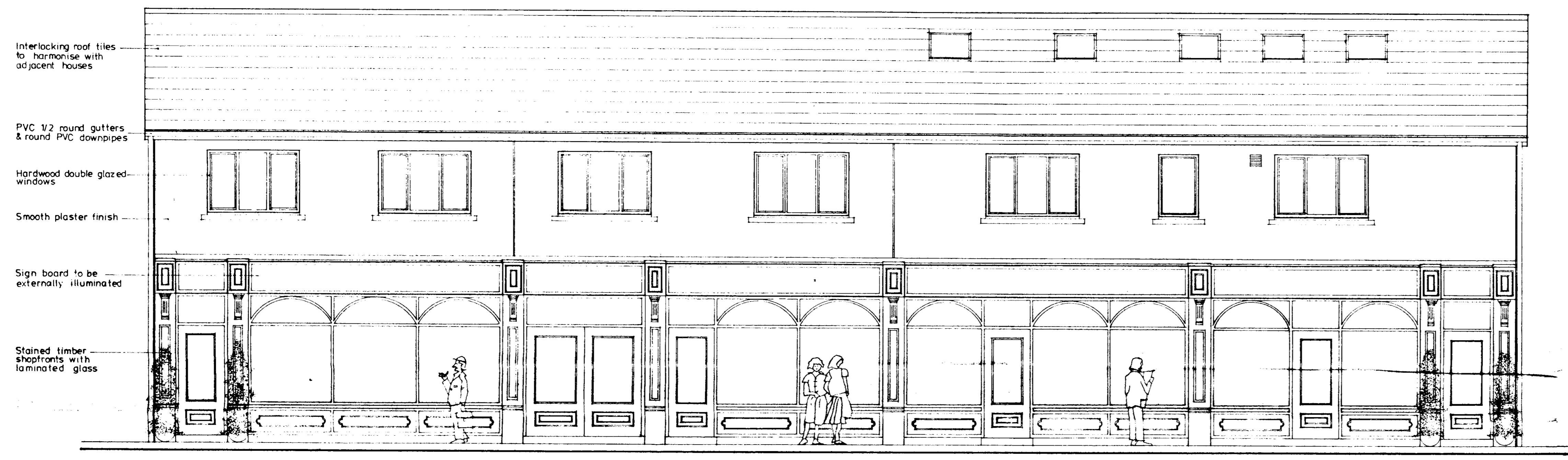
SECTION Y - Y

1. **WALLS:**
425mm thick external cavity wall comprising 215mm inner leaf in solid block 100mm cavity with 50mm interlocking polystyrene insulation 100mm outer leaf in solid block or 102.5mm outer leaf in selected clay brick.
WALL TIES:
Wall ties shall be stainless steel and to conform to BS 1243. They shall be at 450mm centres horizontally and 750mm centres vertically. Ties to be staggered.
Ties should be inserted within 450mm of an internal corner. Additional ties to be inserted at openings. Vertical spacing not greater than 225mm. Ties to be bedded at least 50mm in each leaf. Ensure that there are no mortar droppings on ties.
WALL FINISHES:
Internal:
Gyplite undercoat 11mm thick on scratched basecoat.
Gyplite finish coat 1.6mm thick, steel trowelled finish.
External:
Smooth render sand/cement in 3 coats or other approved plaster finish or selected brick as indicated. Finish plaster in Dulux exterior paint..
2. 100mm or 215mm or 325mm solid block internal walls finished in Gyplite plaster as described above.
3. 100mm stud partitions comprising 12.7mm plasterboard, taped and filled joints Gyplite finish skim on 75 x 38mm s.w. tanalised studs at 600mm c/s. All fixed to manufacturers requirements.
4. **SHOPFRONTS:**
Hardwood stained and satin polyurethane finish screens incorporating doors, solid and glazed panels. All opening sections to be draught stripped. All glass to be laminated. Ironmongery to be selected. Hardwood panelling, mouldings boxing to shutters etc., stained and varnish finish
5. **ROOFS:**
Selected interlocking flat concrete pantiles fixed to manufacturer's requirements on 38 x 38mm tanalised battens at centres to suit the tiles on breather type roofing felt (reinforced) to IS 36 type 1F.
6. Concrete ridge tile bedded in sand/cement and screwed down using brass screws (detail)
7. Code 5 lead upstand and cover flashings to detail. Code 5 soakers where required.
8. Timber roof trusses designed, manufactured, installed and braced in accordance with I.S. 193 1980. Trusses at 600mm c/s. Truss layouts and specification to Engineer's details.
9. 100 x 75mm tanalised wallplate fixed to concrete beam to Structural Engineer's details.
10. Reinforced concrete ring beam to Structural Engineer's details.
11. **EAVES SOFFITS:**
Treated softwood eaves/soffit, painted finish. Top of eaves board to incorporate proprietary continuous air vent unit. (Manufactured by Glidvale) to give continuous ventilation.
12. **FLAT ROOF:**
Traced flat roof membrane on all necessary underlays and vapour barriers and incorporating 50mm polyurethane insulation.
All laid on 75mm min sand/cement screed laid to falls.
Roof to be laid by specialist sub contractor.
13. Precast concrete coping on D.P.C. on A.C. slate support. Joints to be specially sealed (to detail).
14. Galvanized steel listols incorporating insulation and plastering laths. Types to be approved. Min end bearing to be 150mm.
15. PC prestressed concrete listols installed strictly to manufacturer's details. Min end bearing to be 150mm.
16. **CEILINGS:**
12.7mm plasterboard and Gyplite finish on polythene vapour barrier all joints sealed or selected suspended ceiling system. (GROUND FLOOR ONLY)
17. 100mm fibre glass insulation. Special insulation retainer at eaves.
18. **INTERMEDIATE FLOORS:**
75mm sand/cement screed on 200mm or 250mm PC prestressed slabs all installed to Structural Engineers details.
19. **GROUND FLOOR:**
75mm structural screed on 200mm pc hollowcore slabs all to engineers details.
20. **RISING WALLS/FOUNDATIONS:**
Solid concrete block rising walls on reinforced concrete strip foundations on 50 sand/cement blinding.
Levels of and surfaces of all footing cuttings to be approved by Structural Engineer. Concrete fill to cavity up to ground level.
21. PC cills on DPC wrapped up at back and sides and taken behind vertical DPC to jamb.
22. Vertical DPC to all cavity closures.
23. Hi Load DPC to all rising walls, min 150mm above ground level and lapped with DPM underslabs.
24. **GUTTERS AND DOWNPIPES:**
100mm half round gutters and downpipes (PVC)
25. **SHUTTER BOX/SHUTTER:**
Colour coated aluminium shutters fixed to concrete beam and enclosed in timber sign box -
Lead flashing and stepped DPC over.
All to detail.

1. Do not scale this drawing. 2. Errors and omissions to be immediately notified to the Architect. 3. All dimensions to be checked on site.	
REVISIONS A. UPDATED. SPEC. ADDED date int's	16/1/91 12/05/91 19/05/91
description SECTION	drawing no. 9002 D 105
job PROPOSED SHOPS at SCHOLARSTOWN ROAD	scale 1:50 date JAN 91 drawn checked
client GANNON HOMES LTD	
ISSUE	
CONROY CROWE KELLY ARCHITECTS 26 KINGRAM PLACE FITZWILLIAM SQUARE DUBLIN 2 TELEPHONE: 613990 FAX: 613391	

NOV 1991
91A/174.8

1. Do not scale this drawing
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FRONT ELEVATION

SECTION

DUBLIN COUNTY COUNCIL
 Planning Dept. Register Section
 APPLICATION RECEIVED
 5 NOV 1991
 REG No. 91A/1743

Revisions	date	Irish
description		
ELEVATION Front		drawing no 9002 D112
job	scale 1:50	date APR 91
PROPOSED SHOPS at SCHOLARSTOWN ROAD	drawn	checked
client	GANNON HOMES LTD	
issue		
CONROY CROWE KELLY ARCHITECTS 26 KINGRAM PLACE FITZWILLIAM SQUARE DUBLIN 2 TELEPHONE: 613990 FAX: 613391		

1. WALLS:
 420mm thick external cavity wall comprising 215mm inner leaf in solid block 100mm cavity with 50mm interlocking polystyrene insulation 100mm outer leaf in solid block or 102.5mm outer leaf in selected clay brick.

WALL TIES:

Wall ties shall be stainless steel and to conform to BS 1243. They shall be at 450mm centres horizontally and 750mm centres vertically. Ties to be staggered.
 Ties should be inserted within 450mm of an internal corner. Additional ties to be inserted at openings.
 Vertical spacing not greater than 225mm. Ties to be bedded at least 50mm in each leaf. Ensure that there are no mortar droppings on ties.

WALL FINISHES:

Internal:
 Gyp-lite undercoat 11mm thick on scratched basecoat
 Gyp-lite finish coat 1.6mm thick, steel trowelled finish.

External:
 Smooth render sand/cement in 3 coats or other approved plaster finish or selected brick as indicated. Finish plaster in Dulux exterior paint.

2. 100mm or 215mm or 325mm solid block internal walls finished in Gyp-lite plaster as described above.

3. 100mm stud partitions comprising 12.7mm plasterboard, taped and filled joints Gyp-lite finish skm on 75 x 38mm s.w. galvanised studs at 600mm c/g. All fixed to manufacturers requirements.

4. Doors:
 30/30 BS 476 part 8 tested 1 hour fire door. To specification.
 60/60 BS 476 part 8 tested 1 hour fire door. To specification.
 otherwise flush panel solid core door.

5. SHOPFRONTS:
 Hardwood stained and satin polyurethane finish screens incorporating doors, solid and glazed panels. All opening sections to be draught stripped.
 All glass to be laminated.
 Ironmongery to be selected.
 Hardwood panelling, mouldings boxing to shutters etc., stained and varnish finish.

6. STAIRS:
 Reinforced concrete stairs comprising 18 risers at 183.33 each
 250mm goings with 25mm overhung nosings.
 Painted m.s. 50mm diameter tubular handrail.
 Finish to stairs to be selected anti slip ceramic tiles with special nosing units.

7. Ventilated lobbies and w.c.'s with 225mm galvanised steel vent. or equivalent.
 8. 100mm extract duct and axial fan wire to light switch and delay mechanism to comply with proposed building regulations section L8 to give 3 air changes / hour.

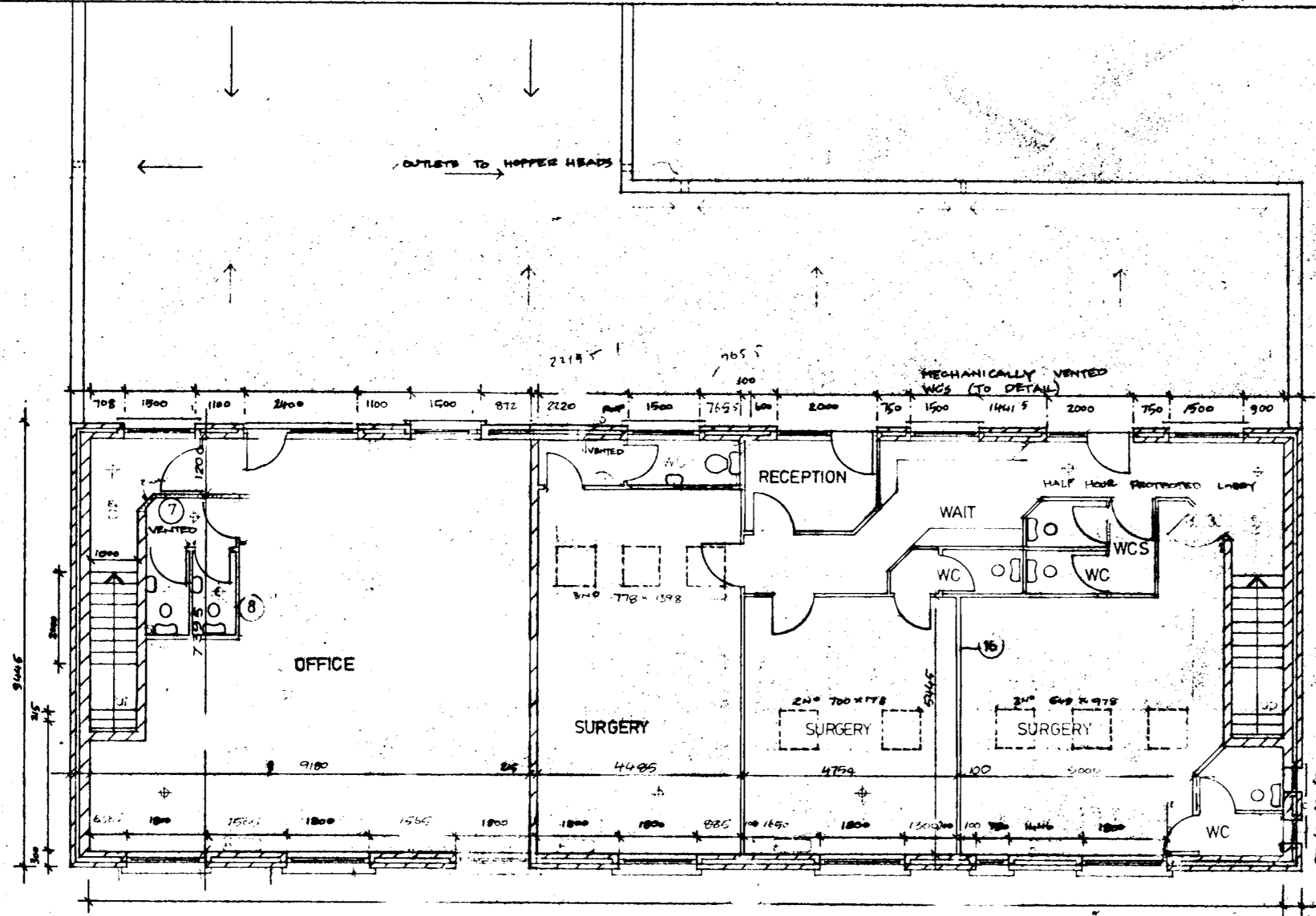
9. DRAINAGE:
 To comply with Dublin County Council. Bye-laws. uPVC installation of pipes AJS gully traps etc. in Marley or Terrain. Sizes of pipes to be as indicated on the drawings. The drains are to be laid on selected granular material or encased in concrete 150mm thick where under floor slab or roadways, 100mm drains shall be laid at falls not less than 1:60 or as indicated on the drawings SVP's shall be terminated at roof level using a patent vent by Giffels (Nacoflex). The drainage system shall comply with the following:
 BS 4514, 5254, 5255, 5572, 5955 (All latest editions).
 Where 100mm stacks penetrate 1st floor slabs and other fire protected structure approved intumescent collars are to be provided.

MANHOLES:
 To be to Structural Engineer's drawings and specification.

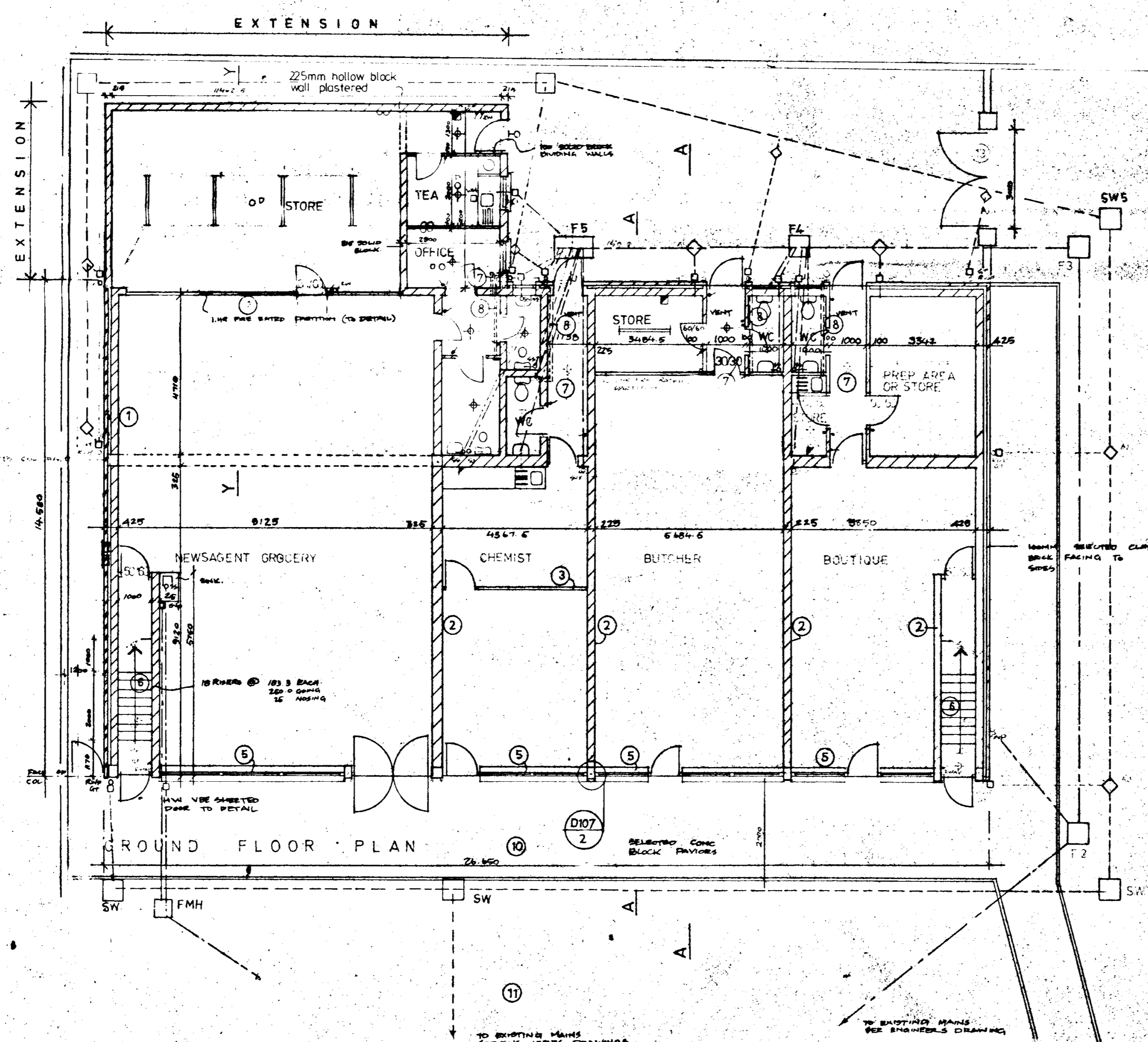
10. Selected concrete block paviors, laid to falls and in herringbone pattern laid on 50mm sand/cement and to manufacturers details. Special kerb pavior.

11. Tarmac to carparking bays and roads to Engineer's requirements.

12. Selected planting in beds with concrete kerb pavior surrounds.



FIRST FLOOR PLAN (as proposed under application 91A/0915 For new revised layout see 9002 D123)



GROUND FLOOR PLAN

LEGEND:
 0 100mm RCP
 0 100mm RCP
 0 100mm RCP
 0 100mm RCP

METER POSITION
 800 LONG TUB FLUORESCENT LIGHT
 LIGHTING POINT
 BA TURN SOCKET
 ELCO POSITION
 2 GAL WIDE SINK WATER HEATER
 WALL MOUNTED LIGHT
 SWITCH
 STORAGE HEATER

24V 10W MAINTAINED EMERGENCY LIGHT
 DRINK GLASS UNIT
 SMOKE DETECTOR
 ALARM BELL

13. Galvanised steel gates painted (to detail)
 215mm brick wall 2.4 metres high, capped with brick on edge on D.P.C. 450mm pier in brick enclosing 100 x 100mm steel post (galvanised) set in concrete base 600 x 600 x 1000mm deep. All to detail.

14. ELECTRICAL INSTALLATION:

The installation is to be in accordance with the following:

The National Rules for Electrical Installation issued by the ETCI.

IEE regulations (latest edition)

All relevant Irish and British Standards and Codes.

The requirements of the ESB.

FIRE ALARM:

A fire alarm is to be installed to comply with IS 5217 1990. The arrangement and design of this is to be to later detail.

Emergency lighting:

An emergency lighting system is to be installed to comply with IS 3217 1989. The arrangement and design of this is to be to later detail.

Heating system:

To be a system of storage heaters and fan assisted convectors. See electrical layout.

15. PLUMBING SYSTEM:

Provide cold water storage tanks in attic to comply with Dublin County Council requirements. Provide cold supply to each unit to feed instantaneous water heater. Provide drinking water supply to each unit. Insulate all pipes with 25mm armaflox. Insulate cold water tanks with 100mm fibre glass. Cover all tanks. Refer to plumbing layout. Refer to detailed specification.

REVISIONS:
 1. LAYOUT TO BUTCHER UNIT
 2. LAYOUT TO BUTCHER UNIT
 3. LAYOUT TO BUTCHER UNIT

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 3. LAYOUT TO BUTCHER UNIT

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 5 NOV 1991
 REG No 91A/1748

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13. Galvanised steel gates painted (to detail)
 215mm brick wall 2.4 metres high, capped with brick on edge on D.P.C. 450mm pier in brick enclosing 100 x 100mm steel post (galvanised) set in concrete base 600 x 600 x 1000mm deep. All to detail.

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Revisions

date info

PLAN
 Ground & First
 Floors

9002 D 110

PROPOSED SHOPS
 at
 SCHOLARSTOWN
 ROAD

GANNON HOMES LTD

CONROY CROWE KELLY
 ARCHITECTS

26 KINGRAM PLACE
 FITZWILLIAM SQUARE
 DUBLIN 2

TELEPHONE: 613990 FAX: 613391

© This drawing is copyright:
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 2. Errors and omissions to be immediately notified to the Architect.
 3. All dimensions to be checked on site.
 4. This drawing to be read in conjunction with all other relevant architectural and engineering drawings.

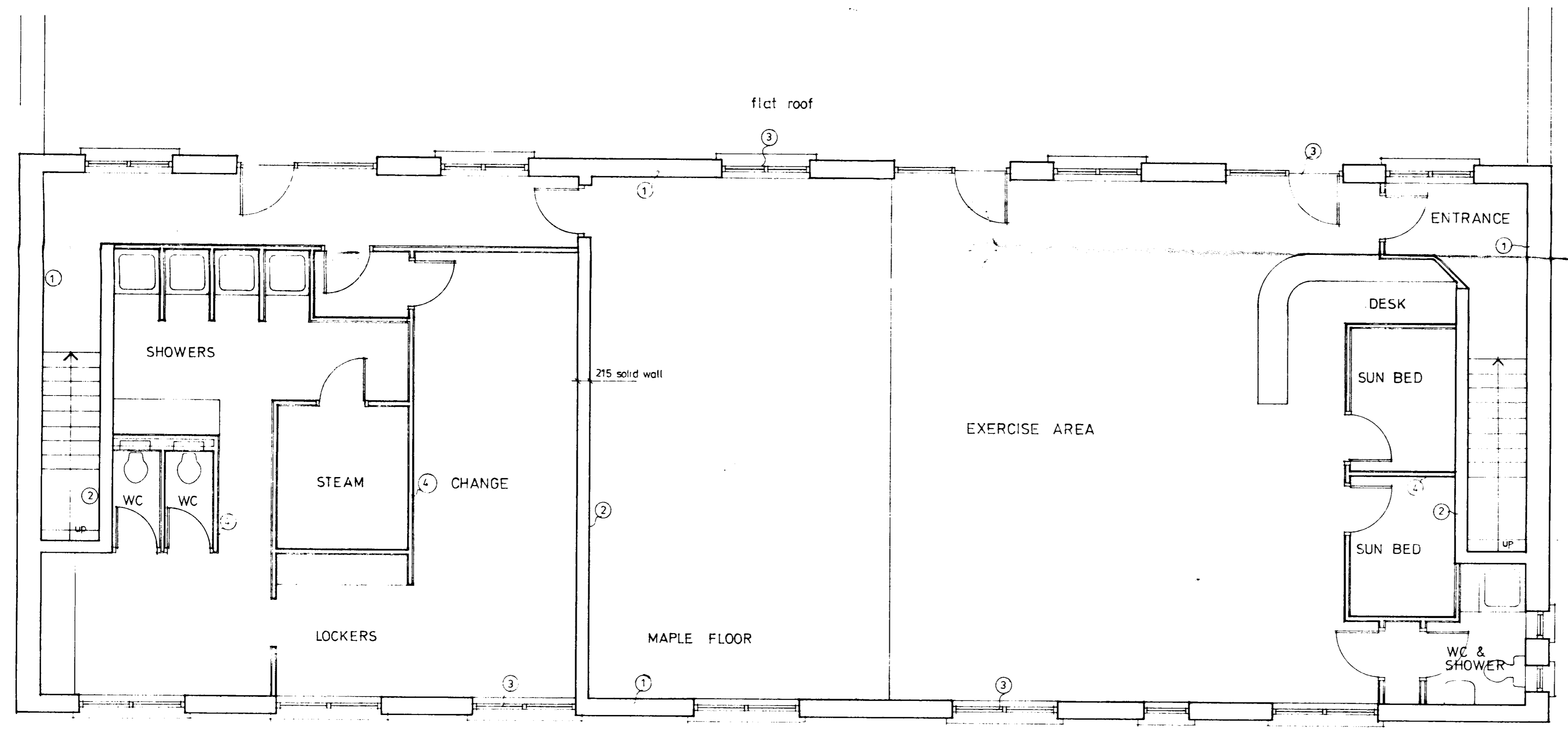
1. EXISTING EXTERNAL WALLS:

 215/100mm solid block inner leaf.
 100mm cavity incorporating 50mm of interlocking polystyrene installation 100mm solid block outer leaf plastered.
 Stainless steel vertical twist type wall ties with insulation retaining disk at 750mm centres horizontally and 450mm vertically.
2. INTERNAL PLASTER:

 Gypsum plaster and skim finish carried out to Gypsum Industries specification.
3. PARTITIONS:

 12.7mm plasterboard taped and filled joints either side of 75 x 38mm softwood studs at 600mm centres.
4. EXISTING WINDOWS:

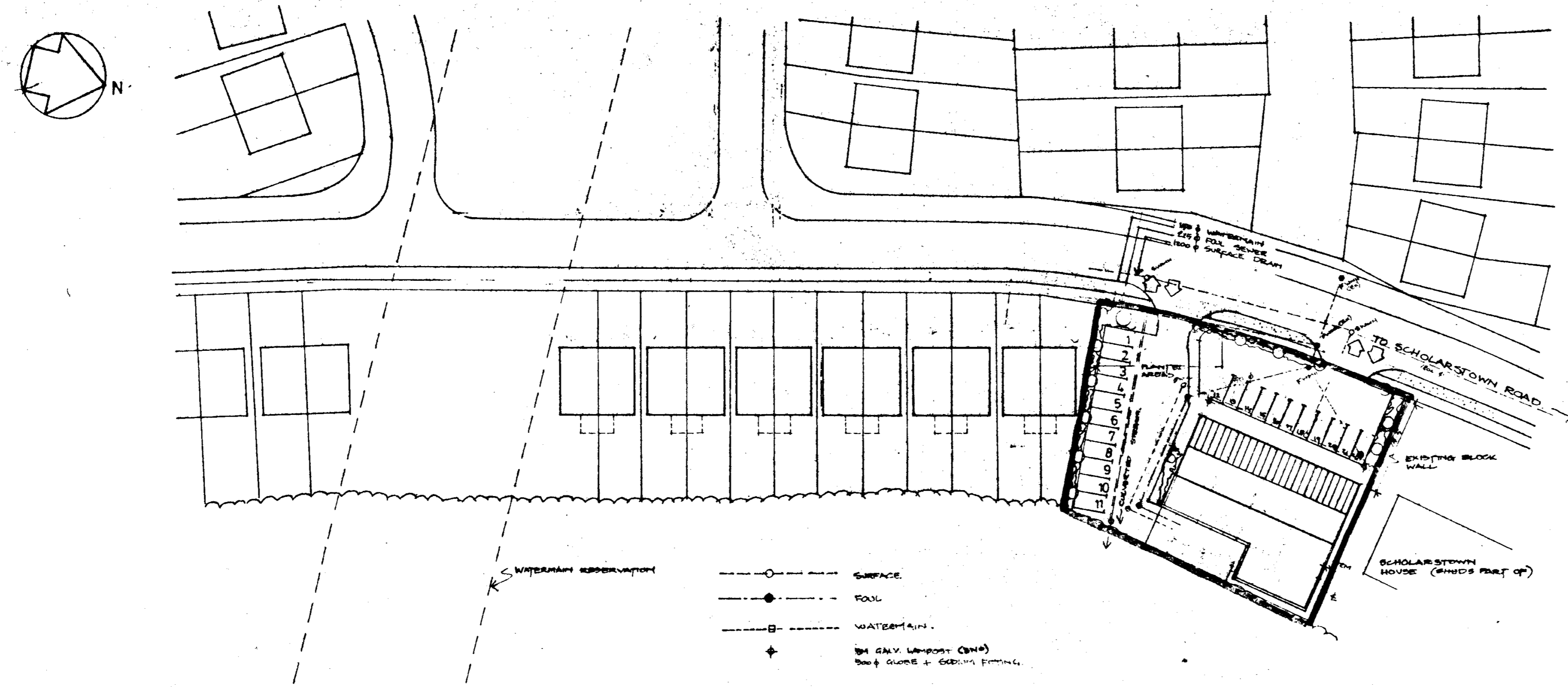
 Double glazed H/V windows and doors fully draught stripped



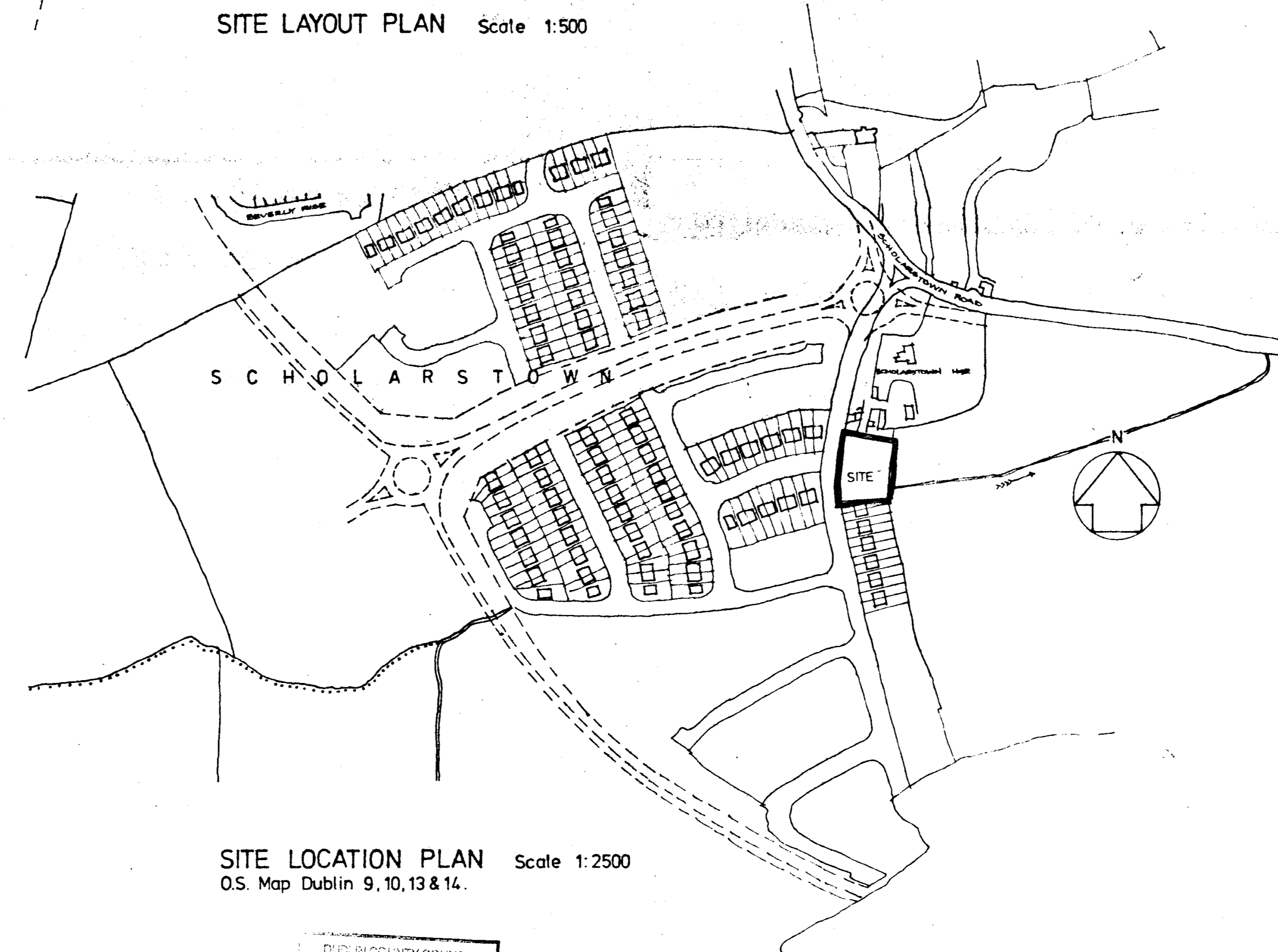
5 NOV 1991
 91A/1748

Revisions	date	ints
PLAN First floor	9002	D 123
FITNESS CENTRE		
job	scale	
Proposed Shops at Scholarstown Road	1:50	
	date	
	21.7.91	
	drawn	
	checked	
client	GANNON HOMES LTD	
issue		
CONROY CROWE KELLY ARCHITECTS 26 KINGRAM PLACE FITZWILLIAM SQUARE DUBLIN 2 PHONE: 613990/1 FAX: 765715		

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SITE LAYOUT PLAN Scale 1:500



SITE LOCATION PLAN Scale 1:2500
O.S. Map Dublin 9, 10, 13 & 14.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
5 NOV 1991
REG No. 70A/1748

Revisions	date	initials
A. BUILDING DIVISION	JAN 91	LD
B. DRAINAGE LAYOUT REVISED	APR 91	DK
C. PARKING AREAS	JUNE 91	LD
D. CAR PARKING AREAS INDICATED AT 1:25	OCT 91	LD

description	drawing no.	revision
SITE LAYOUT PLAN and SITE LOCATION PLAN	9002 D 100	1

job	scale
Neighbourhood Centre at Scholarstown Road	As shown
date	Jan 91
drawn	
checked	

client
GANNON HOMES LTD

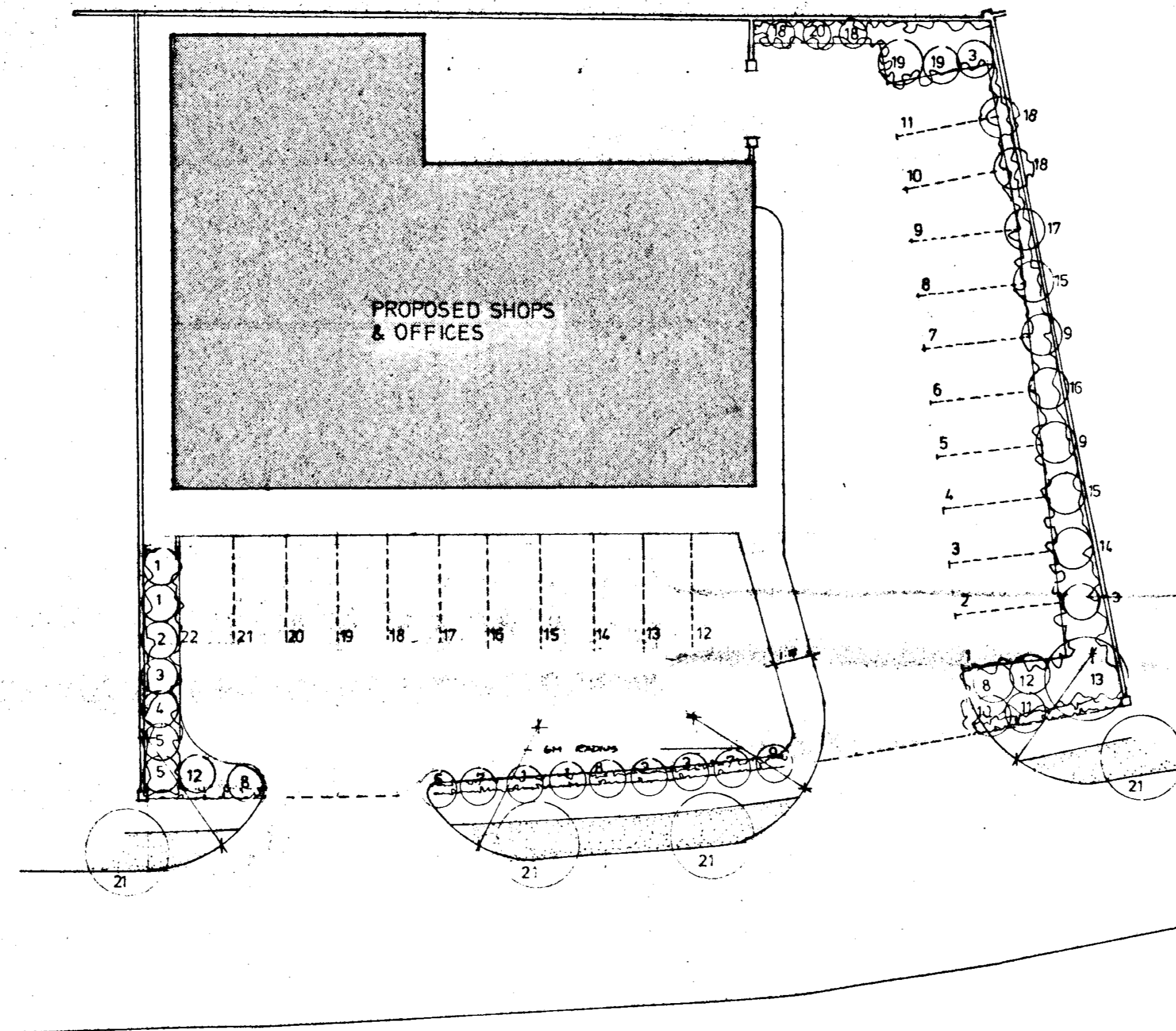
issue

CONROY CROWE KELLY ARCHITECTS
26 KINGRAM PLACE
FITZWILLIAM SQUARE
DUBLIN 2
TELEPHONE: 613990 FAX: 613391

PLANTING LIST:

1. Puschia "McCartonii"
2. Spirea Arguta
3. Viburnum Burkwoodii
4. Hedera Goldheart
5. Lavendula Augustifolia Hidcote
6. Robinia Pseudoacacia Frisia
7. Forsythia Suspensa
8. Prunus Dulcis
9. Skimmia Japonica
10. Genista Lydia
11. Eouymous Emerald Gaiety
12. Cistus Ladanifer
13. Malus Porifusion
14. Ilex Aquifolium
15. Mahonia Japonica
16. Lonicera Halliana
17. Visteria Sinensis
18. Weigela Florida Variegata
19. Cornus Alba Elegantiissima
20. Vitis Cognatis
21. Sorbus Aucuparia

All shrubs and trees to be planted in mixed low ground covering plants such as Ericas, Vinca Minor.



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2. Errors and omissions to be immediately notified to the Architect.
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C. CASE AMENDING WAS INDICATED AS PER	CON 91	INS
B. DIFFERENCE ONLY ALTERED	6/1/91	
A. CASE DASHING LAYOUT AMENDED	MAY 91	
Revisions	date	Ins

description	drawing no.
PLAN Landscaping	9002 D 113
job	scale
PROPOSED SHOPS at SCHOLARSTOWN ROAD	1:200
client	date
GANNON HOMES LTD	APR 91
issue	drawn
	checked

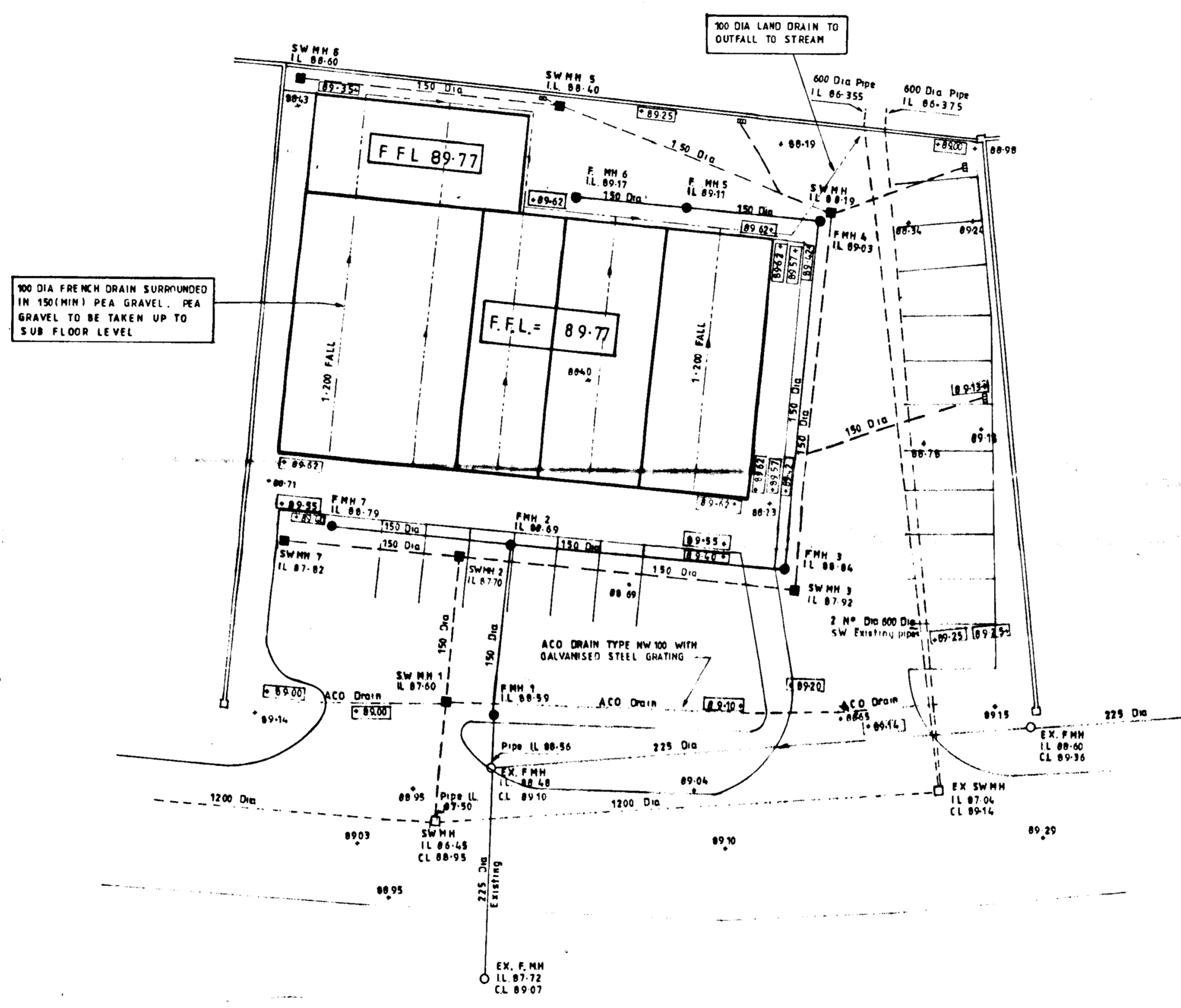
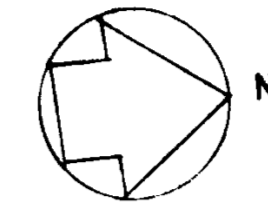
DUBLIN COUNTY COUNCIL
Planning and Building Section
APPLICATION RECEIVED
5 NOV 1991
REG No. 91A/L/748

job	scale
PROPOSED SHOPS at SCHOLARSTOWN ROAD	1:200
client	date
GANNON HOMES LTD	APR 91
issue	drawn
	checked

client
GANNON HOMES LTD

CONROY CROWE KELLY
ARCHITECTS
26 KINGRAM PLACE
FITZWILLIAM SQUARE
DUBLIN 2
TELEPHONE: 613990 FAX: 613391

- NOTES
- Do not scale. Use figured dimensions only.
 - This drawing to be read in conjunction with all other relevant architectural and engineering drawings.
 - All levels are in metres related to Main Head OD
- 4 Legend
- 89.34 Denotes existing ground level
 - 89.62 Denotes proposed ground level
 - - - - - Denotes surface water drain - spigot and socket concrete pipe on 150mm concrete bed - and surround.
 - ● - - - - Denotes proposed foul drain - UPVC pipes on 150 concrete bed and surround
 - □ - - - - Denotes existing surface water drain
 - ○ - - - - Denotes existing foul drain
- 5 Flexible paving
- 40mm of marshall asphalt to B S 594 on 50mm of 20mm dense bitumen macadam to clause 903 of DOE specification on 150 mm of crushed stone graded in accordance with Clause 804 of DOE specification on 225mm of 10Gmm crushed stone
- 6 Brick Paviers
- Selected interlocking paviors on 40mm compacted sand base on 150mm deep compacted layer of crushed stone graded in accordance with Clause 804 of DOE specification



DUBLIN COUNTY COUNCIL
 Public Works Department
 5 NOV 1991
 91A/1748

REV	DATE	AMENDMENT	DRN	CHK
G	27/91	ENTRANCE & CAR PARK REVISED.		
F	27/91	ACO DRAIN TYPE SPECIFIED		
E	20/6/91	FOUL MANHOLES 6 & 7 REMOVED		
D	16/4/91	Manholes at front of building relocated in car parking areas		
C	16/4/91	Drainage details amended to suit proposed new store		
B	26/3/91	Sub floor drainage details added invert level to S.W.M.H. 2 added		AC
A	15/3/91	Drainage updated		

JOHN MOYLAN & ASSOCIATES
 CONSULTING ENGINEERS.
 79, MERRION SQUARE, DUBLIN 2
 TEL. NO. 615337612475 FAX NO. 610255

CLIENT	Gannon Homes Ltd.		
ARCHITECT	Conroy Cross Kelly.		
PROJECT	Proposed Shop Units At Scholarstown Road.		
TITLE	EXTERNAL WORKS		
SCALE	JOB NO.	DRG NO.	
1:200	E223	DG	
DRWN	CHECKED	DATE	REVISION
F. Buckley		Feb '91	G.