

APPEALS DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 91A 1744

1	ENTERED IN OBJECTORS BOOK	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS BOOK	✓
4	ENTERED IN PLANAPS: I.E.:	✓
	APPEALS DECISION <i>AP</i>	✓
	CHANGE STATUS <i>62</i>	✓
	APPEALS DATE <i>30/1/92</i>	✓
5	COPY OF DECISION FOR WEEKLY LIST (MARY/LAURA)	✓
6	DECISION CIRCULATED TO LISTED PERSONS	✓
7	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
8	TO L. DOYLE FOR NOTING	
9		
10		

CHANGE STATUS IN PLANAPS:

REFUSAL.....55
 GRANT.....62
 WITHDRAWN.....54
 CONDITIONS.....53

Register Reference : 91A/1744

Date : 31st March 1992

Dear Sir/Madam,

Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : Additional Information

I wish to inform you that an appeal has been lodged with An Bord Pleanala against the Council's decision to GRANT PERMISSION .

All further correspondence in relation to this appeal should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011).

Please note that submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) with regard to an appeal made by another person must be accompanied by a fee of £30.

Yours faithfully,

.....
LJ

for PRINCIPAL OFFICER

Mr Glascott Symes,
C/o The Kings Hospital,
Palmerstown,
Dublin 20.

Register Reference : 91A/1744

Date : 31st March 1992

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Development : Erect a house abutting No. 1 The Crescent, matching
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Yours faithfully,

.....*L.D.*.....

for PRINCIPAL OFFICER

Seamus O'Siochain,
45 Lucan Heights,
Lucan,
Co. Dublin.

NEW APPEALS

8

NEW APPEALS

APPEALS CHECK LIST

REG. REF. NO. 91A 1744

1	ENTERED IN OBJECTORS REGISTER	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS REGISTER	✓
4	ENTERED IN APPEALS INDEX	✓
5	ENTER PAGE No. OF APPEALS REGISTER IN OBJECTORS REGISTER	✓
6 ENTER IN PLANAPS	Appeal Notified:	✓
	Appeal Type/Appellant Type:	/
	Bord Pleanal Ref:	/
	DOCS SENT TO AN BORD: (CHANGE STATUS TO 52)	✓
7	WRITTEN UP ON WEEKLY LIST FOR MARY/LAURA	/
8	OBJECTORS NOTIFIED	
9	BREAKDOWN OF CALCULATIONS REQUIRED - YES/NO	
10		
11		

Register Reference : 91A/1744

Date : 28th February 1992

Dear Sir/Madam,

Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : Additional Information

I wish to inform you that by Order dated 27.02.92 it was decided to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with Section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanala against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanala within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanala to ascertain if an appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala will be invalid unless the correct fee is received by An Bord Pleanala within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £200; any other appeal is £100.

Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £30.

Mr Glascott Symes,
C/o The Kings Hospital,
Palmerstown,
Dublin 20.

Register Reference : 91A/1744

Date : 28th February 1992

Yours faithfully,

.....
L.S.

for PRINCIPAL OFFICER

Register Reference : 91A/1744

Date : 28th February 1992

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Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

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S. Ryan,
3 The Crescent,
Lucan,
Co. Dublin.

Register Reference : 91A/1744

Date : 28th February 1992

Yours faithfully,

.....
L. D

for PRINCIPAL OFFICER

Register Reference : 91A/1744

Date : 28th February 1992

Dear Sir/Madam,

Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

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Submissions or observations made to An Bord Pleanála by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £30.

Seamus O'Siochain,
45 Lucan Heights,
Lucan,
Co. Dublin.

Register Reference : 91A/1744

Date : 28th February 1992

Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 1744

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H+P <u>28/1/92</u> <u> </u>	All Amraken recs. Perm. to be refused		

M. Galvin A.I. 91A/1744
pd

3 The Crescent,
Lucan,
Co. Dublin.

1238

17th December 1990

Dublin County Council,
Planning Department,
Block 2 Irish Life Centre,
Lower Abbey street,
Dublin 1.

17 DEC 91
Rf
23/11

OBJECT

Dear Sirs,

We, the undersigned, wish to object to the planning application for a house abutting on No. 1 The Crescent, (Reg. Ref. 91A/1744).

The Crescent is listed in the Draft Development Plan 1991 as a structure worthy of consideration for preservation. An extension to this historic terrace, which would incidentally involve the felling of one or possibly several mature trees, is contrary to the principle of preserving buildings of architectural and historic interest.

The existing length of the terrace leaves a reasonable space between it and the adjacent primary school. An extension into this space would completely change the perspective of the structures in relation to each other and to their surroundings and bring the primary school, a modern building in a different style to the terrace, into sharper visual focus.

If permission were granted for this extension it would create a dangerous precedent in an area containing several buildings of historical and architectural interest.

Yours faithfully,

Sebastian Ryan
Daphne Ryan
Liam Ryan
Rosa Ryan
Eily Fitzpatrick
Barbara Ryan
Aislinn Fitzpatrick

Patricia Bielenberg
Karl Heinen
John Andrews
Patricia
Anna Cockburn

B. J. Duke

Part: 8/11. pa

Lucan Historical Society

c/o THE KING'S HOSPITAL

PALMERSTOWN

DUBLIN 20.

6th January 1992.

OBJECT

Re: Application for Planning Permission
for a new house attached to
No 1 The CRESCENT, LUCAN.

07. JAN 92

1266

912/1744

Dear Mr Mc Carver,

Lucan Historical Society was in
contact with Dublin County Council regarding
the Spa Hotel grounds and The Crescent in May 1990.
We also made a submission in connection
with the Draft Development Plan in December 1991.
We strongly urge the Council to refuse
this planning application. We would be most
concerned that the integrity of a late 18th
century group of buildings would be compromised
by the addition of a fetich house. We
have strongly supported the listing of this
terrace in the Development Plan.



THE LUCAN PLANNING COUNCIL

COMHAIRLE PLEANÁLA LEAMHCAÍN

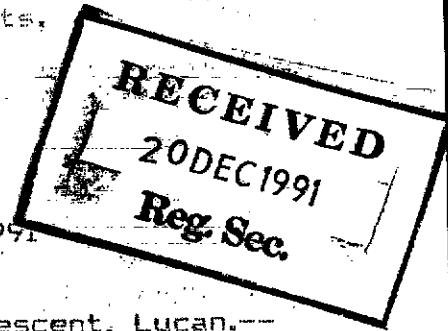
18/12/91

45 Lucan Heights,
Lucan,
Co. Dublin.

Dublin County Council,
Planning Department,
Block 2, Irish Life Centre,
Dublin 1.

1231

20th December 1991



re: application for house abutting on 1 The Crescent, Lucan,
Reg.Ref. 91 A 1744.

Dear Sirs,

We wish to record our objection to this application for the addition of a modern replica to this terrace of 18th century houses which are listed as worthy of consideration for preservation in the 1991 Draft Development Plan (List 2 Schedule 4). The proposal would also involve the removal of one and possibly several mature trees.

May we refer you to our Submission on the Draft Development Plan (Section 5.11 -- copy enclosed) in which we draw attention to the special features of this area. Proposed housing development in this sensitive enclave is a matter of concern to us.

In 1988 permission was granted for a development (16 houses approximately) on the west side of the area (Reg. Ref. 88A 1192). This was after an earlier application for 31 houses (Reg. Ref. ZA 350) had been refused. We understand that local residents who had objected to the first application accepted the second in a spirit of compromise. They were alarmed however when they subsequently discovered that in the second application notice had been served of intention to apply for a further 5 houses in the open space in the centre of the enclave.

In 1990 an application was lodged for 2 houses at the rear of 1 The Crescent (Reg. Ref. 90A 243). This was subsequently withdrawn after protest and, again in a spirit of compromise, local residents decided not to object to an application for a split-level bungalow adjacent to 1 The Crescent (Reg. Ref. 91 LA 0808), which was granted.

We feel that this enclave is in danger of being swamped by the piecemeal construction of houses incompatible with the existing structures of historical and architectural value located therein and we would urge you to put a stop to this by refusing this latest and most insensitive application.

Yours Sincerely,

Séamas Ó Síocháin

Séamas Ó Síocháin (Chairperson)

The Lucan Planning Council
Submission on Draft Development Plan 1991

5.11 LANDS OF THE SPA HOTEL - THE CRESCENT

These lands form part of the south slopes of the Liffey Valley and consist mainly of open parkland and mature woodland, the latter marked for preservation on the Draft Development Plan.

Within the area are several buildings of historical and architectural value which are an integral part of Lucan's heritage:

1. The Round House circa 1740
2. The original Spa and Hydro 1792 (now The County Bar)
3. The Crescent 1792
4. The Spa Hotel 1891

The Round House and The Crescent are included in List 2, Schedule 4 of the Draft Development Plan as structures worthy of consideration for preservation.

It is unusual to find so many public facilities, i.e. hotel, restaurant, dance hall, public house, primary school and medical practice in an area which is predominantly open space and woodland.

In the 1972 Development Plan, this enclave was zoned as a Tourist Amenity Area which seemed appropriate. This was changed to "Residential" in the 1982 Plan. This is unsuitable since it threatens the open space amenity. Dwelling houses built in the area would be out of harmony with the existing structures.

We have stressed the need for buffer zones between developed areas and the importance of protecting the flanks of the Liffey Valley. High Amenity or Open Space zoning of this enclave would link the High Amenity area to the north of the Liffey to the Open Space to the south and South-west (Lucan Golf Club) an open a continuous green belt from north to south across the river making a harmonious break between existing housing in adjacent areas.

When, as it is hoped, the Liffey Valley S.A.A.O. is extended to the county boundary, this enclave would have to be included due to its proximity to the river where it has veered south in its course from Leixlip. Protective zoning now would be prudent and far-sighted.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1744

Date : 8th November 1991

Our Ref.

Your Ref.

Date

Dear Sir/Madam,

Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 5th November 1991

With reference to above proposal I wish to inform you that under Section 10(2)(A)(b) of the Local Government(Planning and Development)Act,1982 the Planning Authority is precluded from deciding this application until the correct fee has been received.The statutory two month period for dealing with the application will not begin to run until the correct fee is received.

The correct fee for the above mentioned application is 32.00 .
Please quote the Register Reference No. stated above when submitting the fee.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'M. W.', written over a dotted line.

for PRINCIPAL OFFICER

Raymond F. MacDonnell, Architect,
"Clonross",
Blanchardstown,
Dublin 15

BYE LAW APPLICATION FEES

REF. NO.: 91A/1744

CERTIFICATE NO.: 16710B

PROPOSAL: New house

LOCATION: Butting 1 Ho Crescent, Lucan

APPLICANT: T. McCormack

nos 5/11/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMP. OF FEE REQUIRED	AMP. LODGED	BALANCE DUE	RED. FEE APPL.	AMP. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	£55	Nil	£55	£55 paid 20/11	
B	Domestic Ext. (Improvement/Alts.)	@ £30				£51770	
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 8/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1744

Cert. No. 27046

PROPOSAL..... New house

LOCATION..... A Butting 1 Fla Crescent Lucan

APPLICANT..... T. McCormack

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£32	NIL	£32	£32 paid 2/11 N.51255
2	Domestic,	@£16				
3	Agriculture	@50p per m ² in excess of 300m ² . Min. £40				
4	Metres	@£1.75 per m ² or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m ² or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *R. B. L.* Grade: *S. 2* Date: *8/11/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ /
DATED

ENTERED IN CONTRIBUTION REGISTER:

Standard

£750

S/S.

£165

DEVELOPMENT CONTROL ASSISTANT GRADE

Contributed on

9/21/0808

[Signature] *26/2/12*

DUB/S. P/4345/92
CN-9590 I

FINANCIAL CONTRIBUTION :-	
AMOUNT £ 750	
F/S/S: -	165

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

ME

Proposal erect a house abutting No. 1 The Crescent, matching no. 1 in height and general appearance at No. 1 The Crescent, Lucan for Mr. F. McCormack By order P/0861/92 dated 27/2/92 the Council made a decision to grant permission for this proposal. On Appeal, An Bord Pleanála made the following order on 30th July, 1992:-

PL6/5/88317

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1744

APPEAL by Sebastian Ryan and others of 3 The Crescent, Lucan, County Dublin against the decision made on the 27th day of February, 1992 by the Council of the County of Dublin to grant subject to conditions a permission to T. McCormack of 1 The Crescent, Lucan, County Dublin for development comprising the erection of a house abutting number 1 The Crescent, matching number 1 in height and general appearance at number 1 The Crescent, Lucan, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

Having regard to the location, design, scale and external finish of the proposed structure, relative to The Crescent, Lucan, it is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would be consistent with the proper planning and development of the area and with the preservation of the aesthetic character and visual amenity of the area.

SECOND SCHEDULE

- The proposed structure shall be used as a single dwelling unit.

Reason: In the interest of orderly development.

- The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public services in the area which facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by the said Council in the provision of public services in the area that have facilitated the proposed development.

DAM

Record of Executive Business and Manager's Orders

-2-

PL 6/5/88317

SECOND SCHEDULE (CONTD.)

3. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of upgrading the existing satellite pumping station and rising main at Crowe's Corner which facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by the Council in the provision of upgrading the existing satellite pumping station and rising main at Crowe's Corner that have facilitated the proposed development.

4. Water supply and drainage arrangements, including disposal of surface water, shall comply with the standards of Dublin County Council for such works and services.

Reason: In the interest of public health, and to ensure a proper standard of development.

5. Details of boundary treatment shall be the subject of agreement with the planning authority.

Reason: In the interest of orderly development.

6. All public services for the development including electrical, communal television and telephone cables, shall be located underground throughout the site.

Reason: In the interest of visual amenity.

7. The trees to be removed from the site shall be replaced by 2 number sycamore trees or similar broad leaf trees. These trees shall be planted in the first planting season after the commencement of development on the site, in a position as required by the planning authority.

Reason: In the interest of visual amenity.

8. The proposed windows shall be of hardwood sliding sash type. The window opes, including individual panes and glazing bars, shall be of exact proportion to those in the abutting house.

Reason: In the interest of visual amenity.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

PL 6/5/88317

SECOND SCHEDULE (CONFD.)

9. The proposed railing to the front of the structure shall match the dimensions of the existing railings. A sample of the proposed railing shall be erected on site for the inspection and subsequent written agreement of the planning authority.

Reason: In the interest of the proper planning and development of the area.



Daragh W. Murphy

Member of An Bord Pleanála duly authorised to authenticate the seal of the Board.

Dated this 30th day of July 1992.

P/4845/922

COMHAIRLE CHONTAE ATHA CLIATH

Record of Executive Business and Manager's Orders

PL6/5/88317

AN BORD PLEANALA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1744

4. With regard to Condition No. 2 the financial contribution towards the provision of water supplies and sewerage facilities is assessed at £750.00.

5. With regard to Condition No. 3 the financial contribution towards the provision of upgrading the existing satellite pumping station and rising main at Crowe's Corner is assessed at £165.00.

R

Order Noted: <i>LD</i>	<i>[Signature]</i>
Dated: <i>12th</i> OCT 1992	ASSISTANT COUNTY MANAGER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated <i>25th</i> day of <i>SEP.</i> 19 <i>92</i>	

Appeals

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Date Received : 2nd January 1992 Register Reference : 91A/1744

Planning Officer : ~~M. SALVIN~~ *N.R. Prendergast.*

Applicant : Mr. T. McCormack

Development : Erect a house abutting No. 1 The Crescent, matching no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

DECISION : GRANT PERMISSION . DATE OF DECISION : 27.02.92.

APPEAL TYPE : AGAINST DECISION . APPELLANT TYPE : THIRD PARTY

I attach for your observations memo/letter dated *27-4-92* from An Bord Pleanala

Please reply before *18th May* *S* *4/5/92*
for Principal Officer Date

OBSERVATIONS

No further comment at this time

MP/S

[Signature]

.....
.....
.....
.....
.....
.....

PLANNING OFFICER

S.E.D.C.

DATE

P/861/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

CONTRIBUTION:	
Standard:	750
Roads:	#
S. Sers:	165
Open Space:	
Other:	
SECURITY:	
Bond / C.I.F.:	
Cash:	

Register Reference : 91A/1744

Date Received : 2nd January 1992

Correspondence : Raymond F. MacDonnell, Architect,
 Name and : "Clonross",
 Address : Blanchardstown,
 Dublin 15

Development : Erect a house abutting No. 1 The Crescent, matching no. 1 in height and general appearance

Location : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : Permission

Zoning : To protect and/or improve residential amenity.

Floor Area : Sq.metres

(MG/AC)

Report of Dublin Planning Officer dated 26 February, 1992.

This is an application for PERMISSION to erect a house abutting No. 1 The Crescent, Lucan matching No. 1 in height and general appearance.

The proposed site is located to the west of the Spa Hotel in Lucan in an area zoned 'A' the objective of which is to "protect and/or improve residential amenity" in the Dublin County Development, 1983.

Existing buildings on site include a number of sheds and a 2 storey over basement terraced house (with extension to side) No. 1 The Crescent. The latter forms part of a terrace of 8 similar houses and 3 bay windows at this location which area included in List 2 of the Draft Development Plan, 1991 (Ref. No. 15 of Map 17 - House, terrace and railings Nos. 1-8 incl, The Crescent, Cooldrinagh). As such it is the objective of the Council to consider the preservation of these buildings in the event of an application for permission to alter or demolish same (Para. 4.6.41).

The existing terrace fronts onto a shared parking area to front. Access is via a badly surfaced laneway from the Spa Hotel grounds. The 8 no. existing houses have extensive rear gardens and back onto the Celbridge Road to the rear. The subject site is accessed via a separate entrance laneway to the west.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1744

Page No: 0002

Location: No. 1 The Crescent, Lucan

PLANNING HISTORY

Reg. Ref. No. 86A/469 refers to a grant of outline permission for a bungalow at this site.

Reg. Ref. No. 89A/1627 refers to a grant of permission for retention of roof structure on Montessori School on a site immediately to the north.

Reg. Ref. No. 90A/243 refers to an application for outline permission for 2 houses at rear of No. 1 The Crescent. This application was subsequently withdrawn.

Reg. Ref. No. 90A/1324 refers to a grant of permission for change of use back to 2 separate dwellings at No. 1 and for attic conversion and extension at basement.

Reg. Ref. No. 91A/808 refers to a recent grant of permission for a split level bungalow at rear of No. 1 The Crescent for T. McCormack.

The proposed site was inspected on 10/12/91 and again on 20.02.92. Nos. 1 and 2 have been converted back into 2 separate dwellings as per Reg. Ref. No. 90A/1324. No works have commenced on the split-level bungalow approved under Reg. Ref. No. 91A/0808.

The current application provides for the construction of an additional house adjoining No. 1 The Crescent to the west. This is described in the public notice as "..... house abutting No. 1 The Crescent, matching No. 1 in height and general appearance."

No details have been submitted regarding the area of the site or the floor area of the proposed house. Lodged plans provide for a two-storey over basement house (with attic accommodation). This is similar in terms of height, width and appearance to the adjoining listed buildings.

The proposed house is to have a sand/cement rendered finish and a slate roof to match existing. Window positioning and dimensions are shown to match existing ones. No further details of window type are included.

These should be conditioned in any grant of permission to be of timber sliding

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0003

Location: No. 1 The Crescent, Lucan

sash variety. Window panes to be conditioned to match existing. Details of the front door are given as panelled door with glazed fanlight and columns to match existing.

The proposed house is to have a hipped roof return to front to match that existing at the adjoining house. This will in effect complete the terrace at this end. Railings are to be erected across the front of the house to match existing. These should be conditioned to be of exact proportions as existing.

The elevational treatment to the rear is similar to adjoining houses. This includes 2 no. dormer windows to attic accommodation at roof level. While there are larger than dormer windows at Nos. 1 & 2 The Crescent, they are considered to be consistent with the appearance of the overall terrace. In this regard it should be noted that extensive and visually obtrusive attic extensions (including balcony) have been added to houses further to the east.

The drawings submitted with this application are considered deficient in a number of respects. A site location map (scale 1:2500) has been submitted. This is poor quality and it is difficult to determine the precise boundary to the site to the north (outlined in blue). Furthermore, no block plan has been submitted to identify the location of:

- (1) existing building on site
- (2) proposed building(s)
- (3) adjoining properties including nearby montessori school and houses on Kew Park to west.

From site inspection it was noted that there are a number of mature trees to the west and north of No. 1 The Crescent. While most of these are outside the site of the current application, it appears that at least two are located within the site area indicated on the basement/garden plan submitted. The applicant should be required to submit a tree survey in respect of the site. Furthermore, the applicant should be requested to clarify what measures will be taken to prevent the trees to the north from being adversely affected by either excavation work or construction traffic.

Finally, lodged plans do not provide for sufficient private open space around the proposed house. The basement plan submitted identifies only a yard to the side of the proposed development of dimension 10 m. x 6.4 m. This will be bounded by the entrance laneway to the proposed bungalow to the rear and is considered unsuitable in itself as a garden area. Given the size of the site overall the applicant should be required to provide a rear garden length of 10.7 ^{a minimum of} m. (to Development Plan standards across the width of the proposed dwelling to the rear).

The applicant was requested to submit Additional Information on 18.12.91 as

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0004

Location: No. 1 The Crescent, Lucan

follows:

1. The applicant is requested to submit the following:
 - (i) A site location map which accurately identifies the proposed site outlined in red.
 - (ii) A block plan of scale not less than 1:500. This should identify
 - (a) all existing buildings on site
 - (b) the proposed development,
 - (c) all adjoining properties. Details of off-street car parking facilities,
 - (d) relationship between proposed site and approved bungalow site.
2. Lodged plans provide for inadequate private open space to serve the proposed dwelling. The applicant is requested to submit a revised block plan indicating a rear garden length of minimum 10.7 metres (35 feet) across the width of the proposed development.
3. The applicant is requested to submit a detailed tree survey. This should identify:-
 - (a) The precise location, species, height spread and condition of all existing mature trees on site.
 - (b) Details of trees to be removed, lopped or topped as distinct from those to be preserved.
 - (c) Details of measures necessary for the protection and preservation of trees to be retained (including details of how it is intended to protect those trees to the north of the site from interference by way of excavation/construction traffic).

Additional information was submitted on this application on 02.01.92. This included a revised site plan (scale 1:200) which identified; (i) the extent of the site, (ii) adjoining buildings, Nos. 1 & 2 The Crescent, and (iii) the proposed bungalow on a site to the rear.

Lodged plans provide for the subdivision of the extensive rear garden to No. 1 The Crescent to provide a 50 metre rear garden at the proposed house. A car parking area is to be provided in a courtyard area of dimensions 10.5m. x 6m. to the west of the proposed house.

A detailed tree survey was submitted as unsolicited additional information on 14.01.92. This provided details on the 2 no. trees within the site - mature sycamores in poor condition - and recommended they be felled. Details as to the age/condition/height/spread of trees adjoining the site were also included.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1744

Page No: 0005

Location: No. 1 The Crescent, Lucan

Parks Department report *not received*

Roads Department report states that the proposed development will create an undesirable precedent and requests that 2 no. car spaces be provided in the event of permission issuing.

Sanitary Services report (received 17.12.91) states that insufficient information has been submitted regard^d foul and surface water drainage. These details are included on the site plan lodged as additional information. Sanitary Services Section, by phone, state that they are satisfied that these matters can be conditioned. Sanitary Services also note that a special levy towards the upgrading of the existing satellite pumping station at Crowes Corner applies in this instance (also imposed on Reg. Ref. 91A/0808 - Condition No. 5).

A number of objections have been received in respect of the current application from local residents, Lucan Planning Council, and Lucan Historical Society. These objections relate, inter alia, to the fact that:

- (i) extensions to listed terrace ^{are} contrary to principle of preservation of buildings of architectural and historical interest,
- (ii) impact on integrity of late 18th Century terrace i.e. this would be compromised,
- (iii) removal of mature trees,
- (iv) setting of the terrace vis a vis the adjoining montessori school,
- (v) piecemeal housing development in the area,
- (vi) the proposed development would set a precedence.

The proposed development involves a high level of design and finish and as such will provide for an attractive addition to the existing listed terrace. This existing terrace has a painted smooth rendered finish and as such it is considered that the proposed building should blend in easily and will not detract from the existing terrace. With regard to the integrity of the existing building I refer to previous comment that the proposed development appears to complete the terrace at this end. Lodged plans provide for attention to detail and further details such as window proportions/type/railing/door details can be conditioned.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0006

Location: No. 1 The Crescent, Lucan

The proposed development involves the removal of 2 no. mature trees stated to be in poor and decayed condition. There are a large number of trees on the adjoining lands to the front of the site. These are not to be interfered with. The applicants can be conditioned to replant.

The proposed development will not bring the existing montessori school to the west into any clearer focus. This is already screened by existing mature trees which are not being removed.

The proposed development provides for an attractive addition to the existing terrace and as such does not constitute piecemeal development. Furthermore it should not set precedence. The adjoining lands to the west will be required for courtyard car parking so an additional house cannot be provided here. It may be possible to accommodate an additional house at the opposite end of the terrace, however it is unlikely that this would 'fit in' as well as the proposed development.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (16) conditions:-

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 02.01.1992 save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That each proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 That a financial contribution in the sum of £ 750 be paid by the proposer to the Dublin County Council towards the cost of provision of

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0007

Location: No. 1 The Crescent, Lucan

public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 05 That a financial contribution in the sum of £ 165 be paid by the applicant to Dublin County Council towards the cost of upgrading existing satellite pumping station and rising main at Crowes Corner. This contribution to be paid prior to the commencement of this proposal.
- 05 REASON: In the interest of the proper planning and development of the area.
- 06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. Proposed rerouting does not satisfy the requirements of the Sanitary Services Engineer. Details of the rerouting of foul sewer to be agreed prior to commencement of development. The written permission from the owner of the foul sewer be obtained for the proposed connection.
- 06 REASON: In order to comply with the sanitary Services Acts, 1878-1964.
- 07 Details of boundary treatment to be the subject of agreement with the Planning Authority.
- 07 REASON: In the interest of the proper planning and development of the area.
- 08 The disposal of surface water to be the subject of agreement with the Sanitary Services Engineer of the Council.
- 08 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 09 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON: In the interest of reducing air pollution.
- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON: To protect the amenities of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0008

Location: No. 1 The Crescent, Lucan

11 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON: In the interest of amenity.

ad 12 That ^{the} ~~no~~ dwellinghouse be ^{not} occupied until all the services have been connected thereto and are operational.

REASON: In the interest of the proper planning and development of the area.

13 That the trees to be removed from site be replaced by 2 no. sycamore trees or similar broad leaf trees. These trees to be planted in the first planting season after the commencement of development on site.

13 REASON: In the interest of the proper planning and development of the area.

14 That the proposed windows to be of hardwood sliding sash type. The proposed window opes including individual panes and glazing bars to be of exact proportion to those in the existing houses.

REASON: In the interest of visual amenity.

15 That the proposed railings to match dimensions of existing railings. A sample of the proposed railings to be erected on site for inspection and subsequent written agreement of the Planning Authority prior to the commencement of development on site.

15 REASON: In the interest of the proper planning and development of the area.

16) Drainpipes to be of material, design + finish similar to original piping designed for this Terrace, as far as is practical.

Reason: In the interest of the proper planning + development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1744

Page No: 0009

Location: No. 1 The Crescent, Lucan

Endorse
115

[Signature]
.....
~~for Dublin Planning Officer~~
for Principal Officer

[Signature]
.....
~~for Principal Officer~~
for Dublin Planning Officer

order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (1/6) conditions set out above is hereby made.

Dated : 27th FEBRUARY 1992

[Signature]
.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *[Signature]* 1991.

Mary Galvin

SS only

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1744

Date : 6th November 1991

Development : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 5th November 1991

Attached is a copy of the application for development. Your report would be appreciated within the next 28 days

Date received in Sanitary Services 14 NOV 1991....

DUBLIN CO. COUNCIL
SANITARY SERVICES
18 DEC 1991
Returned *JG*

FOUL SEWER

Insufficient information;

- ① The detail plot plan to a minimum scale of 1/500 scale has not been included within this submission
- ② Applicant has not indicated, with associated necessary drainage details, the foul sewer system to which it is proposed to drain. As a ^{special} levy may apply it is necessary to know which foul sewer is the intended one. The applicant must include this on plan.

SURFACE WATER

See D above

Blumhörn
12.12.91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 17.12.91
Time 3.45
.....

J.R.
13/12/1991

Register Reference : 91A/1744

Date : 6th November 1991

ENDORSED _____

DATE _____

WATER SUPPLY. *Water available*
24 hr storage required. All connections
etc to be by DCC personnel at applicant's
total expense.

John P. Lunt
9/12/91 5/12/91

ENDORSED _____

DATE _____

79/157 *12/22/91*

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date *17.12.91*
 Time *3.45*

P/5749/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1744

Date Received : 5th November 1991

Correspondence : Raymond F. MacDonnell, Architect,
Name and : "Clonross",
Address : Blanchardstown,
Dublin 15

Development : Erect a house abutting No. 1 The Crescent, matching no.
1 in height and general appearance

Location : No. 1 The Crescent, Lucan

Applicant : Mr. T. McCormack

App. Type : Permission

Zoning :

Floor Area : Sq.metres

(MG/BB)

Report of Dublin Planning Officer dated 12th December, 1991.

This is an application for PERMISSION to erect a house abutting No. 1 The Crescent, Lucan matching No. 1 in height and general appearance.

The proposed site is located to the west of the Spa Hotel in Lucan in an area zoned of the objective of which is to "protect and/or improve residential amenity" in the Dublin County Development, 1983. Access is via a roadway which is southwards from the grounds of the Spa Hotel.

Existing buildings on site include a number of sheds and a 2 storey over basement terraced house - No. 1 The Crescent. The latter forms part of a terrace of 8 similar houses at this location which are included in List 2 of the Draft Development Plan, 1991 (House, Terrace and railings, Nos. 7-8 incl. The Crescent, Coddrinagh, Ref. No. 15, Map 17).

PLANNING HISTORY

Reg. Ref. No. 86A/469 refers to a grant of outline permission for a bungalow at this site.

Reg. Ref. No. 89A/1627 refers to a grant of permission for retention of roof structure on Montessori School on a site immediately to the north.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref. No. 90A/243 refers to an application for outline permission for 2 houses at rear of No. 1 The Crescent. This application was subsequently withdrawn.

Reg. Ref. No. 90A/1324 refers to a grant of permission for change of use of the back to 2 separate dwellings of No. 1 and for attic conversion and extension at basement.

Reg. Ref. No. 91A/808 refers to a recent grant of permission for a split level bungalow at rear of No. 1 The Crescent for T. McCormack.

The proposed site was inspected on 10/12/91. No works was commenced on the split level bungalow approved under Reg. Ref. No. 91A/808. Nos. 1 has been converted with 2 separate dwellings in line with Reg. Ref. No. 90A/1234.

The current application provides for the construction of an additional terraced unit adjoining No. 1 The Crescent to the west. Lodged plans provide for a 2 storey over basement house (floor area not stated) which is similar in height and appearance to the existing listed buildings at this location.

This is to have a hipped roof return to front to match that existing at the adjoining house. This will in effect complete the terrace at this end. Proposed finishes include a rendered finish/slate roof to match existing. Window positioning and proportions are similar to those existing. No further details of window type are included.

These should be conditioned in any grant of permission to be of wooden sliding sash variety given the location of the proposed development. Details of the front door are included as panelled door with glazed ^{panels} and colours to match existing. Railings are to be erected across the front of the house to match existing also. Elevational treatments to rear is similar to that existing.

The proposed development provides for a high standard of design and finishes and as such should provide for an attractive addition to this existing terrace. However, there are a number of matters which should be clarified first.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

The drawings submitted with this application are considered deficient in a number of respects. A site location map (scale 1:2500) has been submitted. This is poor quality and it is difficult to determine the precise boundary to the site to the north (outlined in blue).

Furthermore, no block plan has been submitted to identify the location of

(1) existing building on site (2) proposed building(s) (3) adjoining properties including nearby montessori school and houses on ~~Kew~~ Park to west.

From site inspection it was noted that there are a number of mature trees to the ~~west~~ ^{east} north of No. 1 The Crescent. While most of these are outside the site of the current application, it appears that at least two are located within the site area indicated on the basement/garden plan submitted. The applicant should be required to submit a tree survey in respect of the site.

Furthermore, the applicant should be requested to clarify what measures will be taken to prevent the trees to the north from being adversely affected by either excavation work or construction traffic.

Finally, lodged plans do not provide for sufficient private open space around the proposed house. The basement plan submitted identifies only a yard to the side of the proposed development of dimension 10 m. x 6.4 m. This will be bounded by the entrance laneway to the proposed bungalow to the rear and is considered unsuitable in itself as a garden area. Given the size of the site overall the applicant should be required to provide a rear garden length of 10 sq. m. (to Development Plan standards across the width of the proposed dwelling to the rear).

Roads Department report states ~~the proposed development will create undesirable precedent and requires 2 car spaces to be provided in the event of permission issuing~~

Sanitary Services report ~~not received~~

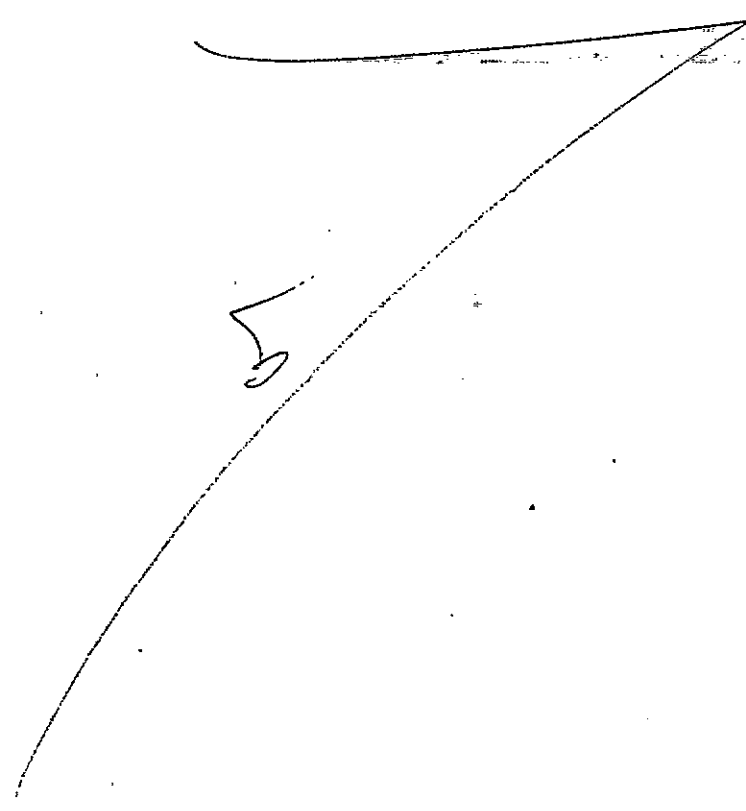
I recommend that the applicant should be requested to submit Additional Information with regard to the following:-

01 The applicant is requested to ~~submit revised drawings as follows:~~ *submit the following;*

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

- (i) A revised site location map which accurately identifies the proposed site outlined in red.
- (ii) A revised block plan of scale not less than 1:500. This should identify (a) all existing buildings on site (b) the proposed development (c) all adjoining properties. *Details of off street car parking facilities.*
(d) Relationship between proposed site & approved longland site.
- 02 Lodged plans provide for inadequate private open space to serve the proposed dwelling. The applicant is requested to submit a revised block plan indicating a rear garden length of minimum 10.7 metres (35 feet) across the width of the proposed development.
- 03 The applicant is requested to submit a detailed tree survey. This should identify:-
1. The precise location, species, height spread and condition of all existing mature trees on site.
 2. Details of trees to be removed, lopped or topped as distinct from those to be preserved.
 3. Details of measures necessary for the protection and preservation of trees to be retained (including details of how it is intended to protect those trees to the north of the site from interference by way of excavation/construction traffic)



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

J
.....
for Dublin Planning officer

.....
Endorsed:-.....
for Principal officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : 18th DECEMBER 1991

.....
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

Key Galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1744.

DEVELOPMENT: New house.

LOCATION: Abutting No. 1 The Crescent, Lucan.

APPLICANT: T. MacCormack.

DATE LODGED: 5.11.91.

This proposal will create an undesirable precedent as access is from the existing Lucan By-Pass through the grounds of the County Bar/Spa Hotel.

If permission is granted it should be subject to the provision of 2 car parking spaces on site.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 04.12.91
 Time 12.10

TR/BMcC
28.11.91.

SIGNED: Jana Ryan
 DATE: 28/11/91

ENDORSED: C.F.S. L.
 DATE: 28/11/91

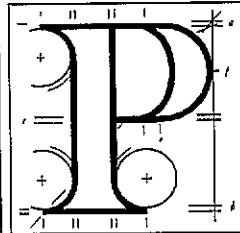
Our Ref: PL 6/5/88317
P.A. Reg. 91A/1744

EOH/MMN

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
31 JUL 1992
RECEIVED

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 30 JUL 1992

Appeal re: Erection of a house abutting Number 1
The Crescent, matching number 1 in height and
general appearance at Number 1 The Crescent, Lucan,
County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála
determining the above-mentioned appeal under the
Local Government (Planning and Development) Acts,
1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

Norma O'Connor
Norma O'Connor

Encl.

BP 352

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1744

APPEAL by Sebastian Ryan and others of 3 The Crescent, Lucan, County Dublin against the decision made on the 27th day of February, 1992 by the Council of the County of Dublin to grant subject to conditions a permission to T. McCormack of 1 The Crescent, Lucan, County Dublin for development comprising the erection of a house abutting number 1 The Crescent, matching number 1 in height and general appearance at number 1 The Crescent, Lucan, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

Having regard to the location, design, scale and external finish of the proposed structure, relative to The Crescent, Lucan, it is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would be consistent with the proper planning and development of the area and with the preservation of the aesthetic character and visual amenity of the area.

SECOND SCHEDULE

1. The proposed structure shall be used as a single dwelling unit.

Reason: In the interest of orderly development.

2. The developer shall pay a sum of money to Dublin County Council as a contribution towards expenditure incurred by the said Council in the provision of public services in the area which facilitate the proposed development. The amount of the contribution and the arrangements for payment shall be as agreed between the developer and the said Council or, in default of agreement, shall be determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred by the said Council in the provision of public services in the area that have facilitated the proposed development.

DAM

SECOND SCHEDULE (CONTD.)

9. The proposed railing to the front of the structure shall match the dimensions of the existing railings. A sample of the proposed railing shall be erected on site for the inspection and subsequent written agreement of the planning authority.

Reason: In the interest of the proper planning and development of the area.



Daragh W.A. Murray

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 30th day of July. 1992.

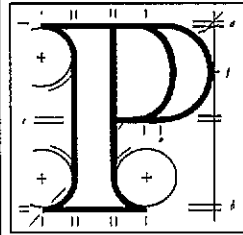
Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

Es H

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
15 JUL 1992
RECEIVED

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

An Bord Pleanála



Date: 13th July 1992

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Erect house abutting No 1 The Crescent,
matching in height and general appearance No 1, The
Crescent, Lucan, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

DEVELOPMENT
CONTROL
16 JUL 1992

Yours faithfully,


Marie Kennedy

Encl.

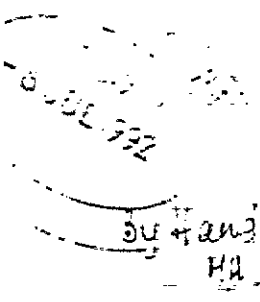
BP 555

6/330 =

No 2 The Crescent

Luxon

2nd June 92



Dear Mr Carlson,

Re: House Abutting No 1 The Crescent, Luxon.

I wish the officers and inspectors of An Bord Pleanála to consider my objections to the plans for a house abutting No 1, The Crescent, Luxon. I am objecting on the grounds that such a building will materially affect, to the detriment, the environment, privacy and life style of the residents of The Crescent.

There is a group of mature trees and grassed area in front of the proposed building (see attached map) the majority of these trees will have to be cut down and the grassed area removed in order to provide adequate car parking facilities and for light and safety reasons. While some of the trees require maintenance, topping and overhead removal once a car park has been put in place there is no possibility of replanting thus endeavouring to preserve the environment for the next 100 years or so for the enjoyment of the residents, development of local

floor and fauna and the general enhancement of the area
just as we now enjoy the trees and grass planted since
the erection of the houses circa 1800 A.D.

If the trees are removed the Crescent will have
no screen between it, the school and Ken Park (cf
F and G on map attached) this will therefore affect the
privacy of the Crescent.

I would like to request the officers of An
Bord not to consider the erection of a house abutting
No 1 the Crescent in isolation the house known as
No I until 1991 has been divided into 2 houses and
there is currently planning permission for a house in
the garden (cf B/C/D/E on map attached). If a further
house is erected abutting No I the level of housing
in the Crescent will rise from 8 houses to 10 houses,
four of which will be in the present house and garden
of No I. Please consider the detrimental effect such an
increase in housing level will have upon the only access
road which is a private one; the sewerage system, also a
private one to which the proposed developer has not yet
requested permission to access; general noise level and

● Indorsement of the Crescent.

Another point which I feel is relevant is that there is currently planning permission for 14 houses (cf H on attached map) and an application for a leisure centre and car park (cf I on map attached) I know that it is the policy of our Planning Authority to encourage environmentally beneficial developments - i.e. green spaces, maintenance of nature reserves and existing grasslands and to ensure replanting programmes are undertaken where necessary and all such activities are intended to be completed on the year stated forward schedule in these areas in recent years I therefore feel that it would be a retrograde step to allow any considerable plots to be developed and feel that the maintenance of the present Crescent and proposed future development of 12 houses is more than adequate for the purposes of the Crescent, which it should be remembered is serviced by a private road and sewerage.

I do not rate my objections to the proposed house at all. No I really. I believe in free enterprise and consider that an owner has the right

to develop the property in an environmentally sound manner. However I do feel in this instance that the owners of No 1 have had ample opportunity to gain for their purchase of the property in that No 1 is now divided into 2 dwellings and there is planning permission for a house in the garden. Bearing this philosophy of free enterprise in mind I did not object to the division of No 1 into 2 houses although it did affect both the primary and residual value of our property (No 2 The Crescent).

Sales circa 1950 to the residents of the Crescent, ~~and~~ House at 170 Hyde have enjoyed the peace and tranquility of a small development of houses of this - a well set out - The Crescent indeed is unique in that it is the only known

residential development of 5 houses - a small village of early 19th

age. I would not therefore not no action or indeed inaction on my part, my public responsibilities or/and authorities could deliberately effect the environment of the Crescent.

Thank you for considering my objections to proposed development

Yours sincerely
 Lovell P. C. Farwell.

P.S. I am enclosing 3 photographs of the Council room and
the Council, from a view - front of 205 and also the
front aspect of the building. Apologies for the poor quality
of the photos I do have however but they help to illustrate
further my objection.

LF



GATHERINE'S PARK

	A	R	P
196		3	32
Including 4		3	13 water

therine's Wells

therine's Chapel
(in Ruins)

COLDBLOW

	A	R	P
275		1	30
Including 9		0	25 water

Glenwood

EMESNE

	R	P
2		35
3		6 water

Sarsfield's Cottage

Liamara Ho.
Kew Gardens

National Spa
& Hotel

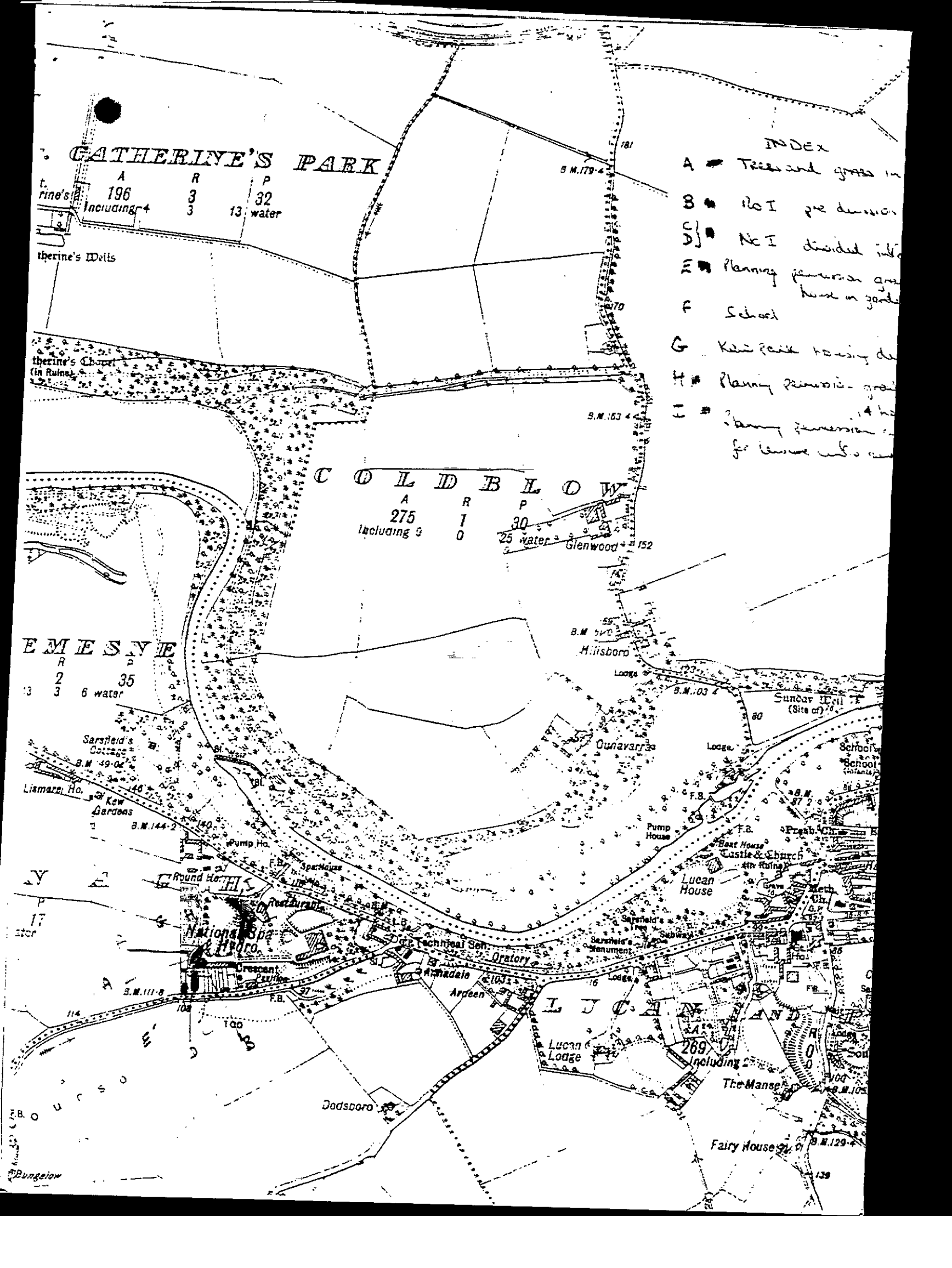
LUCAN

Lucan Lodge
269
including

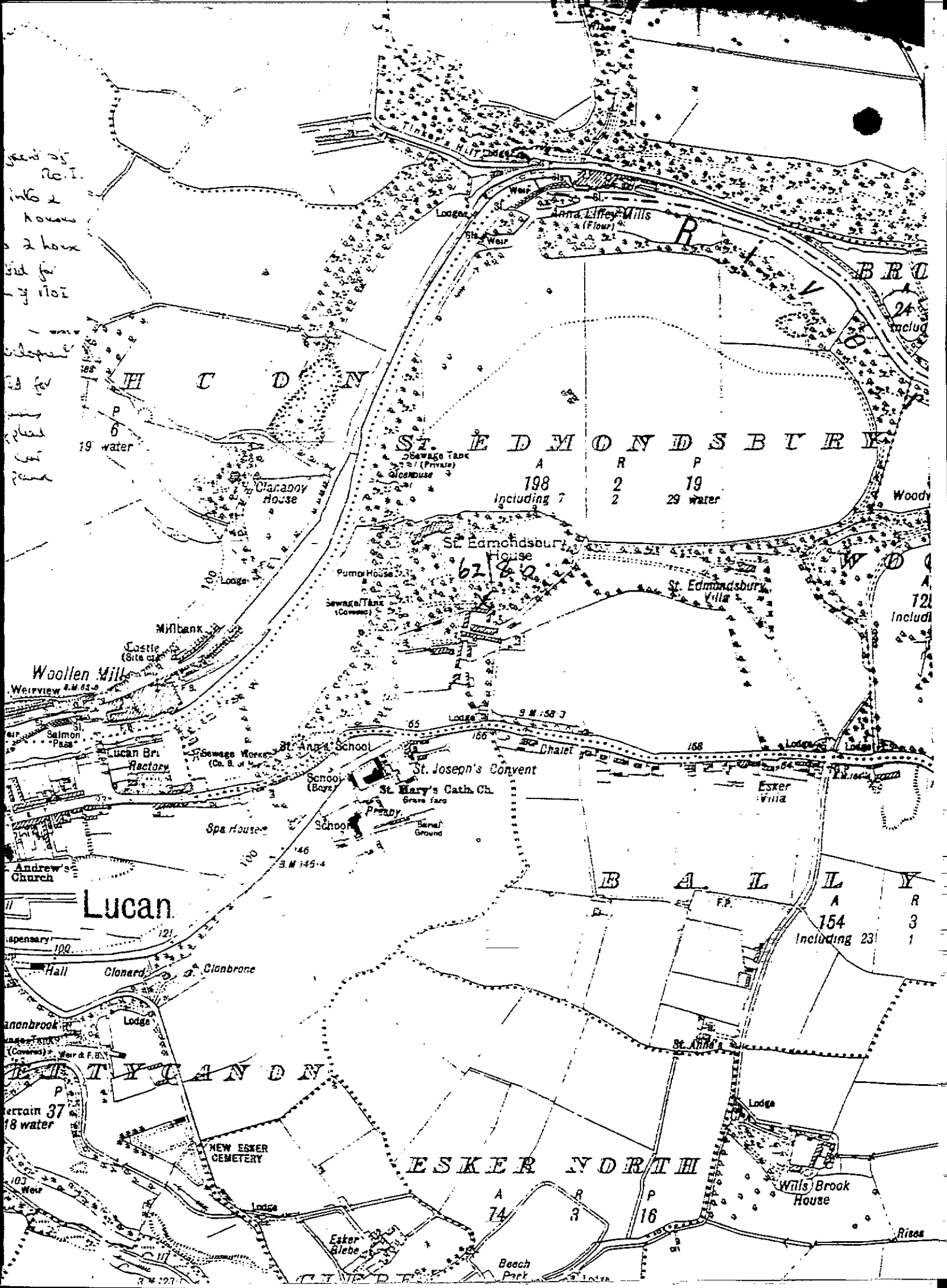
Fairy House

INDEX

- A = Trees and grass in
- B = No I pre demerion
- C) = No I divided into
- E = Planning permission area
house in garden
- F = School
- G = Kew Park housing de
- H = Planning permission area
- I = Planning permission area
for house into a



Handwritten notes on the left margin:
16 x
2 hour
side of
of 101
develop
to be
place
to



ST. EDMONDSBURY

A R P
198 2 19
Including 7 2 29 water

62/82

LUCAN

A R P
154 3
Including 23 1

ESKER NORTH

A R P
74 3 16

Wills Brook House

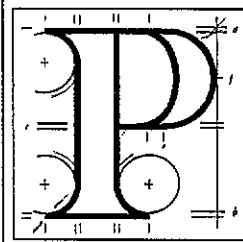
Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

5071

DUBLIN COUNTY COUNCIL
PLANNING DEPT
06 JUL 1992
F

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 3rd July 1992

Appeal re: Erectcion of house abutting No 1 The
Crescent matching in height and general appearance No 1
The Crescent, Lucan, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

Yours faithfully,

Marie Kennedy

Marie Kennedy

Encl.

BP 555

DEVELOPMENT
- 8 JUL 1992
CONTROL

Your Ref: PL 6/5/33317

P.A. Reg Ref: 91A/1744

7 THE CRESCENT

LUCAN

CO DUBLIN

30-6-92

268170RZ-
JUN 1992

Dear Sir,

We are replying to you with regard to a LETTER BY MR RAYMOND F. MacDONNELL B. Arch F.R.I.A.I. DATED 1st MAY 92.

In April 91 we purchased No 7 The Crescent. We are enclosing photographs we took at that time which we feel to be a true representation of the house. We bought it for all its charm and old-worldliness.

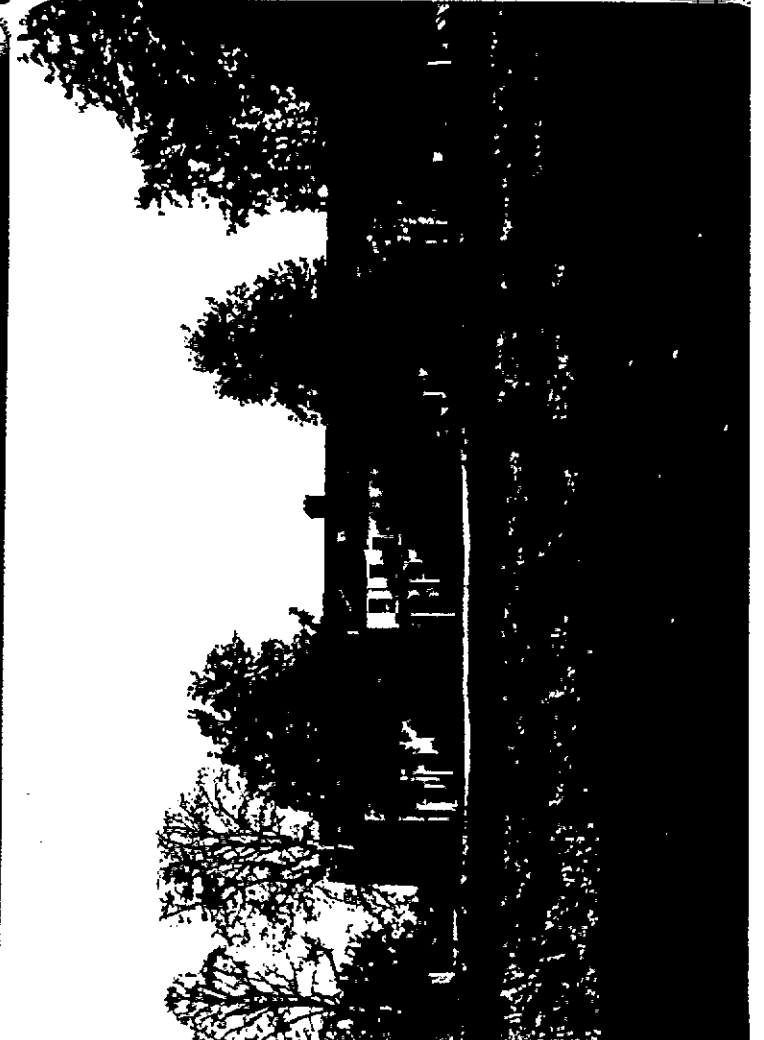
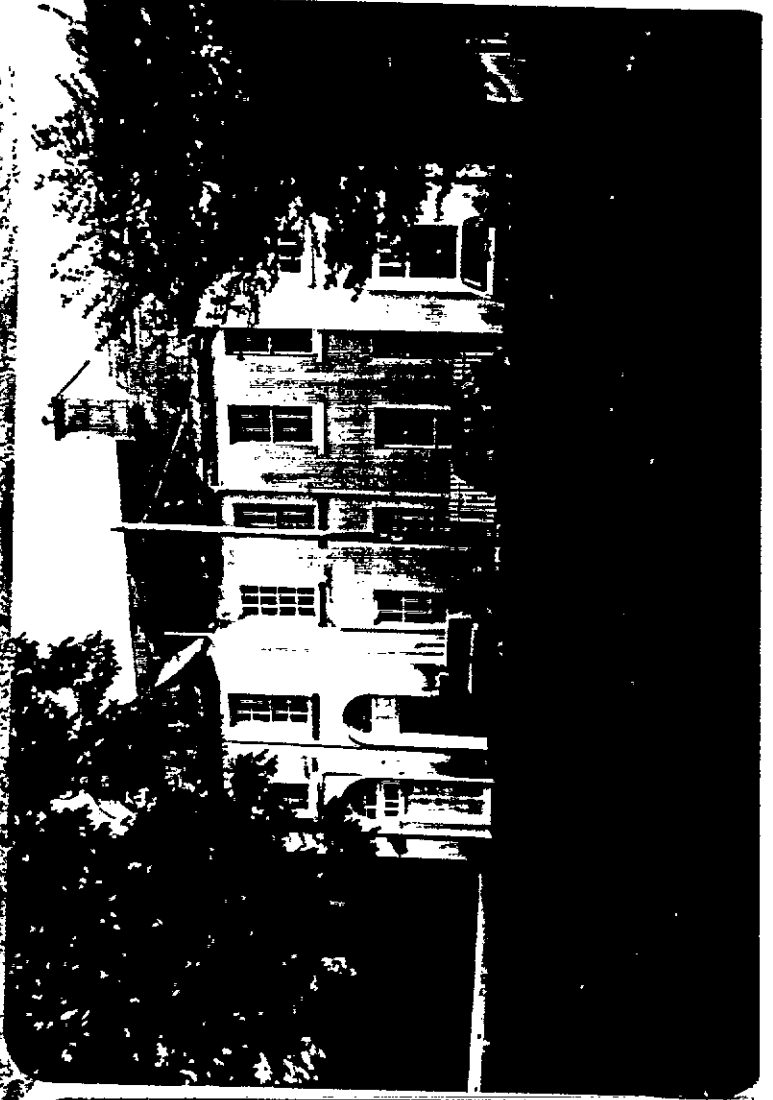
MR MacDONNELL uses words like "Symmetry never completed", "architectural blunder" etc. We would like to challenge these statements. Has MR MacDONNELL not come across the school of thought about the MASTER CRAFTSMAN leaving a deliberate error in his work because only God can create perfection. Some classical examples of this are: F.C. TURNER'S paintings and ORIENTAL CARPETS.

We believe that far from being an "18th century architectural blunder", it is the planned deliberate "mistake".

If we wanted unity, completeness, symmetry, wholeness we would have bought a 20th century house!

Yours Sincerely

David Cook

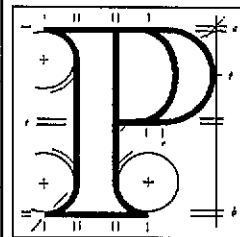


Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

KOH

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

An Bord Pleanála



Date: 30th June 1992

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Erect house abutting No 1, The Crescent,
matching in height and general appearance No 1, The
Crescent, Lucan, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

Yours faithfully,


Marie Kennedy

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
1 - JUL 1992
RECEIVED

Encl.

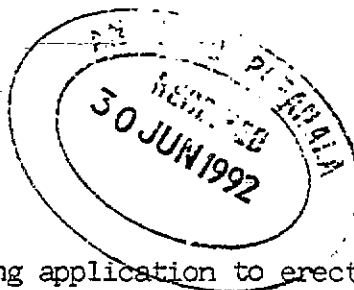
BP 555

DEVELOPMENT
- 3 JUL 1992
COUNCIL

RAYMOND J. MACKAY, ARCHITECT & PLANNING CONSULTANT, 100 CLONROSS ROAD, DUBLIN 15, TEL. 213061 213062

26th June 1992

An Bord Pleanála
Floor 3
Blocks 6 & 7
Irish Life Centre
Lr. Abbey Street
Dublin 1.



Re: Appeal in connection with planning application to erect house abutting no. 1 The Crescent, matching no. 1 in height and general appearance, No. 1 The Crescent, Lucan, Co. Dublin.

Your Ref. PL 6/5/88317
Reg. Ref. 91A/1744.

Dear Sir/Madam,

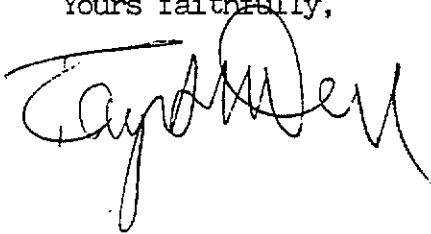
In reply to your letter dated 24th instant, enclosing a copy of a letter received from Daphne Ryan on 19th instant, I would like to make a few comments in connection with this letter.

1. The photographs of The Crescent were taken early in the morning in order to get sun on the front of the buildings and show The Crescent at its very best advantage. The fact that there were bins on the front of the houses was purely coincidental. I included the photographs of the appalling additions and changes that were made to the rear of this Crescent which incidentally faces onto the main road, to illustrate the lack of respect with which the residents apparently have for this rather unique terrace. Rather than indicating a disdain for the houses it was intended as a note of despair in so far as, when a very reasonable proposal which I would like to think has been designed in a compatible manner and with great attention to detail is proposed, then a cry of objections are raised when nothing appears to have been done to prevent the total destruction of the rear of these buildings, which are just as important as the front.
2. I would agree with Daphne Ryan that the houses were never intended to be a grand architectural statement and therefore I cannot see how modifications or slight changes to the original built form can in any way detract from The Crescent, providing these changes are made in a manner in proportion and context with the original, either in a modern or traditional form.

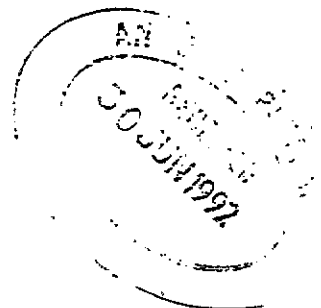
/.....

3. With respect, I would state that I think Daphne Ryan is missing the point about the Cathedrals. The point I was making was that if our forebears considered it justified to make changes and alterations to great Cathedrals in different centuries and left masterpieces for us, I therefore cannot see why we are not entitled in the late 20th Century to make small changes to a terrace of houses which Daphne Ryan appears to accept are not in any way as important as the Cathedrals of the past.
4. With regards to the incomplete terraced house which my client intends to add to, the Dublin County Council, Planning Authority, are in agreement with me that this addition would not in fact detract from the architectural quality of the terrace which incidentally I find very pleasing.
5. Finally, I cannot see that the addition of this house to the terrace, which is quite obviously a business decision, would not at the same time provide a properly completed architectural entity rather than what Daphne Ryan refers to as a botched 18th Century terrace with a rather quirky, carelessly completed end. To insist on the maintenance of something that was clearly a mistake for posterity, is surely unreasonable and unjustified.

Yours faithfully,



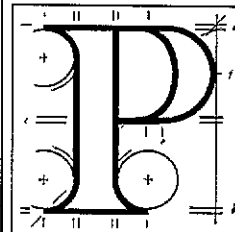
RAYMOND F. MACDONNELL B.ARCH. F.R.I.A.I.



Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

EDH

An Bord Pleanála



The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

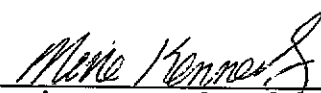
Date: 30th June 1992

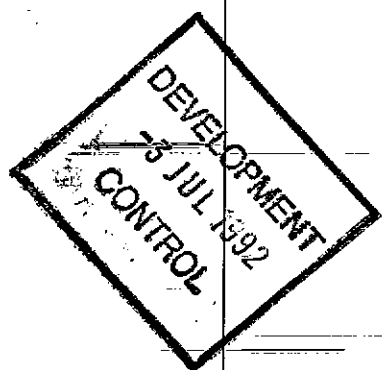
Appeal re: Erect house abutting No 1, The Crescent,
matching in height and general appearance No 1, The
Crescent, Lucan, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

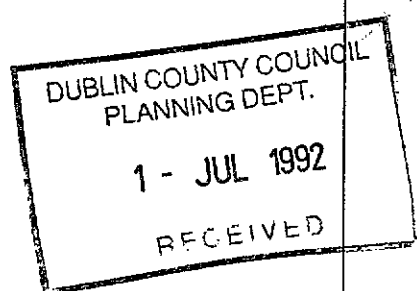
Yours faithfully,


Marie Kennedy



Encl.

BP 555



4, The Crescent
Lucan
Co Dublin

25th June, 1992

An Bord Pleanola
Floor 3 Blocks 6&7
Irish life centre
Lower Abbey street
Dublin 1.

RE: P.A REG. REF: 91A / 1744

Dear Mr. Carleton

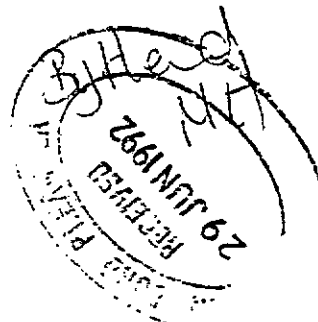
In conversation with you on the telephone last week, I pointed out to you that the letter we had received from you in connection with the above appeal had been seriously delayed by the postal dispute, and in these circumstances you agreed to allow until July 7th for the receipt of any letters in reply.

Thank you for your help

Yours sincerely

Helen Andrews

Helen Andrews



Historical and
Documentary
Research



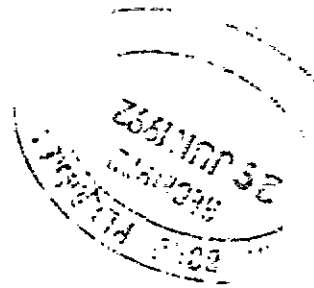
4, The Crescent,
Lucan, Co. Dublin.

Tel: (01) 6281005
Fax: (01) 6793545

18 June 1992

An Bord Pleanála
Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Centre
Dublin 1.

~~Yours Ref: PL 6/5/1992/17~~
P.A. Reg. Ref: 91A/1744



Appeal re: Erect house abutting no. 1 The Crescent, matching no 1 in height and general appearance, no. 1 The Crescent, Lucan County Dublin.

Dear Sir

Thank you for your letter dated 4/5/1992 (but which has only just arrived due to the postal strike) in which you invite comments. There are several to be made:

Firstly a rejoinder to the comments made by Mr. Macdonnell.

1. He argues for the completion of the terrace on the grounds of the "extremely ugly cut off half". Ugliness no doubt, as beauty, is in the eye of the beholder and if Mr. Macdonnell sees it in this way, so be it, but I have lived here for many years and it has never crossed my mind to regard No 1 in this way nor have I ever heard anyone else express such a sentiment.

2. I suggest it is rather inappropriate/ridiculous to *justify* the completion of the terrace in order to provide a central projecting unit composed of numbers 3,4 *since the Crescent is never seen in this way*. There are 2 approaches to The Crescent: one fairly narrow track which approaches the terrace opposite the blue door in the photograph (see photograph 1) which is No 1A. It should be noted at this point, that No 1, at the end of the terrace (with the supposed ugly cut off half) can hardly be seen in the general approach to the Crescent and nor can the rest of the houses be

Helen Andrews B.A. Hons. (Leeds) M.Phil. (Dublin)

seen, so it is indeed a strange argument to want to project attention on to the middle houses, when they are only ever seen, at very close range.

The second approach to The Crescent is from the far end where an avenue leads on to the Crescent and one can only see the subtle curve of the Crescent, and the houses in profile. (See photograph 2).

3. Mr. Macdonnell claims that the Crescent lacks any classical integrity, which he describes as "having one quality of unity or wholeness, which is not impaired." Dear me! dear dear me! POOR DUBLIN..... if that is the case, there is hardly a terrace in beautiful Georgian Dublin which fulfils Mr Macdonnell's stringent requirements. Walk along Merrion Square South, described as one of the most *elegant* terraces in Dublin and note:

the haphazard roof line
 the varying width of the doorways
 the varying heights of the doorways and
 the varying unsymmetrical spatial arrangements of doors to windows.

In conversation with Dr Edward MacParland, Fellow of Trinity College, lecturer and well known writer of numerous articles and books on Georgian architecture, he said and has allowed me to quote him:

"Part of the architectural tradition of squares and terraces, such as the north side of Parnell Square, with Charlemont House in the centre and Fitzwilliam Square is that there is irregularity".

Irregularity, idiosyncrasy, as anyone who has wandered with a seeing eye around the Georgian streets, even the finest streets of Dublin, is the *norm* rather than the exception. Take for instance, the terraces of James Gandon, one of the finest architects that Dublin has had, and his terrace in Beresford Place where to quote Dr. MacParland again: "There is the intention to create uniformity but a readiness to wander from it". I enclose a photograph of Beresford Place showing the uniformity of the first three storeys, but note the erratic arrangement of the doors!!!! What I wonder would Mr Macdonnell say about that?

By contrast The Crescent, in the context of Ireland, enjoys quite remarkable uniformity in the :

In its roofs and roofline
 the line of its windows
 the doors and line of its doors
 and the spatial arrangement of windows to doors

all of which are uniform, none of which have not been altered in any way except for No.1 which has recently been sensitively restored by the present owner, albeit with slightly lower doorways.

The Crescent is appreciated by leaders in architecture and architectural history:

Dr Maurice Craig one of the best known and most revered writers on Dublin architecture came out to visit The Crescent yesterday, and is going to write a report on its architectural value. He described it as a **unique terrace** in the context of Ireland, unique in the formality of its style and in its rural setting and **believes it should be A1 listed.**

In 1987 **The School of Architecture of UCD Conservation Unit** is yet another expert voice, which unlike Mr Macdonnell, is sensitive to the architectural merits of the terrace. In its *List of Historic Buildings and Groups of Buildings of Architectural of architectural importance in and near Lucan* it selected The Crescent as worthy of conservation and described it as:

A fine very gently curving terrace of eight houses. 2 storey over basement.....The fanlights above the doors of the houses are round arched and of various delightful designs. The side lights to the hallways are roundheaded in rectangular recesses. This crescent of houses is very attractive, but the maintenance of open space in front of it is essential."

There is no mention here of:

- (a) *ugliness* or
- (b) of the need to ~~complete~~ a building whose facade has remained virtually untouched since it was built,
- (c) or of *omission*
- (d) and no suspicion that here is an *18th century blunder* such as Mr. Macdonnell would have us believe.

What we do have is a beautifully intact terrace which has clearly excited the delight of leading architects of today.

History of The Crescent

The Crescent has not only architectural value but also **historical interest.**

Until very recently, it seems that they were always used as a unit. They were built in the 1790's and began life as accommodation for visitors who came to Lucan to take the spa waters. Since Lucan at that time, bid fair

to become as fashionable as the spas of Bath and Cheltenham, it may explain the quality and uniformity of The Crescent (so unusual in rural Ireland).

In the mid 19 century, The Crescent served as officers houses, (the County Lounge being a barracks).

In 1879 The Crescent became the first home of Stewart's Hospital, Dr Stewart lived in the then larger house No. 1 now restored into 1 and 1A.

In the 1890's The Crescent was bought by the Lucan Hydropathic & Spa Hotel Co. Ltd. The Spa Hotel sold the last of its houses last year.

I have not yet discovered (I have only just begun searching) whether the tradition, that James Gandon, (the architect of the Custom House and the Four Courts), was the architect of The Crescent is well founded. He did build houses in Lucan, lived here himself and it seems quite possible given, the idiosyncracies of Beresford Place and other of his buildings, and the idiosyncracies, formality and charm of the The Crescent, that he was indeed its architect.

SECOND GROUND OF COMPLAINT:

TREES

1. If the addition of a new house is allowed, it will mean the cutting down of fine trees which give great pleasure.
2. It will, in the process bring into greater prominence, the modern primary school which at the moment is virtually hidden by the trees (See photograph 3) which is fortunate since it would not blend harmoniously with 18 century buildings.

Finally, I cannot refrain from taking issue with the photographs which the architect has seen fit to hand in to you. His poorly assembled photographs, are so patched up in line and colour that they grossly misrepresent the roof line, the spatial arrangements between the School and the end of No 1 and the 'atmosphere' of The Crescent.

Moreover by choosing to photograph early on Tuesday morning - ie rubbish bin day - he has succeeded in creating a series of impressions which are so sordid and misleading that The Crescent is barely recognisable.

He has also photographed the insensitive additions at the rear of The Crescent, without indicating where they are, so that they might appear,

together with his argument of the lack of uniformity, as if they were at the front of The Crescent. **May I emphasise that the roofs of the front of the Crescent are unimpaired.** This is difficult to show in summer because of the trees but (See photograph 4)

I have no wish to malign Mr. Macdonnell, but it would seem to me that he has gone out of his way to ingeniously misrepresent The Crescent. Certainly the poor standards of his photographs do not do justice to the high standards and integrity which one usually expects from the profession of architecture.

I enclose photographs mostly taken this week, to give a more honest picture and include the print from the famous Wallace Collection (now in the National Museum) to show that the Crescent does indeed have a sense of unity and is virtually unchanged since his time.

If this planning application goes ahead it will be a source of great anxiety;

What guarantee is there that even if an exact replica of The Crescent is attempted, that the building will be sufficiently skilfully executed?

Who will monitor such a project?

And what recourse does one have if it is not well built?

I suggest that even in the hands of a skilful builder, a modern addition will look just what it is - a modern addition. If it is *not* skilfully built, we might then, by common acclaim have an "extremely ugly end."

IN SUMMARY

We enjoy at present a fine 18 century terrace, its front virtually unchanged from the time it was built.

A terrace acclaimed for its architectural merit recently by the Architectural School of UCD and Maurice Craig in a beautiful 18 century setting of grass and trees.

If this planning application is allowed:

The only gain: will be to the present owner who recently bought No 1 and who will reap the proceeds from building and selling a new house.

This is the balance against what we would lose:

1. We would be left with an 18 century terrace with a *20 century end* and its integrity thereby diminished.

2. The utilitarian concrete school will immediately be brought into greater prominence.
3. We will lose some of the trees which provide such a pleasant frame to the end of the terrace.
4. We will lose the delicacy of the curve which has given the Crescent its name for the last 200 years, a small detail perhaps, but it is details such as these which add interest, give delight and are evidence of the care which went into design by our 18th century architects.

I would plead with you to allow this fine 18th century terrace, albeit with its idiosyncracies (a general distinguishing feature of Irish Georgian architecure which has added to its charm) to remain untouched, and not run the risk of an unhappy 20th century 'completion'. There is little to gain and an awful lot to lose to no great purpose.

Yours sincerely

A handwritten signature in cursive script that reads "Helen Andrews". The letters are fluid and connected, with a prominent initial 'H'.

Helen Andrews

The Crescent. Lucan.



No. 1



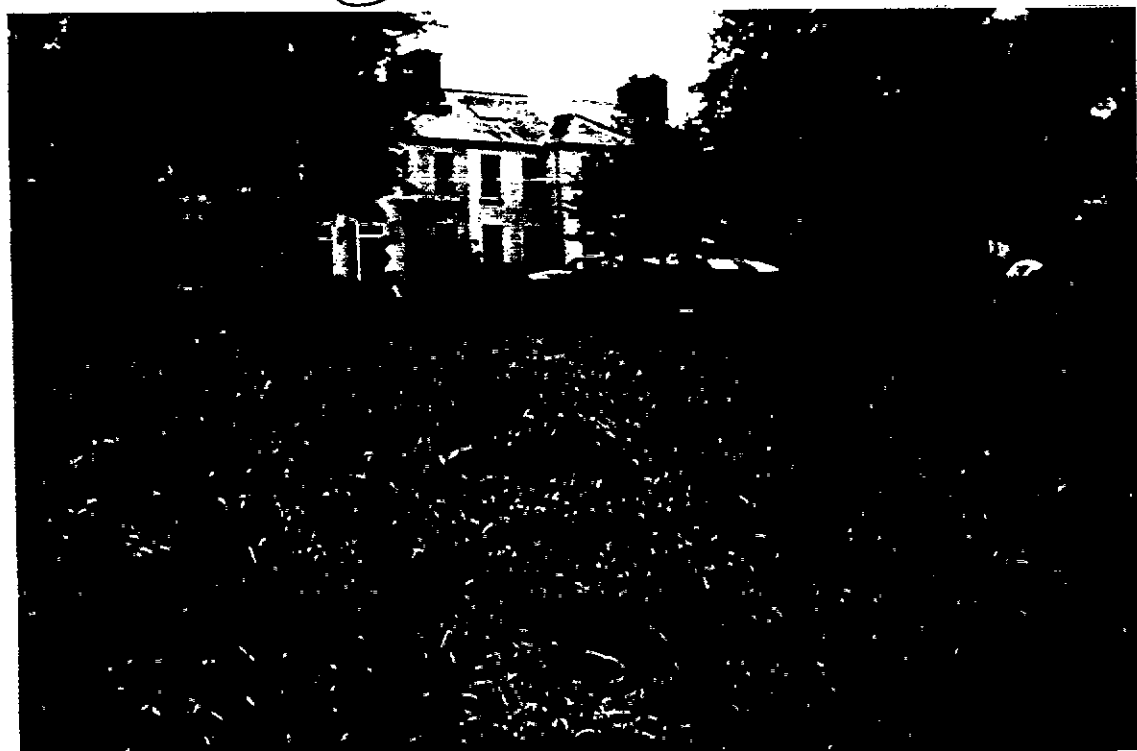
No. 2.

Showing the 2 different approaches to the Crescent.

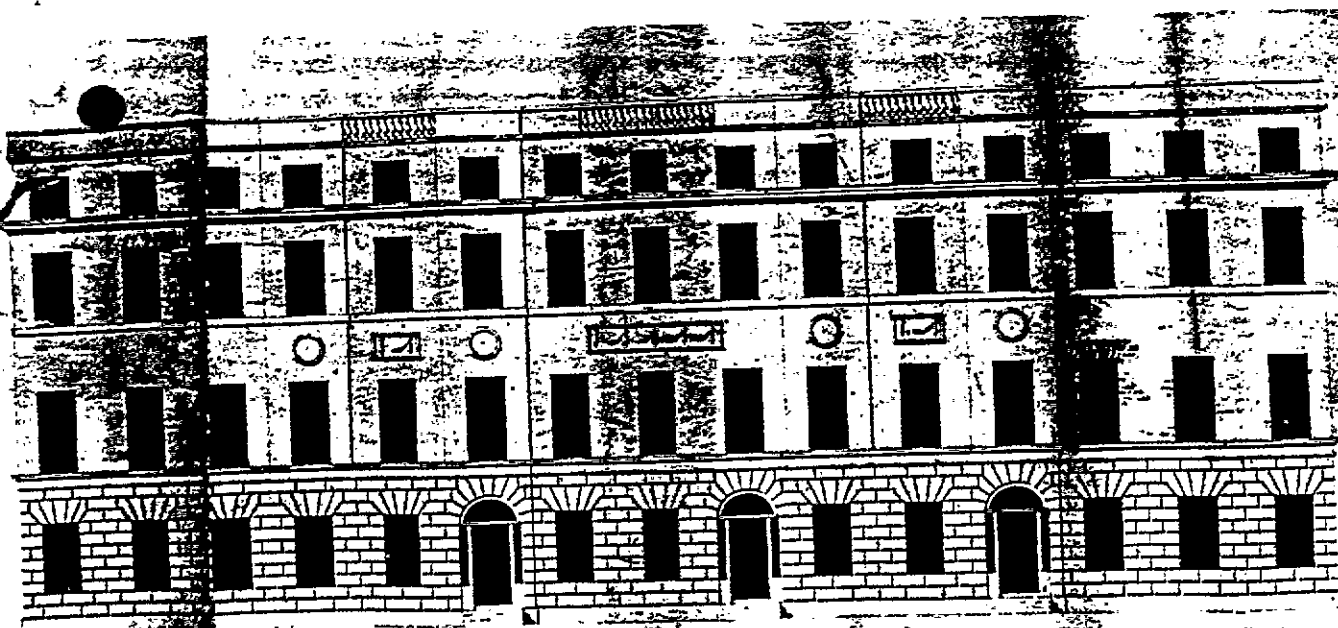


No. 3.

Showing 1-1A and the school
hidden by the trees.



No. 4.



21 Beresford Place, Dublin.
elevation, 1790

Please note the uniformity of the 3 top storeys but note the irregularity of the doors.

for instance, at Daly's Club House or Castle Coole (his unexecuted elevations). But such details are superficial: the body of the Mountjoy Square proposed block, with its pilastered pavilions, and central section breaking forward to a temple front, is a dull paraphrase of Jacobsen's west front at Trinity College. In other words, like Aldborough House, its pomp is not matched by its subtlety, and grandeur alone is insufficient reason for attributing it to Gandon.

Apart then from John Beresford's private apartments in the Custom House which, though domestic, belong to a different chapter, Gandon's most important domestic commission in town came from Lord Charlemont who, in the late 1780s, required a library to be added to the series of galleries, libraries and cabinets William Chambers had designed at the rear of his house in Rutland Square (*Plate 122*). The *Life* noting Gandon's reluctance, because of his preoccupation with public commissions, to take on private work says that Charlemont required a setting for a Nol-lekens bust of the Marquis of Rockingham presented to him by the Marquis, and for the busts of Roman emperors carved in Rome by Simon Vierpyl. Gandon's Rockingham library was sufficiently complete to be described and praised in the newspapers late in 1789.⁴⁶

The room, known only from two photographs of it taken in 1865 on the occasion of the sale of Charlemont's library (*Plates 123, 124*), resembled the vestibule of the Four Courts (*Plates 169a, 172*), though the lighting was differently managed: in both, a rectangular flat-ceiled space was terminated at either end by a half-domed apse, screened from the rest of the room by two free-standing columns carrying a straight entablature. The flat ceiling marked an affinity, too, with Adam's dining room at Syon House. The relatively enclosed Four Courts vestibule was lighted by a lantern, the library by circular windows in the side walls over the cornice. Rockingham was placed above the mantelpiece at the back of one apse; General Wolfe faced him from the other end: beneath their domed canopies, and framed by the columnar screens, they maintained a prominence even in the company of Vierpyl's Roman emperors.

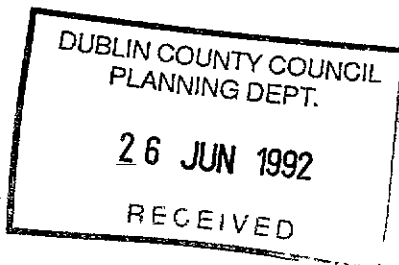
The emperors were ranged along the top bookshelves, mostly at capital level (Gandon's order was an invented one, a variation of the Corinthian, with winged sphinxes instead of volutes); on the bookshelf below, they flanked *columbaria* with



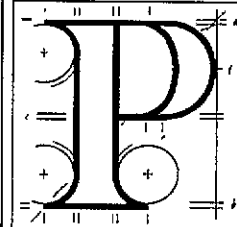
THE CRESCENT. LUCAN. CO. DUBLIN. 915. N. Y. I.

Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



ED14
An Bord Pleanála



Date: 24th June 1992.

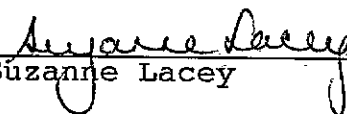
Appeal re: Erect house abutting no. 1 The Crescent,
matching no. 1 in height and general appearance, No.
1 The Crescent, Lucan, County Dublin.

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Dear Sir/Madam,

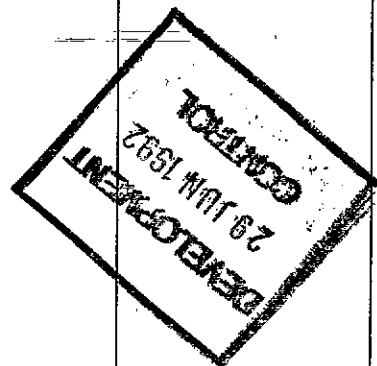
Enclosed for your information is a copy of a letter
received by the Board in relation to the
above-mentioned appeal.

Yours faithfully,


Suzanne Lacey

Encl.

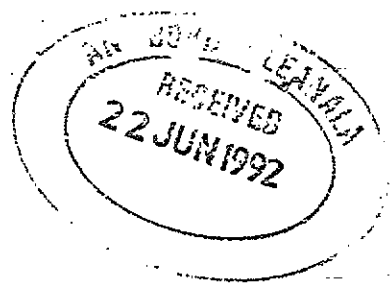
BP 555



Yom. Ref: P2 6/5 88317

P.A. Reg. Ref: 91A/1744

3 The Crescent,
Lucan,
Co. Dublin.



19th June 1992

which arrived here 16th June

Dear Sirs,

With reference to your letter of 4th May you mention that comments may be made on the letter you enclose from Mr. Raymond F. MacDonnell. For which many thanks.

I see that he asks that our appeal lodged with you be regarded as nonsense. And so lies the tenor of his letter.

I would like therefore to make a few observations.

The photographs enclosed by Mr. MacDonnell, clearly taken before ten on a Tuesday morning when unsightly bins were in front of the houses awaiting collection (particularly ugly on the Crescent as there are no front gardens), as well as the photographs of the undoubtedly ugly changes made at the rear of some of the houses indicate the disdain with which Mr. MacDonnell appears to regard the houses of the Crescent.

These houses are by no means grand, nor were they built for the rich but they are, as it were, a social document of their times and whatever view a particular person may take of their being complete or no is, at this stage two hundred years later, irrelevant.

To talk about cathedrals being built at different stages is rather missing the point. Our homes are small and simple and cannot offer anything like the visual excitement which cathedrals do. Their architectural value lies in their uniqueness rather than in any architectural feature, as Mr. MacDonnell must be aware.

With regard to the classical integrity mentioned, it depends on where you view the terrace from. With access as it is, and has been, no one with an eye could possibly see nos. 3 and 4 as central. One photograph of the offending or half-hipped roof is very misleading. It leaves out of view the school which lies so close to the envisaged house. And it views the house from a most unlikely angle, giving an impression of abrupt space which is simply not as it is.

With respect, I would suggest that the proposal to build a new house at the end of the terrace is in no way connected with a desire to complete a botched eighteenth-century terrace for the delight of the public at large, but rather, a business decision. A decision which in turn devalues, in every way, the relatively small and only homes of those who live on the terrace.

To rephrase the late John Hely's cry, is it not time for someone to shout stop?

Yours Truly,
Japhie Ryan

Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 13th May 1992.

Appeal re: Erect house abutting no. 1 The Crescent,
matching no. 1 in height and general appearance, no.
1 The Crescent, Lucan, County Dublin.

Dear Sir/Madam,

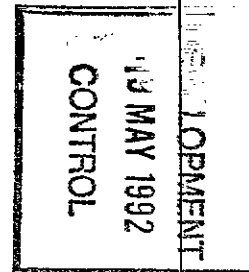
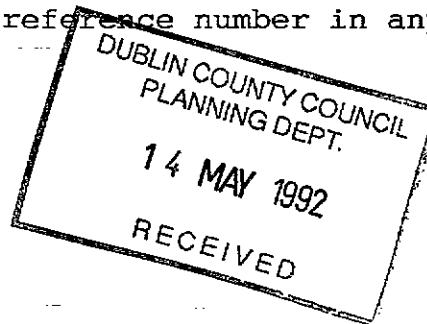
Enclosed for your information is a copy of
correspondence received in relation to the
above-mentioned appeal. While it is not necessary for
you to furnish any comments on the correspondence, you
may do so if you wish. Any such comments should be
forwarded within fourteen days from the date of this
letter to ensure that they will be taken into
consideration in the determination of the appeal.

Please quote the above appeal reference number in any
further correspondence.

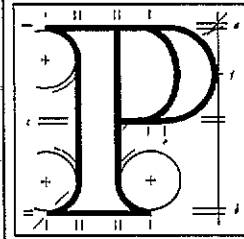
Yours sincerely,

Suzanne Lacey
Suzanne Lacey

BP 553A



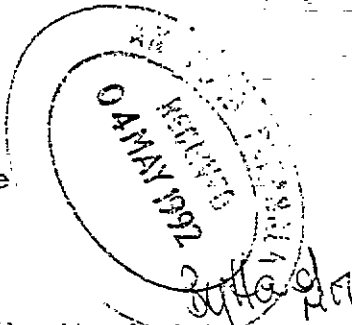
EO'16
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 728011

1st May 1992

An Bord Pleanála
Floor 3
Blocks 6 & 7
Irish Life Centre
Lr. Abbey Street
Dublin 1.



Re: Planning authority decision to grant planning permission to erect house abutting No. 1 The Crescent, matching No. 1 in height and general appearance, No. 1 The Crescent, Lucan, Co. Dublin. Your Ref. PL 6/5/88317.

Dear Sirs,

I enclose herewith a set of photographs of the complete facade of The Crescent, Lucan. It can be clearly seen from this that the decision to Grant Planning Permission for this proposal was a wise one. The Crescent at present consists of nine units. However, the symmetry was never completed, one house having been omitted on the right end leaving an extremely ugly cut off 'half' projecting element with half a hipped roof.

The proper completion now proposed of The Crescent will provide a symmetrical whole, where a central projecting unit composed of numbers 3 and 4 will balance the complete composition. I am at a total loss to understand how this intervention to rectify an 18th century architectural blunder can be considered to thwart the intention of the 1992 Draft Development Plan. There are numerous examples of accepted and successful improvements and alterations in later centuries to famous buildings including many of the great medieval cathedrals. Finally, if there is one thing that this Crescent has not got is classic integrity - which means having the quality of unity or wholeness and not being impaired.

I cannot therefore see how The Crescent's historical integrity could be breached by my client's proposal. I therefore request the Board to regard this appeal as nonsense.

Yours faithfully,

RAYMOND F. MACDONNELL B.ARCH. F.R.I.A.I.

Encs/

Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

507

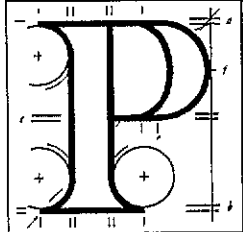
DEVELOPMENT
CONTROL

RECEIVED
29 APR 92
DUBLIN COUNTY COUNCIL
PLANNING

DEVELOPMENT
CONTROL

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

An Bord Pleanála



Date: 27th April 1992.

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal re: Erect house abutting no. 1 The Crescent,
matching no. 1 in height and general appearance, no.
1, The Crescent, Lucan, County Dublin

DEVELOPMENT
- 1 MAY 1992
CONTROL

Dear Sir/Madam,

Enclosed for your information is a copy of
correspondence received in relation to the
above-mentioned appeal. While it is not necessary for
you to furnish any comments on the correspondence, you
may do so if you wish. Any such comments should be
forwarded within fourteen days from the date of this
letter to ensure that they will be taken into
consideration in the determination of the appeal.

Please quote the above appeal reference number in any
further correspondence.

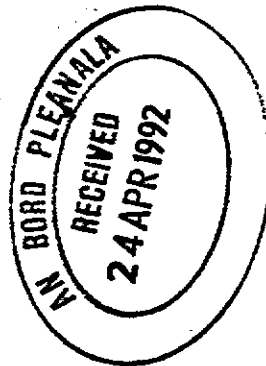
Yours sincerely,

Suzanne Lacey
Suzanne Lacey

065

BP 553A

Your Ref. PL 6/5/88317
P.A. Ref. 91A/1744



3The Crescent,
Lucan,
Co. Dublin

24th April 1992

An Bord Pleanala,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Dear Sirs,

In connection with the appeal against Dublin County Council Planning Authority's decision to grant permission for a house abutting on No. 1 The Crescent, Lucan, Co. Dublin I wish to make the following observations.

1. In answer to objections made against the original application the Planning Authority states that the proposed development involves a high level of design and finish and thus will make an attractive addition to the existing listed terrace.
The whole point of listing a structure for preservation is to leave it unchanged as far as is possible. Whether or not a modern extension to an 18th century terrace is attractive is a matter on which opinions are bound to differ and the intention of a preservation listing is surely, amongst other things, to prevent such differences arising.
2. With regard to the integrity of the existing building the Planning Authority states that the proposed development appears to complete the terrace at that end.
The use of the word "complete" in the context of a proposed addition to a structure built 200 years ago is, to say the least, unfortunate. The 18th century builders of the terrace chose not to make it completely symmetrical. Had they wished to do so the ~~other end of the terrace would~~ have been the proper geometric position for an additional house.
3. With regard to precedence the Planning Authority accept that it may be possible to build another addition at the opposite end of the terrace. They see no danger however as they think this would be unlikely to "fit in" as well as the proposed development.
If this is meant to be an indication of the Authority's attitude to future applications it is far from reassuring. It hardly constitutes a firm policy guide line. Faced with an application strongly arguing the present proposal as a precedent it is hard to see the Authority being able to justify a refusal.
4. The Authority consider that the trees beside the terrace will provide adequate screening of the primary school. This ignores the fact that the trees are of considerable height and their foliage well above the roof

height of the school. The tree trunks on their own are not much of a screen. The school is only too visible as things are and the proposed development would for reasons of perspective bring it into sharper visual focus regardless of the tree trunks.

5. In Condition 06 of their Grant of Permission the Planning Authority require the applicant to obtain the written permission of the owner of the foul sewer for connection. This sewer is the joint property of the owners of Nos 1,2,3 & 4 The Crescent.

It would seem that the Planning Authority did not give sufficient consideration to the objections made to the original application. 18th century terraces in a rural setting are a rarity in Ireland and if accorded the protection of Preservation listing this should be taken seriously. Permitting a pastiche replica at one end of an historical structure and maintaining on very arguable premises that this does not constitute a precedent for doing the same at the other would not appear to be the best way of implementing a Preservation policy.

Yours faithfully,



Sebastian Ryan



Our Ref: PL 6/5/88317
P.A. Reg. Ref: 91A/1744

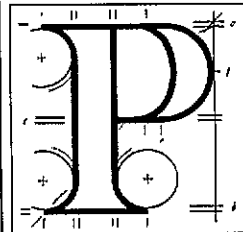
5011

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

DEVELOPMENT
CONTROL
24 APR 1992

RECEIVED
29 APR 92
DUBLIN COUNTY COUNCIL
PLANNING

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 24th April 1992.

Appeal re: Erect house abutting no. 1 The Crescent,
matching no. 1 in height and general appearance, No.
1 The Crescent, Lucan, County Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of
correspondence received in relation to the
above-mentioned appeal. While it is not necessary for
you to furnish any comments on the correspondence, you
may do so if you wish. Any such comments should be
forwarded within fourteen days from the date of this
letter to ensure that they will be taken into
consideration in the determination of the appeal.

Please quote the above appeal reference number in any
further correspondence.

Yours sincerely,

Suzanne Lacey
Suzanne Lacey

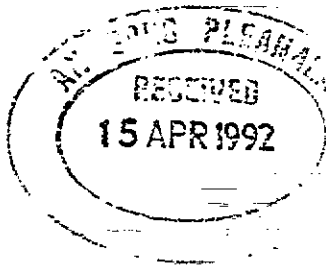
BP 553A



THE LUCAN PLANNING COUNCIL

COMHAIRLE PLEANÁLA LEAMHCÁIN

45 na hÁrda,
Leamhcáin,
Co. Bhaile Átha Cliath.



An Bord Pleanála,
Irish Life Centre,
Floor 5, Blocks 6 & 7,
Lower Abbey Street,
Baile Átha Cliath 1.

14th April, 1992

Appeal re. grant of permission by Dublin County Council of permission to erect one house abutting 1, The Crescent, Lucan, Co. Dublin (P/0861/92).

The Lucan Planning Council wishes to associate itself with the appeal by the Residents of The Crescent, Lucan, against the decision of Dublin County Council to grant permission for one house abutting No. 1, The Crescent, Lucan Co. Dublin.

GROUNDS FOR APPEAL

15/4/92
€30.00 chs
B.27664

1972 and 1983 Development Plans.

1. The concept of the new Western Town of Lucan/Clonsilla is an important component of the 1972 and 1983 Plans. In turn, the strategy of directing most new development within this New Town away from the historic villages to a greenfield site between the two is based on a recognition of the unique historical character of the villages of Lucan and Clonsilla. This recognition itself rests on the existence of buildings of special historical character in the two centres.

(enclosed: Lucan and Clonsilla Scheduled Towns Dublin County Council, par. 5.7.6., p.4 and par. 5.7.16.No.3, p.11)

2. The 19th century terrace of houses known as The Crescent is undoubtedly one of the key architectural components of historic Lucan, as are several other buildings within the Spa Hotel enclave.

(enclosed: List of Historic Buildings, Groups of Buildings, Areas of Architectural Importance, in and near Lucan, Conservation Unit, School of Architecture, University College, Dublin, item 44, "The Crescent".)

3. We doubt that an application to convert a single detached Georgian house into a semi-detached unit by the addition of a modern replica would be favourably received by the planning authorities, as such a development would totally subvert the historical character of the original structure. In the case of the Crescent, a terrace of Georgian houses, we believe the same logic holds. The terrace was designed and built as a single unit and has an integrity of design, which the addition of a modern replica would subvert.

In the light of these facts, it would, in our opinion, be against the policy thrust of the 1972 and 1983 Development Plans to allow the proposed development to take place.

1991 Draft Plan. The Crescent is listed in the 1992 Draft Development Plan as a structure worthy of consideration for preservation. The granting of permission now to erect a modern extension would, in our opinion, prejudice

this objective and would be premature.

(enclosed: Dublin County Draft Development Plan 1991, item 15. p.168.)

Precedent. To allow the present grant of permission to stand and this development to proceed would be to create a precedent which could lead to further similar applications and the complete disappearance of the visual and conceptual integrity of the original 18th century terrace.

We request, therefore, that the present appeal be granted and the effect of the original grant of permission be reversed.

Yours Sincerely,

Séamas Ó Síocháin

Séamas Ó Síocháin (Chairperson)

5.7.15 AREAS OF ARCHAEOLOGICAL POTENTIAL

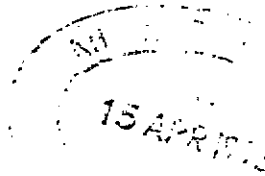
The Office of Public Works has identified extensive areas in the centres of Lucan and Clondalkin which are considered to be Areas of Archaeological Potential. In the absence of excavations the extent of the archaeological deposits cannot be quantified. It would be desirable that all developments within these areas should be monitored during excavation works and that preliminary exploratory excavations supervised by appropriate experts, be carried out prior to the formulation of development proposals.

The Council will as far as practicable assist the Office of Public Works in this regard.

5.7.16 POLICY

It is the policy of the Council -

1. To promote the achievement of a rapid transit or an improved rail service from Dublin City to Lucan/Clondalkin and in this regard the Council will give all possible assistance to the authorities responsible for providing such services.
2. To protect and develop the Grand Canal and the Liffey Valley for amenity and recreational activities having due regard to nature conservation.
3. To encourage the development of a wide range of employment opportunities in Lucan/Clondalkin.
4. To retain the identity of the Lucan/Clondalkin new town by maintaining its physical separation from Blanchardstown Leixlip and Tallaght.
5. To preserve and enhance the character of the Lucan and Clondalkin Villages.
6. To improve the physical character and environment of the new town.



5.7.6

CHARACTER

Lucan Village has retained its special identity despite the considerable development in the vicinity. The construction of the Lucan By-Pass has removed some of the heavy through traffic from the village and has improved the environment. There are many historic buildings in the village maintaining links with its past. The preservation of the social and physical character of the village is an objective of this Plan.

The village of Clondalkin suffers from traffic congestion on its narrow street network. It has a mixture of residential and commercial uses and of old and new buildings. The preservation of its historic character whilst maintaining its function as a district service centre is an objective of this Plan. The diversion of heavy through traffic out of the historic core onto a new route to the west which is partially in place is also an objective of this Plan.

5.7.7

POPULATION

In the twenty years to 1989 the population of Lucan/Clondalkin has grown from 5,000 to 54,000. The growth pattern from 1961 to 1989 is shown graphically in Figure No. 7.1.

A feature of the population common to all of the three western towns is the difference in the age structure compared with the rest of the County and the State as a whole - Examples of this are as follows:-

1. A much higher number of children under 10, 30% of the population as against 17% in the rest of the County and 19% in the State as a whole.
2. Fewer in the late teens - early twenties (15-25 yr. old), 13% as compared with 19% in the rest of the County and 17.5% in the State.
3. More in the 25 to 40 age group, 30% compared with 21% for both the rest of the County and the State.

Seamus O'Sullivan

SCHOOL OF ARCHITECTURE UNIVERSITY COLLEGE
DUBLIN

CONSERVATION UNIT

LIST OF

HISTORIC BUILDINGS
GROUPS OF BUILDINGS
AREAS OF ARCHITECTURAL IMPORTANCE

IN AND NEAR

LUCAN

No. Location / Address

Class Description

References

44 The Crescent

C.1790. Very gently curving terrace of 8 houses, 2 storey over basement. The houses are generally 3 bay with twinned entrances in projecting bays. The fanlights above the doors are round arched and stilted and of various delightful designs. The side lights to the hallways are interesting - round headed windows set in rectangular recesses. The end house is the exception, having 6 bays and doorway off centre with plain segmental arched fanlight. In this case the projecting bays contain segmental arched windows on the ground floor set in three-centred arched recesses. This crescent of houses is very attractive but the maintenance of the open space in front of it is essential. It is somewhat neglected at present, and this detracts from the overall effect of the terrace.

02203500

45 Round House

C.1790. Freestanding farmhouse with semicircular bays projecting either side of a central entrance with semicircular light above door. The house is 2 storey, rendered, with hipped roof.

02203520

46 Main Street (West)

The street between the bridges, facing the Griffeen and the small landscaped park, with a very pleasant outlook. The street is framed by two modern banks, which are a stark contrast to the older buildings. At the North end are two public houses
No.s 2 and 3: End pair of early-Victorian, 2-bay, two-storey, rendered houses.
No.s 3-7: A terrace of 5, two-storey early Victorian houses. First two houses are 3-bay, rendered and the next three are 2-bay, rendered, with brick dressings to the opes.
V. O'Neill & Sons is a picturesque, mid-Victorian, two-storey, red-brick, 'Jacobean style' house with an attio storey. The front bay-window rises to a cantilevered vault, which supports an A-line timber-framed gable over the bay. The brick detailing is intricate and there is some attractive terracotta floral tiling.
The Vesey Arms is a much altered late-Georgian pair of two-storey houses

47 Bridge

A

48 Ounavarra

9 bay 2 storey mid Georgian house, rendered with slated roof. Renovations and alterations which are not in character with the original house were carried out in the 19th and 20th centuries.

0280/3550

Development Plan Map Number 17

Ref. No	Townland	Description of Item
4	Coldblow	HOUSE, OUTOFFICES & GATES, Glenwood.
5	St. Edmondsbury	HOUSE & OUTOFFICES, St. Edmondsbury House, Old Lucan Rd.
6	St. Edmondsbury/ Woodlands	WEIR of Anna Liffey Mills.
7	Woodlands	MILLS, WEIR & TURBINES, Anna Liffey Flour Mills, Lower Road, Lucan.
8	Woodlands	HOUSE, Mill House, Anna Liffey Mills.
9	Woodville	CASTLE.
10	Cooldrinagh	BRIDGE, Leixlip Bridge.
11	Backwestonpark	FISHERY.
12	Cooldrinagh	ENCLOSURE SITE.
13	Lucan Demesne	WEIR.
14	Cooldrinagh	HOUSE, Round House.
15	Cooldrinagh	HOUSE TERRACE & RAILINGS, Nos. 1 to 8 incl., The Crescent, Cooldrinagh.
16	Lucan Demesne	ORATORY.
17	Laraghcon	CASTLE 'SITE OF'.
18	Laraghcon	HOUSE TERRACE, Nos 1 to 10 incl., Millbank Cottages.
19	Laraghcon	MILL CHIMNEY.
20	Laraghcon	CHIMNEY, To former Hill's Mills, Lucan.
21	Laraghcon	HOUSE TERRACE, Nos 1 to 20 incl., Weirview Cottages.
22	Laraghcon	HOLY WELL 'SITE OF'.
23	Lucan & Pettycanon	WEIR, SALMON PASS & SLUICE GATES.
24	Laraghcon	POWER STATION.
25	Lucan / Laraghcon	BRIDGE, Lucan Bridge.
26	Lucan & Pettycanon	HOUSE TERRACE, Nos. 1 to 8 incl., The Mall, Main St.
27	Lucan & Pettycanon	SCHOOL, C of I. National School, Main St., Lucan.
28	Coldblow	BRIDGE & PIERS OF OLD BRIDGE, Coldblow Bridge.
29	Lucan & Pettycanon	HOUSE TERRACE, Nos. 2 to 10 incl., Sarsfield Tce., Main Street.
30	Lucan & Pettycanon	CHURCH, RAILINGS & GATES, St. Andrew's Church, Main St. Lucan.
31	Lucan & Pettycanon	BUILDING, Lucan Co-Operative Society, Main St.,
32	Lucan & Pettycanon	CHURCH FACADE, Presbyterian Church, Main St., Lucan.
33	Lucan & Pettycanon	BRIDGE, Griffeen Bridge.

Tel.: 724733
Ext. 268/269

Planning Department,
Irish Life Centre,
11, Abbey Street,
Dublin 1.

Your Ref.: PLG/5/ 88317

Our Ref.: 91A 114+

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
11, Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Apply for planning permission for a
new 10 height structure on site.

Applicant: T.M. Co. Ltd.

Dear Sir,

With reference to your letter dated 26/5/82 I enclose
herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e.
1. 1. P. 20 23/10/81
- (4) The plan(s) received from the applicant on _____
- (6) & (7) A certified copy of Manager's Order 1/1/82
DATED, 1/1/82 together with technical reports in connection with the application.
- (8) Notes to follow.

Yours faithfully,

R. Linnell

for Principal Officer.

Encls.

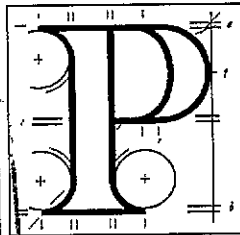
Our Ref: PL 6/5/88317
Your Ref: 91A/1744

204

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
RECEIVED
26 MAR 1992

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date 25th March 1992.

Planning authority decision re: Erect house abutting no. 1 The Crescent, matching no. 1 in height and general appearance, no. 1 The Crescent, Lucan, County Dublin.

Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

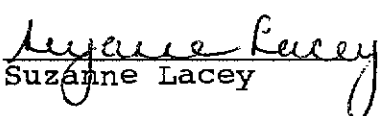
Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

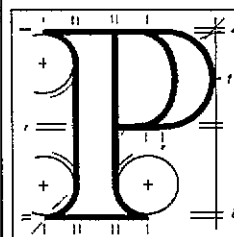
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

3 The Crescent,
Lucan.

16th March 1992

An Bord Pleanála
Blocks 6 & 7
Lower Life Centre,
Lower Abbey Street
Dublin 1

re 1 The Crescent, Lucan. Reg. Ref. 91A 1744

Dear Sirs I write, on behalf of myself and other
residents of the Crescent, to appeal against Dublin
County Council's Order of 27.02.92 granting permission
for the erection of a house abutting on No 1 The Crescent,
Lucan. Our grounds of appeal can be summarised

Briefly as follows:-
The erection of a replica dwelling house at
one end of the terrace breaches the architectural and
historical integrity of a classic late 18th century terrace
of houses which ~~will be~~ listed for preservation in the
1992 Draft Development Plan and thus ~~would~~ ^{would} ~~be~~ ^{be} ~~in~~ ⁱⁿ ~~the~~ ^{the} ~~terrace~~ ^{terrace}
the retention of this Plan and thus ~~be~~ ^{be} ~~in~~ ⁱⁿ ~~the~~ ^{the} ~~terrace~~ ^{terrace}
I will shortly ~~be~~ ^{be} ~~in~~ ⁱⁿ ~~the~~ ^{the} ~~terrace~~ ^{terrace}
with you Yours faithfully,
John Ryan

John Ryan

16/3/92
£100.00
B27371



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/0861/92 Date of Decision : 27th February 1992

Register Reference : 91A/1744 Date Received : 2nd January 1992

Applicant : Mr. T. McCormack

Development : Erect a house abutting No. 1 The Crescent, matching no.
1 in height and general appearance

Location : No. 1 The Crescent, Lucan

Floor Area : Sq. Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : 181291/020192

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ¹⁶.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer *[Signature]*

Date:..... *27/2/92*

Raymond F. MacDonnell, Architect,
"Clonross",
Blanchardstown,
Dublin 15

Reg.Ref. 91A/1744
Decision Order No. P/ 0861 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 02.01.1992 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That each proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That a financial contribution in the sum of £750.00 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

05 That a financial contribution in the sum of £165.00 be paid by the applicant to Dublin County Council towards the cost of upgrading existing satellite pumping station and rising main at Crowes Corner. This contribution to be paid prior to the commencement of this proposal.

05 REASON: In the interest of the proper planning and development of the area.

06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. Proposed rerouting does not satisfy the requirements of the Sanitary Services Engineer. Details of the rerouting of foul sewer to be agreed prior to commencement of development. The written permission from the owner of the foul sewer be obtained for the proposed connection.

06 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

07 Details of boundary treatment to be the subject of agreement with the Planning Authority.

07 REASON: In the interest of the proper planning and development of the area.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
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Fax (01) 724896

Reg.Ref. 91A/1744
Decision Order No. P/ 0861 /91

Page No: 0003

- 08 The disposal of surface water to be the subject of agreement with the Sanitary Services Engineer of the Council.
- 08 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 09 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.
REASON: In the interest of reducing air pollution.
- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON: To protect the amenities of the area.
- 11 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON: In the interest of amenity.
- 12 That the dwellinghouse be not occupied until all the services have been connected thereto and are operational.
- 12 REASON: In the interest of the proper planning and development of the area.
- 13 That the trees to be removed from site be replaced by 2 no. sycamore trees or similar broad leaf trees. These trees to be planted in the first planting season after the commencement of development on site.
- 13 REASON: In the interest of the proper planning and development of the area.
- 14 That the proposed windows to be of hardwood sliding sash type. The proposed window opes including individual panes and glazing bars to be of exact proportion to those in the existing houses.
REASON: In the interest of visual amenity.
- 15 That the proposed railings to match dimensions of existing railings. A sample of the proposed railings to be erected on site for inspection and subsequent written agreement of the Planning Authority prior to the commencement of development on site.
- 15 REASON: In the interest of the proper planning and development of the area.
- 16 Drain pipes to be of material, design and finish similar to original piping designed for this terrace, as far as is practical.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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Dublin 1.
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Fax (01) 724896

Reg.Ref. 91A/1744

Decision Order No. P/ 0861 /91

Page No: 0004

16 REASON: In the interest of the proper planning and development of the
area.

5 ebrill 2001



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Decision Order Number : P/ 5749 /91 Date of Decision : 18th December 1991

Register Reference : 91A/1744 Date Received : 5th November 1991

Applicant : Mr. T. McCormack

Development : Erect a house abutting No. 1 The Crescent, matching no.
1 in height and general appearance

Location : No. 1 The Crescent, Lucan

Dear Sir/Madam,

With reference to your planning application, received here on 05.11.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

01 The applicant is requested to submit the following:-

- (i) A site location map which accurately identifies the proposed site outline in red.
- (ii) A block plan of scale not less than 1:500. This should identify (a) all existing buildings on site (b) the proposed development (c) all adjoining properties. Details of off-street car parking facilities (d) relationship between proposed site and approved bungalow site.

02 Lodged plans provide for inadequate private open space to serve the proposed dwelling. The applicant is requested to submit a revised block plan indicating a rear garden length of minimum 10.7 metres (35 feet) across the width of the proposed development.

03 The applicant is requested to submit a detailed tree survey. This should identify:-

1. The precise location, species, height spread and condition of all existing mature trees on site.

Raymond F. MacDonnell, Architect,
"Clonross",
Blanchardstown,
Dublin 15



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/1744
Decision Order No. P/ 5749 /91
Page No: 0002

2. Details of trees to be removed, lopped or topped as distinct from those to be preserved.
3. Details of measures necessary for the protection and preservation of trees to be retained (including details of how it is intended to protect those trees to the north of the site from interference by way of excavation/construction traffic.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

A handwritten signature in cursive script, appearing to read 'Rose Fleming', written over a dotted line.

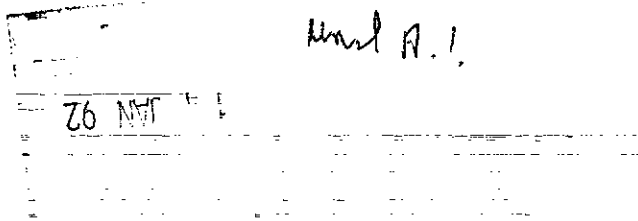
PRINCIPAL OFFICER

Date : 19/12/91

RAYMOND F. MAC DONNELL B.ARCH F.R.I.A.I. MSDI ARCHITECT
CLONROSS BLANCHARDSTOWN DUBLIN 15. TEL. 213001/211738

13th January 1992

Dublin County Council
Planning Department
Irish Life Centre
Lr. Abbey Street
Dublin 1.



Re: Application for permission to erect a house abutting No. 1,
The Crescent, Lucan.
Reg. Ref. No. 91A/1744.

ADDITIONAL INFORMATION

Dear Sirs,

With reference to your letter of 18th December 1991, please find enclosed four copies of a Tree Survey of the above site.

It can be seen from the Tree Survey that only trees numbers 1 and 2 are affected and it is recommended by the Tree Surgeon that these should be felled as they have extensive interior decay and therefore obviously might be dangerous.

It can also be seen that tree number 3 is in a similar condition.

Yours faithfully,

RAYMOND F. MACDONNELL B.ARCH. F.R.I.A.I.

C.C. Mr. T. McCormack.

TREE SURVEY



DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
14 JAN 1992
REG No. ...3811244.

J M McConville • Consultant Arborists
+ ASSOCIATES • Landscape Designers
Orange • Dunboyne • Co. Meath
Telephone: 251718

The purpose of this report is to survey the trees on the site at 1 The Crescent, Lucan, Co. Dublin and set out their condition and any recommendations for any necessary remedial tree surgery.

The terms of reference for this report is a proposed building extension to 1 The Crescent.

The reference numbers refer to the trees (numbers are from 01 to 13) and are cross referenced to a drawing at a scale of 1 : 200.

Reference to Age is as follows;

Young (trees up to 1/3 of expected ultimate height) (Y)
Early-Mature (between 1/3 and 2/3 expected height) (EM)
Mature (more or less full height but still increasing in size (M)

Reference to Codes;

- A. Trees worthy of retention.
- B. Trees worthy of retention, requiring remedial tree surgery.
- C. Trees in poor condition with only a limited life span, or not suitable for retention.

Reference to Condition;

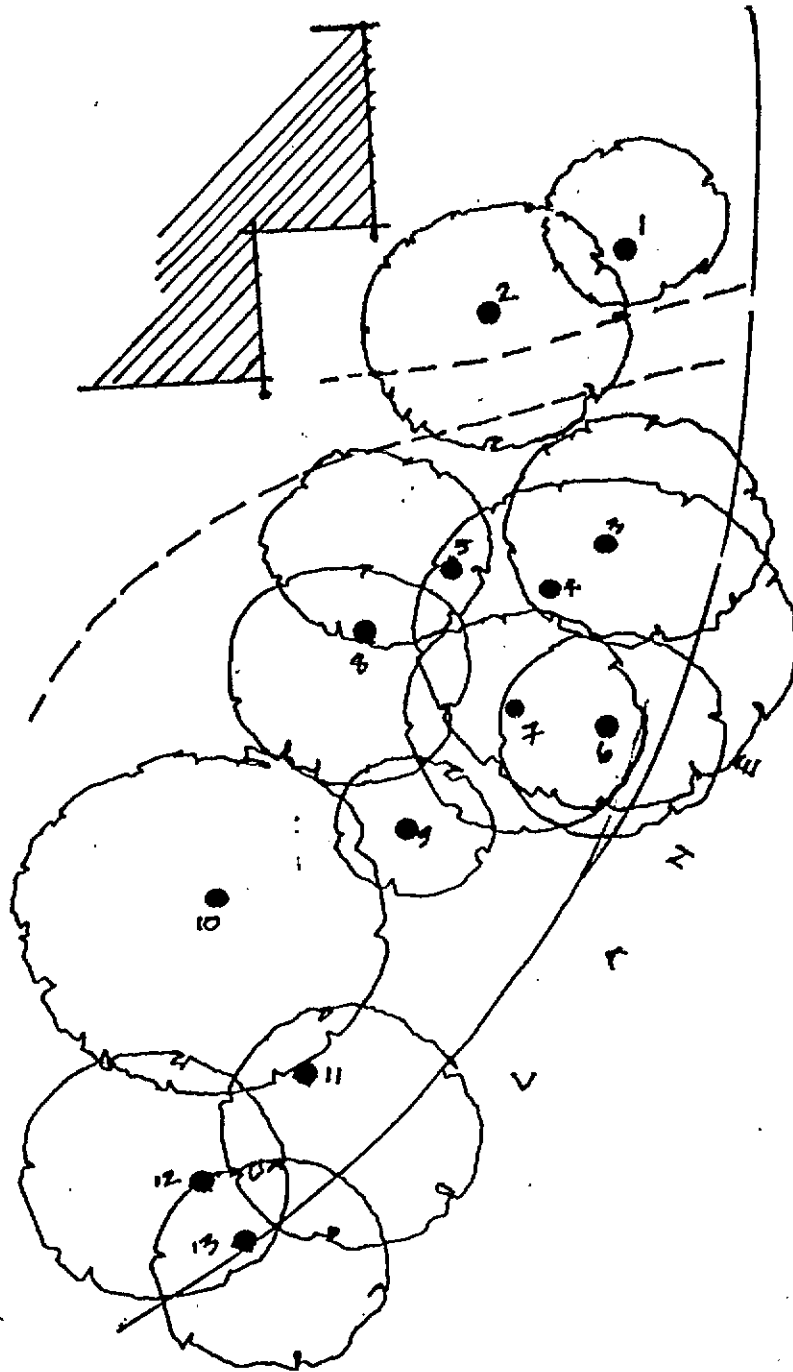
Good: Full healthy canopy, but possibly including some suppressed branches or physical damage.
Fair: Slightly reduced leaf cover, minor dead wood or isolated major dead wood.
Poor: Overall sparse leafing or extensive deadwood.

The term overhauled refers to cleaning out of dead, dying or diseased wood, removal of unwanted epicormic growth and climbing plants and other objects such as wires, clamps and boards.

Trees for retention should be protected by a stout post & rail fence enclosing the area of the crown spread, 1.5m high.

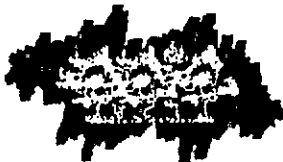
Tree no.	Species	Height (M)	Girth (M)	Spread (M)	Condition	Age	Code	Remarks
01	Sycamore	13.0	2.1	5.0	Poor	M	C	These trees have been topped in the past and have extensive interior decays. They are not suitable for retention and should be felled.
02	Sycamore	15.0	2.1	8.0	Poor	M	C	
03	Sycamore	17.0	2.55	8.0	Poor	M	C	This tree has shed limbs from its crown and has large decays present. It has extensive areas of dead wood. It proximity to the adjoining house renders it a potential hazard. I recommend it be felled.
04	Sycamore	17.0	2.1	10.0	Fair	M	B/C	This is a tall tree which will be isolated leans over the adjoining house. It could be retained in the short term with a 50% crown reduction.
05	Sycamore	13.0	1.7	6.0	Poor	M	C	This tree has lost its crown and is suffering from major decay. Plan for its removal.
06	Sycamore	14.0	1.5	6.0	Poor	M	C	This tree is in decline. It has shed a limb and there is decay present. It leans out over the lane and has substantial dead wood. Plan for its removal.
07	Sycamore	17.0	1.5	7.0	Fair	M	B	This tree requires an overhaul to remove dead wood and truncated branches back to a branch collar.

Tree no.	Species	Height (M)	Girth (M)	Spread (M)	Condition	Age	Code	Remarks
08	Sycamore	13.0	1.4	7.0	Fair	M	B	This tree requires an overhaul to remove dead wood and truncated branches back to a branch collar.
09	Sycamore	10.0	0.9	5.0	Poor	EM	B/C	This tree has a basal decay. It is a suppressed specimen with limited future potential.
10	Sycamore	16.0	2.5	10.0	Poor	M	C	This tree has a major basal decay and is in a dangerous condition. Plan for its removal.
11	Sycamore	16.0	1.8	8.0	Fair	M	B	This tree requires an overhaul to remove dead wood and truncated branches back to a branch collar.
12	Sycamore	16.0	1.8	8.0	Fair	M	B	This tree requires an overhaul to remove dead wood and truncated branches back to a branch collar.
13	Sycamore	16.0	1.6	6.0	Fair	M	B	This tree requires an overhaul to remove dead wood and truncated branches back to a branch collar.



JM McConville & Associates

Consultant Arborists • Landscape Designers



GRANGE • DUNBOYNE • CO. MEATH

Telephone

251718

PROJECT

NO ONE THE CRESCENT
LUCAN

DRAWING TITLE

TREE LOCATIONS

CLIENT

MR. TOM MCCORMACK

Scale

1 : 200

Drawing no.

2633/1

Date

January 92

Drawn By

no dimensions to be noted ©

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1744

Date : 6th January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

APPLICANT : Mr. T. McCormack

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information
received on 2nd January 1992.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Raymond F. MacDonnell, Architect,
"Clonross",
Blanchardstown,
Dublin 15

RAYMOND F. MAC DONNELL B.ARCH F.R.I.A.I. MSDI ARCHITECT
CLONROSS BLANCHARDSTOWN DUBLIN 15. TEL. 213001/211738

20th December 1991

Dublin County Council
Planning Department
Irish Life Centre
Lr. Abbey Street
Dublin 1.

07 JAN 92

91A/1744

1.4.0

A.I.

Re: Proposed house abutting No. 1 The Crescent, Lucan.
Reg. Ref. No. 91A/1744
Decision P/5749/91.

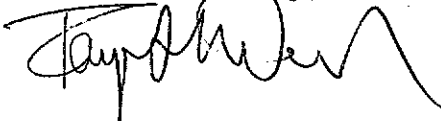
ADDITIONAL INFORMATION

Dear Sirs,

With reference to your letter of 18th inst., please find enclosed four copies of a site plan, scale 1:200. This answers question 1(ii) of your letter. Car parking is provided in the courtyard. A site location map 1:2500 was submitted on 5th November 1991 with the original submission.

The site plan shows that the back garden is considerably longer than 10.7m and in total the area is larger than the minimal required by yourselves. (This drawing was submitted as Unsolicited Further Information on 13/11/91).
Details of the trees on site will be submitted separately.

Yours faithfully,



RAYMOND F. MACDONNELL B.ARCH. F.R.I.A.I.

Encs/ Four copies of site plan.

C.C. Mr. T. McCormack

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

BYE-LAW APPLICATION

REC. NO. N 51770

PAID BY
CASH
CHEQUE
M.O.

£55.00

Received this 21st day of November 19...

from Thomas Mc Cormack,
11 Castleknock Glade,
D.K.

the sum of fifty five Pounds

being bye-law application

Thomas J. Moran Cashier S. GAREY Principal Officer

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. *N-51255*

Balance

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

£ 32.00

21st

day of

November 19*91*

Received this

from *Thomas McCormack*
11 Castletrook Glade

0.15

Pounds

the sum of *thirty two*

Pence being

Balance of

fee on 91A/174U

Modes *Doane*

Cashier

S. CAREY
Principal Officer

[Signature]

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1744

Date : 6th November 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990.

Dear Sir/Madam,

DEVELOPMENT : Erect a house abutting No. 1 The Crescent, matching
no. 1 in height and general appearance

LOCATION : No. 1 The Crescent, Lucan

APPLICANT : Mr. T. McCormack

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 5th November 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Raymond F. MacDonnell, Architect,
"Clonross",
Blanchardstown,
Dublin 15



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.
2. Postal address of site or building ABUTTING NO 1 THE CRESCENT LUCAN CO DUBLIN
(If none, give description sufficient to identify).....
3. Name of applicant (Principal not Agent) MR. T. MACCORMACK
Address 11 CASTLE KNOCK GLADE DUBLIN 15 Tel. No.....
4. Name and address of RAYMOND F. MACDONNELL BARRISTER AT LAW
person or firm responsible for preparation of drawings 'CLONROSS' BARRISTERS 200 DUBLIN 15 Tel. No 23001/211738
5. Name and address to which notifications should be sent AS (4) ABOVE
6. Brief description of proposed development NEW HOUSE ABUTTING NO 1 THE CRESCENT
7. Method of drainage MAINS 8. Source of Water Supply MAINS
9. In the case of any building or buildings to be retained on site, please state:
 - (a) Present use of each floor or use when last used. REST NONE
 - (b) Proposed use of each floor
- 10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO
11. (a) Area of Site NOT APPLICABLE Sq. m.
(b) Floor area of proposed development N/A RESIDENTIAL Sq. m.
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.
12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD
13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.
14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
IT IS THE POLICY OF THIS OFFICE TO TAKE ACCOUNT OF THESE REGULATIONS BUT THIS IS NOT A GUARANTEE OF COMPLIANCE.
15. List of documents enclosed with application. FOUR COPIES OF SPECIFICATION AND DWGS SITE PLAN 674/01, 02, 03, 04, 05 SITE LOCATION MAP, COPY OF NEWSPAPER ADV. STRUCTURAL DWGS AND CHEQUE UNDER SEPARATE COVER

CO. DUBLIN planning permis-
sion sought for Mr. T. MacCormack to erect a house abutting no. 1 The Crescent, Dublin 15.

Incl
Cross
23/10/91

16. Gross floor space of proposed development (See back) Sq. m.
No of dwellings proposed (if any) 1 Class(es) of Development 1(A)
Fee Payable £ 87.00 Basis of Calculation 32+55 FOR 1 RESIDENTIAL UNIT.
If a reduced fee is tendered details of previous relevant payment should be given

Account
enclosed

Signature of Applicant (or his Agent) Helen Fisher pp RF MacDonnell Date 5/11/91

Application Type P/B FOR OFFICE USE ONLY
Register Reference 918/1744
Amount Received £ 17-6 1. 20. 4
Receipt No
Date

RECEIVED
- 5 NOV 1991
REG SE

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

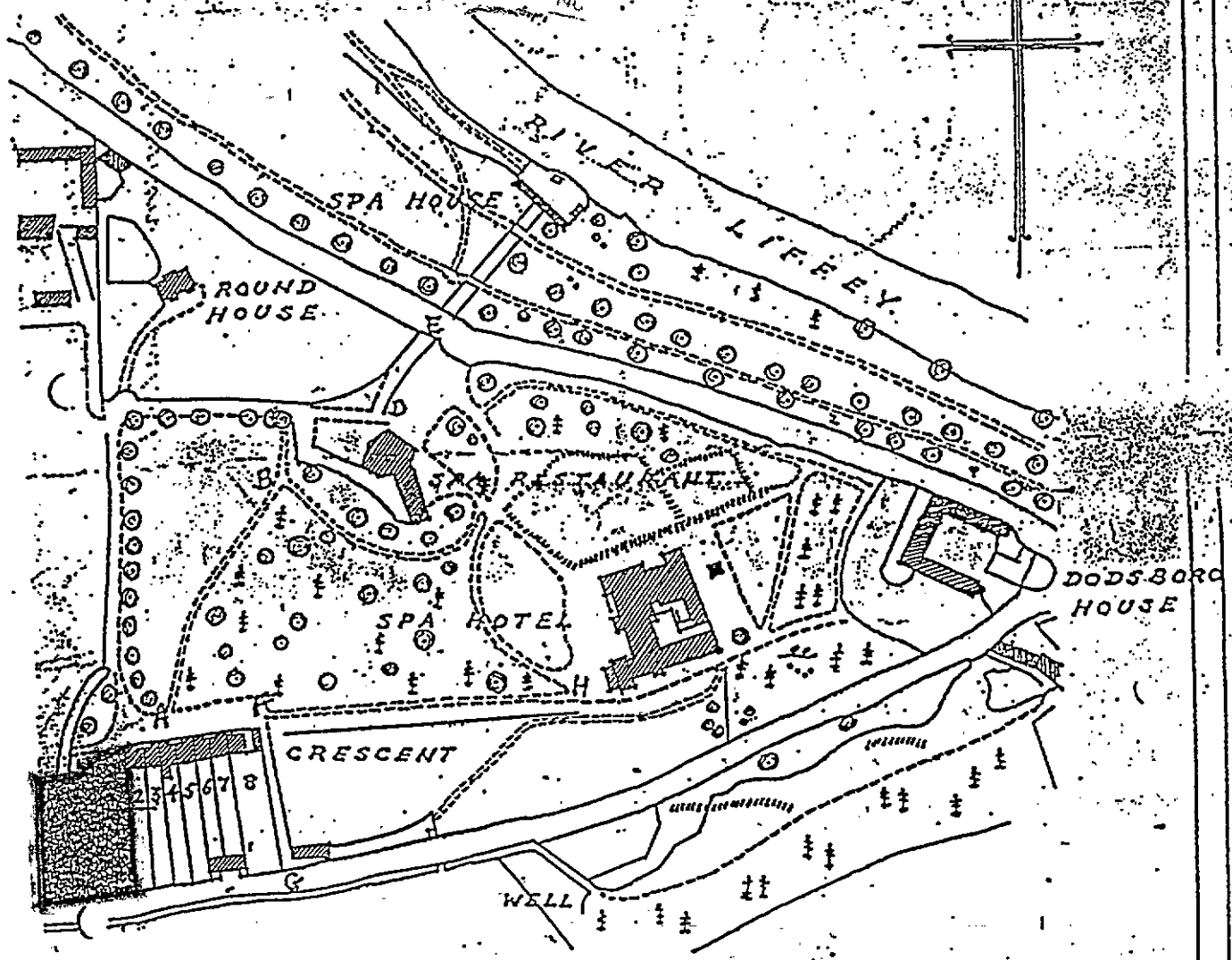
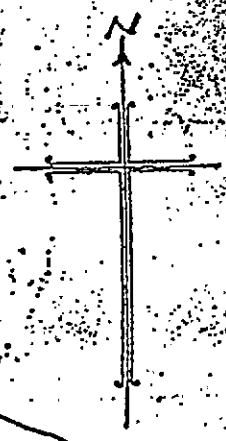
Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

LINCOLN COUNTY COMING
Planning Dept. Review
APPLICATION

5 NOV 1991

REG. NO. 01A/1744
APPLICATION No.



NOTE: SEE SITE PLAN
FOR GARDEN TO
NEWHOUSE.

PROPOSED HOUSE ABUTTING N° 1
THE CRESCENT, LUCAN
SITE LOCATION PLAN 1:2500
RE. MACDONNELL ARCHITECT

5-11-91

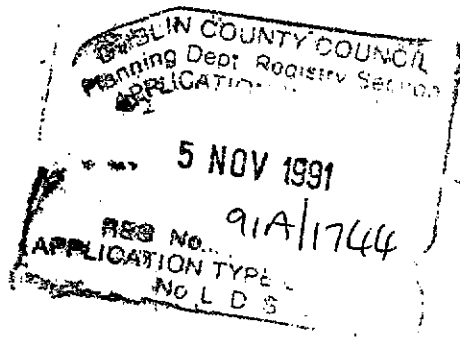
OUTLINE SPECIFICATION OF MATERIALS
TO BE USED IN THE PROPOSED EXTENSION

TO

The Crescent
Lucan
Co. Dublin

FOR

Mr. T. McCormack



Raymond F. MacDonnell
B.Arch. F.R.I.A.I.
'Clonross'
Navan Road
Blanchardstown
Dublin 15.

November 1991

1. EXCAVATION

The site of the buildings is to be excavated to a depth of 10" minimum. The excavation for the foundations to external walls and internal walls, concrete floors etc., shall be excavated to the general depths shown on the section or to such greater or lesser depths as may be directed in order to obtain a solid stratum, finished perfectly level. Actual foundation depths to be approved on site by the Local Authority Inspector before any concrete is poured, to ensure adequate bearing capacity.

2. FOUNDATIONS

To be 1: 2 : 4 concrete mix strip foundations under all load bearing walls. Foundation strips to be 3'0" wide by 12" deep or 2'6" x 12" minimum. All foundations to be a minimum of 3'0" below ground level.

3. HARDCORE

To be good quality broken stone or brick and to be layed as a level bed well rammed and consolidated.

4. BLINDING

3" sand blinding to be layed and rolled over hardcore.

5. DAMP PROOF MEMBRANE

To be 1000 gauge visqueen with proper laps at all junctions and turned up around edges of slab, and also layed vertically on the outer faces of rising walls where shown.

6. DAMP PROOF COURSE

Shall be 3 ply bitumen on jute or canvas base D.P.C. and shall be laid to full thickness of walls and incorporated under and around all cills and at door and window jambs, vertically.

7. CONCRETE FLOORS

6" steel trowel finished concrete slab on 2" perimeter (3" wide) polystyrene insulation on 1000 gauge visqueen d.p.m. on 3" sand blinding on compacted hardcore minimum thickness 6".

8. SUSPENDED TIMBER FLOORS

1" T & G boarding on 7" x 2" joists @ 16" centres. (175 x 44 @ 250 centres metric). With one row of 7" x 2" bridging pieces to each room.

9. RISING WALLS

To be in solid concrete block to same thickness as walls over 3 : 1 sand/cement mortar to be used up to d.p.c. level.

10. EXTERNAL WALLS

a) Cavity construction consisting of 4" clay brick outer leaf, 2" cavity, 2" insulation and 4" solid concrete block inner leaf. Ties to be provided at 3' 0" horizontal centres and 1'6" vertical centres. Stainless steel twisted ties to be used.

b) 9" hollow concrete blockwork.

11. INTERNAL WALLS

To be 4" timber stud partitions at first floor level.

To be 4" solid concrete block at ground floor level where shown.

12. INTERNAL WALL FINISH

a) Hardwall plaster finish on internal walls of blockwork.

b) ½" plaster board on 2" x 1" treated timber battens on insides of external walls.

13. LINTOLS

a) Spanlite prestressed concrete lintols. Laid strictly in accordance with Manufacturer's instructions.

b) Dorman long type M.S. Lintel.

14. ROOF CONSTRUCTION

Selected clay tiles to match existing on 2" x 1" treated timber battens on sacking felt 125 x 35 rafters at 370 centres on 225 x 75 purlins. 125 x 35 struts and bangers at every second rafter. 75 x 100 treated wall plates bolted to top of wall.

15. CEILING

- a) $\frac{1}{2}$ " plasterboard and skim with 4" fibre glass insulation over.
- b) $\frac{1}{2}$ " plasterboard at ground floor level.

16. ROOF TRUSSES

Prefabricated timber roof trusses to be used or in the case of hipped roofs, traditional construction is to be used: trusses to be braced and fixed strictly in accordance with the manufacturer instructions.

17. WINDOWS

Purpose made timber windows of Irish manufacture. All windows to be carefully set in position before plaster jamb linings are fixed and pointed around with 3:1 cement and sand on inside. Timber windows to be of I.S.S.

18. DOORS

Back and Front Door to be I.S.S.

19. INTERNAL DOORS

All internal doors to principal rooms to be 2" nominal flush (in accordance with I.S.S. 48/55 stamped as such) hung on specially prepared frames. All doors to be hung on one pair of 4" but hinges.

20. STUDDING

To be 3" x $1\frac{1}{2}$ " to suit plaster slabs, with required nogging pieces 2" thick patent plaster slab partitions may be used in lieu of studding previously described, at the discretion of the Architect.

21. DOOR FURNITURE

All internal doors to have mortive locks with chrome plates and handles; hot press and cupboard doors to have ball socket catch or magnetic catches with pull handles. Hall door to have cylinder night latch and suitable letter box. (Other external doors to have one bolt each and rim lock if necessary).

22. LINEN PRESS

Provide and fix slatted shelving nailed to cleats.

23. SINK AND KITCHEN UNITS

Supply and fix stainless steel sink with drainer complete with chrome taps. Provide kitchen units in positions as shown on drawings.

24. NOTE

ALL SIZES TO BE AS CLOSE TO FIGURES SHOWN ABOVE OR METRIC EQUIVALENT AS AVAILABLE.

25. SOIL AND VENT PIPES, RAIN WATER PIPES & GUTTERS

Provide 4" diameter PVC soilpipe. Provide all necessary branch pipes etc., also 5" half round approved PVC gutter fitted to maker's instructions. Gutter brackets screwed to fascia. Also 3" diameter approved rainwater pipes complete with hoppers, bends and toe pieces. Provide PVC clips to keep pipes from wall face.

26. FLASHING

Provide and fix all necessary flashings to chimneys to Department of Local Government requirements.

27. WATER

Lay on water supply from main in accordance with Local Authority Regulations. Provide and fix suitably sized storage tank complete with ballcock and overflow. Bath, lavatory basin and WC cistern must be supplied from this tank. Fit suitable stop cocks on distributing pipes in a convenient and accessible position as near to tank as practicable; also stop cock on rising main where entering house. The sink only to be provided from the rising main. Provide draw off cock from boiler and stop cock on cold feed to cylinders.

28. HOT WATER SUPPLY

Provide hot water system to bath, wash-hand basin and sink.
½" supplies except in bath which is to have ¾" hot supply.

29. SANITARY FITTINGS

Supply and fit complete with traps, fittings, wastes, overflows, stainless steel sink unit, wash-hand basin, low level combination WC suites with cistern and plastic seat, suitably sized copper cylinder and approved standard 5'6" bath.

30. DRAIN TESTING

All drains and plumbing work to be tested to the entire satisfaction of the Local Authority.

PLASTERERS

31. WALLS

External walls internally to be carefully Drylined with ¾" plaster Board on battens with 2" thermal insulation.
All partitions to be covered with approved slabs and rendered with Gypsum plaster in accordance with manufacturer's instructions. Alternatively, dry lining may be used.

32. CEILINGS

All ceilings to be covered with approved plaster slabs, each slab nailed along the edge and centre and joints to be filled and finished with a plastic compound to give a stippled finish in accordance with maker's instructions.

33. EXTERNAL

All external face of all concrete block walls to be scudded, rendered in sand and cement. The floating coat to have an admixture of approved water-proofing compound mixed in strict accordance with the maker's instructions. Finish on external walls as selected by Architect.

TILERS

34. ROOF

Roof to be covered with clay tiles to B.S. to be laid on battens on un-tearable felt. Include for all ridge and hip tiles to match existing.

PAINTER

35. GENERAL

All exposed woodwork to be properly knotted and primed. All tassels, plates, ends of joints etc., to be coated with one coat of preservative before fixing.

36. EXTERNAL

All external woodwork to be prepared, primed and painted two coats best selected oil paint.

37. INTERNAL

All internal joinery, and woodwork to be prepared and painted two coats best selected oil paint after priming.

38. GLAZING

All glazing to be bedded in best linseed oil putty in all cases, the glass must be well-bedded and back puttied. All putty to be carefully trimmed and cleaned off.

Workmanship shall comply with the following codes of practice:

Workmanship

Glazing - BSCP 152
Painting - BSCP 231

DRAINAGE

Materials shall comply with the following specification:

Materials

Stoneware pipes - IS 106
Cast Iron Pipes - IS 437
Spun Iron Pipes - BS 1211
Concrete Pipes - BS 556 & 4101
Manhole Covers - BS 497
Step Irons - BS 1247
PVC Pipes - BS 3506

Drainage work generally shall be executed in accordance with BSCP 310.

Workmanship

The works are to be completed in accordance with the Fire Officers requirements.

Fire Officer

FLOOR WALL AND CEILING FINISHES

The materials shall comply with the following specifications . Materials

Cement	- IS 1
Lime	- IS 8
Sand	- BS 1198 & 1199
Gypsum Plaster	- IS 27
Metal Lathing	- BS 1369
Plaster Lath	- IR 41

Plaster for walls and ceilings shall be gyplite plaster supplied by Gypsum Industries Ltd., used strictly in accordance with the maker's directions as set out in the current edition of their 'Green Book'.

Different types of plaster shall be distinctively marked and stored separately.

Workmanships shall comply with the following Codes of Practice:

Internal plastering	- BSCP 211
External rendering	- BSCP 221
Tile and slab flooring	- BSCP 202
Sheet and tile flooring	- BSCP 203
Vinyl asbestos tiles	- BS 3260
Quarry Tiles	- BS 1286
Glaze of ceramic tiling and tile fittings	- BS 1281

Workmanship

Door mats shall be Tufta Guard door mats.

Materials shall comply with the following specifications: Materials

Glass	- BS 952
Putty	- IS 28
Oil paints	- IS 15, 32, & 115
Water paints and distempers	- IS 73, 74 & 75
Knotting	- IS 16
Priming paints	- IS 18, 33 & 110
Varnishes	- IS 10, 103 & 104
Linseed Oil	- IS 14, 93 & 94
Emulsion Paint	- IS 129

SUMMARY OF STANDARDS OF CODES

CARPENTRY & JOINERY

Materials shall comply with the following specifications:

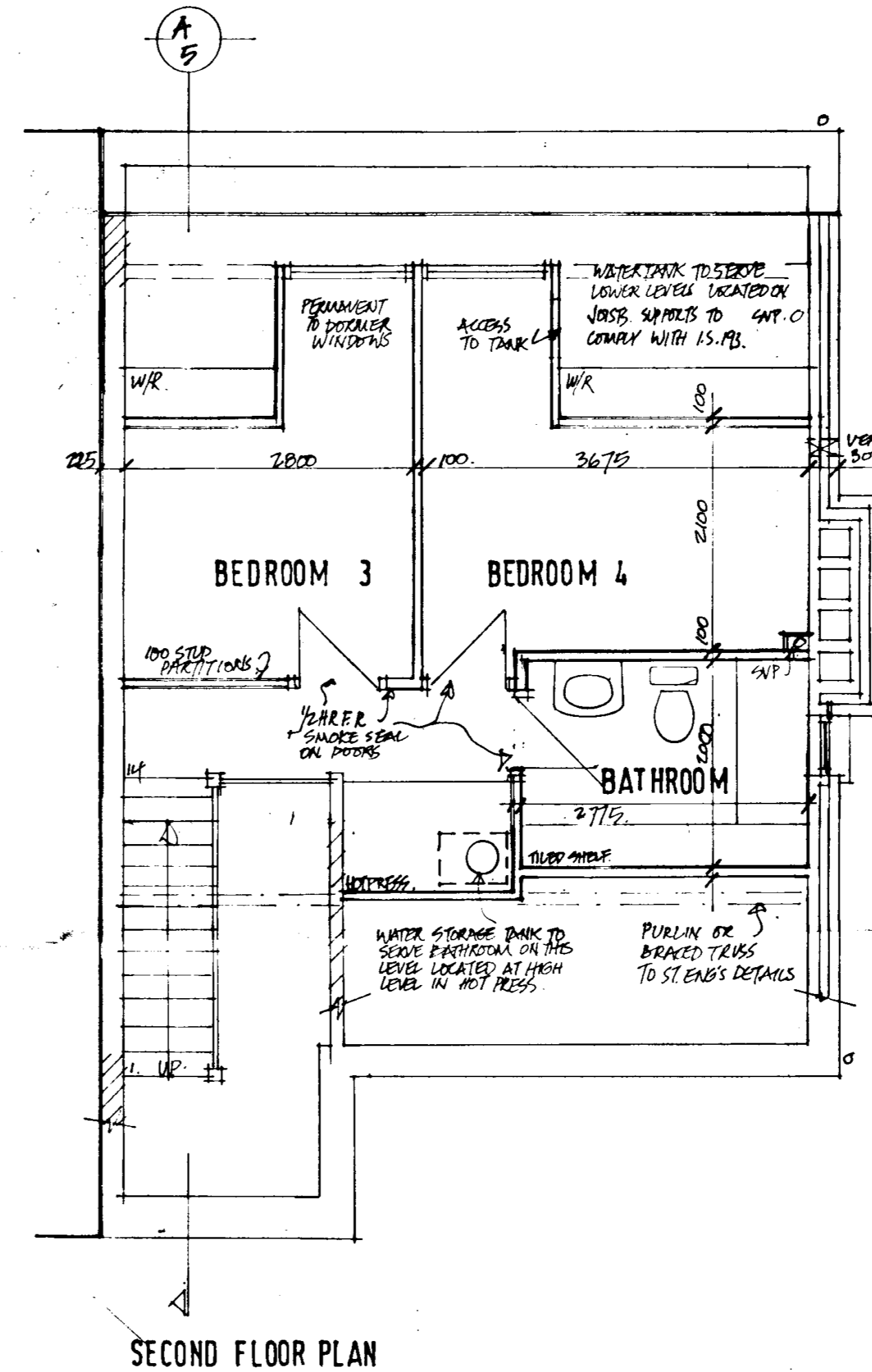
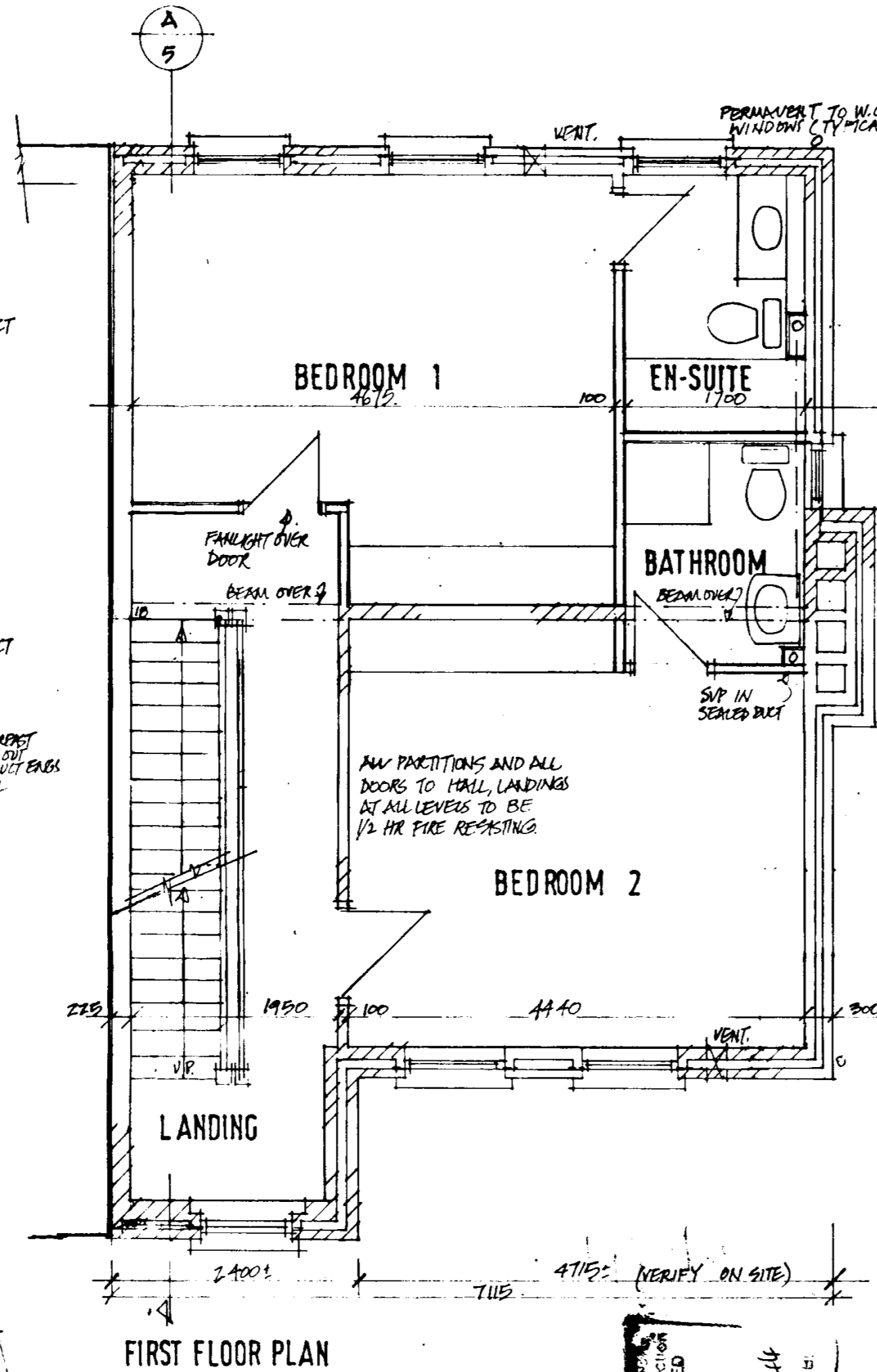
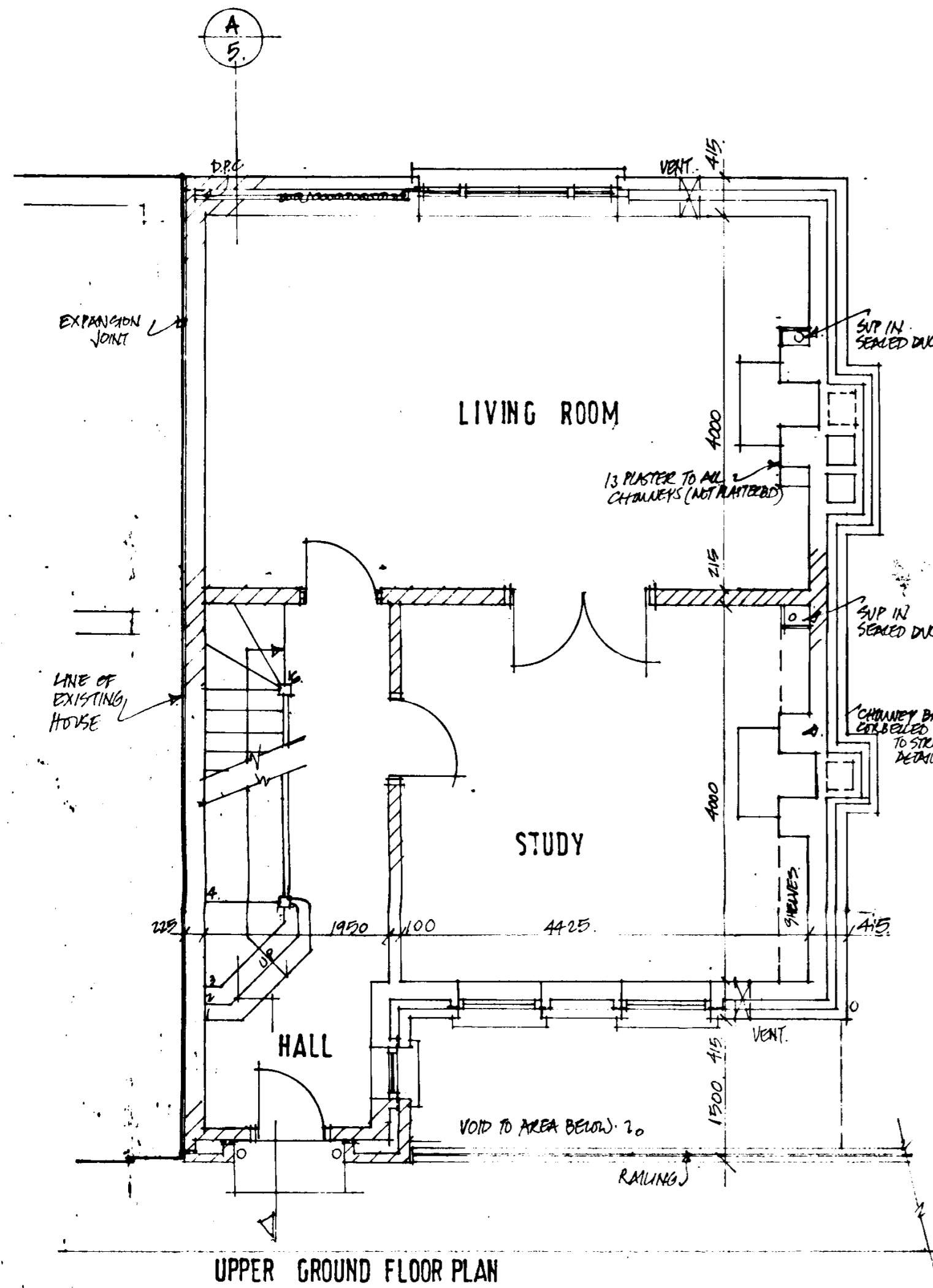
Materials.

Timber nomenclature	- BS 881/589
Timber moisture content	- IS 96.
Plywood	- BS 1455 & 1203
Blockboard	- BS 3444
Chipboard	- BS 2604
Plastic Laminates	- BS 3794
Flush Doors	- IS 48.
Fire Check Doors	- BS 459. Part 3
Joinery, timber & Workmanship	- BS 1186, Parts 1 & 2.
Glues	- BS 1204 & 1444
Grading rules for timber	- BS 3819 & 4047
Structural softwoods, characteristics.	- BS 1860
PVC sheet	- BS 3757

Timber described as treated shall be impregnated under pressure with an approved waterborne solution or by immersion in an approved organic oil solution and the solution shall be appropriate to the position of the timber in the building, i.e. internal or external. Ends and any other surfaces, cut, trimmed or planed after treatment shall be brushed liberally with the solution before fixing.

Preservative Treatment

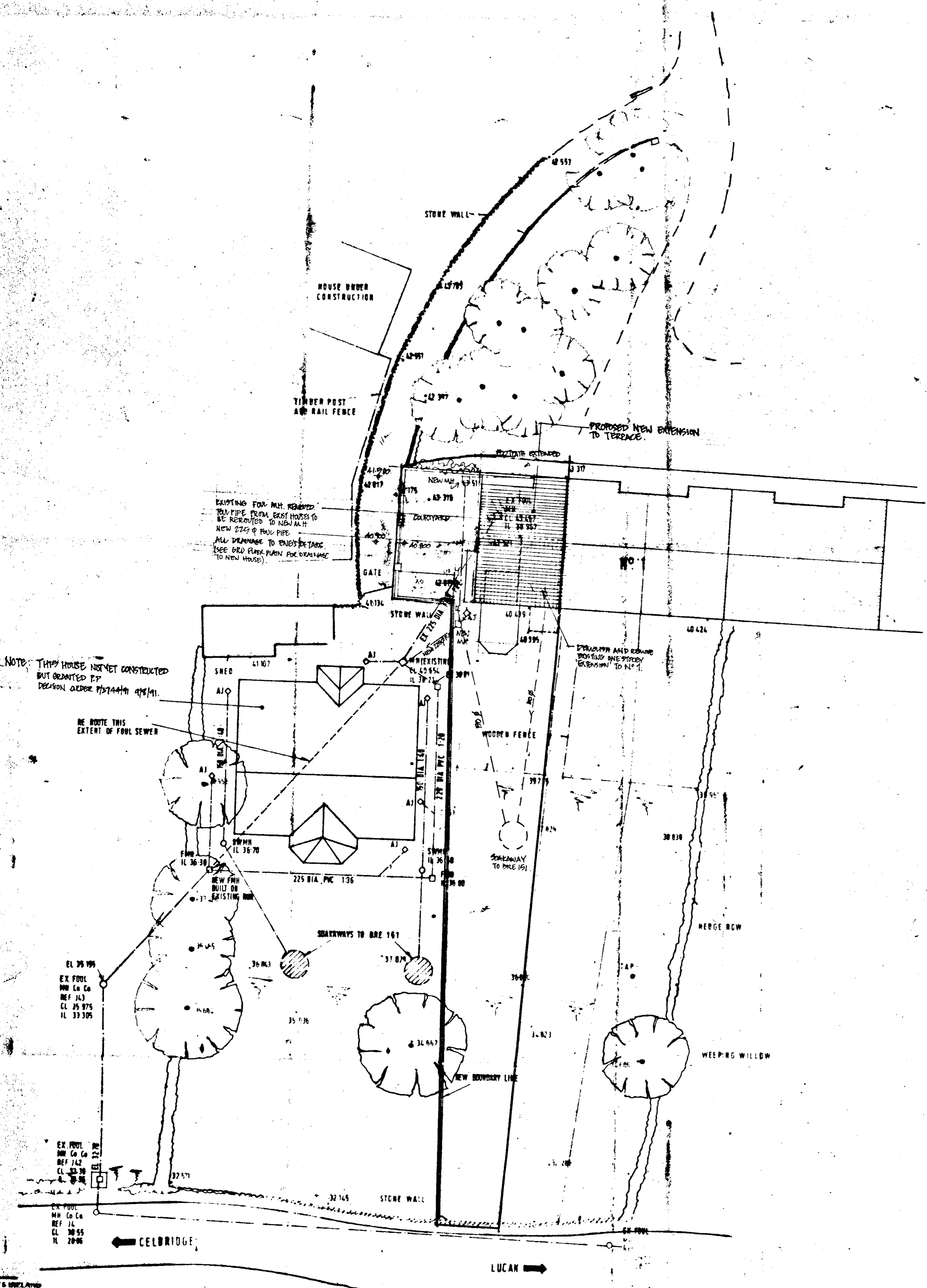
Timbers treated with a waterborne solution shall be dried down again to the required moisture contents before installation.



DUBLIN COUNTY COUNCIL
 Building Dept. Registered Architect
 PLANNING PERMISSION RECEIVED
 5 NOV 1991
 REG. NO. 01A1744
 PROFESSION TYPE (O/P/A/B)
 1/1/1/1

DRG. NO. 674-02	PROJECT HOUSE ABUTTING N°1 THE CRESCENT, LUCAN FOR MR T. MC CORMACK
	TITLE FLOOR PLANS
SCALE 1:50	RAYMOND F. MAC DONNELL ARCHITECT B.ARCH. FRIAI MSDI CLONROSS BLANCHARDSTOWN CO DUBLIN TEL 213001
DATE 10:91	

CONTRACTOR TO CHECK DRAWING AND ALL DIMENSIONS AND REPORT ANY ERRORS OR DISCREPANCY TO ARCHITECT BEFORE COMMENCEMENT OF WORK



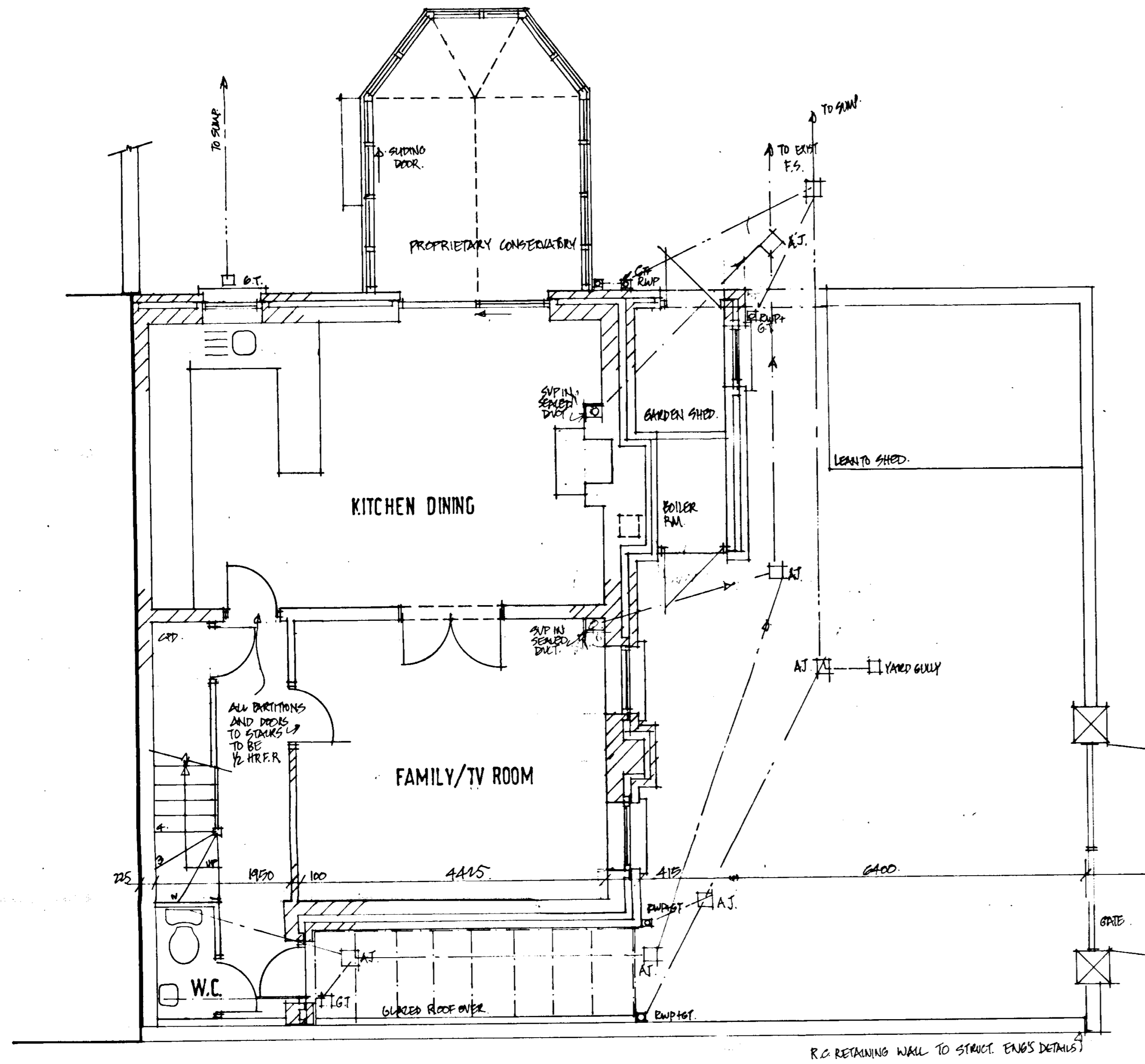
NOTE: THIS HOUSE NOT YET CONSTRUCTED BUT GRANTED BY DEPARTMENT OF PLANNING 1931.

EXISTING FOR NEW REAR TERRACE FROM EAST HOUSE TO BE RECONNECTED TO MAIN LINE NEW 225 Ø 8" MAIN PIPE ALL DRAINAGE TO EXISTING TANK THESE ARE FROM PLAN FOR DRAINAGE TO NEW HOUSE.

NOTES:
 LEGEND:
 EXISTING LEVELS +40.00
 PROPOSED LEVELS +40.25

2 JAN 1932
 REG. NO. 91A 1744
 APPLICATION TYPE (D/A/B/B)
 NO. L. D. S.

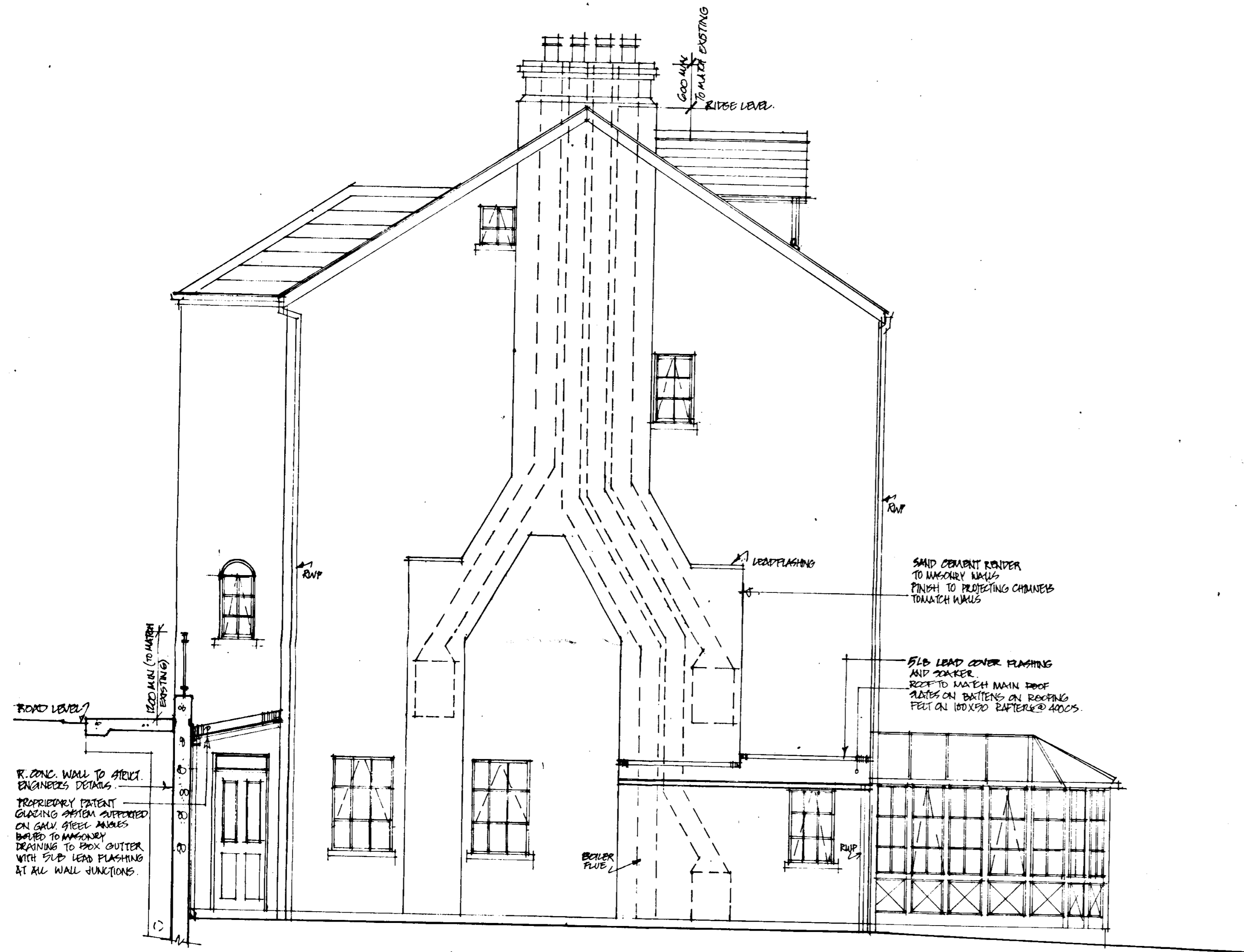
SITE PLAN HOUSE ABUTTING N^W THE CURVE OF LUCAN
 FOR MR. T. MCCORMACK
 SCALE 1:200 NOV 21
 R. F. MACDONNELL ARCHITECT.



LOWER GROUND FLOOR PLAN

DRG. NO. 674.01	PROJECT NEW HOUSE ABUTTING NO. 1 THE CRESCENT, LUCAN FOR MR. T. MC. CORMACK TITLE LOWER GROUND FLOOR PLAN
SCALE 1:50	RAYMOND F. MAC DONNELL ARCHITECT B.Arch. FRIAL MSDI CLONROSS BLANCHARDSTOWN CO DUBLIN TEL 213001
DATE 10:91	

CONTRACTOR TO CHECK DRAWING AND ALL DIMENSIONS AND REPORT ANY ERRORS OR DISCREPANCY TO ARCHITECT BEFORE COMMENCEMENT OF WORK



GABLE ELEVATION

PLANNING COUNCIL
 5 NOV 1991
 01/17/64
 REVISION TYPE 01/17/64
 A.S.D.S.

DRG NO. 574004	PROJECT HOUSE ABUTTING N° 1 THE CRESCENT, LUCAN FOR MR T MC CORMACK TITLE GABLE ELEVATION
SCALE 1:50	RAYMOND F. MAC DONNELL ARCHITECT B.ARCH. FRIAI MSDI CLONROSS BLANCHARDSTOWN CO DUBLIN TEL 213001
DATE 10.91	

CONTRACTOR TO CHECK DRAWING AND ALL DIMENSIONS AND REPORT ANY ERRORS OR DISCREPANCY TO ARCHITECT BEFORE COMMENCEMENT OF WORK

ROOF: (TO MATCH EXISTING)
 NATURAL SLATES ON BATTENSON
 ROOFING FELT ON RAFTERS @ 600MM MAX
 RAFTERS SUPPORTED ON RIDGE PIECE, WALL PLATES
 AT ENDS AND PURLINS AND OR TRUSSED RAFTERS
 SPANNING ACROSS HOUSE
 ALL TO SUIT ENGINEER'S DETAIL.
 WIND BRACING TO SUIT ENDS DETAIL.

C.N.F.
 17/1

DORMER WINDOW.
 F.L.B. LEAD SHEETING ON ROOFING FELT
 ON WEAP PLYWOOD ON 125x40 JOISTS
 AT 300 CS. 100 MM BUILT INSULATION
 13 FOIL BACKED PLASTERBOARDS CEILING
 THROUGHOUT.
 DECORATIVE FEATURE

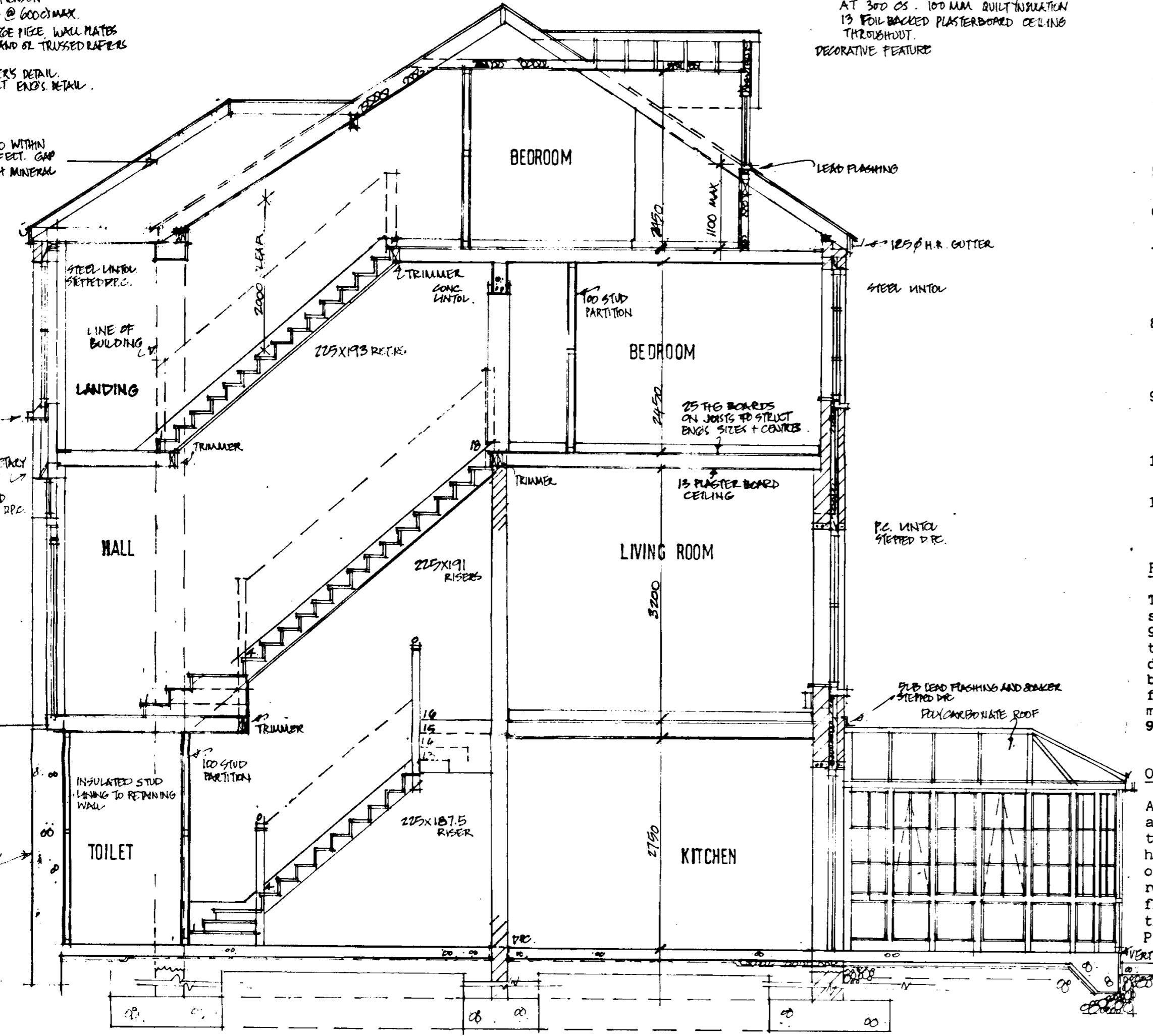
PARTY WALL BUILT TO WITHIN
 25 MM OF ROOFING FELT. GAP
 FILLED TIGHTLY WITH MINERAL
 WOOL QUILT.

HIPPED ROOF TO TORCH
 AS NEEDED RELY ON
 CUT RAFTERS AND
 TRIMMERS TO
 ST. ENDS DETAILS.

P.C. WALL TO MATCH
 EXISTING ON D.P.C.

PROTECTIVE
 SILVER
 LINING
 ARCHED
 STEEP D.P.C.

REPAIRING WALL TO
 ST. ENDS DETAILS.



GENERALLY

1. Clay flue liners to chimneys with flashing and chimney tray at junction with roof covering. Finish chimney with concrete capping and clay chimney pot.
2. Velux roof lights to internal bathrooms to open for ventilation and to be installed in accordance with manufacturers instructions.
3. Drainage layout to engineers drawing.
4. Extract fan to internal toilets without roof lights to be wired to light switch with over run to give minimum 3 air changes per hour.
5. Concrete cavity fill to be up to 225mm below D.P.C. weep holes at 900 centres.
6. D.P.C. minimum 150mm above ground level. All laps to be minimum of 150mm.
7. Provide code 4 lead flashing, or equal approved to all projections through roof and to all vertical abutments to external walls.
8. Provide 1 No. 550 X 750 attic access hatch to each top storey ceiling with draught proof strip, and 100mm quilt insulation to back of hatch.
9. All exposed timbers to be treated with preservative. All timber built into masonry to be similarly treated.
10. Terraced houses to have expansion joints, every two houses.
11. Cavity trays to be provided at all raking abutments to cavity walls.

FOUNDATIONS

To be of adequate depth and width on soil of sufficient bearing capacity, but not less than 900 below finished ground nor less than three times width of rising wall. Strips to be 300 deep. Rising walls to be solid blockwork or brickwork, minimum 225 thick. Cavity to be filled to within 225 below the D.P.C. with mortar. Provide weep holes below D.P.C. at 900 centres.

OPENINGS

All window and door openings to have vertical and horizontal D.P.C.'s. All cills on D.P.C.'s turned up at back and ends. All windows to have opening sections to give a minimum of 5% of floor area as ventilation to each habitable room. Natural lighting to be 10% minimum of floor area to each habitable room. All timber windows to be VAC - VAC treated. P.C. cills on D.P.C.'s to rendered elevations.

HEARTH

The hearth for the fireplace shall project 150mm at either side of the opening and 450mm in front of the opening, and be of minimum 150mm thick concrete.

FLOORS

All first floors in S.W.T. & G. boarding on joists (sizes and centres to be checked before building commences), staggered at party walls to provide 115mm solid blockwork between, or on joist hangers. Trim around chimney breast and flue and stairwell with trimmers 75 wide. No timbers to be nearer than 50mm to breast or flue.
 All Ground Floors - except where indicated by structural engineer, to consist of 150mm concrete slab on D.P.M. on 150mm sand blinded hardcore. 1m wide, 25mm perimeter insulation to all ground floors.

INSULATION

100mm fiberglass quilt or rockwool insulation on vapour barrier in ceiling space on F.B. plaster ceiling and to attic access hatch.
 Ditto in Bay windows and enclosed porches.

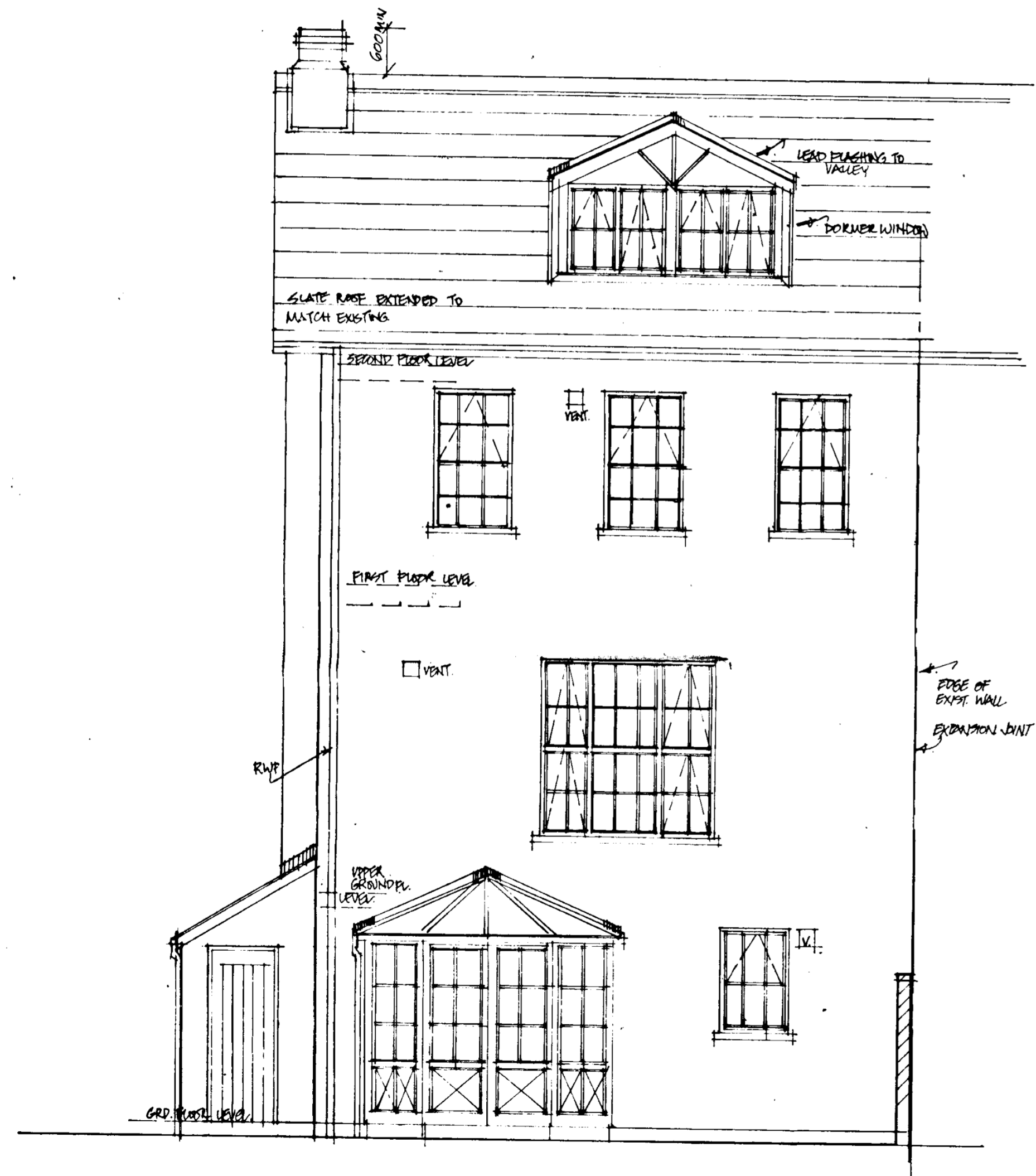
EAVES VENTILATION

Provide a minimum of 10mm continuous ventilation to roof space throughout length of eaves.



DRG. NO. 674.05	PROJECT HOUSE ABUTTING NO.1 THE CRESCENT, LUCAN FOR MR I MC CORMACK SECTION AA'
SCALE 1:50	RAYMOND F. MAC DONNELL ARCHITECT B.ARCH. FRIAI MSDI CLONROSS BLANCHARDSTOWN CO DUBLIN TEL 213001
DATE 10:91	

CONTRACTOR TO CHECK DRAWING AND ALL DIMENSIONS AND REPORT ANY ERRORS OR DISCREPANCY TO ARCHITECT BEFORE COMMENCEMENT OF WORK



REAR ELEVATION



FRONT ELEVATION

5 NOV 1991
 01A/1716
 REAR AND FRONT ELEVATIONS
 1:50

DRG. NO. 074.03	PROJECT HOUSE ABUTTING N° 1 THE CRESCENT, LUCAN FOR MR. T. MC CORMACK
SCALE 1:50	TITLE ELEVATIONS
DATE 10:91	RAYMOND F. MAC DONNELL ARCHITECT B.Arch. FRIAI MSDI CLONROSS BLANCHARDSTOWN CO DUBLIN TEL 213001

CONTRACTOR TO CHECK DRAWING AND ALL DIMENSIONS AND REPORT ANY ERRORS OR DISCREPANCY TO ARCHITECT BEFORE COMMENCEMENT OF WORK