

Attention!

Attn to Reply Main Street ~~12/11~~

Mr Albert Smith,

~~FCB/WRP~~
2 16/12/1991

Lucan
to Dublin
10/12/1991

Block 2
Josh Life Centre
Lower Abbey Street
Dublin 1.

~~FCB~~
Previous
correspondence.
13 DEC 1991

re:
re:re:

Proposed Development
12-13 Main Street Lucan

Dear Sir,

With reference to your letter recently received by me and to my previous correspondence referred to in this matter.

Pleased as I am to hear that the owner of site has been requested to keep same clear,
However - I have re-examined

my previous correspondence with you
and you appear to have missed
the point I was and am still
making with regard to any development
on this site.

May I reiterate once again my
sole concern with any proposed
development near 12/13 Main Street

Lucan. Any permission sought
must take cognizance of the fact
that the existing vehicular right-of-way
running adjacent to the western
and southern boundaries of this

site will not, and cannot be
extinguished, interfered with, or
reduced in dimensions in any way,
i.e. continued vehicular access as
already discussed with County
Council.

I strongly urge Planning
Officials to carefully examine
submissions for any development
on this site, that there can
be no encroachment whatsoever

To this vehicular right-of-way.

Your comments as soon as possible

would oblige.

Yours faithfully

ell. a Pierce

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A-1733

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P 26-11-91 ==	Noted by Cllr O'Halloran		

BYE LAW APPLICATION FEES

REF. NO.: 91A/1733 CERTIFICATE NO.: 1668^B
 PROPOSAL: 4 alterations
 LOCATION: near of 13 Main Street, Lucan
 APPLICANT: Littlewood Homes Ltd

log 1/11/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<i>£220</i>	<i>£220</i>	<i>—</i>		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: *R. W. H.* Grade: *S.O* Date: *6/11/91*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref... 91A/1733

Cert. No... 27022...

PROPOSAL... 4 chalets...

LOCATION... near of 13 Main St, Luccombe

APPLICANT... Littlewood Homes Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	428	428	—	
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: S.O. Date: 6/11/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ /
DATED

ENTERED IN CONTRIBUTION REGISTER:

① standard
= 4 @ 750
= £3000

② Roads
see report dated
26/1/91
£3200

③ no parks report
on file.

④ security
min
£10000 Band
cost: 6000
18/12/91

DEVELOPMENT CONTROL ASSISTANT GRADE

FILE REF: 91A 1733

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P <u>28/1/92</u></p>	<p>Noted by Cllr O'Connell</p>		



Bosca 174,
P. O. Box 174,
Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath,
Dublin 1.
Telephone: (01) 724755
Fax: (01) 724896

Sebastian Ryan, Sec.,
The Lucan Planning Council,
3 The Crescent,
Lucan,
Co. Dublin.

Our Ref. VH/LD

Your Ref.

Date 8th January 1992

REG.REF. 91A/1733

RE: Development at 13 Main Street, Lucan

Dear Sir,

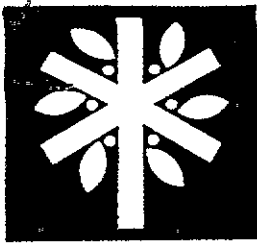
I refer to your letter received in this Department on 20th December 1991 regarding the above and wish to inform you that a Decision to Grant Permission was made on this application on 20th December 1991. An Appeal against this Decision may be made within 21 days beginning on the date of the Decision. An Appeal should be in writing and should state the subject matter and grounds of the appeal. It should be addressed to An Bord Pleanála, Block 6 & 7, Irish Life Centre, Lower Abbey Street, Dublin 1. An Appeal must be accompanied by a fee of £50.00.

Yours faithfully


for PRINCIPAL OFFICER

A.G.
20/12

91A/1733
PM



THE LUCAN PLANNING COUNCIL

COMHAIRLE PLEANÁLA LEAMHCAÍN

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3 The Crescent,
Lucan,
Co Dublin.

RS
6/11

20 DEC 01

13th December, 1991.

Re: Application for Apartments at 13 Main Street, Lucan
Reference: 91A 1733

Dear Sirs,

Lucan Planning Council consider that residential development on a suitable scale will help revitalise the village centre. Hence, we are favourably disposed towards the above application for a small apartment complex at the rear of 13 Main Street.

However, due to its proximity to the Church of Ireland, we would be anxious that a new building on this site should be compatible in appearance with surrounding structures.

We would hope that if Dublin County Council decides to grant permission for this proposal it would be subject to conditions regarding materials and colours which harmonise with the nearby structures. Proper slate roofing, for example, would be essential.

Yours faithfully,

Sebastian Ryan,
Secretary.



Bloc 2, Ionad Bheatha na hÉireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1733

Date : 21st December 1991

Dear Sir/Madam,

Development : 4 apartments to rear

LOCATION : 13 Main Street, Lucan

Applicant : Littlewood Homes Ltd.

App. Type : APPROVAL/BUILDING BYE-LAW APPROVAL

I wish to inform you that by Order dated 20.12.91 it was decided to GRANT APPROVAL for the above proposal.

This decision, together with the conditions/reasons attached thereto, is recorded in the Planning Register kept at this office in accordance with section 8 of the Local Government (Planning and Development) Act 1963. This register may be inspected during office hours [9.00a.m. - 12.30p.m. 2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanála against the decision or any conditions attached to the Council's decision within one month beginning on the day of receipt by him of the Council's decision. Any other person may appeal to An Bord Pleanála within three weeks beginning on the date of decision. Interested parties are advised to consult the Planning Authority or An Bord Pleanála to ascertain if an appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all correspondence in relation to new and existing appeals should be addressed to The Secretary, An Bord Pleanála, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanála will be invalid unless the correct fee is received by An Bord Pleanála within the statutory appeal period. The fee in respect of an appeal by an applicant for permission relating to commercial development is £100; any other appeal is £50.

Submissions or observations made to An Bord Pleanála by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of £15.

Mr. A. Pierce,
8 Main Street,
Lucan,
Co. Dublin.

Yours faithfully,

.....

for PRINCIPAL OFFICER

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

1/11/91

LOCATION: 13, Main St. Lucan

REG. REF. 91A/1733

APPLICANT: Littlewood Homes Ltd

PROPOSAL: 4 Apartments to rear

(Revised Report)

UNDERGROUND SEWER

Available

(2) Date referred:

DUBLIN CO. COUNCIL
(3) Rec'd San. Ser.

(4) Dispatched by
San. Services:

SURFACE WATER

Soak pits proposed - refer to B.B.L. Dept.

PLANNING DEPT.
DEVELOPMENT CONTROLS
Date 05.03.92
Time 3.30.

(5) Date to Planning

(6) Date to Planner

(7) D.P.O. report
to be submitted
before:

(9) Decision due:

J. Rice
2/3/1991

(8) D.P.O. report
submitted to
S.A.O.:

ENDORSED [Signature] DATE 2/3/92

DUBLIN CO. COUNCIL
SANITARY SERVICES
- 4 MAR 1992
Returned GM.

Register Reference : 91A/1733

Date : 14th November 1991

Mary Gavin

Development : 4 apartments to rear

LOCATION : 13 Main Street, Lucan

Applicant : Littlewood Homes Ltd.

App. Type : APPROVAL/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 1st November 1991

DUBLIN COUNTY COUNCIL
23 DEC 1991
ENVIRONMENTAL HEALTH
OFFICE

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
06.01.92
12.30

.....
for PRINCIPAL OFFICER

The proposal is not acceptable. See Engineers report regarding non-availability of foul sewer connections.

for *Sta Devine*
John O'Reilly
SUPER. ENVIRON. HEALTH OFFICER,
13 GARDINER PLACE,
DUBLIN 1.

3/1/92

Mary Galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1733.

DEVELOPMENT: 4 apartments and ancillary works.

LOCATION: Rear 13 Main Street, Lucan.

APPLICANT: Littlewood Homes.

DATE LODGED: 1.11.91.

The proposal is undesirable as this ~~to~~ development would increase traffic turning movements on the heavily trafficked Main Street. There is also a chronic shortage of car parking in the area.

(Note: There is a tentative proposal for a car park on adjoining back garden sites. See attached letters for reference).

If permission is granted it should be subject to:-

1. Eight (8) no car parking spaces to be provided on site.
2. Wall and pier at entrance to be permanently removed, for ease of access.
3. Applicant to make a contribution of £3,200 towards Roads and Traffic Management improvements which facilitate the development.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

Date ... 04.12.91

Time ... 12.10

TR/BMcC
22.11.91.

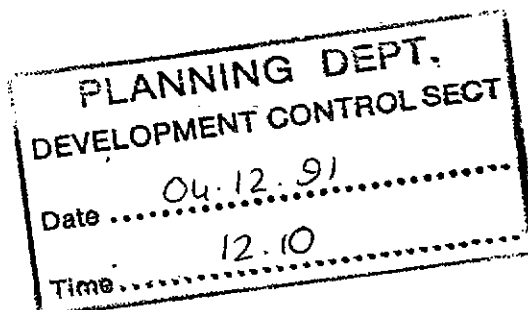
SIGNED: J. Ryan

DATE: 26/11/91

ENDORSED: C. J. Burke

DATE: 26/11/91

Attention: Mr. N. Davin.



Mr. A. Smith,
Principal Officer,
Planning Department.

8.11.91.

Re:-Proposed Car Park Off Main Street, Lucan.

We have examined your proposal as forwarded with sketch on 16.9.91. We consider the scheme feasible and well worth pursuing. A precedent for this type of development is now in hand at Swords town centre, details of which are with your Mr. K. Simpson. In that case he has so far avoided the necessity for C.P.O. by convincing the landowners of the urgent requirement for the facility and it's ultimate benefit to themselves. It has been a time consuming but successful exercise.

Parking within the village would benefit immediately from being subject to improved discipline. This could be quickly established by having both Main Street, Dispensary Lane and the area fronting the library properly marked out and lined. Double yellow lining at private entrances, at the swept bend fronting the Italian Embassy and the installation protruding traffic islands to rechannel junctions to Sarsfield Park and Lucan Bridge approach should form part of the scheme. It will be necessary to liaise with the Local Garda Authorities on some of these measures. Some additional parking control measures may be necessary (e.g. meters, disc parking, etc.) to discourage all day parking on Main Street and Dispensary Lane. We mention this as observation on site suggest that notwithstanding the availability of off-street parking at the rear of the Irish Life Offices on Main Street, this car park is little used.

It may be possible to mirror image your proposals at the rear of properties on the North side of Main Street. However, these lands front the scenic view of the weir and may be considered to have too high and may be considered to have too high an amenity value to have it dissipated on a car park (unless it were very small and heavily landscaped). The old cinema site, which is well below the level of Main Street, might equally have served

as a car park. This is now for sale with the benefit of planning permission for multiple retail outlets. As such its purchase by the Council at this late stage may be out of reach.

As a basis for approximating development costs, experience suggest a figure in the order of £4000 per car parking space should suffice when land costs are included or £3000 when excluded. The only source of funds for such development are the general development and specific roads contributions levied on planning permissions for developments in the immediate area of Lucan village (particularly those in respect of car parking and traffic management). A review of the Planning register should readily identify these and from thence the finances available at this time.

Finally, should you progress the matter further, this Department will be prepared to carry out the necessary ground surveys and prepare construction drawings at the appropriate time, should you so wish.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	04.12.91
Time	12.10

T. Brick,
Senior Executive Engineer,
Roads Planning Division.

TB/BMcC

Our ref: RON/01

COUNTY PLANNING DEPARTMENT
DUBLIN COUNTY COUNCIL
IRISH LIFE CENTRE
DUBLIN 1.

16th September 1991

Mr. John Henry,
Roads Department,
46/49 Upper O'Connell Street,
Dublin 1.

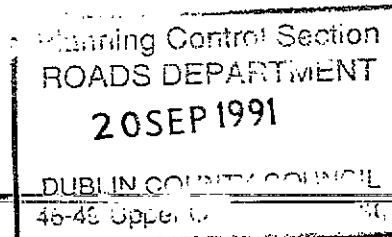
RE: PROPOSED CAR PARK OFF MAIN STREET, LUCAN.

Some weeks ago I left on your desk a sketch layout for a proposed car park to the south of Main Street, Lucan. I also gave a copy of this sketch to the Secretary of the Lucan Traders Association for consideration by his members and by local residents. So far the reaction to the scheme has been very favourable.

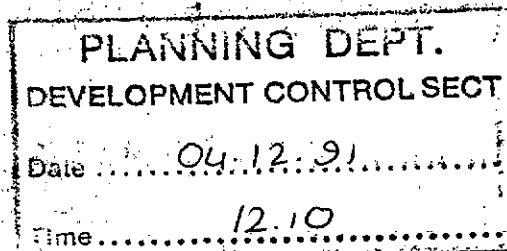
A number of queries have been raised regarding the possible cost of developing the scheme, who provides the land, who pays for it, can land be given free of charge in lieu of any levies, does the Council pay the cost of developing the car park etc. Without all the land being made available for developing the car park, would the Council consider making a CPO if say, a person who owns land in the middle of the proposed scheme is unwilling to sell his/her land?

I would be grateful if you could make some recommendations based perhaps on experience elsewhere as to how best to proceed with the matter as there is interest in trying to get something off the ground at the present time. You have already identified Lucan Village as a town in need of a public car park.

N. Davin
N. DAVIN,
SENIOR EXECUTIVE PLANNER.



ND/JO'M.





Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref. _____
Your Ref. _____
Date 25.11.1991

RE: Apartments at Main Street, Lucan. Reg. Ref. 91A/1733.

With reference to this application, the Parks Department's comments are:

In lieu of public open space provision according to the requirements of the 1983 County Development Plan, a financial contribution of £500 per apartment to be provided towards open space development in the Liffey Valley, which is in close proximity to the proposed development.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26.11.91
Time 4.00

SENIOR PARKS SUPERINTENDENT

Mary Galvin

SS only

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

B

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1733

Date : 4th November 1991

Development : 4 apartments to rear

LOCATION : 13 Main Street, Lucan

Applicant : Littlewood Homes Ltd.

App. Type : APPROVAL/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 1st November 1991

Attached is a copy of the application for the above development
report would be appreciated with ~~DUBLIN Co. COUNCIL~~

Date received in Sanitary Services

FOUL SEWER

PLANNING DEPT.
DEVELOPMENT CONTROL SECTION
Date 17.12.91
Time 4.00

DUBLIN Co. COUNCIL
14 NOV 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
17 DEC 1991
Returned *J.Rio*

REFUSAL RECOMMENDED

The foul sewer system to which it is proposed to discharge is deficient in capacity. The Council is not in a position to state that this situation will change when the Lucan New Level scheme is commissioned

SURFACE WATER

Soak pits proposed - refer to B. B. L. Ref A.

J. Rio
10/12/1991

Register Reference : 91A/1733

Date : 4th November 1991

ENDORSED _____ DATE _____

WATER SUPPLY Water available
24 hr storage required. All connections to be by DCC personnel at applicants' prior expense.

Job lot 2 21/11/91
J. Powell 25/11/91

ENDORSED [Signature] DATE 11/12/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ... 17.12.91
400

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1733.
 DEVELOPMENT: 4 apartments and ancillary works
 LOCATION: Rear 13 Main Street, Lucan.
 APPLICANT: Littlewood Homes.
 DATE LODGED: 1.11.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SEC	
Date	27.11.91
Time	12.30

The proposal is undesirable as this ~~development~~ development would increase traffic turning movements on the heavily trafficked Main Street. There is also a chronic shortage of car parking in the area.

(Note: There is a tentative proposal for a car park on adjoining back garden sites. See attached letters for reference).

If permission is granted it should be subject to:-

1. Eight (8) no car parking spaces to be provided on site.
2. Wall and pier at entrance to be permanently removed, for ease of access.
3. Applicant to make a contribution of £3,200 towards Roads and Traffic Management improvements which facilitate the development.

TR/BMcC
 22.11.91.

SIGNED: J. Ryan
 DATE: 24/11/91

ENDORSED: G. P. K.
 DATE: 26/11/91

Our ref: RON/01

COUNTY PLANNING DEPARTMENT
DUBLIN COUNTY COUNCIL
IRISH LIFE CENTRE
DUBLIN 1.

16th September 1991

Mr. John Henry,
Roads Department,
46/49 Upper O'Connell Street,
Dublin 1.

RE: PROPOSED CAR PARK OFF MAIN STREET, LUCAN.

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N. Davin

N. DAVIN,
SENIOR EXECUTIVE PLANNER.

Planning Control Section
ROADS DEPARTMENT
20 SEP 1991
DUBLIN COUNTY COUNCIL
46-49 Upper O'Connell Street

ND/JO'M.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 27. 11. 91
Time 11.30

Attention: Mr. N. Davin

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

Date 27.11.91

Time 11.30

Mr. A. Smith,
Principal Officer,
Planning Department.

8.11.91.

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as a car park. This is now for sale with the benefit of planning permission for multiple retail outlets. As such its purchase by the Council at this late stage may be out of reach.

As a basis for approximating development costs, experience suggest a figure in the order of £4000 per car parking space should suffice when land costs are included or £3000 when excluded. The only source of funds for such development are the general development and specific roads contributions levied on planning permissions for developments in the immediate area of Lucan village (particularly those in respect of car parking and traffic management). A review of the Planning register should readily identify these and from thence the finances available at this time.

Finally, should you progress the matter further, this Department will be prepared to carry out the necessary ground surveys and prepare construction drawings at the appropriate time, should you so wish.

T. Brick,
Senior Executive Engineer,
Roads Planning Division.

TE/BMcC

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	27-11-91
Time	11.30

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONTRIBUTION	
Standard:	3000
Roads:	3200
S. Serv:	
Open Space:	
Other:	
SECURITY	
Surveillance:	19000
Other:	6000

Approval for four apartments to rear of 13, Main Street, Lucan for Littlewood Homes Ltd.

John F. O'Connor & Assocs.,
10, Boden Wood,
Rathfarnham,
Dublin 14.

Reg. Ref.	91A-1733
Appl. Rec'd:	01.11.1991
Floor Area:	288 sq. m.
Site Area:	490 sq. m.
Zoning:	

Report of the Dublin Planning Officer, dated 17 December 1991

This is an application for APPROVAL for four apartments to the rear of 13, Main Street, Lucan.

Reg. Ref. 89A-1254 refers to a grant of outline permission for four apartments at this location.

I discussed the application with ^{Forward Planning} ~~Mr. Davin~~ who indicated that it will not interfere with the possible future car park to the rear of adjoining units.

Objections on file noted.

Roads Engineer report noted.

The proposed development is consistent with the provisions included in the Development Plan.

I recommend that a decision to GRANT APPROVAL be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following conditions:-

(NP/DK)

(Conditions attached)

Endorsed:- [Signature]
for Principal Officer

[Signature]
For Dublin Planning Officer

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT APPROVAL for the above proposal subject to the (4) conditions set out above is hereby made.

Dated: 20th (12/91) December, 1991.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 10th December 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Approval for four apartments to rear of 13, Main Street, Lucan for Littlewood Homes Ltd.

CONDITIONS

REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

3. In the interest of health.

4. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

4. In the interest of safety and the avoidance of fire hazard.

5. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

5. In order to comply with the Sanitary Services Acts 1878-1964.

6. That the wall and pier at entrance be permanently removed.

6. To improve access.

7. That a financial contribution in the sum of £ 3000 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

7. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

8. That before development is commenced details of proposed brick work and roof tiles to be submitted and agreed with the Planning Authority.

8. In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Approval for four apartments to rear of 13, Main Street, Lucan for Littlewood Homes Ltd.

CONDITIONS

REASONS FOR CONDITIONS

9. That a financial contribution in the sum of £ 32000 be paid by the proposer to the Dublin County Council towards the cost of provision and maintenance of roads in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

9. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

10. That a suitable splay be provided at the south west corner of the property. Details to be agreed with Planning Authority prior to commencement of development.

10. To improve vehicular access to rear of adjoining properties.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

11. No development to commence until ~~the~~ applicants have submitted ~~and~~ ^{documenting} planning and development ~~outline~~ to the satisfaction of the Planning Authority of the ~~area~~ of all necessary rights of access over the ~~right~~ way to reach the proposed development.

11. In the interest of the public

(See over conditions)

~~REB~~

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Approval for four apartments to rear of 13, Main Street, Lucan for Littlewood Homes Limited.

Conditions

Reasons

17
#40.
That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for roads, open spaces, car parks, sewers, watermains and drains, has been given by:

(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £10,000.

which shall be renewed by the developer from time to time as the roads, open spaces, car parks, sewers, watermains and drains are taken in charge by the Council.

(b) Lodgement with the Council of a cash sum of £6,000.

to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.

OR/.....

(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the purpose in respect of the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

18
#20.
To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref. _____
Your Ref. _____
Date 25.11.1991

RE: Apartments at Main Street, Lucan. Reg. Ref. 91A/1733.

With reference to this application, the Parks Department's comments are:

In lieu of public open space provision according to the requirements of the 1983 County Development Plan, a financial contribution of £500 per apartment to be provided towards open space development in the Liffey Valley, which is in close proximity to the proposed development.



A handwritten signature in black ink, appearing to read 'D. Drumgoole'.

SENIOR PARKS SUPERINTENDENT

ref. galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1733.
 DEVELOPMENT: 4 apartments and ancillary works
 LOCATION: Rear 13 Main Street, Lucan.
 APPLICANT: Littlewood Homes.
 DATE LODGED: 1.11.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SET	
Date	<i>27.11.91</i>
Time	<i>12.30</i>

The proposal is undesirable as this ~~development~~ development would increase traffic turning movements on the heavily trafficked Main Street. There is also a chronic shortage of car parking in the area.

(Note: There is a tentative proposal for a car park on adjoining back garden sites. See attached letters for reference).

If permission is granted it should be subject to:-

1. Eight (8) no car parking spaces to be provided on site.
2. Wall and pier at entrance to be permanently removed, for ease of access.
3. Applicant to make a contribution of £3,200 towards Roads and Traffic Management improvements which facilitate the development.

TR/BMcC
 22.11.91.

SIGNED: *J. Ryan* ENDORSED: *J.P. Kelly*
 DATE: *26/11/91* DATE: *26/11/91*

John F. O'Connor & Associates
Architects & Planning Consultants
10 Boden Wood
Rathfarnham Dublin 14.

Telephone 944912
Fax. 934399

30th December 1991.

Dublin Co. Council,
Planning Dept.,
Irish Life Centre,
Lr. Abbey Street,
DUBLIN, 1.

91A/1733

2.6.0.4

A.I. for B&L

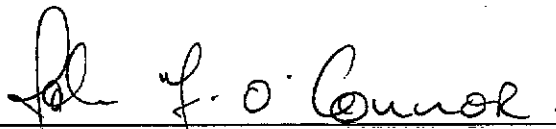
3 JAN 92

RE: 91A/1733.
PLANNING APPROVAL FOR 4
APARTMENTS TO REAR 13 MAIN
STREET, LUCAN.

Dear Sirs,

I refer to the above planning approval issued on 20th December 1991 and I now enclose additional structural information for consideration under Bye-Laws only.

Yours faithfully,



John F. O'Connor.

MARK O'REILLY + ASSOCIATES

CONSULTING ENGINEERS

GREENMOUNT HOUSE
HAROLD'S CROSS ROAD
DUBLIN 6 W.

TEL: 53 44 23 FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, ACI Arb.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

Our Ref. R191/MOR/LM

Your Ref.

Date: 20 December 1991

91/1737

RECEIVED
02 JAN 1992
RE: Reg. Sec.

PROPOSED APARTMENTS AT :
13 MAIN STREET, LUCAN, CO. DUBLIN.

DESIGN CERTIFICATE.

This is to certify that the design of the foundations and the structure of the above building and the preparation of the specification for the material to be used have been executed under my supervision.

These are in conformity with current engineering standards and with relevant Standards and Codes of Practice.

Signed



Mark O'Reilly.

MARK O'REILLY + ASSOCIATES.
 CONSULTING ENGINEERS
 GREENMOUNT HOUSE
 HAROLD'S CROSS ROAD
 DUBLIN 6 TEL: 53 45 25

Title
House extension
 Element
Suspended floor
 Drawing
 Calcs. by
ES
 Checked

Project No.
 Page No.
 Date

Ref. CALCULATIONS OUTPUT

9/11/737

Span = 3.9 m

Loading
floor

2 x 24 x 1.4	6.7
3 x 24 x 1.4	1.7
Surf. 1.5 x 1.5	2.4
	10.8 kN/m ²

M1 $\frac{10.8 \times 3.9^2}{8} = 20.5$ kNm/m

S1 $\frac{10.8 \times 3.9}{2} = 21.1$ kN/m

M2 $\frac{20.5 \times 1.26}{2} = 0.91$ kNm

bed $\frac{10.8 \times 1.5^2}{2} = 1.50$

As1 360 mm

100% → A395 mesh

bed $0.26 \times \frac{1}{2} \times 1.5 = 0.57$ kNm

SS $\frac{21.1}{150} = 0.14$ kNm → Steel OK

As $\frac{20.5 \times 360}{8 \times 393} = 263$ kNm

mod. factor for defl ≈ 1.53

allowable defl $15 \times \frac{360}{393} = 30$

actual defl $\frac{3900}{150} = 26$

→ defl OK

RECEIVED
 02 JAN 1992
 Reg. Sec.

slab

200 def.

conc. c55

cover 50

Steel A395

mesh

1/2 of 15m

MARK O'REILLY + ASSOCIATES

CONSULTING ENGINEERS

GREENMOUNT HOUSE
HAROLD'S CROSS ROAD
DUBLIN 6 W.

TEL: 53 44 23

FAX: 54 44 78

MARK O'REILLY, BE. CEng, MICE, MIEI, CDipAF, ACIarb.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

13 MAIN STREET, LUCAN, CO. DUBLIN.

STRUCTURAL CALCULATIONS.

2/1/92
91A/1733

PROJECT NO : R191

ARCHITECTS : JOHN F. O'CONNOR & ASSOC.

DATE : 19TH DECEMBER, 1991.

MARK O'REILLY + ASSOCIATES

CONSULTING ENGINEERS

GREENMOUNT HOUSE
HAROLD'S CROSS ROAD
DUBLIN 6 W.

TEL: 53 44 23

FAX: 54 44 78

MARK O'REILLY, BE, CEng, MICE, MIEI, CDipAF, ACIarb.

JOHN BAILEY, BA, BAI, DipPM, MSc, CEng, MIEI.

DESIGN AIDS USED IN THE CALCULATIONS.

1. B.S. 6399 DESIGN LOADING FOR BUILDINGS.
2. I.S. 325, PART 1, 1986 - STRUCTURAL USE
OF UNREINFORCED MASONRY.
3. I.S. 193, 1976 TIMBER TRUSSED RAFTERS FOR ROOFS.
4. S.R. 11, STRUCTURAL TIMBER FOR DOMESTIC CONSTRUCTION.
5. B.S. 5950 STRUCTURAL USE OF STEELWORK IN BUILDINGS.
6. STEELWORK DESIGN GUIDE TO B.S. 5950,
PART 1, 1985, VOL.1, SECOND EDITION.
7. B.S. 8110 STRUCTURAL USE OF CONCRETE.
8. CONCAST, INFORMATION SHEET.

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS

Title
13 Main St Loran Co. Dublin

Project No.
R191

Element
Loadings

Page No.
01

Drawing ✓

Calcs. by
JSD

Checked

Date
16/12/91

Ref.

CALCULATIONS

OUTPUT

Loadings

Imposed Loadings 1.5 kN/m² Ground / 1st Floor

BS6899

+ 1 kN/m² Partitions

+ 0.25 kN/m² Services

Roof = 0.75 kN/m²

Ceiling = 0.5 kN/m²

4.4 kN/m² 1st Floor
I. Load

Dead Load

Dead loads as per manufacturer's
catalogues etc, or calculated from known
densities where required

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS

Title
13 Main St Loran Co Tables

Project No.
R191.

Element
Roof Construction

Page No.
02

Drawing
Calcs. by
D&D

Checked

Date
16/12/91

Ref.

CALCULATIONS

OUTPUT

Roof Construction

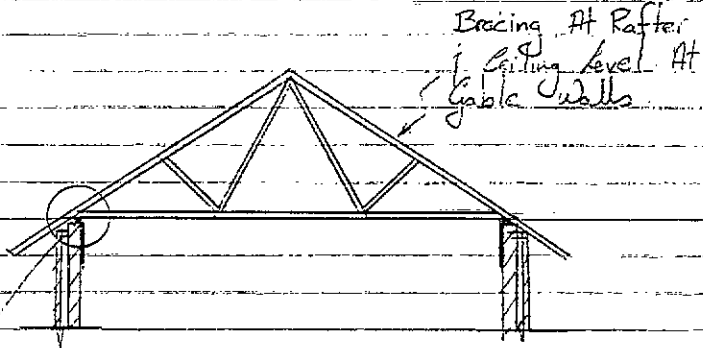
Roof Construction to be Prefabricated

Roof Trusses To IS 1913

All Bracing To Roof Trusses To
Be 38x75 SCB Grade Timber

Prefabricated
Roof Trusses.

Strapping



All Bracing 38.
x75 SCB Timber.

All Straps 30x5
M.S. Straps At
1200 c/c

Straps At 1200 c/c At
Eave Level

Roof Section.

Ref.	CALCULATIONS	OUTPUT
	<p><u>1st Floor Beams</u></p> <p>Wall Construction = 115mm inner leaf 100mm cavity 100mm outer leaf</p> <p>⇒ Require beam on inner leaf + lintel on outer leaf</p> <p><u>Inner Leaf Beams</u></p> <p>Door Case 2.4m + 0.2m = 2.6m span Carving $\frac{6.5 + 0.2m}{2}$ of Roof construction + 0.3m of solid Blockwork</p> <p><u>Load</u></p> <p>Roof = $2(0.75 + 0.5) \times 1.5 \times 6.7 \div 2$ = 12.5625 kN/m</p> <p>Blockwork = $0.3 \times 22 \times 0.215 = 1.419$ kN/m</p> <p>⇒ $w_i = 14$ kN/m</p> <p><u>Moment</u></p> <p>$M_{max} = \frac{14 \times 2.6^2}{8} = 11.83$ kNm</p> <p>127 x 76 x 13 kg UB Max = 23.</p>	
		<p><u>Beam B1</u></p> <p>127 x 76 x 13 kg UB</p>

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS

Title
13 Main St Lucan Co. Dublin

Project No.
R191

Element
1st Floor Beams

Page No.
04

Drawing

Calcs. by
ASD

Checked

Date
16/12/91

Ref.

CALCULATIONS

OUTPUT

Outer Leaf Beams

Load negligible \Rightarrow use Proprietary
Brick Angle on All First Floor
Windows.

Ref.

CALCULATIONS

OUTPUT

1st Floor Construction

Design for P.C. Hollowcore Units

Max Span = 9m

Assume 50mm Tk Concrete Screenshot

Load

(Service load)

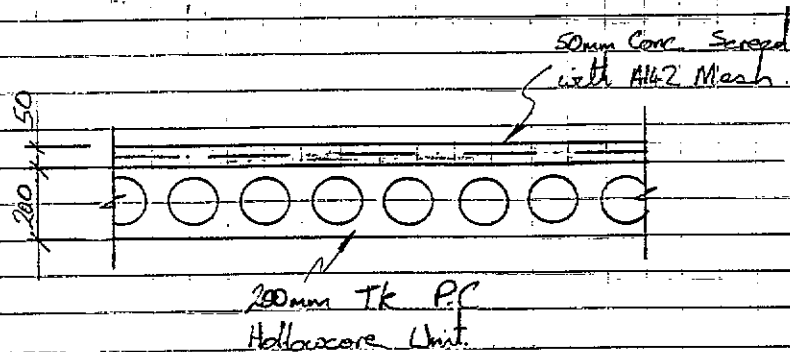
$$1.5 + 1.0 + 0.25 = 2.75 \text{ kN/m}^2$$

$$0.05 \times 24 \times 1.4 = 1.68 \text{ kN/m}^2$$

Total Load
(Excluding S.W. of Unit) = 4.43 kN/m²

Concept
Design
Sheet

200 mm Tk Hollowcore Unit with
50 mm Tk Conc Screenshot

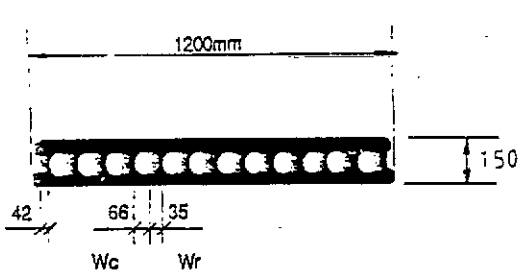


200 mm Tk
Hollowcore
Units

Section

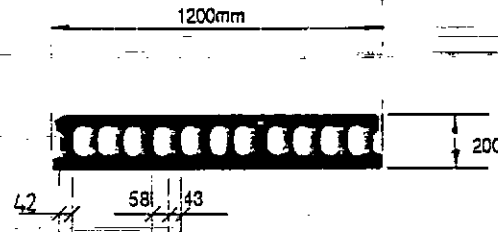
CONCAST

Hollowcore load span tables



SECTION PROPERTIES 150mm deep.

A	119504 sq mm ²
I	324714016 mm ⁴
Z _t	4154925 mm ³
Z _b	4225383 mm ³
W _t	2.34 kN/sq metre
W _c	66mm core width
W _r	35mm rib width



SECTION PROPERTIES 200mm deep.

A	142267 sq mm ²
I	629573953 mm ⁴
Z _t	6325985 mm ³
Z _b	6265781 mm ³
W _t	2.79 kN/sq metre
	Core width 58mm
	Rib width 43mm

MATERIALS PROPERTIES 150 & 200mm units.

Concrete

Transfer strength 35 N/sq mm
 Strength at 28 days 50 N/sq mm
 Fire rating 1 hour
 Design to B.S. 8110 (1985)

Steel

Wire diameter 5mm
 ApsFpu 34.7 kN

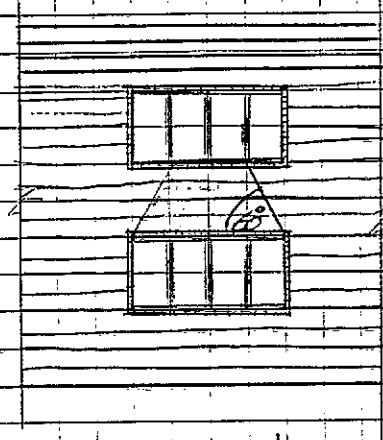
Unit depth	Structural Screenshot	Ultimate bending moment kN-m	Ultimate Shear force kN	SAFE WORKING LOAD in kN/m ² excl. self wt. for spans in metres.														
				SPANS IN METRES														
				4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0	8.5	9.0	9.5	10.0	10.5	11.0
150	none	63.08	92.05	14.3	10.8	8.4	6.5	5.2	4.1	3.2	2.5							
150	50mm	84.23	92.05	19.9	15.3	12.0	9.6	7.7	6.3	5.0	3.8	2.8						
200	none	137.1	157.9			20.3	16.4	13.3	11.0	9.1	7.6	6.3	5.3	4.5	3.7	3.1	1.5	
200	50mm	178.05	155.89			27.3	22.2	18.7	15.2	12.5	10.4	8.6	7.2	6.0	5.0	4.1	3.2	2.7

*Note Ultimate moment and ultimate shear are given per standard unit 1200 wide.
 For fire rating greater than that shown above please consult our design department.

CONCAST

Hazelhatch, Newcastle, Co. Dublin.
 Telephone: 6288055/6271138/6271346
 Fax: 6273326.



Ref.	CALCULATIONS	OUTPUT
	<p><u>Ground Floor Beams</u></p> <p>Clear Span = 2.4 + 0.2 m = 2.6 m</p>  <p>Part Elevation</p>	
BS 5977 Part 1 1981	<p>Windows Above Cts the Interaction Zone => Design as Ordinary Beams.</p>	
	<p><u>Inner Leaf Beams</u></p> <p>Load</p> <p>Roof = 12.825 kN/m</p> <p>Wall = $3 \times 22 \times 0.215 \times 1.4$ = 19.866</p> <p>1st Floor = $6.7 \times 0.5 \times 4.4$ + $(0.05 \times 24) \times 6.7 \times 0.5$ + $2.79 \times 1.4 \times 6.7 \times 0.5$ = 31.845</p> <p>$w = 64.2736$ kN/m</p>	

Ref.	CALCULATIONS	OUTPUT
	<p>Moment</p> $M = \frac{wl^2}{8} = \frac{64.2736 \times 26^2}{8} = 54.3 \text{ kNm}$	
	<p>No Lateral Stability</p> $\Rightarrow l_e = 1.2 (2D + L) = 1.2 (0.4 + 2.4)$ $= 3.36 \text{ m}$	
	<p>$D = 1.0$</p> <p>254 x 146 x 31 kg UB $M_b = 66 \text{ kNm}$</p>	
	<p>Deflection</p> $I = 4440 \times 10^4 \text{ cm}^4$ $\Delta = \frac{5}{384} \frac{WL^3}{EI} \quad \text{where } W = \text{Total Service Spread Load}$	
	$W = \frac{(2.75 + 1.25) \times 6.7 \times 24}{2} = 32.16$	
	$\Delta = \frac{5 \times 32.16 \times 2400^3}{384 \times 905 \times 4440 \times 10^4} = 1 \text{ mm}$	<p>Deflection OK</p>
		<p>Beam B2</p>
		<p>254 x 146 x 31 kg UB</p>

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS

Title
13 Main St Lucas Co Dublin

Project No.
R191

Element
Ground Floor Beams

Page No.
08

Drawing

Calcs. by

Checked

Date

DSD

17/12/91

Ref.

CALCULATIONS

OUTPUT

Outer Leaf Support

$$\text{Span} = 2.4 + 0.2 \text{ m} = 2.6 \text{ m}$$

Load $\approx 2.3 \text{ m}$ of 100 mm Tk Brickwork.

$$= 2.3 \times 0.1 \times 22 = 5.1 \text{ kN/m}$$

(Service Load)

$$M_{\text{max}} = \frac{5.1 \times 2.6^2}{8} = 4.3 \text{ kNm}$$

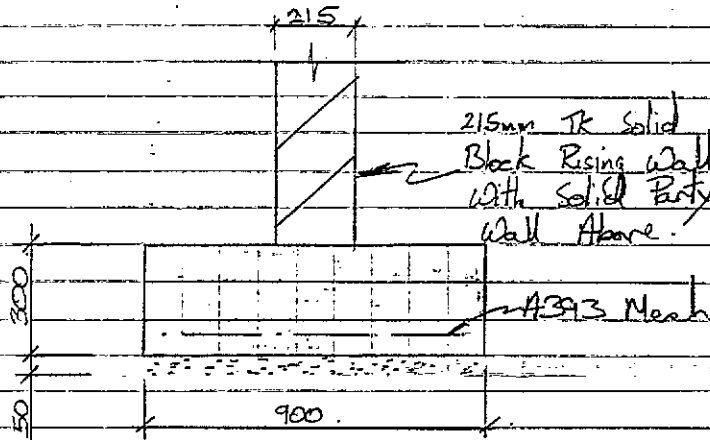
\Rightarrow Use Proprietary Brick Support Angle

Ref.	CALCULATIONS	OUTPUT
	<u>Foundations</u>	
	<u>External Party Walls</u>	
	<u>Base Load</u>	
	Load = 6m of wall	
	4.5m of Roof	
	4.5m of P.C. 1st Floor.	
	Wall = $(0.215 \times 0.72 + 0.1) \times 22 \times 6 = 33.634$	
	Roof = $2.5 \times 4.5 = 11.25$	
	1st Floor = $(0.05 \times 24 + 2.77) \times 4.5 = 17.955$	
	1st I.L. = $(1.5 + 1.0 + 0.25) \times 4.5 = 12.375$	
	Found. = $0.9 \times 0.3 \times 24 = 6.48$	
	Assume 100 kN/m^2 Bearing Pressure	
	$\Rightarrow 900 \times 300 \text{ mm dp Strip Foundation.}$	
	<u>Internal Walls</u>	
	All internal walls assumed to be	
	100 mm TK Stud Partitions.	

Ref.

CALCULATIONS

OUTPUT

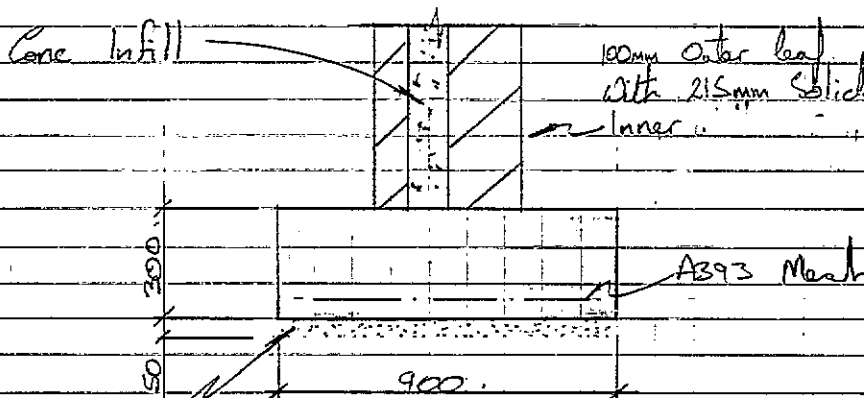


Section Thru Party Wall

Founds

All Founds To Be 900x300dp

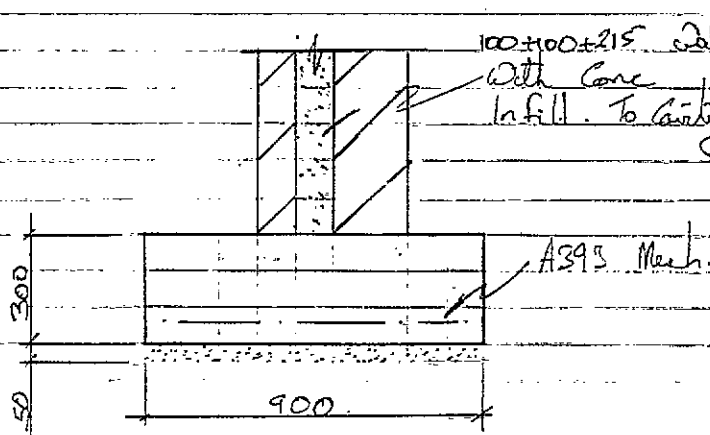
All Structural. Conc. C35



Section Thru Front of Rear Wall

All Blinding. Conc. C10

All Founds To Have 1 Layer of A393 Mesh.



Section Thru Gable Wall

Note Stability Requires 215mm TK inner leaf At Gables

Ref.

CALCULATIONS

OUTPUT

Blockwork

Check load on Blockwork at
1/ Foundation level of 215 mm dp. Hollow
Blockwork. Wall #2/At First Floor Level

Calcs.
pg. 09

$$\frac{1}{[81.7 - (6.48 + (0.1 \times 22 \times 6))] \times 1.5}$$

$$= 93.03 \text{ kN/m} = \text{load}$$

IS 325
32.2.1

Design Vertical Load Capacity of the wall
 $= \frac{\beta t f_k}{\gamma_m}$

IS 325.
Tb 7.

$$\beta \Rightarrow \frac{3000}{215} = 14 \Rightarrow \beta = 0.89$$

Tb 2(b)

$$f_k = 1.9 \text{ N/mm}^2$$

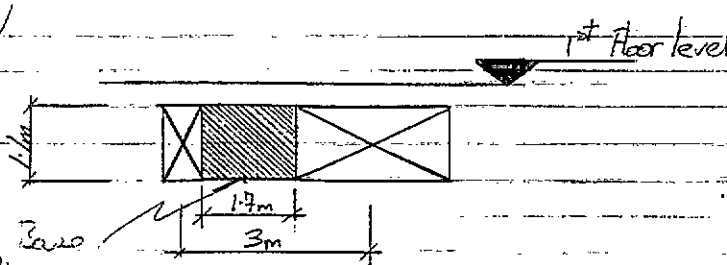
$$\gamma_m = 3.5$$

$$t = 215$$

$$\Rightarrow \frac{0.89 \times 215 \times 1.9}{3.5} = 103.8 \text{ kN/m}$$

At Found level
OK for Vertical
Load

2/



Check Base
at Ref.

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS

Title
13 Main St Lucan Co. Dublin

Project No.
R191

Element
Blockwork

Page No.
12

Drawing
Calcs. by
DSD

Checked

Date
17/12/91

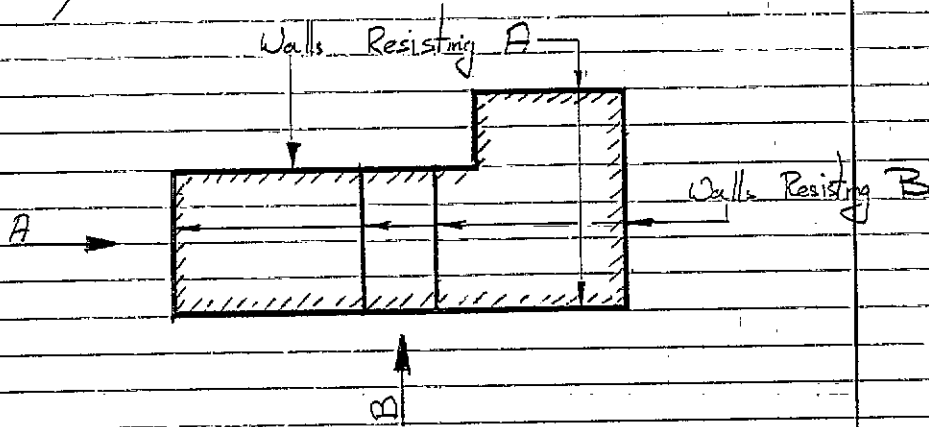
Ref.	CALCULATIONS	OUTPUT
	$\text{Load Wall} = (0.215 \times 0.72) 22 \times 3 \times 1.4 = 14.3$ $\text{Roof} = 2.5 \times 4.5 \times 1.5 = 16.875$	
	<p>1st Floor.</p> $\text{DL} = (0.05 \times 24 + 2.79) 4.5 \times 1.4 = 25.137$ $\text{IL} = 2.75 \times 4.5 \times 1.6 = 19.8$ 76.12	
	$\left(\frac{\text{Total} \times 3}{1.7} \right) + \text{Weight of Pier/m}$	
	$\left(\frac{76.12 \times 3}{1.7} \right) + 0.215 \times 0.72 \times 22 \times 1 \times 1.4 = 139.6 \text{ t/m}$	<p>Hollow Blocks. No Good On. Ground Floor.</p>
		<p>Ground - First Fl. 50/m² Solid Block</p>
		<p>First - Roof Level Hollow Block Walls</p>

Ref.

CALCULATIONS

OUTPUT

Stability



PC Hollowcore units with structural steel
Acting as a diaphragm transferring
lateral load into the walls, with
A peripheral tie all round.

116 ϕ Bar.

Check Gable wall

With wind force 'A' acting on the
Gable walls will require 115mm
th inner leaf with solid block
walls at ground floor level

\Rightarrow Stability from wind satisfied.

Ref.	CALCULATIONS	OUTPUT
	<p><u>Stability Cont'</u></p> <p><u>Accidental Damage</u></p> <p>2 Stories \Rightarrow Requires Horizontal Ties Only.</p> <p>$F_T = 10 + 4 \times 4 = 36 \text{ kN}$</p> <p>a) Peripheral Tie within 12 mm of edge of slab</p> <p>Steel Area Req = $\frac{36 \times 10^3}{360} = 100 \text{ mm}^2$</p> <p>1 No. T16 bar = 201 mm^2</p> <p>b) Internal Tie</p> <p>A142 mesh \gg Than Required</p> <p>c) External Walls</p> <p>Stop P.C Slabs To The Walls at 1200mm c/c</p>	

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT
BLOCK 2
IRISH LIFE CENTRE
1R, ABBEY STREET
DUBLIN 1

Notification of Decision to Grant ~~Permission~~/Approval

Local Government (Planning and Development) Acts, 1963-1983

To: John F. O'Connor & Assocs.,
10, Boden Wood,
Rathfarnham,
Dublin 14.

Decision Order P/5828/91 - 20.12.1991
Number and Date
91A-1733
Register Reference No
Planning Control No
01.11.1991
Application Received on
Floor Area: 288 sq. m.

Applicant Littlewood Homes Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant ~~Permission~~/Approval for:-
four apartments to rear of 13, Main Street, Lucan.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	3. In the interest of health.
4. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	4. In the interest of safety and the avoidance of fire hazard.
5. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.	5. In order to comply with the Sanitary Services Acts 1878-1964.

(Continued)

Signed on behalf of the Dublin County Council

[Signature]
For Principal Officer

20.12.1991

Date

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

6. That the wall and pier at entrance be permanently removed.

6. To improve access.

7. That a financial contribution in the sum of £3,000 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

7. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

8. That before development is commenced details of proposed brick work and roof tiles to be submitted and agreed with the Planning Authority.

8. In the interest of the proper planning and development of the area.

8. That a financial contribution in the sum of £3,200 be paid by the proposer to the Dublin County Council towards the cost of provision and maintenance of roads in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

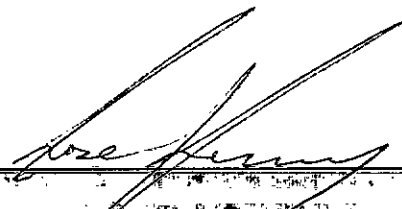
9. The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

10. That a suitable splay be provided at the south west corner of the property. Details to be agreed with Planning Authority prior to commencement of development.

10. To improve vehicular access to rear of adjoining properties.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

(Continued)



NOTE:

If there is no appeal to An Bord Pleanála against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanála. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanála, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanála will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanála for an Oral Hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanála a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanála when making submissions or observations to An Bord Pleanála in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
1R, ABBEY STREET,
DUBLIN 1

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To **John F. O'Connor & Assocs.,** Decision Order P/5828/91 - 20.12.1991
 10, Boden Wood, Number and Date
 Rathfarnham, Register Reference No. 91A-1733
 Dublin 14. Planning Control No.
 Application Received on 01.11.1991
 Applicant **Littlewood Homes Ltd.** Floor Area: 288 sq. m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for:
four apartments to rear of 13, Main Street, Lucan.

SUBJECT TO THE FOLLOWING CONDITIONS

(Continued) CONDITIONS	REASONS FOR CONDITIONS
11. No development to commence until applicants have submitted documentary evidence, to the satisfaction of the Planning Authority of all necessary rights of access over the right of way to serve the proposed development.	11. In the interest of the proper planning and development of the area.
12. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services has been given by:	12. To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.
(a) Lodgement with the Council of an approved Insurance Company Bond in the sum of £10,000, OR...	
(b) Lodgement with the Council of a cash sum of £6,000, OR...	
(Continued)	

Signed on behalf of the Dublin County Council

[Signature]
 Principal Officer
 20.12.1991

IMPORTANT: Turn overleaf for further information

(Continued)

CONDITIONS

REASONS FOR CONDITIONS

(c) Lodgement with the Planning Authority of a letter of guarantee issued by any body approved by the Planning Authority for the proposed development in accordance with the guarantee scheme agreed with the Planning Authority and such lodgement in any case has been acknowledged in writing by the Council.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1733

Date : 4th November 1991

Our Ref.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 TO 1990

Date

Dear Sir/Madam,

DEVELOPMENT : 4 apartments to rear
LOCATION : 13 Main Street, Lucan
APPLICANT : Littlewood Homes Ltd.
APP. TYPE : APPROVAL/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 1st November 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

John F. O'Connor & Associates,
10 Boden Wood,
Rathfarnham,
Dublin 14

Previous Planning Ref. 89A/1254.

Dublin County Council
Comhairle Chontae Atha Cliath



Planning Application Form/
Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building REAR 13 MAIN STREET LUCAN CO. DUBLIN.
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) LITTLEWOOD Homes C/o 23 LEESON STREET DUBL 2.
Address Tel. No.

4. Name and address of JOHN F. O'CONNOR + ASSOCIATES
person or firm responsible for preparation of drawings 10 BODEN WOOD RATHFARNHAM D. 14. Tel. No. 944912

5. Name and address to which notifications should be sent AS IN 4 ABOVE.



6. Brief description of proposed development 4 APARTMENTS + AUXILIARY WORKS.

7. Method of drainage SEWER 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. -
(b) Proposed use of each floor -

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No.

11. (a) Area of Site 490 m². Sq. m.
(b) Floor area of proposed development 288 m² (site coverage = 33%) 6/8 Sq. m.
(c) Floor area of buildings proposed to be retained within site 4128 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) leasehold.

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
as far as applicable

15. List of documents enclosed with application.
1 location map 2 site plan 3 structural diag. 4 specifications 5 newspaper notice 6 planf. fee.

16. Gross floor space of proposed development (See back) Sq. m.
No of dwellings proposed (if any) 4 Class(es) of Development 220 N 50607
Fee Payable £ 343 Basis of Calculation
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) J. F. O'Connor Date 1 Nov. 1991

Application Type APP/B FOR OFFICE USE ONLY
Register Reference 91A/1733
Amount Received £
Receipt No 17-6
Date

Mail
press
30/10/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.

4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE-LAW APPLICATION.

REC. No. N 50507

£220.00

Received this 11th day of November 1991

from John F. O'Boonier
10 Bodes Wood,
Rathfarnham

the sum of two hundred and twenty Pounds

Pence being nil

bye-law application at
Lucan
Abolition
S. CAREY
Principal Officer

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL - issue of this receipt is not an

46/49 UPPER O'CONNELL STREET DUBLIN 1. tendered is the prescribed application

fee. N 51059

PAID BY
SHE
REQUIRE

Received this _____ day of _____ 19____

from John F. Blount

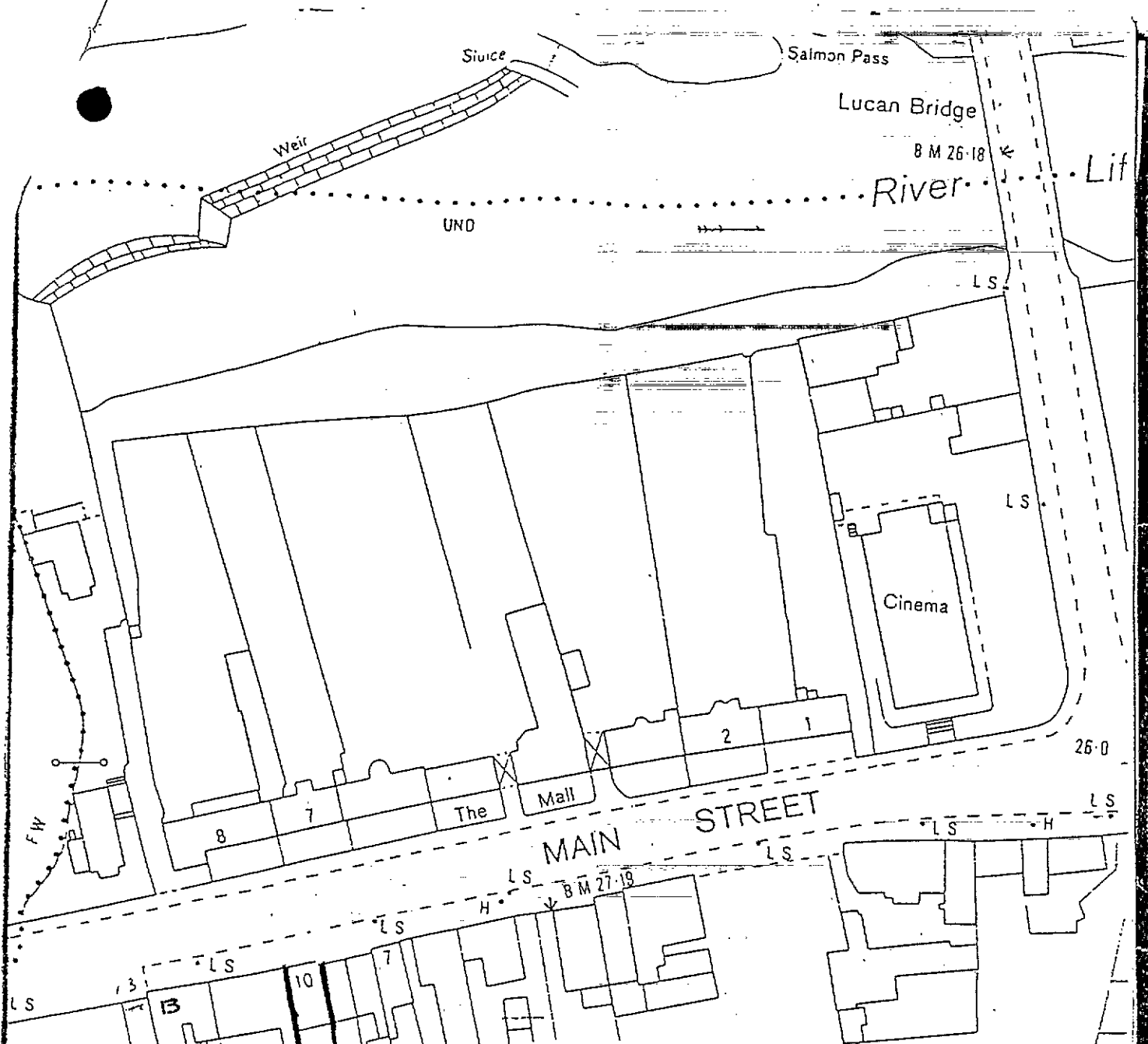
10 Boden Road
Rathfriland

the sum of two hundred and _____ Pounds

planning application

Main St. West
Malahide, Co. Dub.

S. CAREY
Principal Officer



John F. O'Connor & Associates
 Architects & Planning Consultants
 10 Boden Wood
 Rathfarnham Dublin 14. Telephone 944912

JOB
 PROPOSED 4 APARTMENTS TO REAR
 13 MAIN STREET LUCAN CO. DUBLIN

DRG
 LOCATION MAP

date OCT '91	scale 1/1000	drg no 1
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PLANNING DEPARTMENT
 RECEIVED
 1 NOV 1991
 91A/1731
 REG No
 APPLICATION TYPE / C.P.A.P.E.
 NO. 1

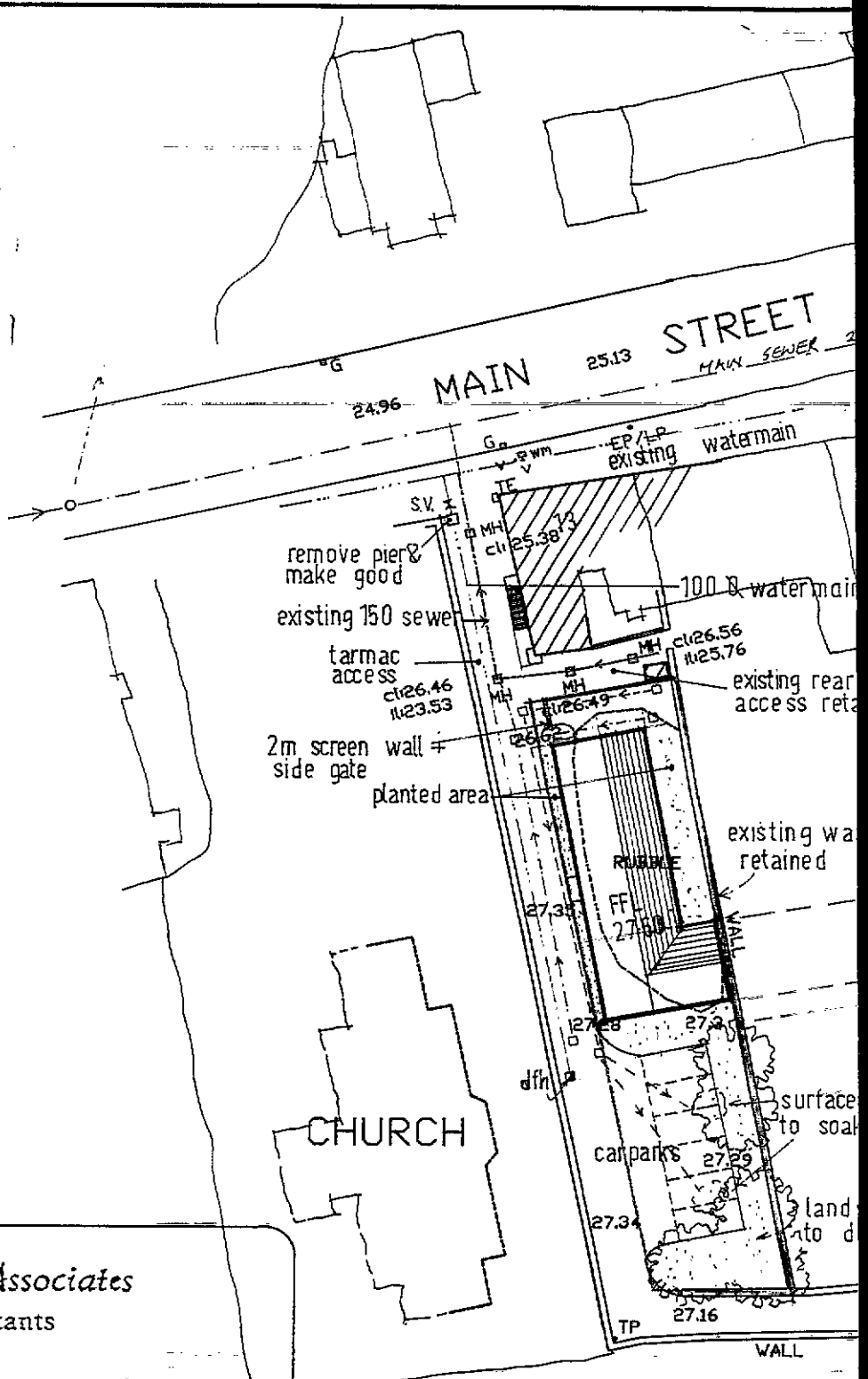
1-4
 5-8

133

DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED

1 NOV 1991

REG. NO. 91A/1731
 APPLICATION TYPE C/P

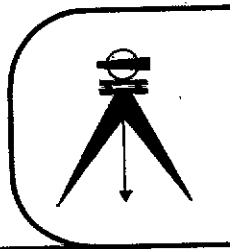
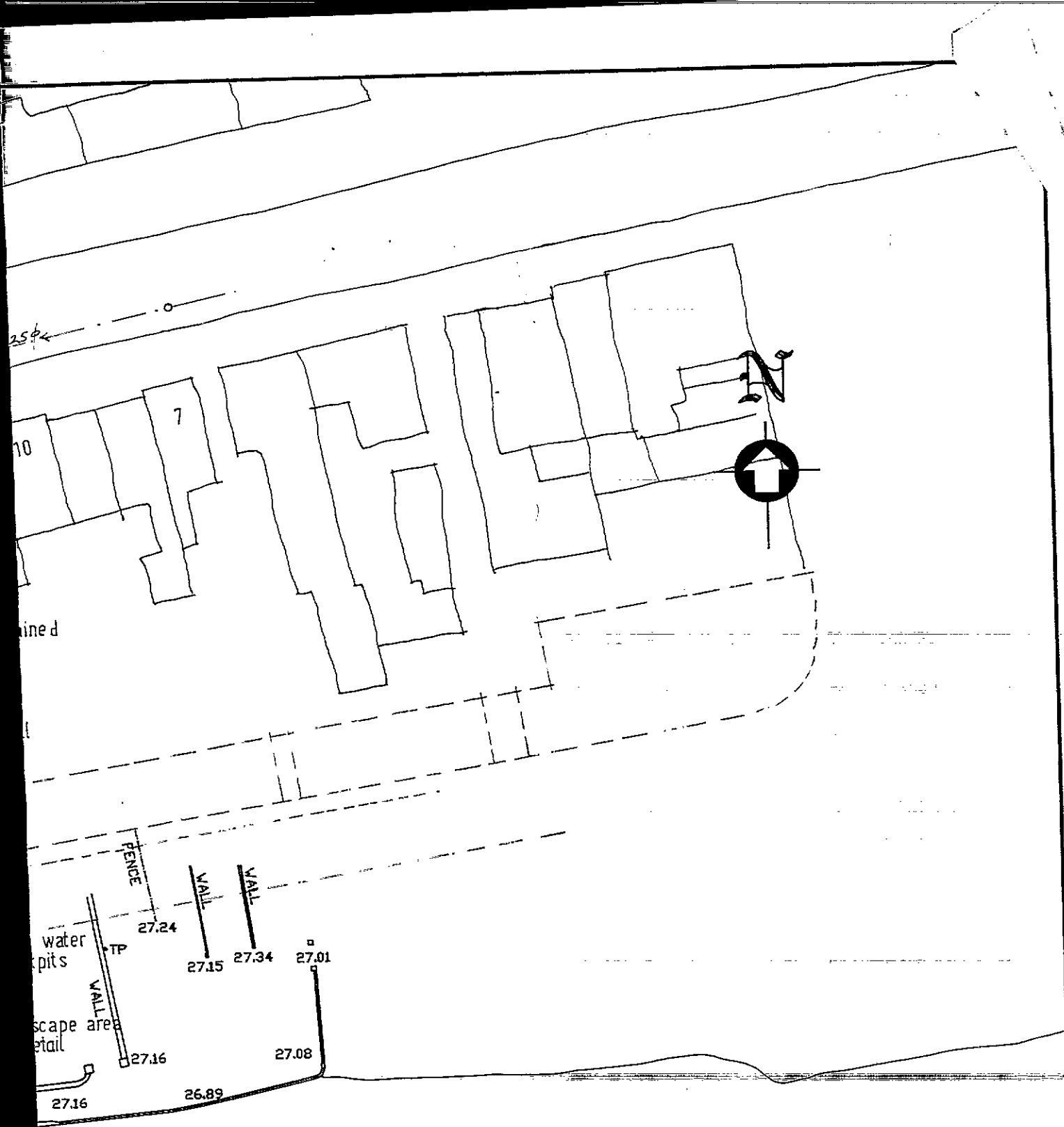


John F. O'Connor & Associates
 Architects & Planning Consultants
 10 Boden Wood
 Rathfarnham Dublin 14. Telephone 944912

JOB
 PROPOSED 4 APARTMENTS TO BEAR
 13 MAIN STREET LUCAN CO. DUBLIN

DRG
 BLOCK PLAN

date OCT 91	scale 1/500	drg no 2
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LAND SURVEYS (LYNWOOD) LTD.
 Lynwood House, Ballinteer Road,
 Dublin 16. ph:988587 Fax:951773

Site at:
MAIN STREET, LUCAN.

Client:	Scale:
J.F.O'Connor	1:500
& Assocs.	Content: Spot Levels
	Datum: Approx. Mean
	Ref: 691.10.3279

1 NOV 1991
REG No. 91A 1731
APPLICATION TYPE O/P/ABL
NO L D S

SPECIFICATION
OF
PROPOSED WORKS

John F. O'Connor & Associates
Architects & Planning Consultants
10 Boden Wood
Rathfarnham Dublin 14. Telephone 944912

**SPECIFICATION
OF
PROPOSED WORKS**

- EMPLOYEE:** 1. The term "Employee" shall mean the Builder.
- EMPLOYER:** 1a. The term "Employer" shall mean the Purchaser.
- SATISFACTION:** 2. The whole of the works to be carried out according to the satisfaction of the Local Authority concerned.
- NOTICES & FEES:** 3. The Builder shall give all notices and pay all fees to the Local Authority concerned, as may be required by them for the making of all connections, opening up of roads and for the supplying of water for the works.
- PROTECTION:** 4. Any excavations made by the Builder or by any sub-contractor are to be protected by the Builder and lighted at night if necessary.
- INSURANCES:** 5. The Builder is to insure fully under the Workmens' compensation and the National Health Acts all his men. The Builder is to effect a Fire and other necessary insurance against damage to persons and property during the course of the works and until such time as they are completed and handed over to the Employer, all with an approved Insurance Company.
- LATRINES:** 6. The Builder is to provide proper latrine accommodation on site before commencement of works, to remove same and disinfect grounds on completion.
- OTHER TRADES:** 7. Provide all reasonable facilities and assistance to sub-contractors as may be necessary during the course of the works.

EXCAVATOR

- GENERALLY:** 8. Excavate over area of building to a depth of at least 9" below finished ground level and remove all dosa and vegetable earth.
- FOUNDATIONS:** 9. Excavate for foundations to depths and widths as shown on plan or as required by site conditions.
- DRAINS, ETC.:** 10. Excavate along lines shown on plans for all drains to required levels and also for manholes, gullies and junctions to required depths and widths.
- CEMENT:** 11. Portland Cement to be to I.S.S.
- SAND AND GRAVEL:** 12. All sand or gravel used shall be sharp river or pit sand free from loam and all other impurities and, if necessary to be washed.
- CEMENT MORTAR:** 13. Shall be cement and sand (1:3).

- GAUGED LIME MORTAR:**
14. Shall be five parts of well burnt roached lime to two parts of sand well gauged to one part of cement.
- CONCRETE:**
15. Shall be composed of four parts of gravel to two parts of sand to one part of cement. All mixing to be in a mechanical mixer or by hand on a clean wooden platform and the latter to be mixed dry thrice and then thrice again when wet. Only a quantity sufficient for immediate use is to be prepared at a time and no making-up or re-mixing will be permitted.
- BREEZE CONCRETE:**
16. Breeze concrete shall be as described above except that clean well burnt breeze free from sulphur and all other impurities shall be, instead of sand and gravel.
- D.P.C.'s:**
17. Lay over all walls, partitions and chimney breasts, at a minimum height of 6" over ground level (finished), and as elsewhere specified or shown on plan an approved bitumen damp course to the full widths of the walls, partition or breasts.
- WALLS:**
18. All walls where shown on plan are to be built of concrete blocks of described aggregate set in gauged mortar, or of concrete blocks and facing bricks as may be shown on plan or as may be decided by the Architect. All external walls to be 9" hollow cavity blocks of approved manufacture. Where facing brick shown on drawings, walls to be 11" cavity with tie irons every 18" vertically and 3' 0" horizontally, properly flashed at all opes etc.
- LINTOLS:**
19. All lintols shall be formed of concrete cast in-situ or precast and adequately reinforced with m.s. bars as necessary to suit the span. All lintols to have not less than 6" bearing and m.s. reinforcement to run full length of lintols. Where prestressed lintols are used the manufacturers instructions to be adhered to.
- STEPS & SILLS:**
20. Shall be formed with concrete properly weathered and where necessary, properly throated, and finished in fine stuff and slightly rounded at arrises.
- HEARTHES:**
21. Hearths to be formed of concrete 6" thick, and to be prepared on top for tile finish.
- SURFACE CONC UNDER FLOORS:**
22. To be 4" thick laid on a well rammed bed of broken brick or stone.
- VENT OPENING:**
23. Form where indicated or as required, openings for floor vents and in all rooms without fireplaces on external walls 9" x 6" opes to take galvd. louvred vents. Or Vent Rooms as Directed by the Architect.
- BRICKLAYER**
- BRICKS:**
24. All bricks to be best quality concrete bricks as for blocks. All facing bricks or blocks are to be first quality to approved manufacture and selected colours, all to be set in gauged mortar and pointed in cement and sand as directed by the Architect.
- WETTING:**
25. All bricks are to be well wetted before laying.

BOARDS:

26. The facing bricks are to be laid to a bond as selected by the Architect and are to be properly bonded with concrete blocks if backed with blocks.

FLUE LINERS:

27. To be 8" internal diameter. Provide all requisite bends either purpose made or otherwise.

CARPENTER AND JOINER

BREEZE BRICKS:

28. Build in where necessary breeze bricks or other grounds as the works proceed for fixing joinery. All timbers or grounds in contact with concrete shall be twice brush coated with an approved preservative against dry rot and beetles, e.g. Solignum, etc.

SPACING:

29. All floor, ceiling and roof joists to be 14" c. to c. or at centres to suit finishes to be applied. Timber sizes to be adequate in strength to suit spacing.

ROOF:

30. Roof timbers to be as follows:
- | | |
|-----------------------------|-----------|
| Rafters: | 4½" x 1½" |
| Ridge: | 7" x 1" |
| Ceiling joists and hangers: | 4½" x 1½" |
| Purlins: | 7" x 3" |
| Struts and collars: | 4" x 2" |
- Prefabricated timber roof trusses of Approved Manufacture may be used.
Minimum pitch to be as required by manufacture of tiles used and/or required by the Local Authority.

TASSELS:

31. Provide 3" x 1½" tassels to all boarded floors. Wallplates for roof to be min. 4" x 2".

FLOORS:

32. To be 1" T. & G. white deal or Chipboard, or reinforced concrete or mass concrete.

BRIDGING:

33. Provide one row of solid bridging to all first floors over 6' 0" span.

EAVES:

34. Form eaves as shown on drawings. Fascia to be 7" x 1". Soffite to be formed from 9" x ¾"

DOOR FRAMES:

35. Internal shall be 4½" x 1½" slips. External shall be out of 4" x 3"

JOISTS:

36. Floor shall be 4½" x 1½" on first floor shall be 7" x 1½"

ARCHITRAVES:

37. Provide and fix to all internal doors Architraves, properly fixed to frames as specified by Architect.

SADDLES:

38. Provide and fix to all internal doors (where specified by the Architect) 5" x 1" saddles properly splayed and nailed to floor.

DOORS:

39. All internal doors shall be flush panel. Hall door shall be as shown on drawings. Back door to kitchen shall be 2" thick framed and sheeted. All doors to be hung with one pair 4" steel but hinges.

DOOR FURN:

40. Provide and fix complete to each internal door mortice lock and furniture. Hall door to be fitted with letterplate knocker handle and "Yale" pattern night latch.

- WINDOWS:** 41. All windows to be standard section timber, with sections to I.S.S. or B.S.S. and to be provided and fitted complete with all handles and sliding stays.
- LINEN PRESS:** 42. Form linen press where shown to take hot water cylinder and fit with two rows of batten shelving.
- STAIRS:** 43. Stairs where shown shall be formed as shown on drawings with 1½" strings, 1½" treads and 1" risers. Provide for trimming to floors, ceilings and walls and finish with banister complete.
- TRAP DOOR:** 44. Trim ceiling for and provide where directed trapdoor to roof area.

IRONWORKER

- EAVES GUTTERS:** 45. Plastic eaves gutters shall be half round laid to proper falls and carried on brackets, screwed to fascia, complete with all stopends and angles and nozzles, jointed to manufacturers instructions.
- RAINWATER PIPES:** 46. Plastic rainwater pipes are to be brought from the eaves gutters in the positions shown on drawings, complete with all swan-necks, hopper-heads, short-lengths and toe pieces and fixed with holderbats screwed to walls.
- FLOOR VENTS, ETC:** 47. Provide and fix galvd. louvred vents to opes as specified heretofore.
- SOIL & VENT PIPES:** 48. The soil and vent pipes are to be approved plastic jointed in accordance with manufacturers instructions and fixed complete as for R.W.P 's S.V.P. to be carried up 2' 0" over eaves level and fitted with cowl.

DRAINLAYER

- GENERALLY:** 49. Excavate for, as already described, and lay along lines as shown on plan foul and surface water drains, deeply socketted glazed fireclay or PVC pipes, complete with all necessary bends, gullies, Armstrong Junctions, manholes and dis-connecting trap with F.A.I. etc. 4" pipes to be laid to a fall of 1 in 40: 6" to 1 in 60 and are to be set in a concrete bed and haunched with concrete half way up sides, and jointed in gaskin and cement. Where pipes run under buildings they are to be completely encased in concrete at least 6" all around. All traps and junctions are to be set on concrete beds. Alternatively all drains shall be PVC type laid in accordance with the manufacturers instructions.
- TESTING:** 50. Provide for all water and smoke testing as may be required by the Local Authority.
- MANHOLES:** 51. The manholes shown on plan shall be formed of concrete 6" thick in walls, floor and roof reinforced with ¾" m.s. bars. Provide and fix in manholes H.R. glazed channels and finish in cement and sand rendering sloping to and flush with channels.
- COVERS, GRATINGS:** 52. Provide and fix to all manholes, gullies and junctions all necessary frames, covers and gratings. Covers subject to traffic to be "Medium" quality.

SUB-CONTRACTORS

ELECTRICAL SERVICES:

53. Provide for wiring and electrical services in accordance with E.S.B. regulations. Provide for lighting points complete with all ceiling roses, plates, switches and lampholders. Provide for power plugs. All wiring to be concealed and completed to the satisfaction of the E.S.B. This contract provides for
- No. ceiling light points and No. sockets. Extra lighting and power points will be provided on Employer's instructions @ each. The following, if required by the Employer, shall be Extra: 30 amp. E.I. Cooker Switch and 60 amp. E.I. Cooker Switch. Wiring only for E.I. immersion heater in H.W. Cylinder.

GAS SERVICE:

54. Provide for all attendance on Dublin Gas Co. in providing their service line to premises if available.

PLUMBER

FLASHINGS, APRONS:

55. All flashings to be in lead, copper or aluminium.

SOAKERS:

56. Soakers to be in lead or copper sheet, one to every slate or tile and to be 1" longer than the gauge of the tile, to lie 5" under the tiles and to turn up 4" against the chimney stacks with stepped cover flashing fixed over same.

CONNECTION TO DRAIN:

57. Plastic soil pipe to be connected to stoneware drain in accordance with manufacturers instructions.

WASTE PIPES:

58. The external waste pipes from sinks, baths and lavatory basins to be 1½" or 2" diam. as required, to be fitted and discharged over gullies and channels with necessary shoes and back inlets. Similarly, provide hopper heads and discharge waste from first floor fittings.

RISING MAIN:

59. Provide and lay ½" rising main from roadway to galvd. or PVC storage tank in roof. Provide Dublin Corporation type stop-cock in path and stop-cock at point of entry of supply to premises in a suitable position. From this rising main take ½" cold water service to Kitchen sink.

PIPES:

60. The piping throughout shall be Copper, Stainless Steel or Plastic and shall have all necessary instantor type joints, bends, tees and other necessary fittings.

STORAGE TANK:

61. Provide and fix 100 gall. galvd. or PVC iron cold water storage tank in roof space, properly supported on bearers and fitted with Ball/Cock valve.

SERVICES:

62. Provide ¾" overflow pipe to storage tank. From tank take ¾" supply to cylinder. Provide ¾" flow and return from boiler to cylinder. From top of cylinder take ¾" expansion pipe up and turned into storage tank. From expansion pipe take ½" supply to sink and W.H.B. and ¾" supply to bath. All cold services to be ½" to be taken from storage tank in roof except service to kitchen sink as heretofore specified. Take ½" cold service to W.C.

- HOT WATER CYLINDER:** 63. Provide and fix in linen cupboard one 30 gall. copper cyl. tested B.S.S. and provide for all connections thereto as heretofore specified.
- SANITARY FITTINGS:** 64. Provide and fix the following sanitary fittings:
 a) Bath, complete with taps, waste, stopper and chain and side panels.
 b) W.H.B., Brackets, taps, stopper and chain complete.
 c) W.C. Suite complete.
 d) Kitchen sink complete with taps, waste, chain and stopper.
- CONNECTIONS & FITTINGS:** 65. Provide and fix to sink and basin 1½" trap, and 2" trap to bath connecting into waste pipe respectively. Provide for making proper connections between W.C. trap and soil pipe. All taps, chains and other fittings to be chromium. On completion, test and leave all plumbing to the satisfaction of the Architect.

ROOFER

- TILES:** 66. Roof to be finished with concrete roofing tiles to approved colour.
- FIXING:** 67. Tiles to be laid on 1½" x 1½" battens on best quality sarking felt to I.S.S. Provide and fix concrete ridge tiles to match roofing tiles, all to be set in cement and sand on felt saddle.
- HEARTHES:** 68. To be finished with tiled or other approved hearth to match surround.
- SURROUNDS:** 69. Provide and fix fire surround as shown on plan.
- CONCRETE PAVING:** 70. Provide 4" concrete path around house as shown on drawings laid on a bed of well rammed broken stone or brick.

PLASTERER

- INTERNALLY:** 71. All internal walls shall be dry lined as per manufacturers specification or as may be approved by the Architect.
- CEILINGS:** 72. All ceilings shall be dry lined as per manufacturers specification or as may be approved by the Architect.
- EXTERNALLY:** 73. External walls shall be scudded, floated and finished in a waterproofed plaster fine or dashed as approved.

PAINTER AND GLAZIER

- MATERIALS:** 74. All paints and materials used throughout are to be best quality to B.S.S. All oil paints and other wall finishes to be of an approved proprietary brand delivered on site in sealed tins, and colours to be as directed by the Architect.
- WOODWORK:** 75. All woodwork usually painted is to be knotted, stoppered and primed, painted two undercoats and one finishing coat of high gloss paint, to selected colours.

IRONWORK:

76. All external ironwork, is to be well scraped clean, given one coat red oxide, two undercoats and one finishing coat high gloss paint, to selected colour.

INTERNAL WALL DECORATION:

77. All internal walls to be papered with wallpaper to purchaser's selection to a total price of £ per house for paper.

GLAZING:

78. Glaze with 24 ozs. glass, free from defects, all windows throughout house. Bathroom and W.C. to be glazed with obscure glass. Hall door to be glazed in translucent glass.

FIXING:

79. All panes of glass are to be regularly cut and are to be sprigged, puttied and back puttied.

SITE**BOUNDARY WALLS:**

80. All boundary walls or fences shall be constructed as directed by the Architect.

COMPLETION**GENERALLY:**

81. Notwithstanding the foregoing all works to be carried out and materials to be used to comply with outline specification for new houses as issued by the Department of Local Government. Any variation to the specification by the Builder should be incorporated in the showhouse if possible but shall not be less in quality or strength than that specified. The Estate Architect may without notice alter this specification if deemed necessary by him.

COMPLETION:

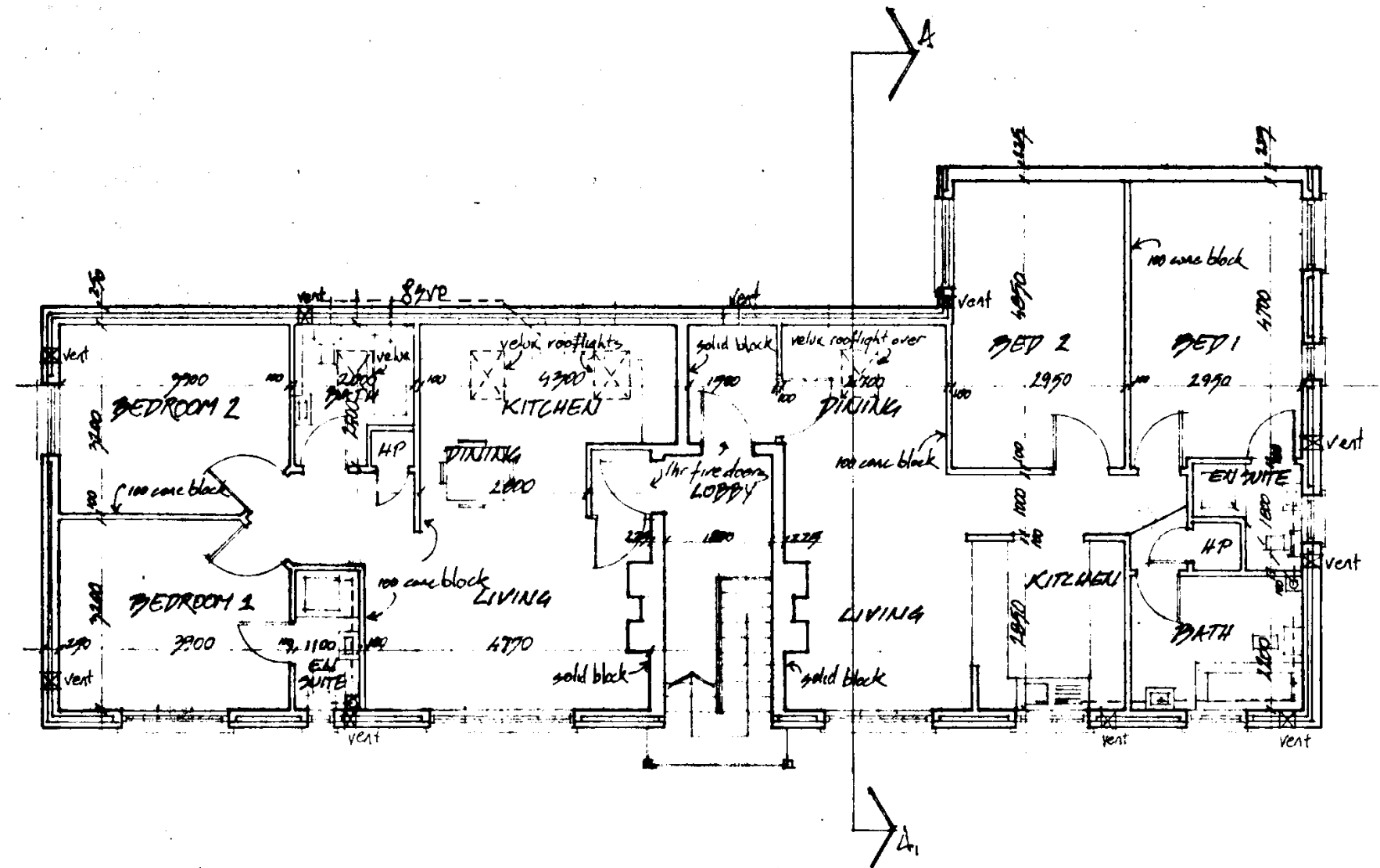
82. Clean and leave premises in a habitable state and hand over to the employer to the satisfaction of the Architect.

MAINTENANCE:

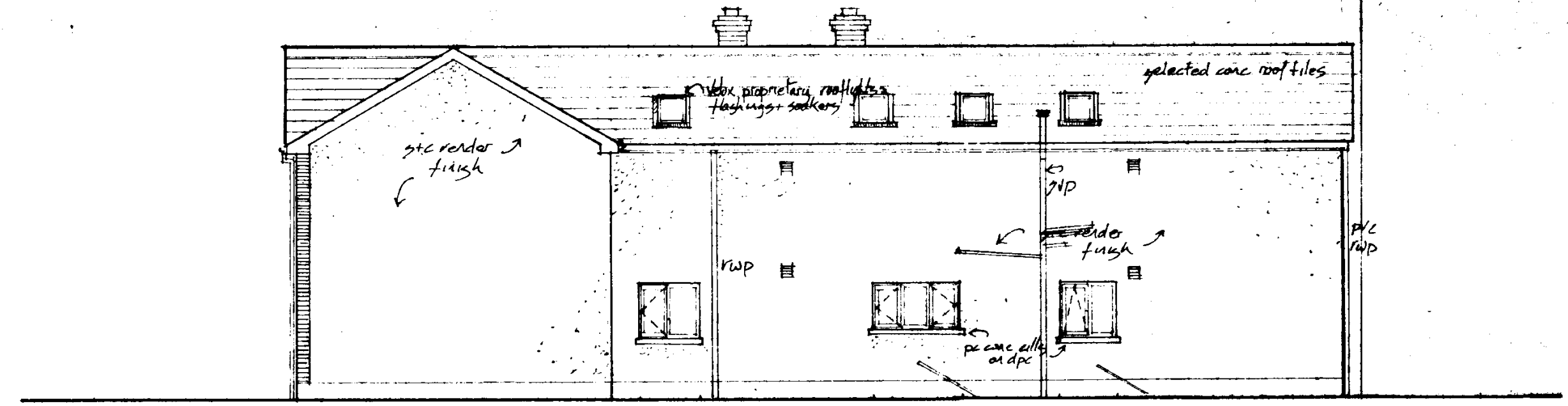
83. The Employer shall note that, whilst the Builder shall be responsible for normal maintenance as defined in the conditions of the Contract, he shall not be held liable for shrinkage or other defects to timber and plasterwork due in whole or in part where Central Heating is installed in dwelling.

VARIATIONS**VARIATIONS:**

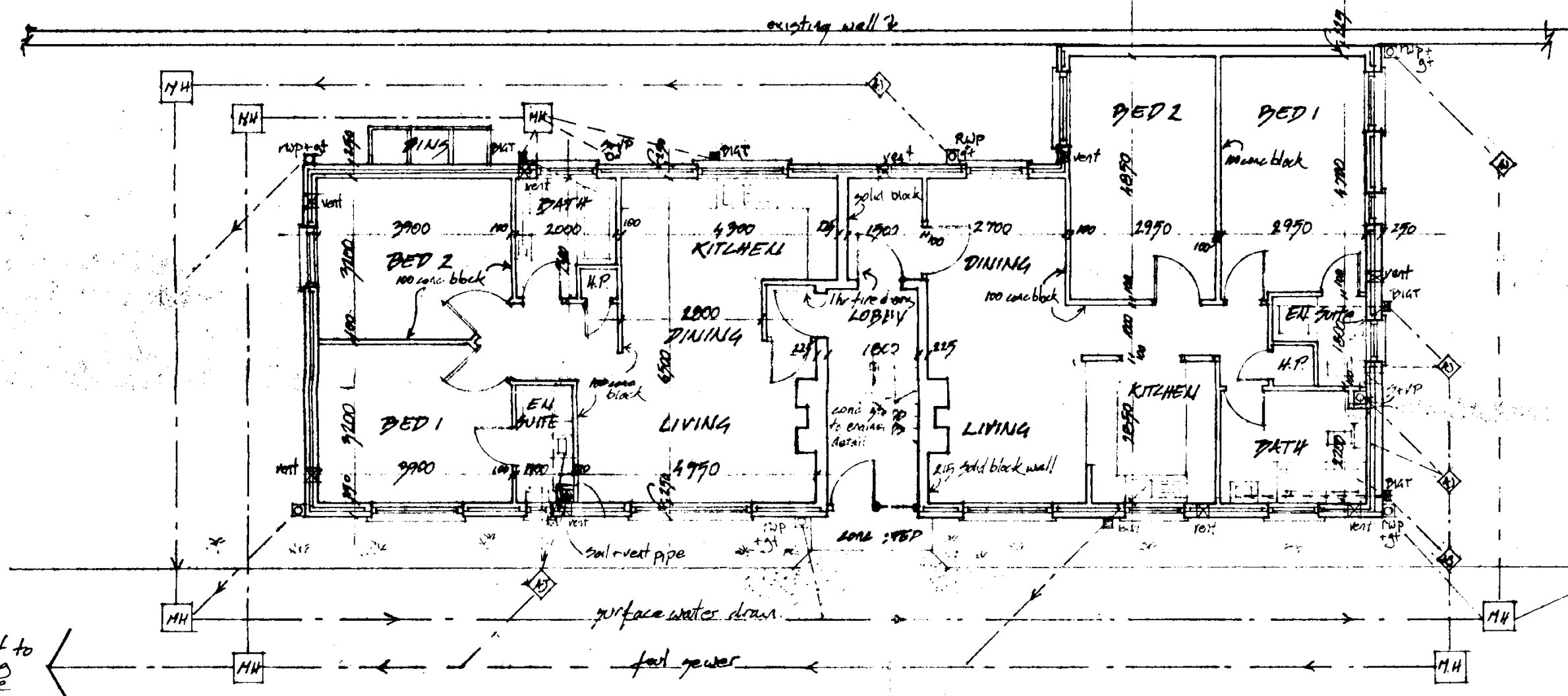
84. For building contract purposes the variations for site No. are as scheduled hereunder:—



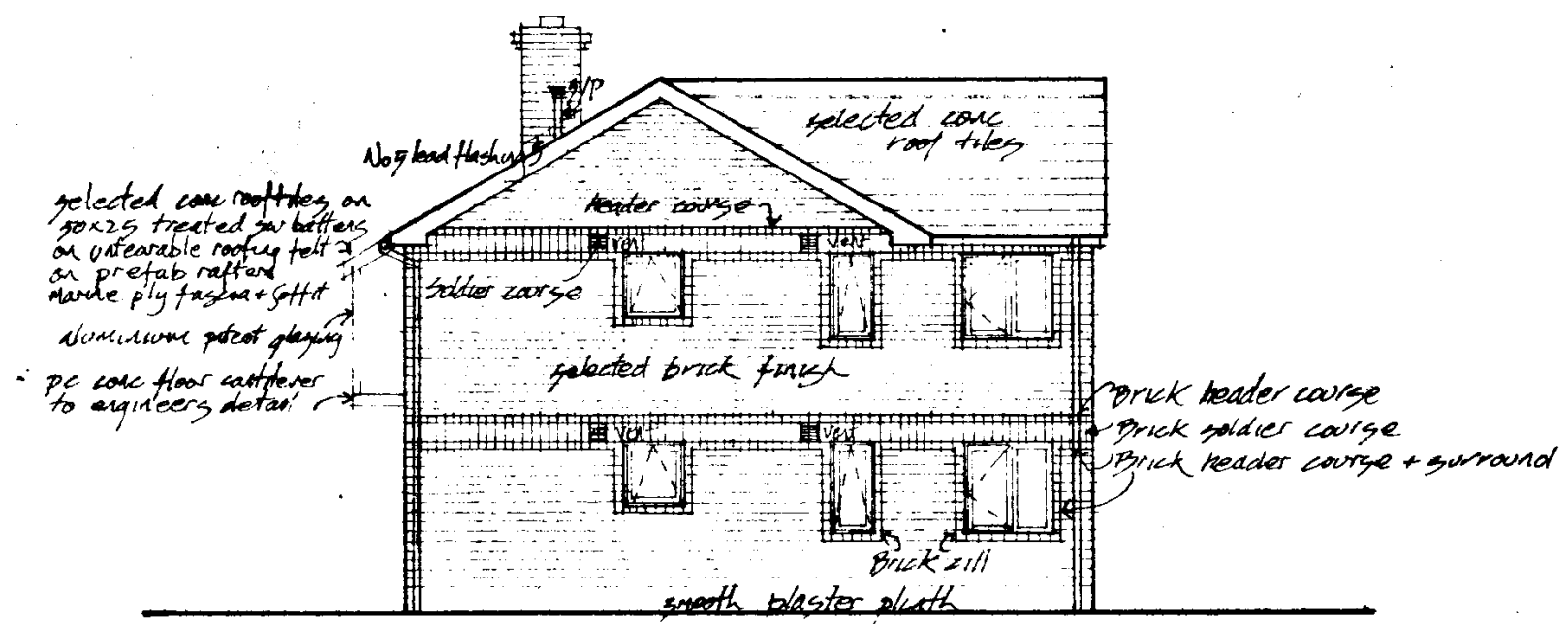
1 FIRST FLOOR PLAN
SCALE 1:100



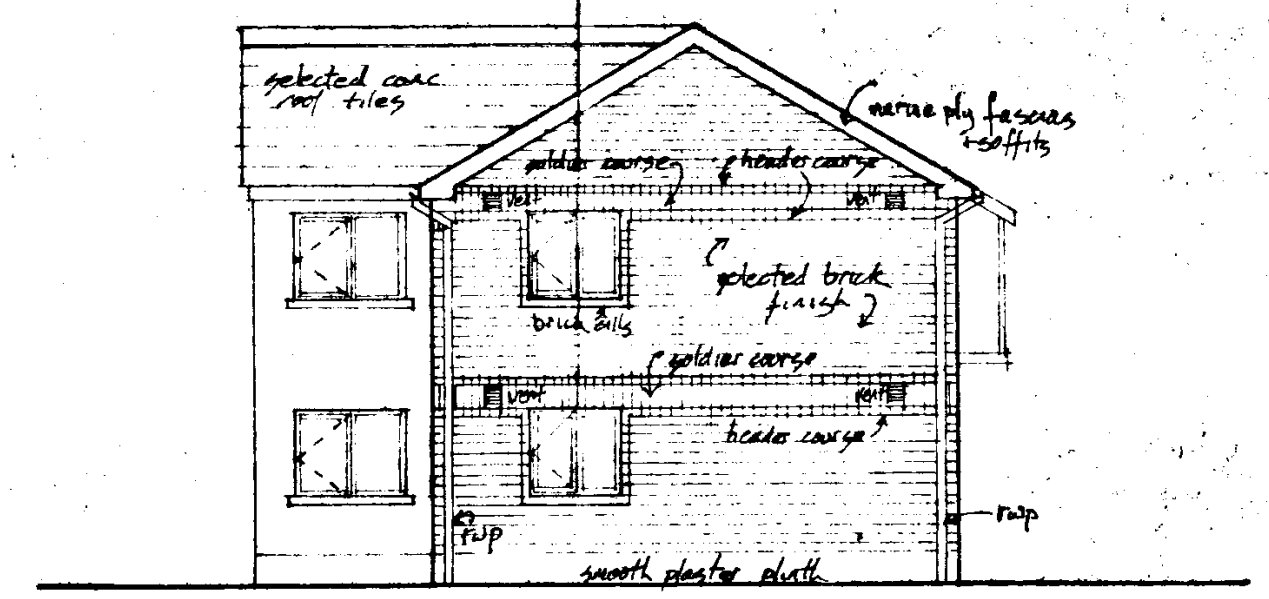
5 REAR ELEVATION
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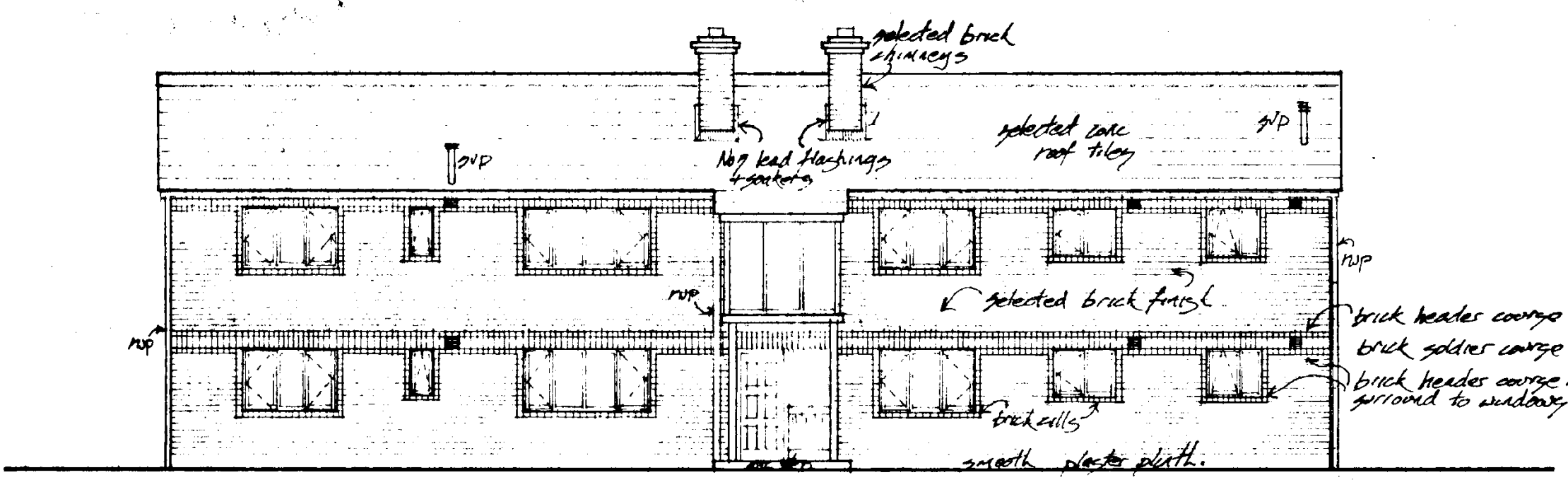
2 GROUND FLOOR PLAN
SCALE 1:100



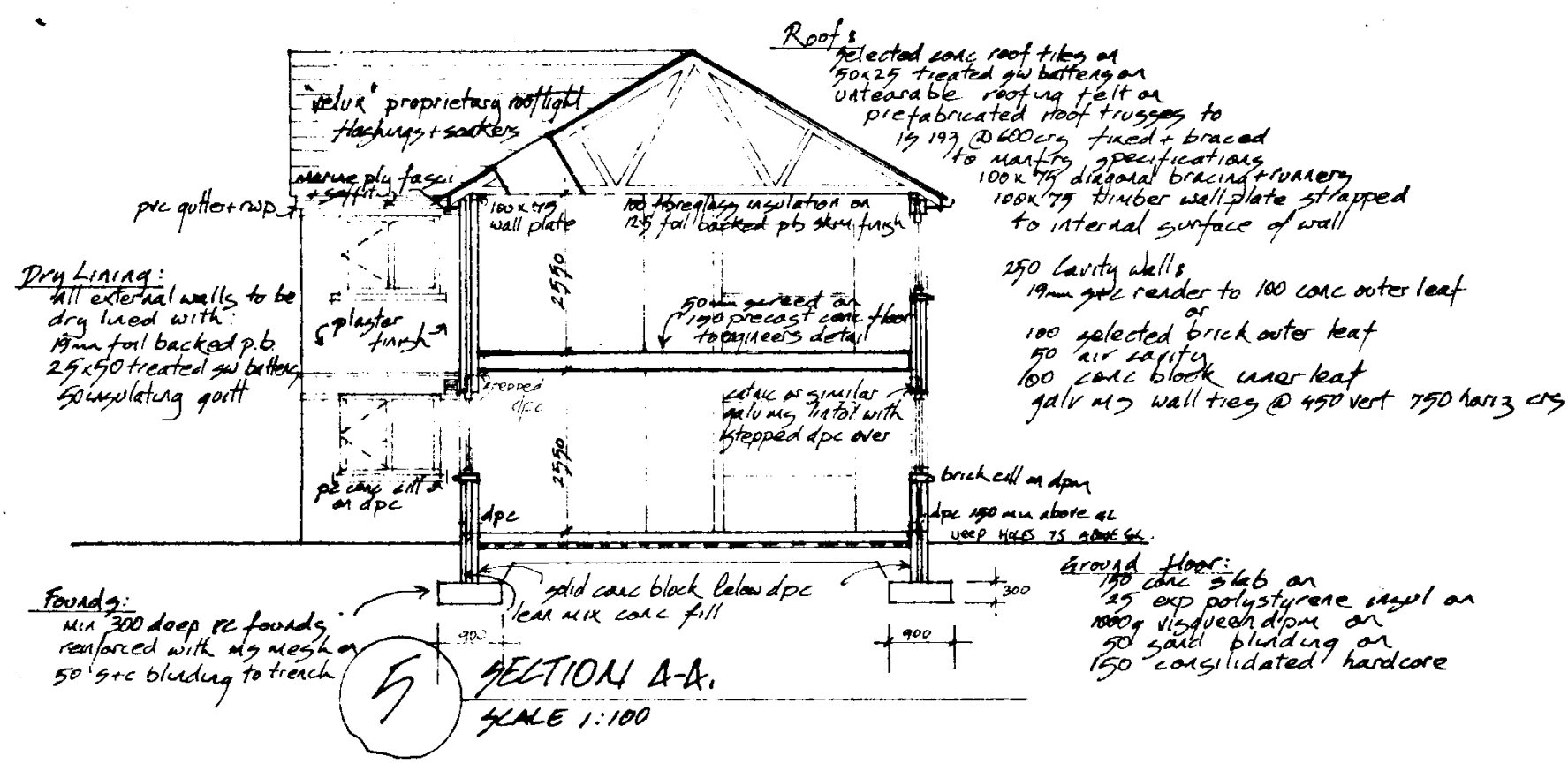
4 SIDE ELEVATION
SCALE 1:100



6 SIDE ELEVATION
SCALE 1:100



3 FRONT ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100

1 Nov. 1991
REG No. 91A 1731
APPLICATION TYPE (P/A/B/D)
NO. 10.8

John J. O'Connor & Associates
Architects & Planning Consultants
10 Boden Wood
Rathfarnham Dublin 14. Telephone 944912

JOB: PROPOSED 4 APARTMENTS TO BEAR
13 HAN STREET LUCAN CO. DUBLIN

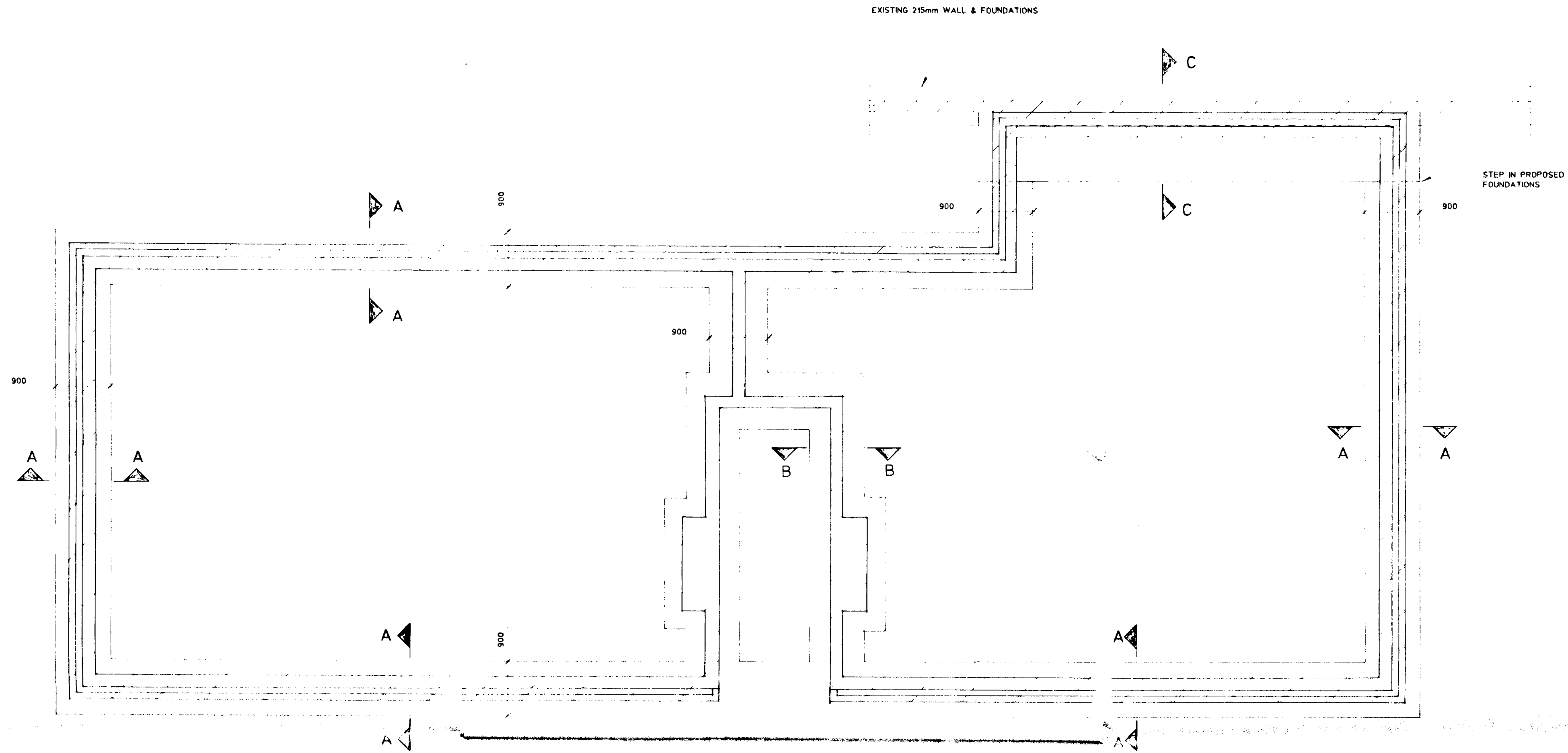
DRG: PLAN, ELEVATIONS, SECTION

date: Oct 41 scale: 1/100 drg no: 3

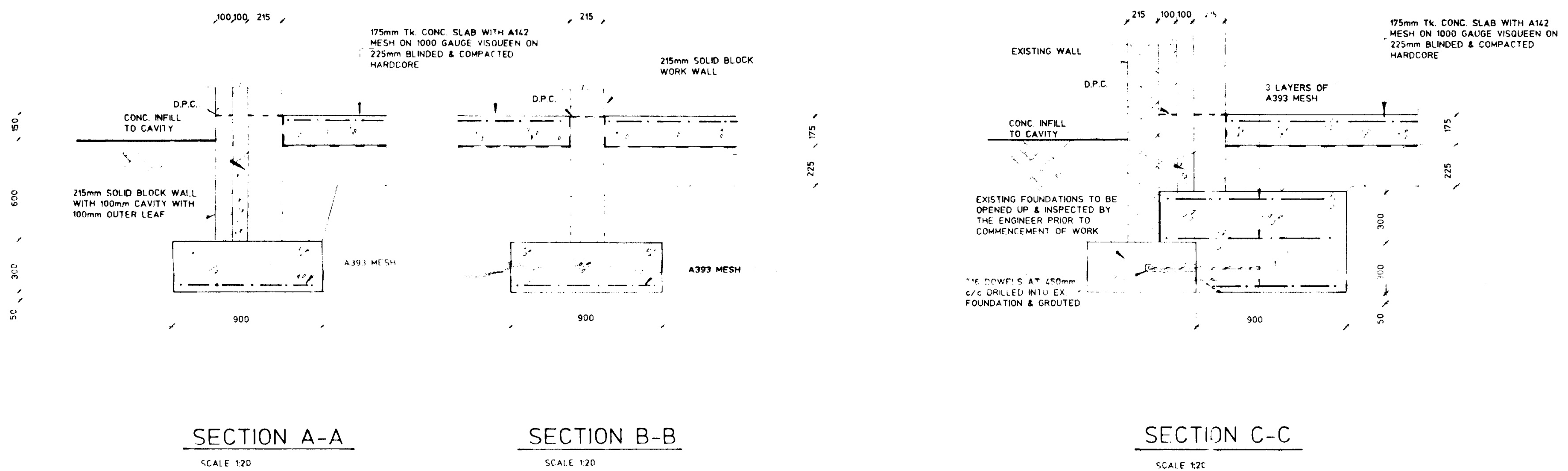
NOTES:-

- 1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL ARCHITECT'S ENGINEER'S AND SUBCONTRACTOR'S DRAWINGS.
- 2. STRUCTURAL TIMBER TO BE S.S. GRADE IMPORTED WHITEWOOD OR S.C.B. TIMBER TO S.R. 11.
- 3. MOISTURE CONTENT AT TIME OF FIXING TO BE LESS THAN 22% INCLUDING ALL TREATMENT FOR FUNGAL AND INSECT ATTACK.
- 4. PREFABRICATED ROOF TRUSSES TO BE SPECIFIED, MANUFACTURED AND ERECTED STRICTLY IN ACCORDANCE WITH S.S. 193 ALL BRACING TO ROOF TRUSSES SHALL BE 35mm x 75mm G.S. GRADE WHITEWOOD OR S.C.B. TIMBER TO S.R. 11 PLIES AT EVERY TRUSS WITH 2 NO. ROUND WIRE NAILS 75mm IN LENGTH AND 2.35mm IN DIA. COMPLYING I.S. 1087.
- 5. BRACING MEMBERS SHALL BE FIXED AT PANELS AND SEPARATING WALLS IN ACCORDANCE WITH S.S. 193.
- 6. WATER TANKS SHALL BE SUPPORTED STRICTLY IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS.
- 7. STRUCTURAL STEEL SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH S.S. 1950.
- 8. STEEL IN PERIMETER WALLS SHALL BE HOT DIPPED GALVANISED TO S.S. 109 197% TOTAL DRY FORM THICKNESS 114 MICRONS. AND PAINTED WITH 3 COATS OF HEAVY DUTY BLENDED, TOTAL DRY FORM THICKNESS 200 MICRONS.
- 9. ALL MASONRY UNITS SHALL COMPLY WITH I.S. 1077.
- 10. MASONRY SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH I.S. 1027.
- 11. STRUCTURAL CONCRETE TO BE GRADE C25 TO S.S. 3113.
- 12. BLINDING CONCRETE TO BE GRADE C15 TO S.S. 3113.
- 13. REINFORCING BARS TO BE HIGH YIELD TYPE 2 DEFORMED BARS TO S.S. 2449 OR PLAIN ROUND MILD STEEL BARS TO S.S. 2449.
- 14. REINFORCING MESH TO BE HIGH YIELD REINFORCING FABRIC TO S.S. 1482.
- 15. ALL REINFORCING BARS WILL BE 10mm IN DIAMETER UNLESS OTHERWISE SPECIFIED.
- 16. FIRE PROTECTION TO BE AS PER I.S. 10000.

RECEIVED
 02 JAN 1992
 Reg. Sec.



FOUNDATION PLAN scale 1:50.



BYE LAW

MARK O'REILLY + ASSOCIATES
 CONSULTING ENGINEERS
 GREENMOUNT HOUSE
 HAROLDS CROSS ROAD
 DUBLIN 6W
 TEL: 53 45 25
 FAX: 54 44 78

JOHN F. O'CONNOR & Assoc.

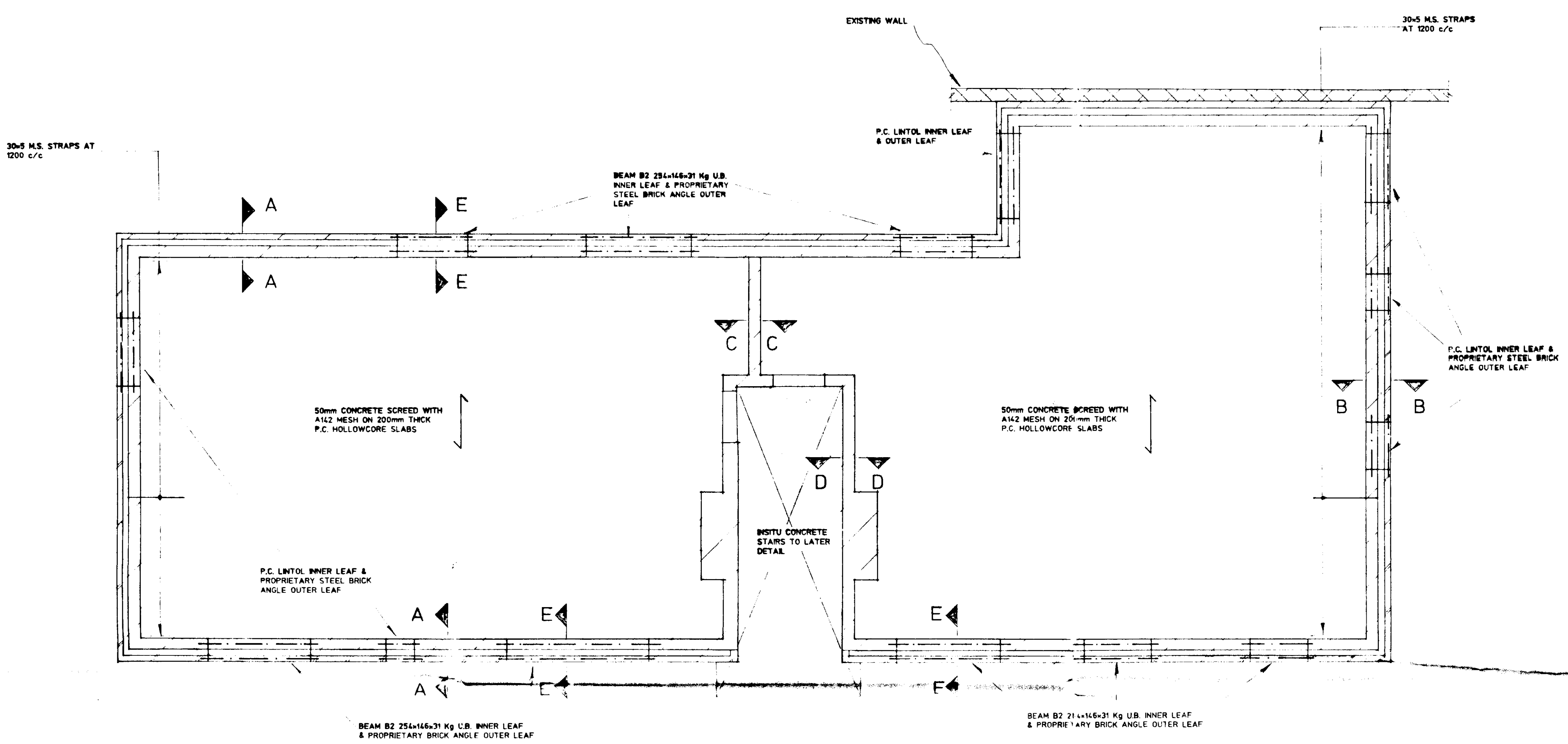
13 MAIN STREET
 LUCAN, Co. DUBLIN.

FOUNDATION PLAN & DETAILS.

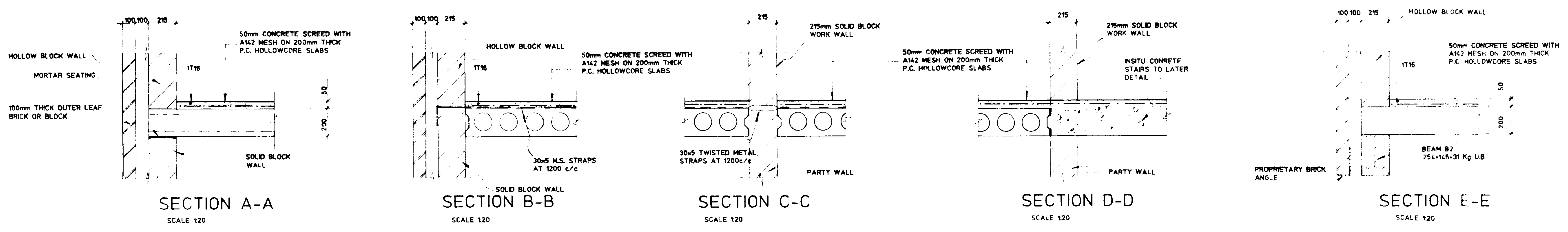
DATE	as shown	R191	01
DRWN	CHECKED	DATE	REV. NO.
		dec 16.91	

- NOTES:-**
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL ARCHITECT'S ENGINEER'S AND SUBCONTRACTOR'S DRAWINGS.
 - STRUCTURAL TIMBER TO BE G.S. GRADE IMPORTED WHITEWOOD OR S.C.B. TIMBER TO S.R. 11. MOISTURE CONTENT AT TIME OF FIXING TO BE LESS THAN 22% INCLUDING ALL TREATMENT FOR FUNGAL AND INSECT ATTACK.
 - PREFABRICATED ROOF TRUSSES TO BE DESIGNED, MANUFACTURED AND ERECTED STRICTLY IN ACCORDANCE WITH I.S.193. ALL BRACING TO ROOF TRUSSES SHALL BE 35mm x 75mm G.S. GRADE WHITEWOOD OR S.C.B. TIMBER TO S.R. 11. FIXED AT EVERY TRUSS WITH 2 NO. ROUND WIRE NAILS 75mm IN LENGTH AND 2.65mm IN DIA. COMPLYING I.S. 105.
 - BRACING MEMBERS SHALL BE FIXED AT GABLES AND SEPARATING WALLS IN ACCORDANCE WITH I.S. 193.
 - WATER TANKS SHALL BE SUPPORTED STRICTLY IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS.
 - STRUCTURAL STEEL SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH B.S. 5950.
 - STEEL IN PERIMETER WALLS SHALL BE HOT DIPPED GALVANISED TO B.S. 729, 1971. TOTAL DRY FORM THICKNESS 114 MICRONS. AND PAINTED WITH 2 COATS OF HEAVY DUTY BITUMEN. TOTAL DRY FORM THICKNESS 200 MICRONS.
 - ALL MASONRY UNITS SHALL COMPLY WITH I.S. 20.
 - MASONRY SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH I.S. 323.
 - STRUCTURAL CONCRETE TO BE GRADE C35 TO B.S. 8110.
 - BLINDING CONCRETE TO BE GRADE C10 TO B.S. 8110.
 - REINFORCING BARS TO BE HIGH YIELD TYPE 2 DEFORMED BARS TO B.S. 4449 OR PLAIN ROUND MILD STEEL BARS TO B.S. 4449. REINFORCING MESH TO BE HIGH YIELD REINFORCING FABRIC TO B.S. 4483.
 - COVER TO BARS WILL BE 50mm IN FOUNDATIONS 25mm ELSEWHERE.
 - FIRE PROTECTION TO ARCHITECT'S DETAILS.

RECEIVED
02 JAN 1992
REG. SEC.



FIRST FLOOR PLAN scale 1:50.



BYE LAW

MARK O'REILLY + ASSOCIATES
CONSULTING ENGINEERS
GREENMOUNT HOUSE
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DUBLIN 6W
TEL: 53 45 25
FAX: 54 44 78

JOHN F O CONNOR & Assoc.

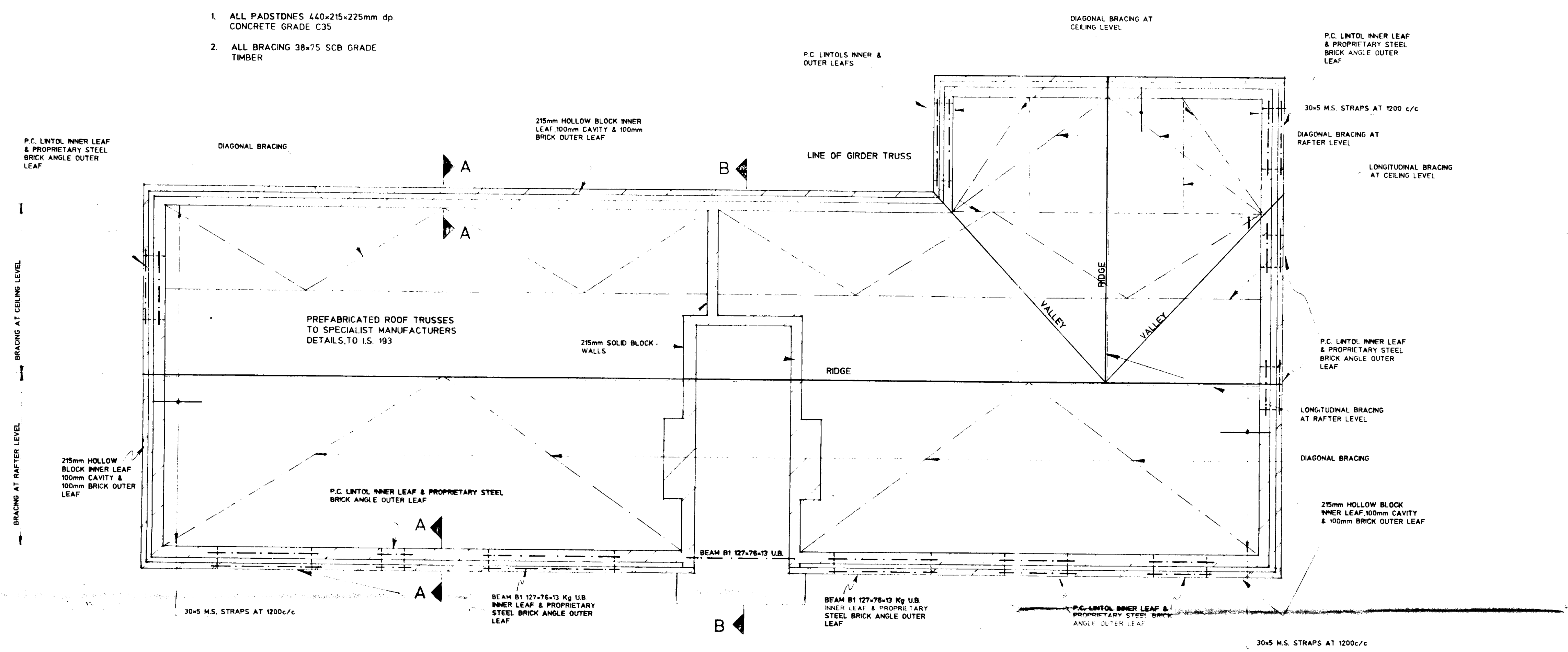
13 MAIN STREET
LUCAN Co. DUBLIN.

FIRST FLOOR PLAN & DETAILS.

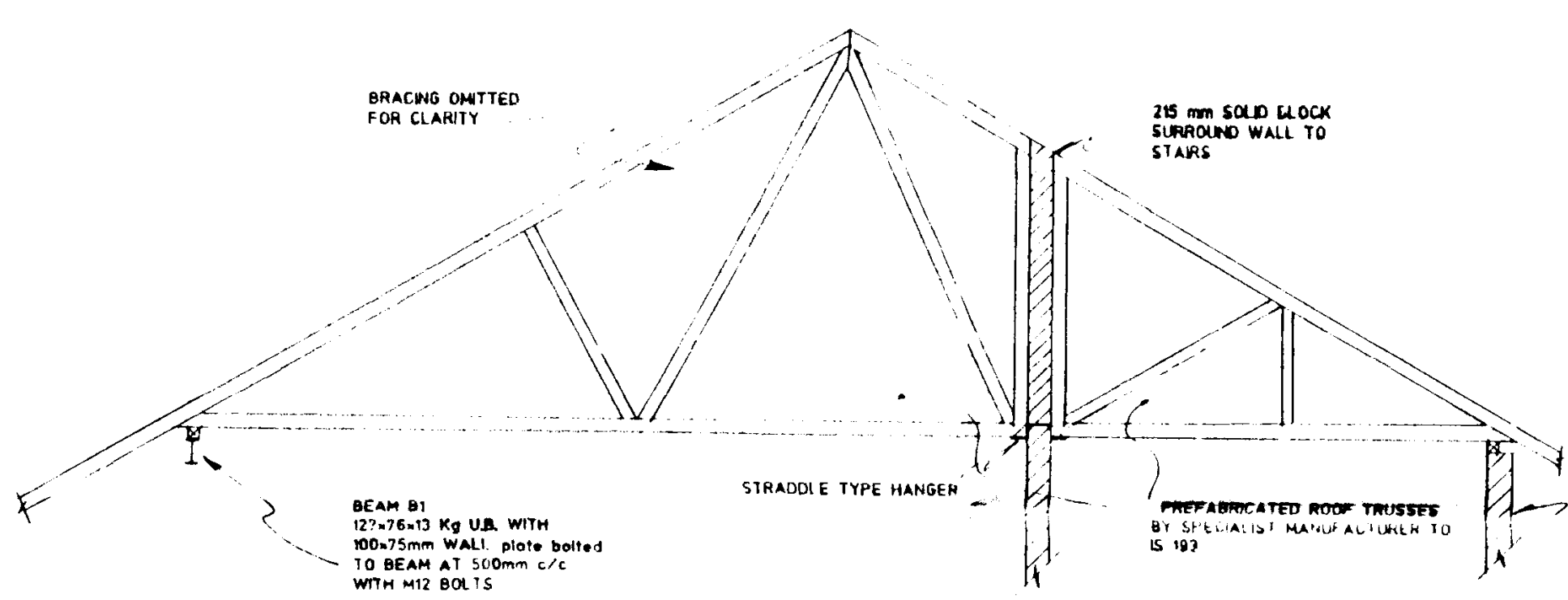
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DRAWN	CHECKED	DATE	REVISED		
		dec. 12.91			

- NOTES:-**
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 - STRUCTURAL TIMBER TO BE G.S. GRADE IMPORTED WHITEWOOD OR S.C.B. TIMBER TO S.R. 11. MOISTURE CONTENT AT TIME OF FIXING TO BE LESS THAN 22% INCLUDING ALLOWANCE FOR FUNGAL AND INSECT ATTACK.
 - PREFABRICATED ROOF TRUSSES TO BE DESIGNED, MANUFACTURED AND ERECTED STRICTLY IN ACCORDANCE WITH I.S. 193. ALL BRACING TO ROOF TRUSSES SHALL BE 150mm x 75mm G.S. GRADE WHITEWOOD OR S.C.B. TIMBER TO S.R. 11. FIXED AT EVERY TRUSS WITH 2 NO. ROUND WIRE NAILS 150mm IN LENGTH AND 2.5mm IN DIA. COMPLYING I.S. 105.
 - BRACING MEMBERS SHALL BE FIXED AT TABLES AND SEPARATING WALLS IN ACCORDANCE WITH I.S. 193.
 - WATER TANKS SHALL BE SUPPORTED EXPLICITLY IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS.
 - STRUCTURAL STEEL SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH B.S. 5950.
 - STEEL IN PERIMETER WALLS SHALL BE HOT DIPPED GALVANISED TO B.S. 729. WITH TOTAL DRY FORM THICKNESS: 114 MICRONS, AND PAINTED WITH 2 COATS OF HEAVY DUTY BITUMEN TOTAL DRY FORM THICKNESS 200 MICRONS.
 - ALL MASONRY UNITS SHALL COMPLY WITH I.S. 20.
 - MASONRY SHALL BE ERECTED STRICTLY IN ACCORDANCE WITH I.S. 305.
 - STRUCTURAL CONCRETE TO BE GRADE C35 TO B.S. 8110.
 - FINISHING CONCRETE TO BE GRADE C25 TO B.S. 8110.
 - REINFORCING BARS TO BE HIGH YIELD TYPE 2 DEFORMED BARS TO B.S. 4449 OR PLAIN ROUND MILD STEEL BARS TO B.S. 4449.
 - REINFORCING MESH TO BE HIGH YIELD REINFORCING FABRIC TO B.S. 4482.
 - COVER TO BARS WILL BE 50mm IN FOUNDATIONS 25mm ELSEWHERE.
 - FIRE PROTECTION TO ARCHITECT'S DETAILS.

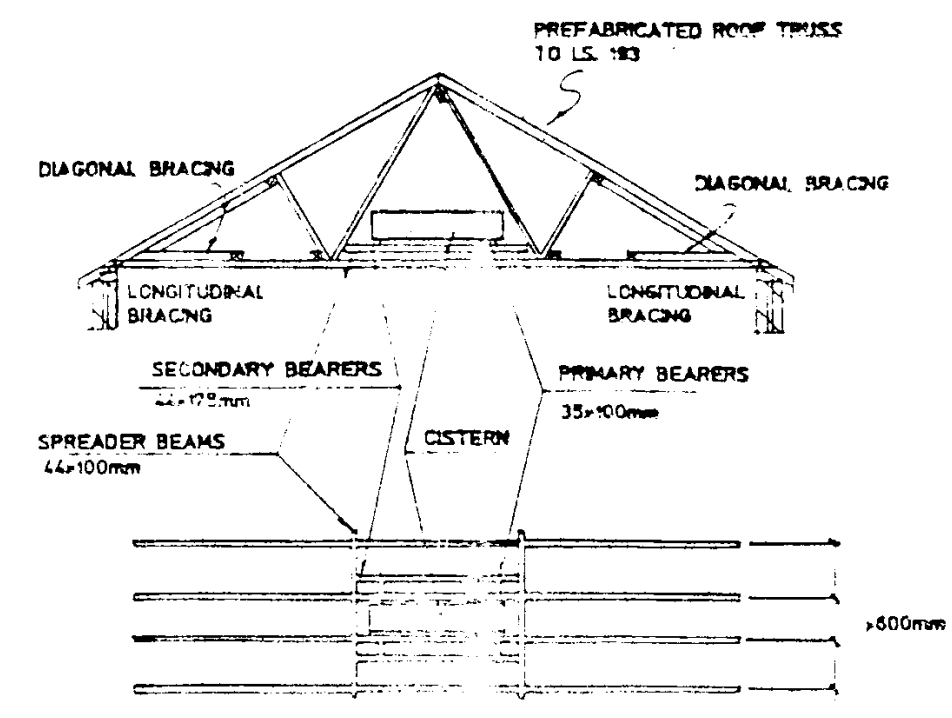
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02 JAN 1992
Reg. Sec.



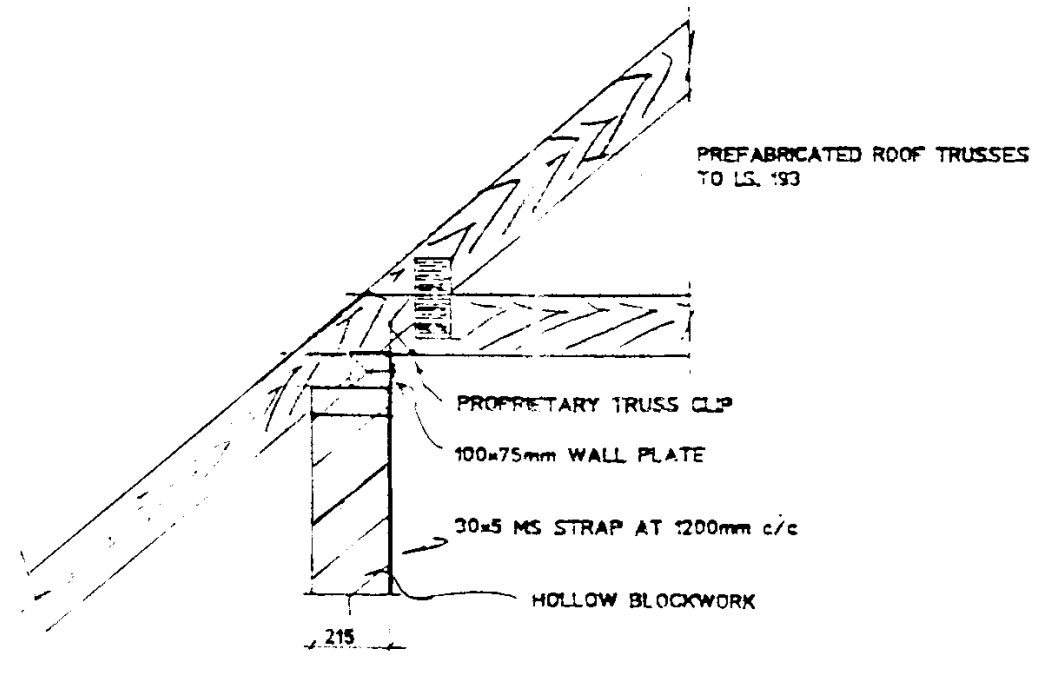
ROOF PLAN scale 1:50



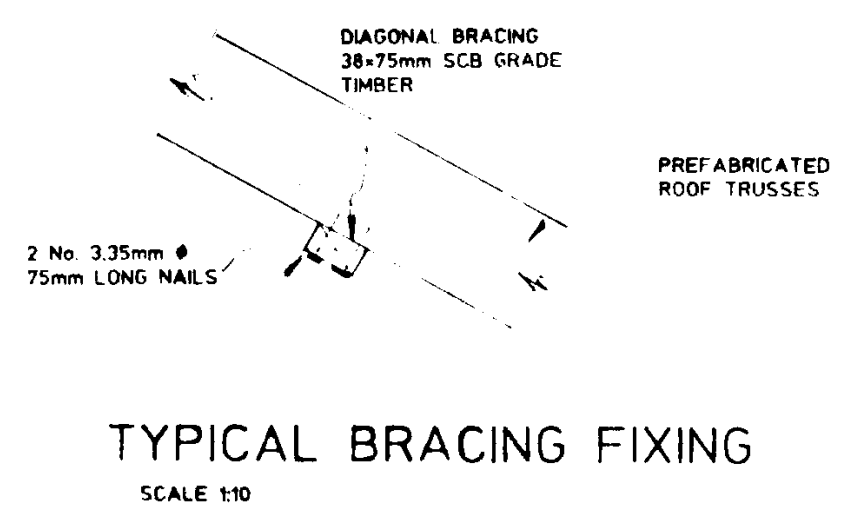
SECTION B-B
N.T.S.



METHOD OF SUPPORTING WATER TANK



SECTION A-A
SCALE 1:20



TYPICAL BRACING FIXING
SCALE 1:10

BYE LAW	
MARK O'REILLY + ASSOCIATES CONSULTING ENGINEERS GREENMOUNT HOUSE HAROLD'S CROSS ROAD DUBLIN 14 W. TEL: 53 45 25 FAX 54 44 78	
JOHN F. O'CONNOR & Assoc.	
13 MAIN STREET LUCAN Co. DUBLIN.	
ROOF PLAN & DETAILS.	
SCALE 1:50 1:10	REVISED R191 03
DRAWN 28/91	CHECKED DATE dec 17, 91