

BYE LAW APPLICATION FEES

CERTIFICATE NO.:

17129B

91A/2083

REF. NO.:

PROPOSAL:

New Sub Station In CAR PARK

LOCATION:

Crazy Prices, Hillcrest Estate, Lucon

APPLICANT:

Power Subscribers Ltd

10/24/12/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>14.0m<sup>2</sup></i>	@ £3.50 per M <sup>2</sup> or £70	<i>70</i>	<i>70</i>	—		
D	Building or other structure for purposes of agriculture	@ £1.00 per M <sup>2</sup> in excess of 300 M <sup>2</sup> Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: *[Signature]* Grade: *D/TL* Date: *9/1/92*

Column 1 Endorsed: Signed: *[Signature]* Grade: \_\_\_\_\_ Date: \_\_\_\_\_

Columns 2,3,4,5,6 & 7 Certified: Signed: *[Signature]* Grade: *S.O* Date: *8/1/92*

Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

PLANNING APPLICATION FEES

Reg. Ref... 91A/2083 ..... Cert. No. 27559

PROPOSAL... New Sub Station to Car Park .....

LOCATION... Crazy Prices, Hillcrest Estate, Lucan .....

APPLICANT... Power Supermarkets U.K. .....

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£22				
2	Domestic	@£12				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>14.0m</u>	@£1.75 per m2 or £40	<u>£40</u>	<u>£40</u>		
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: [Signature] ..... Grade 2/7E ..... Date 9/1/92

Column 1 Endorsed: Signed: ..... Grade ..... Date .....

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] ..... Grade S.P. ..... Date 8/1/92

Columns 2,3,4,5,6 & 7 Endorsed: Signed: ..... Grade ..... Date .....

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 9/A/2083

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 151 FT<sup>2</sup>  
J. Y.  
9/1/92

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ / DATED

ENTERED IN CONTRIBUTIONS REGISTER:

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DEVELOPMENT CONTROL ASSISTANT GRADE



**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

Sub station in the car park at Crazy Prices Shop, Hillcrest Estate, Lucan for Power Supermarkets Ltd.

Power Supermarkets Ltd.,  
Gresham House,  
Marine Road,  
Dun Laoghaire,  
Co. Dublin.

Reg. Ref. 91A/2083  
COMP. REC'D: 22.06.92

Report of the Dublin Planning Officer, dated 25 June 1992.

This is a submission for COMPLIANCE with Condition No. 4 of decision to Grant Permission by Order No. P/0745/92, dated, 19th February, 1992, in connection with the above.

Condition No. 4 stated:-

"The location of the proposed sub-station to be revised to eliminate impact on the adjoining dwelling house/garden. Drawings showing necessary revisions to be submitted to the Planning Authority for agreement".

Revised drawings were submitted on 22/6/92. These show the substation relocated to the north eastern boundary of the site with the Lucan By Pass.

The site was inspected on 24/6/92, construction works had commenced at this revised location.

The revised proposal is considered acceptable. I recommend that the applicants be informed accordingly.

(MG/BB)

*[Signature]*  
For Dublin Planning Officer

Endorsed:- *[Signature]*  
for Principal Officer

Order:- Applicant to be informed as set out in the above report.

Dated: 23<sup>rd</sup> June, 1992.

*[Signature]*  
Assistant County Manager/Approved Officer

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated

13<sup>th</sup> July 1992

P/745/92

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/2083

Date Received : 24th December 1991

Correspondence : Power Supermarkets Limited,  
Name and : Gresham House,  
Address : Marine Road,  
Dun Laoghaire.

CONTRIBUTION:	
Standard.	<i>ml</i>
Bond / C.I.F.:	
Cash:	

Development : sub station in the car park

Location : Crazy Prices Shop, Hillcrest Estate, Lucan, Co. Dublin.

Applicant : Power Supermarkets Limited,

App. Type : Permission

Zoning :

Floor Area : Sq.metres

(MG/BB)

Report of Dublin Planning Officer dated 17th February, 1992.

This is an application for PERMISSION for a sub station in the car park of Crazy Prices Supermarket, Killcrest Estate, Lucan for Power Supermarkets Ltd.

Reg. Ref. No. 90A/55, 91A/867 and 91A/1735 refer to previous applications for various extensions/alterations to this existing Supermarket.

The current application provides for erection of a substation to the east of the Carparking area adjoining the boundary with No. 107 <sup>Crazy Prices</sup> Hillcrest Drive. This will have a floor area of 14 sq. metres (stated) and will extend some 2.78 metres in height. There is an existing 2.1 metre boundary wall between the proposed site and the adjoining house. The substation is to have a pebble dash finish to match existing boundary wall.

The car parking arrangement at the site has been altered to provide access to the sub station and involves an additional 3 spaces. A landscape strip <sup>to be</sup> provided along the boundary with the adjoining house.

Roads Department report *not received*

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/2083

Page No: 0002

Location: Crazy Prices Shop, Hillcrest Estate, Lucan, Co. Dublin.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (14) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That details of landscaping treatment along the eastern boundary of the site adjoining the proposed substation to be submitted for agreement of Planning Authority.

02 REASON: In the interest of the proper planning and development of the area.

03 That the requirements of the <sup>Are</sup> ~~Supervising Environmental Health~~ Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

04 The location of the proposed sub-station to be revised to eliminate impact on the adjoining dwelling-house garden. Drawings showing necessary revisions to be submitted to the Planning Authority for agreement.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Reg.Ref: 91A/2083

Page No: 0003

Location: Crazy Prices Shop, Hillcrest Estate, Lucan, Co. Dublin.

Endorsed: *[Signature]*  
for Principal Officer

*[Signature]* A/S  
for Dublin Planning Officer

order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

Dated: 19<sup>th</sup> FEBRUARY 1992

*[Signature]*  
ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 1991.

Power Supermarkets Ltd.,  
Gresham House,  
Marine Road,  
Dun Laoghaire,  
Co. Dublin.

91A/2083

22 July 1992

Re: Sub station in the car park at Crazy Prices Shop,  
Hillcrest Estate, Lucan for Power Supermarkets Ltd.

Dear Sir,

I refer to your submission received on 22nd June, 1992, to comply with Condition No. 4, of decision to grant permission by Order No. P/0745/92, dated, 19th February, 1992, in connection with the above.

In this regard, I wish to inform you that the revised proposal received on 22nd June, 1992, is in compliance with Condition No. 4 of decision to grant permission by Order No. P/0745/92 dated 19th February, 1992.

Yours faithfully,

  
for Principal Officer.





Dublin Co. Co,  
Planning Dept,  
Block 2,  
Irish Life Centre,  
Lr. Abbey Street,  
Dublin 1.

28th May 1992,

F.A.O: Ms Geraldine Boothman:

Dear Ms. Boothman,

REF: GRANT ORDER NO P/1421/92 DATED 2/4/92  
PROPOSED NEW SUB STATION CRAZY PRICES LUCAN:

Please find enclosed 3 copies of our drawing no QW29-11A showing new location for the above sub station. This location has been carefully chosen so as not to interfere with existing underground services (HT Cables) and eliminate impact on nearby housing.

I trust this meets with your approval and please do not hesitate to contact me should you have any queries.

Yours faithfully,

Vincent Quish/mr  
PROJECTS MANAGER.

91A/2083

1-1.0

Long



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 0745 /92 Date of Decision : 19th February 1992

Register Reference : 91A/2083 Date Received : 24th December 1991

Applicant : Power Supermarkets Limited,

Development : Sub station in the car park

Location : Crazy Prices Shop, Hillcrest Estate, Lucan, Co.  
Dublin.

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- .....4.....ATTACHED.

Signed on behalf of the Dublin County Council.....

*J. de Rosier*  
for Principal Officer

Date:.....19/2/92.....

Power Supermarkets Limited,  
Gresham House,  
Marine Road,  
Dun Laoghaire.

Reg.Ref. 91A/2083  
Decision Order No. P/ 0745 /91  
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,  
Bloc 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1,  
Dublin 1.  
Telephone (01) 724755  
Fax (01) 724896

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.  
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That details of landscaping treatment along the eastern boundary of the site adjoining the proposed substation to be submitted for agreement of Planning Authority.  
REASON: In the interest of the proper planning and development of the area.
- 03 That the requirements of the Fire Officer be ascertained and strictly adhered to in the development.  
REASON: In the interest of health.
- 04 The location of the proposed sub-station to be revised to eliminate impact on the adjoining dwelling house/garden. Drawings showing necessary revisions to be submitted to the Planning Authority for agreement.  
REASON: In the interest of the proper planning and development of the area.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/2083

Date : 3rd January 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : sub station in the car park

LOCATION : Crazy Prices Shop, Hillcrest Estate, LUCAN, Co.  
Dublin.

APPLICANT : Power Supermarkets Limited,

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application  
received on 24th December 1991.

Yours faithfully,

.....  
for PRINCIPAL OFFICER

Power Supermarkets Limited,  
Gresham House,  
Marine Road,  
Dun Laoghaire.





PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission  Outline Permission  Approval  Place in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building CRAZY PRICES, HILLCREST ESTATE, LUCAN  
(If none, give description sufficient to identify) COUNTY DUBLIN

3. Name of applicant (Principal not Agent) POWER SUPERMARKETS LIMITED

Address GRESHAM HOUSE, MARINE RD, DUN LAOGHAIRE Tel. No. 2808441

4. Name and address of person or firm responsible for preparation of drawings POWER SUPERMARKETS LIMITED Tel. No. \_\_\_\_\_

5. Name and address to which notifications should be sent POWER SUPERMARKETS LIMITED

6. Brief description of proposed development NEW SUB STATION IN CRAZY PRICES CAR PARK

7. Method of drainage PUBLIC DRAINS 8. Source of Water Supply PUBLIC

9. In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used. \_\_\_\_\_  
(b) Proposed use of each floor. \_\_\_\_\_

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? \_\_\_\_\_

11.(a) Area of Site \_\_\_\_\_ Sq. m.

(b) Floor area of proposed development 14 \_\_\_\_\_ Sq. m.

(c) Floor area of buildings proposed to be retained within site \_\_\_\_\_ Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

SUBSTANTIALLY

15. **DUBLIN COUNTY COUNCIL** Planning and byelaw approval sought for the erection of a sub station in the car park of Crazy Prices Shop, Hillcrest Estate, Lucan, Co. Dublin for Power Supermarket Ltd.  
4 NO COPIES OF SPECIFICATION, 4 COPIES DWG NO 1 ELEVATION + SECTIONS.  
4 NO COPIES DWG NO 2 CONSTRUCTION DETAILS.  
4 NO COPIES DWG NO 3 SW29-11 SITE PLAN.  
4 COPIES SITE LOCATIONS.  
1 CHEQUE FOR 110.00 1 COPY OF STRIK PRES DATE 19-12-91

16. Gross floor space of proposed development (See back) \_\_\_\_\_ Sq. m.

No of dwellings proposed (if any) \_\_\_\_\_ Class(es) of Development \_\_\_\_\_

Fee Payable £ 110 Basis of Calculation PLANNING FEE 1175 PER M MIN 140 = 110

If a reduced fee is tendered details of previous relevant payment should be given  
BYE LAW FEE 1250 PER M MIN 170 = 170 - TOTAL 110.00

Signature of Applicant (or his Agent) P/B Date 23/12/91

Application Type P/B FOR OFFICE USE ONLY

Register Reference 91A/2083

Amount Received £ 116.4

Receipt No \_\_\_\_\_

Date \_\_\_\_\_

RECEIVED  
24 DEC 1991  
REG. SEC.

Print Press  
19/12/91

140 24/12  
NS4262

170 54479

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.

**NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structures to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Ln. Abbey Street, Dublin 1, Tel. 724755.

**SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

**INDUSTRIAL DEVELOPMENT:**

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

<u>PLANNING APPLICATIONS</u>			<u>BUILDING BYE-LAW APPLICATIONS</u>		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m <sup>2</sup> (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m <sup>2</sup> in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m <sup>2</sup> (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.



# COMHAIRLE CHONTAE ATHA CLIATH

PAID BY  DUBLIN COUNTY COUNCIL

CASH

CHEQUE

M.O.

B.L.

L.T.

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

Issue of this receipt is not an  
acknowledgement that the fee  
tendered is the prescribed application  
fee. N-34252

£ 40.00

Received this 20th day of December 1977

from Power Supermarkets Ltd,  
Creskham House  
Mawine Rd.

the sum of forty Pounds

planning application at Hillcrest Estate

Shelagh Deane Cashier

S. CAREY Principal Officer Class 4

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,  
DUBLIN 1.

BYE LAW APPLICATION

PAID BY  
CASH  
CHEQUE  
M.O.  
I.T.

REG. NO. N 54479

£ 70.00

Received this 24<sup>th</sup> day of December 19<sup>th</sup>

from *Powers Supermarkets Ltd,  
Greesham House,  
Marine Rd.*

the sum of *seventy* Pounds

*bye-law application at* Pence being *for* *Houses* *estate*

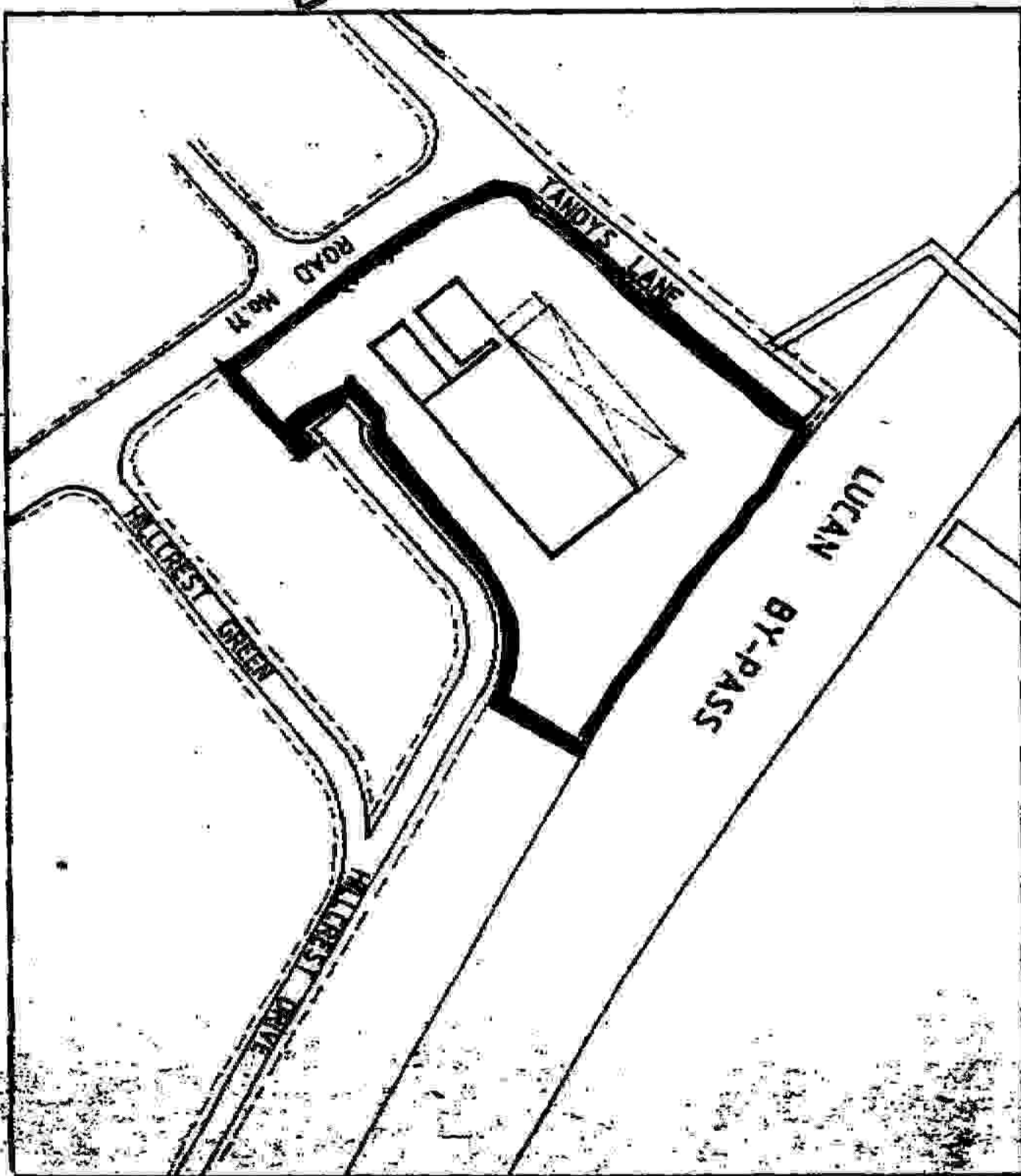
*Michael Deane* Cashier

*S. CAREY* Principal Officer



DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
24 DEC 1991  
REG No. 92/A/2083

SITE LOCATION MAP



SCALE 1:2500

**NOTES**

**1. General:**

This drawing must be read in conjunction with the "General Specification for 10kV Substation and Metering Switchroom Buildings".

The structure shall be of brick, concrete block or equivalent material and comply with the best practise for permanent damp proof buildings.

**2. Doors:**

Doors shall be of galvanised steel as specified. The masonry opening for double doors should be 2.44m high by 1.83m wide.

**Ventilation:**

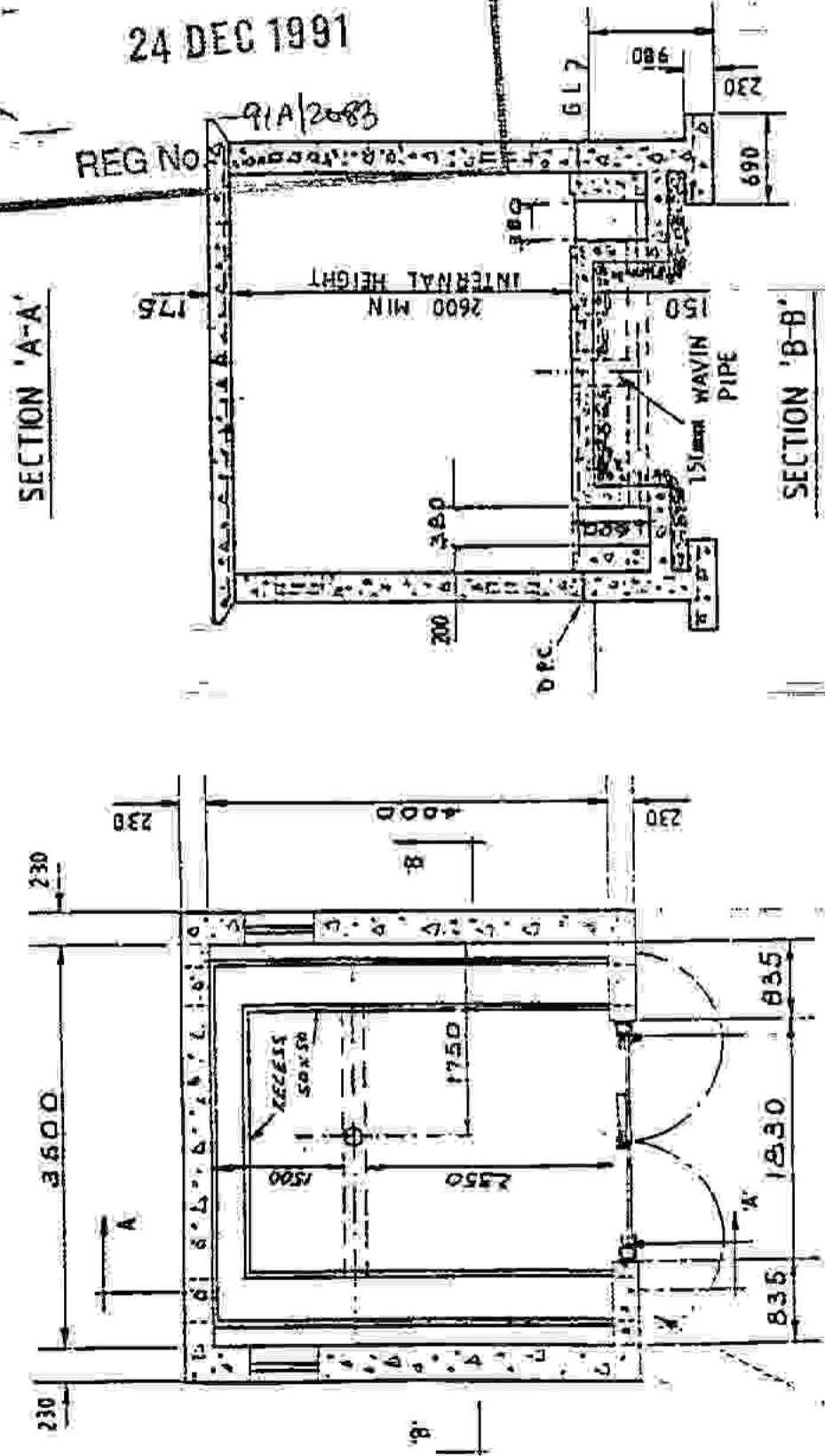
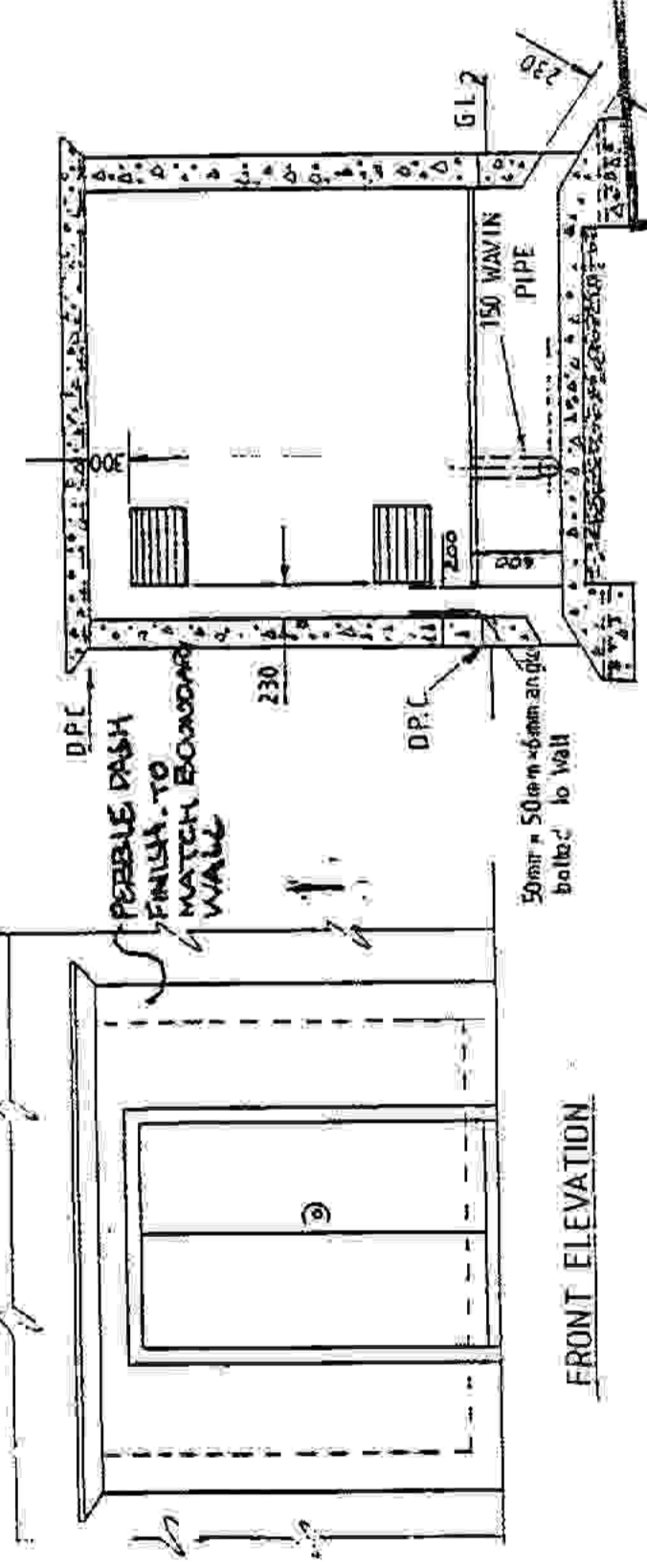
Where additional ventilation is required use vented door

This drawing also applies to 10kV Free Standing Metering Switchrooms which accommodate a Transformer to feed the network.

DWG NO. 1. ELEVATIONS + SECTIONS.

STANDARD BUILDING DETAILS FOR  
M.V./LV. INDOOR SUBSTATION -  
SUBSTATION IS FREESTANDING

ELECTRICITY SUPPLY BOARD IRELAND



DUBLIN COUNTY COUNCIL  
Planning Dept. Registry Section  
APPLICATION RECEIVED  
24 DEC 1991

DRAWN	207	3/82
TRACED	146	5/82
CHECKED	20	3/85
APPROVED	71	6/77
M'FILMED		
SCALE	N.T.S.	

7	15	12/90
6	14	11/89
5	14	11/89
4	14	11/89
3	14	11/89
2	14	11/89
1	14	11/89

SECTIONAL PLAN

DEPTH OF DUCTS ADDED

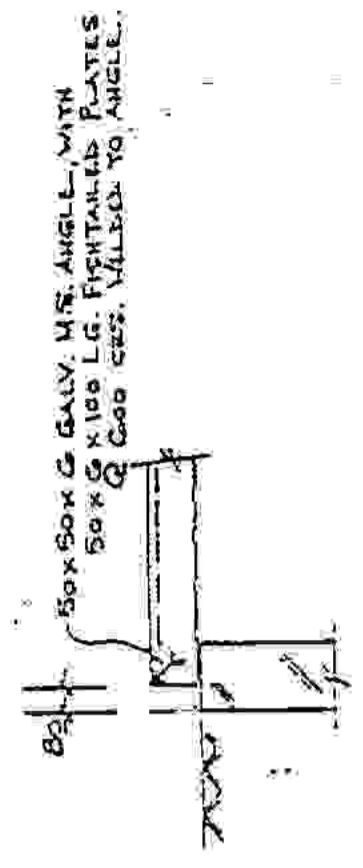
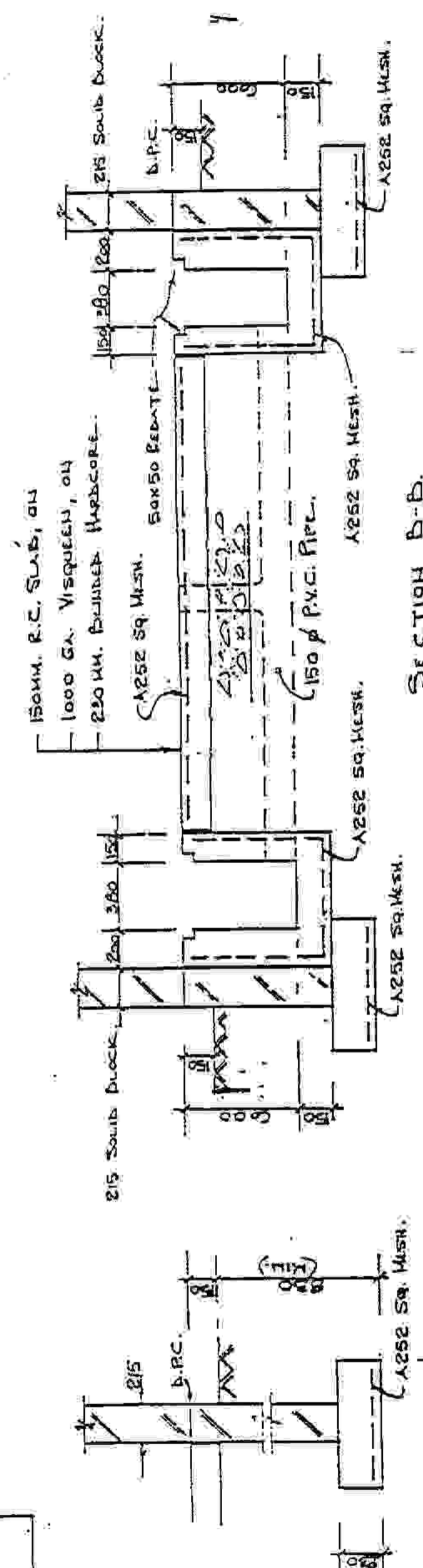
ROOF DIMENSION INCREASED

DIMENSIONS ALTERED

RECESSES EXTENDED

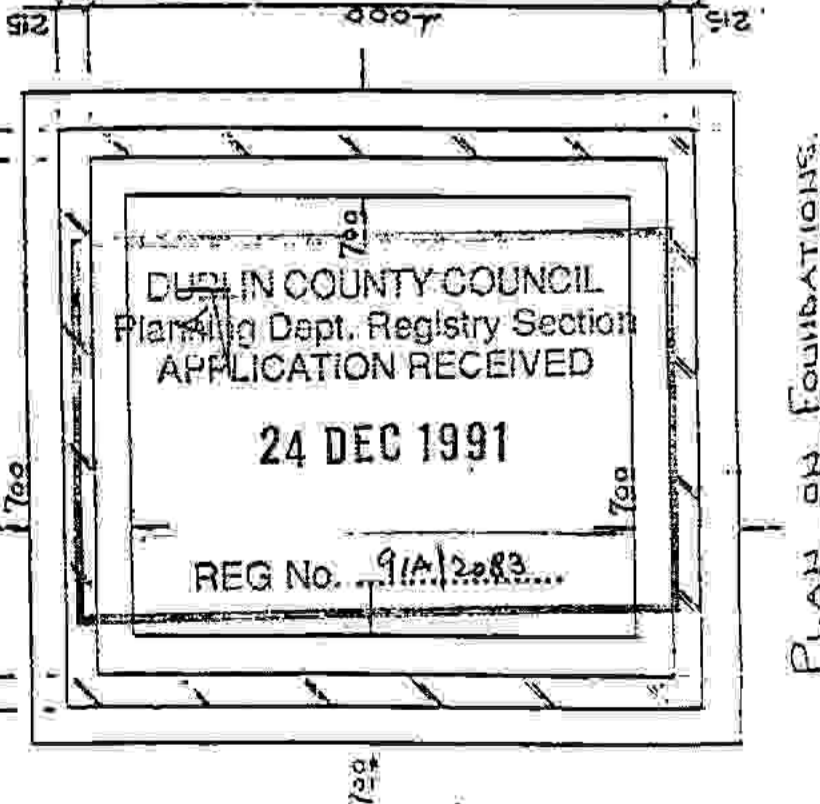
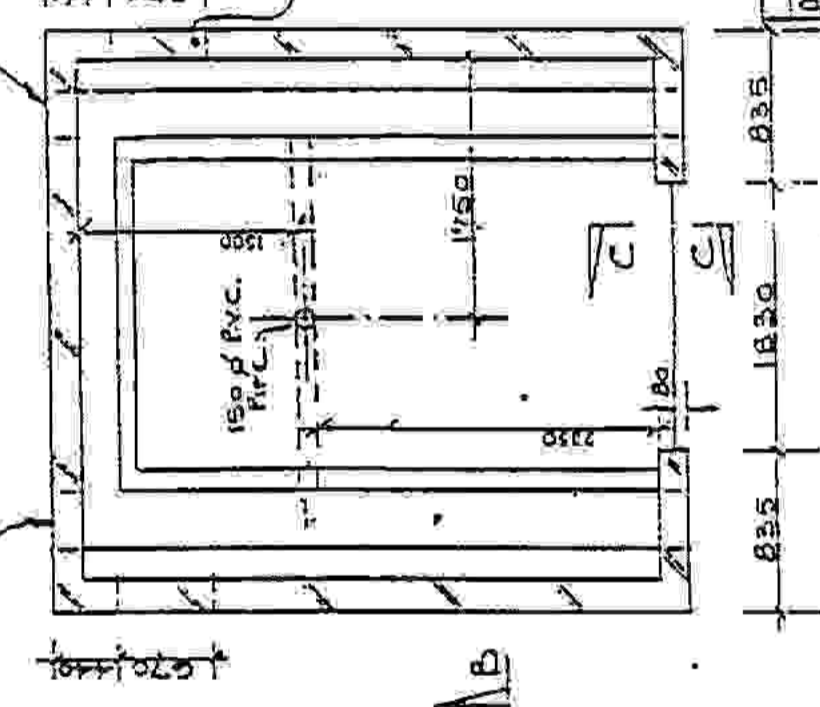
NOTE RE CABLE DUCT ADDED

1/10



FORM 220 BEEP OPES IN WALLS AT ENDS OF EACH BUILT FOR CABLE ENTRY.

2 NO. 67x450MM OPES IN EACH WALL FOR ALUMINIUM LOUVERED VENTS (SEE DETAIL C5609 C). TOP OF OPES 200 BELOW ROOF SLAB. BOT. OF OPES ABOVE FLOOR SLAB.



DWG NO. 2. CONSTRUCTION DETAIL

Disc	Rev	Date	App	By	Scale

Medium Voltage Sub-Station Building  
Details of Foundations and Floor Slab

E.S.B.

Original 3/4 size 350 x 267 (A3)



GENERAL SPECIFICATION FOR  
MV SUBSTATION & METERING  
SWITCHROOM BUILDINGS

NOTE:

Throughout this Specification, the word "Substation" may be replaced with "Metering Switchroom", except in the Specification of Internal Dimensions.



GENERAL SPECIFICATION FOR

MV SUBSTATION AND METERING SWITCHROOM BUILDINGS

1. GENERAL: The substation is to be built and completed in accordance with the enclosed drawings: (D202506, D202507 and D202508).
- 1.1 Introduction: The 'Purchaser', 'Employer' and 'Engineer' refer here to the party (or their agents) whose need for electricity supply requires the building of the substation. The actual substation building and rights of access will be the property of ESB as provided by the Purchaser free of charge under the Conditions Governing Electricity Supply at Medium Voltage.
- 1.2 Indenture of Contract: The Contractor will be required to enter into a formal indenture of Contract with the Purchaser of the substation building (not ESB) which will include the General Conditions of Contract, Drawings, Specification and any further clauses deemed necessary to ensure the completion of the works, and the proper protection of the parties to the Contract.
- 1.3 Conditions of Contract: The conditions of Contract applicable to this Contract shall be the "Conditions of Contract and Forms of Tender, Agreement and Bond for Use in Connection with Works of Civil Engineering Construction" Third Edition 1980 adopted by the Institution of Engineers of Ireland jointly with the Association of Consulting Engineers and the Civil Engineering Contractor's Association as amended, and added to by the attached Amendments and Additions, the Form of Tender, the Bill of Quantities and the drawings and such other drawings and instructions as shall be supplied to the Contractor by the engineer from time to time during the progress of the work.

- 1.4 Prime Cost: - The words "Prime Cost" or initials "PC" applied herein to goods fixed by the Contractor shall mean the sum paid to Specialist Firms or Merchants, after deducting all trade or any other discount for such in the ordinary course of delivery and shall be exclusive of the cost of fixing and the Contractor's profit.
- 1.5 Provisional Amount: - All provisional amounts in quantities are to be at the entire disposal of the Engineer who may add to or deduct from same or make alterations he deems necessary. Any difference shall be adjusted in the settlement of accounts.
- 1.6 Vouchers: - All vouchers received by the Contractor in respect of PC, Items and Provisional Amounts shall be produced when required by the Engineer.
- 1.7 Payments: - Payments shall be agreed between the Purchaser and the Contractor.
- 1.8 Plant: - The Contractor must provide all and every kind of scaffolding, platform ladders, tools, tackle, hoists, machinery, rods, stakes, wooden boxes as measures and everything else in the nature of plant which will be required.
- 1.9 Sheds and Latrines: - The Contractors must provide all sheds for storage of materials and latrines for the use of workmen. An area should be designated by the Purchaser for their location. All sheds and surplus materials must be cleared off the site on completion and the areas occupied by same made good.
- 1.10 Watching and Lighting: - The Contractor shall make provision for all necessary watching and lighting at all times for the protection and safety of the works.
- 1.11 Notices: - The Contractor shall allow for and serve all notices to Authorities and persons, making all applications to such and paying all fees legally demanded and indemnifying ESB against all claims and charges in connection therewith.

- and the Contractor shall observe the  
provision of all Acts passed or  
adopted by the Oireachtas which may  
in any way affect the execution of  
the work. The Contractor shall  
observe all Orders, Rules,  
Regulations, Bye-Laws of Local  
Authorities and shall indemnify the  
Employers against all claims or  
liabilities arising.
- 1.13      Setting Out of Works:      The works shall be carefully set  
out, checked and kept correct.  
Errors made in the setting out  
together with errors in the  
subsequent work, shall be the sole  
responsibility of the Contractor and  
shall be corrected at his expense.
- 1.14      Dimensions:      All figured dimensions on the  
drawings are to be taken in  
preference to scale.
- 1.15      Other Contractors:      In the event of other Contractors,  
Specialists or persons being engaged  
upon the site, the Contractor will  
be required to give free access to  
such Contractors, Specialists or  
persons and allow them the free use  
of scaffolding and plant and space  
for working and storage of  
materials.
- 1.16      Protection of Works:      Any part of the works liable to  
injury shall be properly cased up  
and protected. Where in the opinion  
of the Engineer, or as conveyed to  
him by an ESB representative, work  
has been injured due to want of  
proper protection, the work shall be  
made good at the expense of the  
contractor.
- 1.17      Foreman:      Should the Contractor employ a  
competent full time Foreman during  
the currency of the contract who  
shall be actively engaged on the  
supervision of the works during all  
working hours, then the Foreman  
shall be deemed to represent the  
Contractor and all instructions  
given to him by the Engineer shall  
be binding as if given direct to the  
Contractor.

- 1.18      Take Charge of Works:      Allow for taking complete charge of the works from commencement until completion and thereafter for the duration of the maintenance period (six months). Also, allow for being responsible for and making good all injuries and damages occasioned by defective materials, workmanship or causes over which the Contractor has control. The Contractor shall indemnify the Employers against all claims for injuries to persons, animals or property.
- 1.19      Clearing Away at Completion:      On completion of the works, the Contractor shall clear away all sheds, offices, latrines, plant, surplus materials, waste and rubbish and leave the site clean and tidy.
- 1.20      Insurances:      Provide for effecting an Insurance protecting the Contractor and ESB jointly and severally against and Third Party Risks and Claims arising from or in connection with the work. The Contractor's Public Liability Policy shall be for £1,000,000.
- Provide for paying Employers' Contributions under the Unemployment Insurance Act, the National Health Insurance Act, and all amending and extending Acts, the Widows' and Orphans' Pensions Act, the Holidays (Employees) Act, and the Intermittent Employment Act, and any other Act or Acts that may be in force at the date of tendering.
- The Fire, Third Party and Workmen's Compensation policies are to be endorsed to cover the Electricity Supply Board as Principal. The Contractor's attention is drawn to Clause 59, Subsection A (1) (B) of the ICEI Conditions of Contract which will be strictly enforced.
- 1.21      Insurance Guarantee:      ESB will require the Contractor at his own expense to enter into an Insurance Guarantee approved by ESB for 25% of the Contract amount for the due performance and completion of the Contract.



contingencies:

~~The Contractor shall provide an~~  
estimate the sum of £1,000.00 which shall be at the disposal of the Engineer in connection with contingencies which may arise during the period of the contract. This amount shall be deducted in whole or in part by the Engineer if not required.

1.23 Discrepancies:

In case of any discrepancies between drawings and specification, the ESB representative will decide which shall be followed.

1.24 Safety:

The Contractor will be required to administer and control his site activities in a manner conducive to the achievement and maintenance of adequate safety for his employees and those for whom he has a responsibility. The Contractor's attention is specially drawn to the obligation for strict compliance with the Safety in Industry Acts 1955 and 1980.

It shall be the responsibility of the Contractor to ensure that the requisite items of safety apparel and equipment necessary for the various working conditions pertaining are available and utilised by both his staff and those of the sub contractors.

The Contractor shall provide for the incorporation of safety devices on all plant. All plant which becomes defective shall immediately cease work.

In addition, the Contractor shall ensure that only personnel necessary for the ongoing work are permitted onto the site and that all admitted personnel are aware of all precautions to be observed. Precautions shall also be taken with the erection and storage of ladders, scaffolding and any other climbing aids to ensure that they are not used to gain unauthorised access to the station.



2. DESCRIPTION OF MATERIALS AND WORKMANSHIP:
- 2.1 Generally: All materials shall be the best of their respective kinds and of Irish origin wherever possible. Workmanship is to be of the best possible description and to the entire satisfaction of the Engineer.
- 2.2 Unsound Materials: The Contractor shall not be entitled to any remunerations or allowances for the delay in progress of the works occasioned by the order of the Engineer for the removal of unsound or imperfect materials or workmanship.
- 2.3 Setting Out and Levels: No excavation is to be started until the position of works included in the Contract has been set out, the levels of existing ground recorded and the proposed road and drain levels shown on layout plan have been indicated on the ground with timber pegs by the Contractor's representative in consultation with the Clerk of Works.
- 2.4 Excavation: Quantities for excavation are taken nett. The Contractor's price is to take this into account as no further allowance for shuttering, etc., will be allowed. Excavation in rock is taken as nett. The Contractor's unit price for excavation is to include for removal of all surplus materials from the site.
- 2.5 Inspection of Excavations: The Contractor shall notify the Engineer when excavations are complete, and no concrete is to be poured until the Engineer has examined the excavated areas and approved of same.
- 2.6 Level and Consolidate: Bottoms of all excavations are to be levelled and consolidated before any concrete is poured or hardcore placed in position.
- 2.7 Planking and Strutting: Provide and fix all temporary planking and everything required to retain the face of excavation. Shuttering quantities are taken in the Bill of Quantities as Provisional for all foundations. Where shuttering is not used, the plan dimensions are to be increased by 150mm overall. The Tenderer's unit rates are deemed to cover this.

- 2.8 Excavation Free from Water: All excavations are to be kept free from all storm or percolating water by bailing, pumping or otherwise. The Contractor's unit rate will be deemed to include for all pumping etc. required.
- 2.9 Hand Excavation near Live ESB Cables: All excavations near live ESB cables are to be carried out by hand and under the supervision of ESB's representative.
- 2.10 Hardcore: In no case will "pitrun" gravel be allowed as hardcore. Hardcore is to be composed of broken brick or stone of size 75mm to 150mm consolidated in layers not exceeding 225mm with at least 8 passes of a 10 ton roller and blinder with coarse sand or gravel.
- 2.11 Blockwork: Shall be fairfaced solid concrete blocks; crushing strength 7N/MM<sup>2</sup> to comply with BS 5628. Blocks are to be laid and jointed in 3:1 sand cement mortar.
- 2.12 Mortar: Cement mortar shall consist of one part by volume of sand (unless other proportions are included in the Bill of Quantities or on the drawings) and shall be accurately gauged and thoroughly mixed, using the minimum amount of water required for workability. It shall be made in small quantities only, and any mortar which has begun to set or which has been mixed for more than half an hour or otherwise damaged will be rejected.
- 2.13 Concrete:
- 2.13.1 Materials:
- 2.13.1.1 Cement: Cement shall be ordinary Portland Cement of Irish manufacture, complying with Irish Standard 1 or BS 12. The use of other cements shall be subject to the Engineer's written approval, and the Contractor shall store them separately and take all precautions in their use including the investigation of the use of suitable methods, equipment, aggregates and other ingredients to be employed with them. High alumina cement shall not be used without written permission.



2.13.1.2 Aggregates:

Concrete aggregates shall normally consist of naturally occurring materials, from a source to be approved by the Engineer and to be open to his inspection before the start of the works and during their progress. They shall comply with BS 882 or IS 5 and shall be supplied as fine and coarse aggregates. An all-in aggregate will not be allowed for any reinforced concrete work.

Fine aggregate shall be clean, sharp, natural pit sand or sand derived from crushing gravel or stone; it shall be graded within the required BS Grading limits for Class "A" natural sand and shall be free from all clay, organic matter or any deleterious substances.

Coarse aggregate shall be crushed or uncrushed gravel or stone; it shall be clean and evenly graded to the maximum sizes specified and within the required BS Grading limits for 20mm and 40mm coarse aggregates.

Fine and coarse aggregates shall be delivered and stored separately.

Aggregates which do not comply with the specification or which have become contaminated, defective or otherwise unsatisfactory shall be removed from the site, or otherwise disposed of to the Engineer's satisfaction.

2.13.1.3 Water:

Where not supplied by the Client under contract, water for the mixing and curing of concrete, mortar, plaster and grout shall be taken from an approved source and shall be clean and free from deleterious substances including salt, oil, alkali, or organic matter. The methods of delivery and storing the water shall be to the approval of the Engineer.

2.13.1.4 Admixtures:

Suitable admixtures may only be used in concrete mixes with the prior approval of the Engineer. The use of admixtures, where permitted, shall be in accordance with Clause 6.2.4 of CP 110, Part 1.

2.13.2.2 Minimum Cement Content: The minimum permissible cement content for different conditions of exposure to which the finished concrete will be exposed shall be in accordance with Table 28, CP 110 Part 1. Cement content shall in all cases have the minimum value given in this Table irrespective of the requirements to produce the strength specified in this Specification.

2.13.2.3 Machine Mixing: The mixing shall be carried out in a mechanical mixer of an approved type and the mixing shall continue for a minimum of two minutes after the water has been added.

2.13.2.4 Hand Mixing: The Engineer may at his discretion allow small quantities of concrete to be mixed by hand. When permitted the cement content for hand mixed concrete shall be increased by 1%. A fine spray shall be used for adding the water and the turning over of the concrete shall be continued until the whole is thoroughly mixed.

2.13.2.5 Placing Concrete: All concrete must be placed within 30 minutes of water being added to the mix and any concrete which is not placed within that time shall be remixed or reagitated before being placed. Concrete shall not be dropped, shovelled from, or thrown from a height greater than 900mm into moulds or trenches. Skips must be used as directed to lower the concrete into moulds or trenches.

2.13.2.6 Reinforcement: All bar reinforcements shall conform to BS 49, 4461, 4482 and 4483. All steel to be entirely free from dirt, oil, paint, loose rust or scale when fixed in position.

2.13.2.7 Vibrating: The Tenderer's unit rates for concrete shall be deemed to include for vibrating the concrete with a mechanical vibrator.

2.13.2.8 Defective Finish: Where any concrete is found to be defective in the quality, accuracy or appearance of its finish, it shall be at the sole discretion of the Engineer to have it removed and replaced by concrete of the required standard or otherwise dealt with at no additional cost to the Board, or if he so decides, the payment for the defective area may be deducted or adjusted.

Repairs to the surface of concrete shall be carried out as soon as possible after removal of the shutters, subject to the Engineer's prior approval of the extent, nature and method of repair.

#### 2.13.2.9 Shuttering:

Shuttering shall consist of sound and properly seasoned timber of suitable thickness, tongued and grooved, or otherwise wrot and close jointed boarding erected true to line and to the shapes required by the work and shall be of suitable design and substantial construction to carry the loads due to wet concrete and incidental loading without appreciable distortion or deflection. Wire or similar ties may not be left embedded in any concrete having a face exposed to the weather. Bolts will be allowed provided they are properly greased to allow for easy withdrawal and holes afterwards made good.

All formwork to be thoroughly cleaned, hosed with water and oil to prevent adhesion before any concrete is placed. The minimum times for the removal of shuttering shall be in accordance with the relevant table in the BS code CP 110.

Care shall be exercised to ensure that the exact cover as specified to the reinforcement is obtained for the particular parts of the works. Approved fine concrete washers or pads may be used to maintain the correct cover.

Before placing any concrete the shuttering to the soffits of beams, lintels and slabs shall be covered with a thin coat of cement grout in the proportions of 2 parts by weight of cement to one part by weight of water.

#### 2.13.2.10 Frosty Weather:

No concrete shall be placed when the atmospheric temperature is below 38 degrees F. on a falling thermometer or below 34 degrees F. on a rising thermometer.

2.13.2.11 Joints in Concrete:

All joints, construction or otherwise in concrete shall be formed on horizontal or vertical planes against firm well strutted shuttering. All such joints shall be formed with tapered grooves of a size suitable for their function taking into account the thickness of the member in which the joint is formed.

2.13.2.12 Curing:

Concrete after being placed in situ and during the early stages of hardening shall be protected from the harmful effects of sunshine, drying wind and cold, for a period of least 7 days.



3.

DESCRIPTION OF WORKS:

3.1

Fire Safety Requirements:

The principal concern associated with ESB substations is that other buildings and the general public are not put at risk in the event of a fire originating in the substation. Substations incorporated into a customer's building must meet the following requirements:

- The Substation room must open through an external wall of the main building to the open air and access to the substation entrance must be unrestricted. If possible, the doors of the substation should be at ground level. It is permissible to position the door opens in a basement provided:
  - (a) the stairway leading to the doors is adequate to facilitate the installation of the transformer,
  - (b) a lobby with fire doors of at least the quality of the substation doors is erected in front of the substation doors.
- There should be no communication between the substation internal space and the main building space. all cable openings at or above ground level must be sealed off with a 6:1 vermiculite cement mix. Where openings are provided to the customer's space below floor level, the cable ducts should be filled with clean dry sand.
- Substation ventilation must be through the external wall or door only.
- The walls and ceiling which separate the substation from the rest of the building should have at least four hour fire resistance construction (to BS 476) and be reasonably explosion proof. In particular, the substation ceiling must be of reinforced concrete and independent of the main building. It is possible to incorporate it in a floor or roof of the main building only if these are of reinforced concrete construction.

- No pipes or services not forming part of the substation equipment must pass through the substation enclosure.
- The substation doors must open outwards through a full 180 degrees.

Free standing substations must meet the following requirements:

- All cable openings at or above ground level must be sealed off with a 6 : 1 Vermiculite cement mix. Where openings are provided to the consumer's premises below floor level, the cable ducts should be filled with clean dry sand.
- The walls and ceiling should have at least four hour fire resistance construction (to BS 476) and be reasonably explosion proof. In particular, the substation ceiling must be of reinforced concrete.
- No pipes or services not forming part of the substation equipment must pass through the substation enclosure.
- The substation doors must open outwards through a full 180 degrees.

3.2

Excavation:

Excavate to a minimum depth of 830mm for wall foundations and remove surplus material from site. Excavate to further depth, if required, to reach a firm stratum and remove material from site.

3.3

Blinding:

A 50mm layer of grade 10 concrete is to be laid as blinding to wall foundations.

3.4

Foundations:

Foundations for walls, piers and equipment are to be positioned as shown in the drawings. Foundations are to be constructed in Grade 25 concrete, laid in horizontal benches between strong timber shuttering and of the size and depth shown. The Contractor is to include for any stepping required to ensure horizontal foundations. All foundations are to be reinforced with high tensile steel mesh to BS A252 or heavier.

3.5

Walls:

Walls of substation to be erected:

- (a) 215mm Fairfaced Concrete Blocks laid and jointed in 3:1 sand cement mortar. Joints on inside face of wall to be recess pointed.
- (b) Cavity wall, having a 115mm thick outer leaf in selected brick to match adjoining boundary walls, a 50mm cavity and an inner leaf constructed with 100mm solid concrete blocks, laid and jointed in 3:1 sand cement mortar, joints in brick and block walls to be recess pointed.

3.6

Lintel:

A pre-stressed concrete Lintel is to be provided over the door ope.

3.7

Floor Slab:

The floor is to consist of Grade 25 Concrete 150mm thick, reinforced on top with A252 square mesh reinforcement. The floor slab is to receive a power float finish and is to be painted with a 2 pack polyurethane dust retarder. The concrete is to be laid on a layer of 1000 gauge "Visqueen" D.P.M. turned up at all edges and laid on a 230mm layer of well compacted and blinded hardcore.

3.8

Damp Proof Membrane:

An approved type damp proof membrane is to be laid on all rising walls and also on top of walls for roof bearing. The D.P.M. is to be lapped well at joints and corners.

3.9

Doors:

Galvanised steel doors per Drawing D204386 is the preferred option, wooden doors are to be used only when aesthetic require their use. Galvanised doors to be painted pine green (colour 5-061 from BS 2660 1955) or some other suitable colour as will blend with the surroundings.

suppliers of hinges and square top wooden doors:

: H. May & Co.,  
Bluebell Ind. Est.,  
Dublin.  
Ph. : (01) 508542

: Adare Iron Works Ltd.,  
Station Road,  
Adare,  
Co. Limerick.  
Ph. : (061) 94156

: Harty Steerine Ltd.,  
Crossbeg Ind. est.,  
Ballymount Road,  
Dublin.  
Ph. : (01) 521744

- 3.10 Trimmer to Threshold: A 50mm x 50mm x 6mm galvanised mild steel angle with 50 x 6 x 100mm LG fishtailed fixing plates is to be set into the entrance door step.
- 3.11 Louvres: Galvanised steel ventilators are to be provided in free standing substations. The ventilators are to be constructed in accordance with Drawing C56069B or manufactured as follows:  
  
Top and bottom frame made from 102 x 51 x 10.42kg/m mild steel channels of length shown on drawing. Side frame made from similar section. Angles to be 70 x 70 x 6mm mild steel spaced 25mm apart with the centre of the angle facing upwards. All welding to the neat seam welds and to be filled smooth. Two fixing flats are to be provided in side frame channels made from 100mm x 5mm x 125mm LG mild steel plates. Ventilators are to be hot dip galvanised after manufacture.
- 3.12 Spud Block: Concrete spud blocks are to be provided and fixed at entrance doors to suit 150mm x 75mm door frames. Spud blocks are to take 10mm dia steel spuds which are to be inserted in the bottom of each door frame.
- 3.13 Rainwater Pipe: If it is a free standing substation, (or if the roof is open to the atmosphere) a 65mm square PVC rainwater pipe is to be provided. Rainwater pipe to be fixed 25mm clear of finished wall surface. Rainwater outlet to be provided in flat roof. All joints in rainwater pipe to be PVC cement sealed. Drainage pipes must on no account pass inside the substation.



- 3.14 Internal Walls: All joints in internal blockwork to be recess pointed in 3:1 cement mortar as the work proceeds. The finished walls and ceiling are to be given two coats of an approved white emulsion.
- 3.15 External Walls: All joints on external faces of walls to be raked out. The wall surfaces are then to be scudded with coarse sand and cement (2:1), then scratch coated and floated in two separate 10mm thick coats of sand and cement (3:1).
- 3.16 Plaster Reveals: All plaster reveals to be 18mm thick at entrance doors and vents.
- 3.17 Plinths: Plinths to be formed at bottom of all walls. All plinths to be scudded, scratched and floated in cement mortar (3:1) and finished with a wooden float to a nap texture.
- 3.18 Approach: Where required, a driveway is to be laid, 3 metres wide, consisting of a 100mm thick layer of Grade 25 concrete on a 150mm layer of hardcore.
- 3.19 Piers & Gates: Piers and gates, where required for driveway are to match surrounding garden gates.

EXISTING LANDSCAPING UPGRADED  
SLOPED EMBANKMENT

RELOCATE EXISTING  
FLAGPOLES

HEAVY DUTY  
SAFETY KERB

EXISTING  
POLE

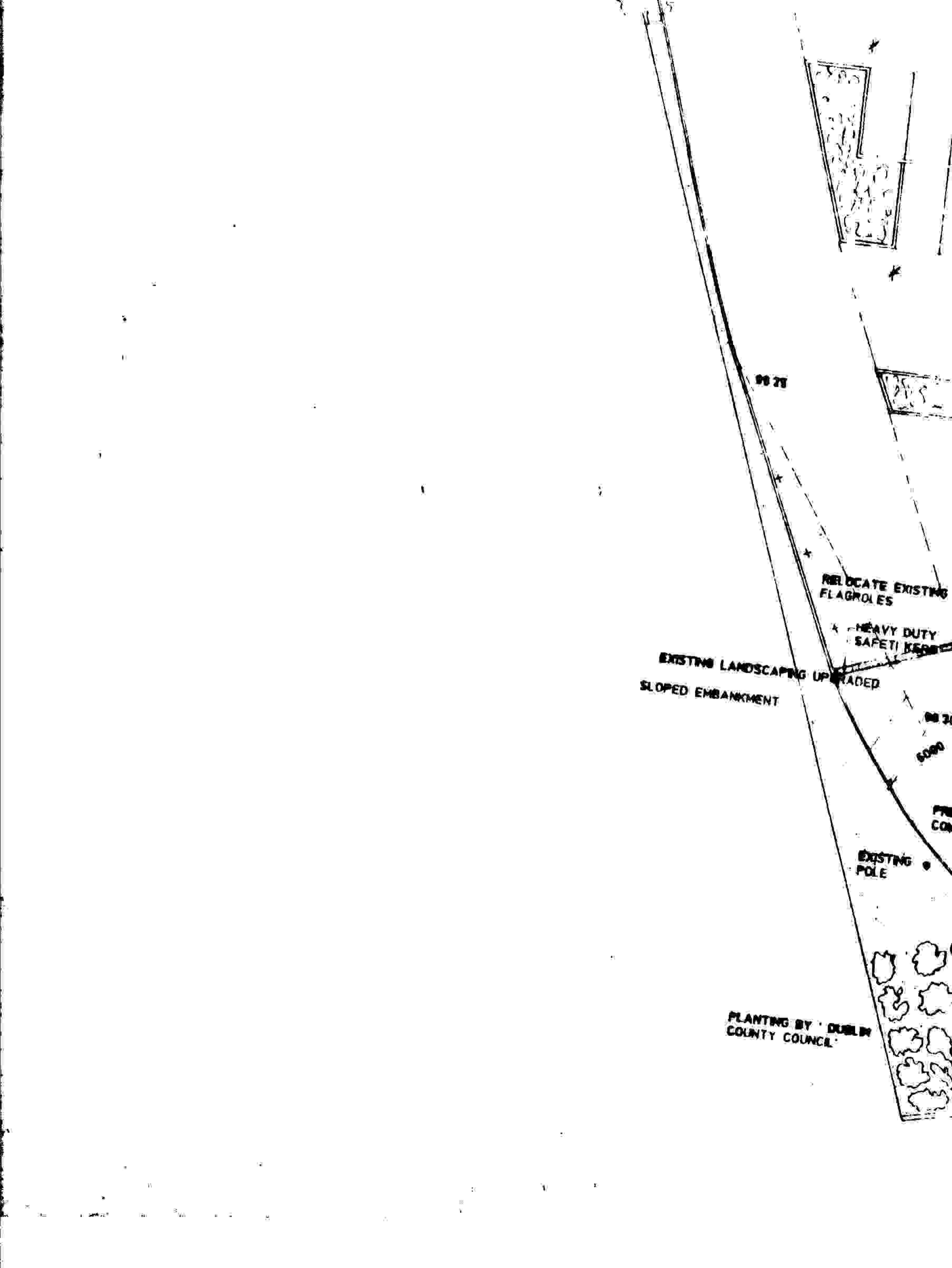
PLANTING BY DUBLIN  
COUNTY COUNCIL

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6000

PRE  
CON



EXISTING LANDSCAPING UPGRADED  
SLOPED EMBANKMENT

BB 28

RELOCATE EXISTING  
FLAGPOLES

HEAVY DUTY  
SAFETY KERB

BB 29

8000

PRECAST  
CONC KERB

EXISTING  
POLE

PLANTING BY DUBLIN  
COUNTY COUNCIL

