FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 9/A- 1938

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
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LOCAL COVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG.REF.: 914 1938	
CONT. REG.:	
SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER/FOUL	ATER
AREA OF SITE:	
FLOOR AREA OF PRESENT PROPOSAL: 15 FT 0. A	· · · · · · · · · · · · · · · · · · ·
MEASURED BY:	18/1/91.
CHECKED BY:	
METHOD OF ASSESSMENT:	F
TOTAL ASSESSMENT:	======================================
MANAGER'S ORDER NO: P/ / DATED	
ENTERED IN CONTRIBUTIONS REGISTER:	
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DEVELOPMENT CONTROL ASSISTANT GRADE

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	∛	PLANNING .	APPLICATION	FEES		21 5.
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9	x metres	@£10 per m2 or £40			) 	
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ucesu S. Maria Marjorie O'Shea.

## DUBLIN COUNTY COUNCIL

REG. REF:

91A/1938.

DEVELOPMENT:

Telephone Kiosk.

LOCATION:

Ballyboden.

APPLICANT:

Telecom Eireann.

DATE LODGED:

9.12.91.

PLANNING

Time...

This application for a double telephone klosk is identical to a previous application Reg. Ref: 91A/0013A (See report dated 11.11.91)-

The requirement of the Roads Department is that the kiosks be located no nearer the carriageway than the position shown on the 1:125 scale section of the lodged drawing no. WL9476. This is to ensure that the road reservation is not encroached.

GC/BMcC 13.1.92.

ENDORSED:

DATE:

P/117/92

# COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders 5: 5

BELGARD

Open Space:

CONTRIBUTION:

Standard: M

Noadd

Other

SECUPITY:

Bond / C.I.F.:

Cash

Register Reference: 91A/1938

Date Received: 9th December 1991

Correspondence : Telecom Eireann,

Name and

: Public Payphone Section, SE402 Section, 4th Floor,

Address

Cumberland House, Fenian Street,

Dublin 2.

Development : Double aluminium public telephone kiosk

Location

: Taylor's Lane, Ballyboden (outside Public Library)

Applicant : Telecom Eireann

App. Type : Permission

Zoning

Floor Area :

Sq.metres

(MOS/BB)

Report of Dublin Planning Officer dated 9th January, 1992.

This is an application for PERMISSION. The proposed development consists of a double aluminium public telephone kiosk at Taylor's Lane , Ballyboden (outside public library). The applicant is Telecom Eireann.

The proposed kiosks are located in front of the public library just inside a row of bollards.

The proposed development is acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following ( // ) conditions:-

### CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto. REASON: To ensure that the development shall be in accordance with the

# COMHAIRLE CHONTAE ÁTHA CLIATH

# Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1938

Page No: 0002

Location: Taylor's Lane, Ballyboden (outside Public Library)

permission and that effective control be maintained.

02 Telecom Eireann shall make satisfactory arrangements for the maintenance, repair and upkeep of the telephone kiosks.

REASON: In the interest of amenity and public safety.

Telecom Eireann shall accept responsibility for the removal of the telephone kiosks at its own expense if such is necessary for the purpose of road widening, reconstruction or repair and for the repair, replacement and renewal of any service installed in the public road/footpath.

REASON: In the interest of amenity and public safety.

- 04 That the kiosks are to be located immediately to the east of the existing kerb which defines the flower bed.
- 04 REASON: In the interest of the proper planning and development of the area.

# COMHAIRLE CHONTAE ÁTHA CLIATH

# Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1938

Page No: 0003

Location: Taylor's Lane, Ballyboden (outside Public Library)

Endorsed:- for Principal Officer = for Dublin Planning Officer 14 |

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

January 1992

ASSISTANT COUNTY MANAGER/APPROVED OFFICER to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 19 10 1991.

# Dublin County Council Comhairle Chontae Atha Cliath Planning Department



Bloc 2, Ionad Bheatha na hEireann. Bloc 2, Irish Life Centre, Sraid na Mainistreach lacht, Lower Abbey Street, Baile Atha Cliath 1. Dublin 1. Telephone (01) 724755 Fax (01) 724896

	NOTIFICAT	ION OF	DECIS	ION TO	GRANT	PERMIS	SION	=
LOCAL	GOVERNMENT	(PLANN	ING AN	D DEVE	LOPMEN:	I) ACTS	1963-	1990.

Decision Order Number: P/ 0117 /92 Date of Decision: 22nd January 1992

Date Received : 9th December 1991 Register Reference: 91A/1938

Applicant : Telecom Eireann

Development : Double aluminium public telephone kiosk

: Taylor's Lane, Ballyboden (outside Public Library) Location

Floor Area : sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received: //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ... ATTACHED.

Signed on behalf of the Dublin County Council.... for Principal officer

Telecom Eireann, Public Payphone Section, SE402 Section, 4th Floor, Cumberland House, Fenian Street, Dublin 2.

# Dublin County Council Comhairle Chontae Atha Cliath Planning Department

Reg.Ref. 91A/1938

Decision Order No. P/ 0117 /91

Page No: 0002



Bloc 2, Ionad Bheatha na hEireann, Bloc 2, Irish Life Centre, Sraid na Mainistreach Iacht, Lower Abbey Street, Baile Atha Cliath 1. Dublin 1. Telephone (01) 724755 Fax (01) 724896

## CONDITIONS / REASONS

- Ol The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

  REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That Telecom Eireann make satisfactory arrangements for the maintenance, repair and upkeep of the telephone kiosks.

  REASON: In the interest of amenity and public safety.
- 03 That Telecom Eireann accept responsibility for the removal of the telephone kiosks at its own expense if such is necessary for the purpose of road widening, reconstruction or repair and for the repair, replacement and renewal of any service installed in the public road/footpath.

  REASON: In the interest of amenity and public safety.
- 03 Telecom Eireann shall accept responsibility for the removal of the telephone kiosks at its own expense if such is necessary for the purpose of road widening, reconstruction or repair and for the repair, replacement and renewal of any service installed in the public road/footpath.

  REASON: In the interest of amenity and public safety.
- 04 That the kiosks are to be located immediately to the east of the existing kerb which defines the flower bed.
- 04 REASON: In the interest of the proper planning and development of the area.

# Dublin County Council Comhairle Chontae Atha Cliath

## Planning Department

Building Control Department, Liffey House, Tara Street, Dublin 1. Telephone:773066



Bloc 2, lonad Bheatha na hEireann, Block 2, Irish Life Centre, Sraid na Mainistreach Iacht, Lower Abbey Street, Baile Atha Cliath 1. Dublin 1. Telephone. (01)724755 Fax. (01)724896

Register Reference: 91A/1938

Date: 10th December 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Double aluminium public telephone kiosk

LOCATION : Taylor's Lane, Ballyboden (outside Public Library)

APPLICANT : Telecom Eireann

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application received on 9th December 1991.

Yours faithfully,

for PRINCIPAL OFFICER

Telecom Eireann,
Public Payphone Section,
SE402 Section, 4th Floor,
Cumberland House, Fenian Street,
Dublin 2.

# Dublin County Council Comhairle Chontae Atha Cliath



Planning Application Form/ Bye - Law Application Form

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.
<ol> <li>Application for Permission Outline Permission Approval Place in appropriate box.</li> <li>Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.</li> </ol>
2. Postal address of site or building Taylor's Lane, Ballyboden, Dublin 16.  (If none, give description (Outside Public Library)
3. Name of applicant (Principal not Agent) Telecom Eireann, Public Payphone Section.
Address 4th Floor, Cumberland Hse., Fenian St., Dublin 2. Tel No. 611111
4. Name and address of Drawing Office, Telecom Eireann, 6th Floor, Cumberland House, person or firm responsible Fenian Street, Dublin 2. for preparation of drawings
<ol> <li>Name and address to which Public Payphone Section, Telecom Eireann, SE402 Section, 4th Floor notifications should be sent Cumberland House, Fenian Street, Dublin 2.</li> </ol>
6. Brief description of
7. Method of drainage Not applicable
9. In the case of any buildings to be retained on site, please state:-
or tire when lest weet
(b) Proposed use of each floor Not applicable
10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof?
1.(a) Area of Site 2 Sq. Meters
(b) Floor area of proposed development Z_SqMeters
(c) Floor area of buildings proposed to be retained within site
(i.e. freehold, leasehold, etc.)
3. Are you now applying also for an approval under the Building Bye Laws?  Yes No Place / in appropriate box.
4. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Standard Design Aluminium Type Kiosk Structure
List of documents enclosed with Four Copies of Plan W.L. 9476
DUBLIN 16 - Telecom Eirgann Four Copies of Kiosk Structure Plan
intends to apply for planning intend
6. Gross floor space of proposed development (See back) 2 Sq. Meters Sq. m.
No of dwellings proposed (if any)
Fee Payable £. \$40.00 Basis of Calculation
But I I I
Signature of Applicant (or his Agent) Movel Date Nevember 1-991
Application Type PIN 1938 FOR OFFICE USE ONLY RECEIVED
Amount Received £ 09 DEC 1991
Receipt No

## LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

- Name and Address of applicant.
- Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
- The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
  - (a) The address of the structure or the location of the land.
  - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
  - (c) The name of the applicant.
  - NB. Applications must be received within 2 weeks from date of publication of the notice.
- Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
- In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
  - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
  - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
    - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
  - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
- Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trialhole to be inspected and declared suitable for the satisfactory percolation of septic tank affluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordence with LLR.S. S.R. 6:75.

### INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977. in particular the licencing provisions of Sections 4 and 16.

	PLANNING APPLICATIONS	= 2		BUILDING BYE-LAW APP		w Charges Fective 15/2/88
CLASS		=	CLASS			
NO.	DESCRIPTION	FEE	NO.	DESCRIPTION	Δ	£55 each
4	Provision of dwelling — House/Flat.	£32.00 each	B	Dwelling (House/Flat)	690	222 100011
2.	Domestic extensions/other improvements.	£16,00	B	Domestic Extension	В	£30 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum		(improvement/alteration)		2001
1 2. 3. 4.	Other buildings (i.e. offices, commercial, etc.)	£1,75 per sq. metre (Min. £40,00)	E I	Building — Office/ Commercial Purposes	C	£3.50 per m ²
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	i <b>D</b> )	Agricultural Buildings/Structures		(min. £70)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)		•,,	D	£1.00 per m In excess of
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)	8	Petrol Filling Station		300 sq. metres
8	Petrol Filling Station.	£100.00	Ē	Development or		(min. £70)
8. 9.	Advertising Structures.	£10.00 per m² (min £40.00)	_	Proposals not coming within any of the	5 8	(max. £300)
10	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)	=	foregoing classes.	ΞE	£200
1,1,	Any other development.	£5.00 per 0.1 ha (Min. £40.00)	==	_ ^ 6	F	£9.00 per
Chenne	s etc. should be made payable to: Dublin County	Council	• •			=0.1 ha. (£70 min.)

Cheques etc. should be made payable to: Dublin County Council

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls Min. Fee £30.00 For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984. Vax. Fee £20,000

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# TELECOM TELECO



Our ref. SEYOL

Your ref.

Telephone extn. 2928

Dear Sir/Madam,

Telecom Eireann are applying for planning permission to erect a double telephone kiosk at Taylor's Lane, Ballyboden, Dublin 16 O/S Public Library.

Please find enclosed:-

- Our cheque for £40 payable to Dublin County Council. 1.
- Full page copy of the statutory notice in the 2. Jassh Independent on 5th Declarber
- Four copies of Plan No. W.L. 9476 for the site and four copies of 3. the kiosk structure drawing 115/87/06.

Yours faithfully

C. Brennan Sales Manager

The Secretary Dublin County Council Planning Section Block 2 Irish Life Centre Lr. Abbey Street Dublin 1

REG. S.

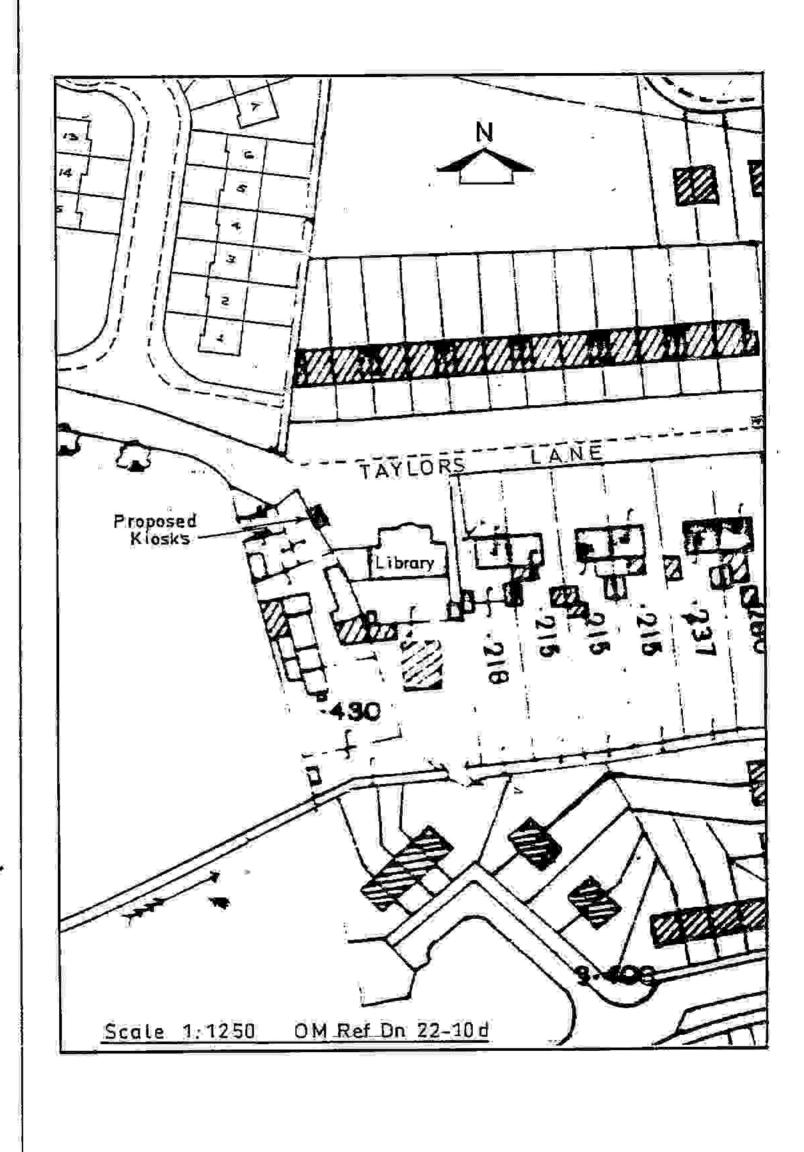
**Dublin District Office** Cumberland House Fenian Street Telephone (01) 611111 Telex

Public Offices: Upper O'Connell St., Dublin 1 & 6 - 8 College Green, Dublin 2

Board Directors: J. Casey, F. Conroy, J. Daly, B. Gray, A. Harney, M. Johnson, C. McFadden, I. Meehan, H. O'Sullivan, J.O. Scanlan, G. Walsh

The Irish Telecommunications Board, Incorporated with limited liability Registered in Dublin, Ireland. No. 98769 Registered office: Merrion House, Merrion Road, Dublin 4





JDH 15725

Issue & Date

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