

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/1936

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

802 FT²

MEASURED BY:

J.Y.
13/12/91.

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDER NO: P/ / DATED

ENTERED IN CONTRIBUTIONS REGISTER:

802

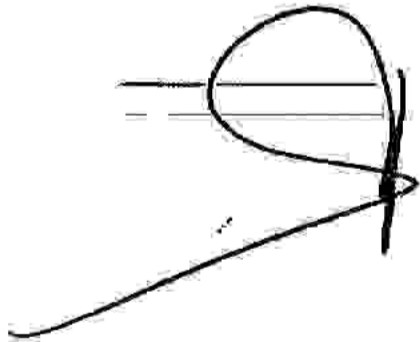
1000 @ 7.5

= 601.5

602

3/2/92

DEVELOPMENT CONTROL ASSISTANT GRADE



9/1 A/1936

PLANNING APPLICATION FEES

Reg. Ref.....

Toilets

Cert. No.....

27360

PROPOSAL.....

LOCATION.....

The Jensen Hotel Ninth Lock Road, Clondara

APPLICANT.....

CAHILL'S Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres 74.5	@£1.75 per m2 or £40	131.25	£135	£3.75	overpaid
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: [Signature] Grade: D/E Date: 13/12/91

Column 1 Endorsed: Signed: [Signature] Grade: Date: 12/12/91

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: Date: 12/12/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: [Signature] Grade: Date:

Register Reference : 91A/1936

Date : 12th December 1991

Development : Erection of new gents and ladies toilet block and additional fire exit to the rear

LOCATION : Jensen Hotel, Ninth Lock Road, Clondalkin

Applicant : Cavvies Ltd

App. Type : PERMISSION

Planning Officer : M.GALVIN

Date Recd. : 9th December 1991

DUBLIN COUNTY COUNCIL
- 7 FEB 1992
ENVIRONMENTAL HEALTH
OFFICERS

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

.....
for PRINCIPAL OFFICER

No objections subject to mechanical ventilation being provided in both sanitary accommodation (min. 6-8 air changes/hr) and adjoining lobbies (min. 2 air changes/hr).

Jackie Kelly
EHO 13/2/92.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 18.02.92
Time 10.00

for Sta Devina
John O'Leary

SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

13/2/92

Deaseath
Mary Galvin.

SS + CMO .

Register Reference : 91A/1936

Date : 12th December 1991

Development : Erection of new gents and ladies toilet block and additional fire exit to the rear

LOCATION : Jensen Hotel, Ninth Lock Road, Clondalkin

Applicant : Cavvies Ltd

App. Type : PERMISSION

Planning Officer : M. GALVIN

Date Recd. : 9th December 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 04.02.92
Time 2.30

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

Date received in sanitary services .17 DEC 1991...

DUBLIN Co. COUNCIL
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
FOR PRINCIPAL OFFICER
- 6 FEB 1992
Returned *[Signature]*

FOUL SEWER

Available - existing system.

SURFACE WATER

Available - existing system.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

[Signature] 20/1/92.

J.R. 30/1/92

Filed

Register Reference : 91A/1936

Date : 12th December 1991

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 04.02.92
 Time 2.45

ENDORSED

DATE

WATER SUPPLY..... Water available for zoned use, 24 hour
 storage to be provided L.J. Spin

6/1/92

[Signature]
 7/1/92

ENDORSED

[Signature]
 WY

DATE

31/1/92

P/400/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

BELGARD

Register Reference : 91A/1936

Date Received : 9th December 1991

Correspondence : Dermot Walsh Architects,
Name and : Florence Centre,
Address : Florence Road,
Bray,
Co. Wicklow.

Development : Erection of new gents and ladies toilet block and
additional fire exit to the rear

CN 3572 II

Location : Jensen Hotel, Ninth Lock Road, Clondalkin

Applicant : Cavvies Ltd

App. Type : Permission

Zoning :

Floor Area : 77 Sq.metres

(MG/BB)

Report of Dublin Planning Officer dated 24th January, 1992.

This is an application for PERMISSION for the erection of a new gents and ladies toilet block and additional fire exit to the rear of the Jensen Hotel, Ninth Lock Road, Clondalkin for Cavvies Ltd.

The proposed site is located to the north of Clondalkin Village in an area zoned 'E' "to protect and provide for the development of industry" in the Dublin County Development Plan, 1983.

Reg. Ref. No. 86A-0070 refers to a grant of planning permission by Dublin County Council and on appeal (third party) to AN Bord Pleanala for the erection of an 11 bedroom motel, lounge bars and restaurant at this location for Nirral Ltd.

Reg. Ref. No. 90A-1335 refers to a grant of permission for alterations and two storey additions to existing approved hotel premises to include an additional 7 no. bedrooms kitchen block, extended lounge and the use of an adjoining premises as a function room. The applicants in this instance are Cavvies Ltd.

CONTRIBUTION:	
Standard:	602
Balance of:	£15,600
PAID:	£4,400
G. Tax:	
S. Tax:	
CHURCH:	
SECURITY:	
Bond / O.A.F.:	
Cash:	

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1936

Page No: 0002

Location: Jensen Hotel, Ninth Lock Road, Clondalkin

Reg. Ref. No. 91A/416 refers to a grant of permission for the retention of alterations and additions to the Jensen Hotel, inclusive of 7 bedrooms, kitchen, block lounge and function room and relocation of fire escape at Ninth Lock Road, Clondalkin for Cavvies Ltd.

The current application involves the extension of the existing function room building to the south in two blocks to provide new toilet accommodation (floor area 77 sq. metres stated). Internal floor areas in the function room are to be re-organised to provide an additional c. 25 sq. metres public space, a new store and relocation of band stand. A new fire door is proposed in the eastern elevation.

The proposed extension encroaches on approved car parking area and will involve the loss of 5 no. spaces. However, there is already car parking facilities to serve the hotel/function room (c: 170 available - 158 required).

Roads Department report *not received*

Environmental Health officer's report *not received*

sanitary Services Report *not received*

Fire Officer's report *not received*

The proposed development is considered acceptable.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1936

Page No: 0003

Location: Jensen Hotel, Ninth Lock Road, Clondalkin

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (9) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

05 That a financial contribution in the sum of £ 502 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

07 That all external finishes harmonise in colour and texture with the existing premises.

REASON: In the interest of visual amenity.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/1936

Page No: 0004

Location: Jensen Hotel, Ninth Lock Road, Clondalkin

S *M*
08 That the arrangements made for the payment of the financial contribution in the sum of £15,600. in respect of the overall development as required by condition no. 3 of the decision to grant planning permission under Reg. Ref. No. 90A/1335 be strictly adhered to in respect of this proposal.

08 REASON: In the interest of the proper planning and development of the area.

09 That all windows in the proposed toilet extensions to be of obscure glass.

09 REASON: In the interest of the proper planning and development of the area.

omit
10 That the balance of the financial contribution in the sum of £10,400. required by condition no. 3 of the planning permission granted under Register Reference 90A/1335 be paid forthwith.

10 REASON: In the interest of the proper planning and development of the area.

7

5

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1936

Page No: 0005

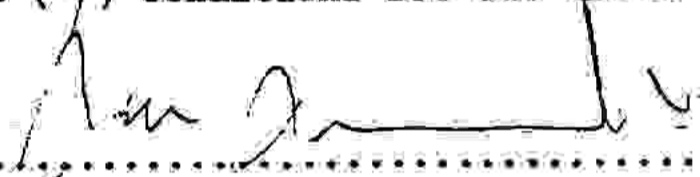
Location: Jensen Hotel, Ninth Lock Road, Clondalkin

Endorsed: 
for Principal Officer


for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (9) conditions set out above is hereby made.

Dated : ^{6th February}
JANUARY 1992


ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ^{10th December} 1991.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision order Number : P/ 0400 /92 - Date of Decision : 6th February 1992

Register Reference : 91A/1936 - Date Received : 9th December 1991

Applicant : Cavvies Ltd

Development : Erection of new gents and ladies toilet block and
additional fire exit to the rear

Location : Jensen Hotel, Ninth Lock Road, Clondalkin

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ⁹.....ATTACHED.

signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 6/2/92

Dermot Walsh Architects,
Florence Centre,
Florence Road,
Bray,
Co. Wicklow.

Reg. Ref. 91A/1936
Decision Order No. P/ 0400 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 05 That a financial contribution in the sum of £602. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 06 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 07 That all external finishes harmonise in colour and texture with the existing premises.
REASON: In the interest of visual amenity.
- 08 That the arrangements made for the payment of the financial contribution in the sum of £15,600. in respect of the overall development as required by condition no. 6 of the decision to grant planning permission under Reg. Ref. No. 90A/1335 be strictly adhered to in respect of this proposal.
- 08 REASON: In the interest of the proper planning and development of the area.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/1936

Decision Order No. P/ 0400 /91

Page No: 0003

09 That all windows in the proposed toilet extensions to be of obscure glass.

09 REASON: In the interest of the proper planning and development of the area.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1936

Date : 10th December 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Erection of new gents and ladies toilet block and
additional fire exit to the rear

LOCATION : Jensen Hotel, Ninth Lock Road, Clondalkin

APPLICANT : Cavvies Ltd

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 9th December 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Dermot Walsh Architects,
Florence Centre,
Florence Road,
Bray,
Co. Wicklow.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building The Jensen Hotel
(If none, give description sufficient to identify) Ninth Lock Road, Clondalkin, Dublin 22.

3. Name of applicant (Principal not Agent) Cavvies Ltd.
Address Ninth Lock Road, Clondalkin, Dublin 22 Tel. No. 571197

4. Name and address of Dermot Walsh Architects
person or firm responsible
for preparation of drawings Florence Centre, Florence Road, Bray Tel. No. 2861399

5. Name and address to which notifications should be sent
Dermot Walsh Architects
Florence Centre, Florence Road, Bray, Co. Wicklow.

6. Brief description of proposed development
Erection of new gents and ladies toilet and fire exit.

7. Method of drainage Mains 8. Source of Water Supply Mains

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used. Hotel
(b) Proposed use of each floor Hotel

*Strid
Indr*

*£135 9/12
NS4046*

5/12/91

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11(a) Area of Site 4216 Sq. m.
(b) Floor area of proposed development 77.1 Sq. m.
(c) Floor area of buildings proposed to be retained within site 1471.6 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Owner

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
N/A

15. Enclosed with 4 sets of drawings and specification
Newspaper Advertisement

CO. DUBLIN - Full planning permission sought for the erection of new gents and ladies toilet block and additional fire exit to the rear of the Jensen Hotel, Ninth Lock Rd., Clondalkin, for Cavvies Ltd.

16. Gross floor space of proposed development (See back) 77.1 Sq. m.
No of dwellings proposed (if any) N/A Class(es) of Development Class 4 Development
Fee Payable £135.00 Basis of Calculation 77.1 @ 1.75 per sq. m.
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) D. Walsh Date 6th December 1991

Application Type P
Register Reference 91A/1936
Amount Received £.....
Receipt No.....
Date 17-5
17-16

FOR OFFICE USE ONLY
2.24.4

RECEIVED
09 DEC 1991
REG 564

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lt. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

SUMMARY OF CLASSES OF DEVELOPMENT/ FEES

<u>CLASS NO.</u>	<u>DESCRIPTION</u>	<u>FEE</u>
1.	Provision of dwelling - House/Flat.	€32.00 each.
2.	Domestic extensions/other improvements.	€16.00 each.
3.	Provision of agricultural buildings (See Regs.)	€40.00 minimum.
4.	Other buildings (i.e. office, commercial, etc.)	€ 1.75 per sq.metre (Min. €40.00).
5.	Use of land (Mining, deposit or waste).	€25.00 per 0.1 ha. (Min. €250.00).
6.	Use of land (Camping, parking, storage).	€25.00 per 0.1 ha. (Min. €40.00).
7.	Provision of plant/machinery/tank or other structure for storage purposes.	€25.00 per 0.1 ha. (Min. €100.00).
8.	Petrol filling station.	€100.00.
9.	Advertising structures.	€ 10.00 per sq. m. (Min. €40.00).
10.	Electricity transmission lines.	€ 25.00 per 1,000m. (Min. €40.00).
11.	Any other development.	€ 5.00 per 0.1ha. (Min. €40.00).

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

Issue of this receipt is not an

CASH

1649 UPPER O'CONNELL STREET

acknowledgement that the

CHEQUE

DUBLIN 1

entered in the prescribed application

N 54046

Received this

day of

December

19

from

Barrie (H)

Ninth Lak Rd

Clondalkin

the sum of

one hundred and thirty

Pounds

Pence being

Nil

planning application at

Adrian DANE

Cashier

S. CAREY

Principal Officer

DERMOT WALSH ARCHITECTS

Planning Consultants & Designers

Florence Centre,
Florence Road,
Bray,
Co. Wicklow.

Telephone: (01) 2861422, 2861399.

Fax No: (01) 2861426.

V.A.T. No: 1744934 P

The Principal Officer,
Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

6th December 1991

Re: Proposed erection of new Gents & Ladies Toilet Block and new
Fire Exit to "The Jensen Hotel", Ninth Lock Road,
Clondalkin, Dublin 22. Reg. Ref. No. 91A/0416

Dear Sirs,

We refer to the above and enclose herewith completed application on behalf of Cavvies Ltd., Ninth Lock Road, Dublin 22.

Full Planning Permission is sought for the erection of new gents and ladies toilet block and new fire exit to the rear of the existing hotel. The above premises is the subject of three planning permissions, register reference nos. 86A/70 (30.9.1986); 90A/1335 (14.1.1991) and 91A/0416 (28.8.1991). Further to consultations and recommendations from Fire Officer and Environmental Health Officer it is necessary to construct new toilet block and provision of an additional fire exit in accordance with the lodged plans.

We enclose the following in support of our application:-

1. a) Location Plan 165/90/1
- b) Site Layout Plan 165/90/15
- c) Ground Floor Plan 165/90/16
- d) Elevations 165/90/17
- e) Drainage Layout Plan 165/90/18
- f) Land Contract Drawing 165/90/19
2. Specification
3. Planning Application Notice of Irish Independent dated 5th December 1991.
4. Completed Application Form.

We enclose a cheque in the sum of £135.00 and await an early decision.

Yours faithfully,

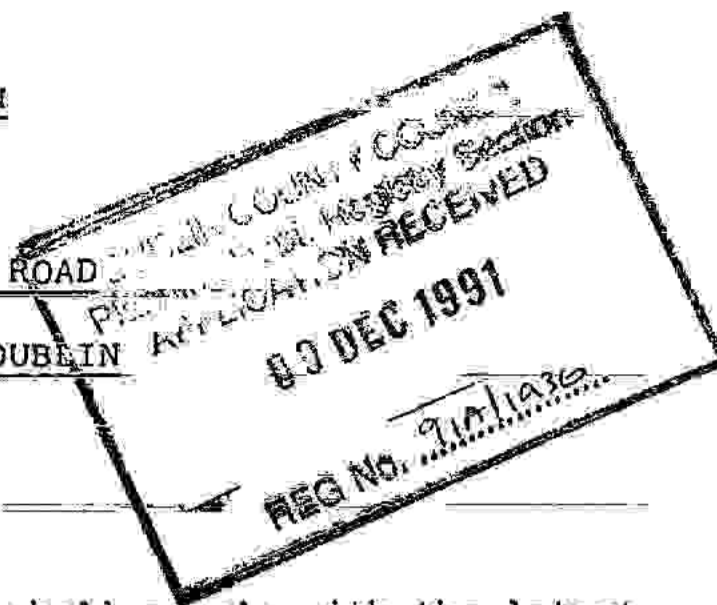
D. Walsh

Dermot Walsh Architects.

c.c. Cavvies Ltd.

SPECIFICATION

AT NINTH LOCK ROAD
CLONDALKIN, CO. DUBLIN



1. MATERIALS AND WORKMANSHIP

All materials, workmanship and design shall comply with the latest editions of the relevant Irish Standard or British Standard Specifications or British Standard Codes of Practice; and all materials shall be new unless otherwise specified.

2. EXCAVATION

All excavations required for the works shall be carried out in whatever material may be met with, accurately to the dimensions, lines and levels as indicated on the drawings or as may be directed by the Architect.

Excavation shall be carried down to such a level as may be approved by the Architect, whether such level is indicated on the drawings or not. No excavation shall be filled or any structure built thereon until the excavation has been inspected and approved by the Architect.

No excavation shall be taken below the levels as indicated on the drawings or as may be ordered or approved by the Architect. Excavation shall be carried out true to line and width.

The faces and beds of all excavations shall be properly trimmed to the required profiles and levels and cleaned of all loose material and other debris. If so directed, the bottom 150 mm of material in the bottom of the excavations shall not be removed until just before the construction of the permanent work thereon.

All trench or pit excavation shall, if necessary, be excavated between properly timbered and strutted sides. Suitable precautions shall be taken to prevent ingress of water during construction into excavations to be excavated in the dry.

Trenches for pipework shall be so excavated as to allow the pipes to be properly laid and jointed, and where the pipes are not required to be laid on a concrete bed, the bottom of the trench shall be formed so that each length of pipe will rest solidly throughout its entire length on undisturbed ground, except where the ground is unfit for proper bearing, in which case any soft or yielding material shall be removed and replaced by suitable material well rammed into position.

Back filling of trenches and similar excavations shall be done in layers not exceeding 300 mm thick, the back filling being thoroughly tamped and consolidated around the foundations etc.

3. FILLING

All material for use as filling shall be at all times subject to the approval of the Architect. Unless otherwise specified or directed, it shall be laid in 150 mm layers, each layer being well rammed or rolled and consolidated to the required levels.

4. HARDCORE

All hardcore shall be clean broken stone, concrete or brick. Soft or unburned materials containing an excessive quantity of mortar or other deleterious matter shall not be used. All hardcore shall be subject to the approval of the Architect.

5. DIMENSIONS AND DEVIATIONS

Dimensions Figured dimensions on detailed drawings of reinforced concrete indicate measurements to actual concrete faces and do not include for any plaster or other finish.

Deviations Permitted deviations in the dimensions, levels and verticality of the buildings and building elements shall comply with the values set out in Table 3 of B.S. 5606 : 1978, Accuracy in Building, with the following amendment:

Item 7 of T 3.8 "level of finished surface at any point under a 1.5 m straightedge" is to be deleted and substituted by "level of finished surface at any point under a 3.0 m straightedge".

Where no separate concrete screed is to be provided over the structural concrete floor the permissible deviation of the structural concrete floor surface is to be ± 6 mm.

6. CONCRETE WORK

6.1 General.

All concrete construction work shall be carried out in accordance with the recommendations of the British Standard Code of Practice CP 110 : 1972, except as otherwise amended or varied by this Specification.

The specification for the provision of concrete for the works shall comply with B.S. 5328 : 1981, Methods of Specifying Concrete, and is on the basis of designed mixes as defined therein unless a prescribed mix basis is specified elsewhere in this Specification.

6. Continued.

6.2 Materials.

Materials used in the concrete shall comply with the requirements of the current editions of the appropriate specifications as follows:-

- Cement: IS.1 Portland Cement.
- Aggregates: IS.5 Aggregates for concrete.
- Water: Shall be clean and free from impurities and shall comply with the requirements of the Appendix of B.S. 3148 : 1980.
- Admixtures: No admixtures shall be used without written permission of the Architect.

The quantities of cement and aggregates shall be batched by mass to within an accuracy of + or - 2% and water shall be measured to the same accuracy.

6.3 Classification of Concrete.

Designed Mixes:

The grade references hereunder refer to Table 3 of B.S. 5328 : 1976. The Concrete grade figures given indicate the characteristic compressive strength required in N/mm².

For the purpose of determining concrete strength, test cubes shall be prepared at the rate indicated against the particular mix references. Samples for test specimens shall be obtained as referred to in Clause 15 of B.S. 5328, 2 No. cubes being made from each sample.

<u>Mix Ref.</u>	<u>Conc. Grade</u>	<u>Max. Size Aggregate</u>	<u>Min. Cement Content</u>	<u>Rate of Sampling for Test Purpose</u>
A	C25	20	290	2 No. per 10 m ³
B	C25	10	290	1 No. per 20 m ³
C	C10	20	220	NIL
D	C20	40	270	1 No. per 50 m ³
E	C30	40	290	1 No. per 20 m ³

6. Continued.

6.4 Location of Specified Concrete Mixes.

Mix Ref.

- A Strip footings, floor slab, manhole bases and storage tank surrounds.
- B Roof screeds and lintol block infills.
- C Blinding concrete.
- D Mass concrete.
- E Concrete paving.

6.5 Evidence of Suitability of Proposed Mix Proportions for Designed Mixes.

For each grade of concrete, evidence as listed in Cl. 6.5.2 of C.P. 110, showing that at the intended workability, the proposed mix proportions and manufacturing method will produce concrete of the required quality.

6.6 Ready-Mix Concrete.

Ready-mixed concrete from an approved supplier may be adopted. The concrete shall comply with BSS 5328, Ready-Mix concrete, in addition to the foregoing requirements.

6.7 Testing of Concrete.

All concrete shall be tested in accordance with B.S. 1881 and acceptance criteria shall be in accordance with C.P. 110.

If the concrete tests do not conform with the acceptance criteria, the concrete represented by them, and by any associated 7 day works cube tests which are deemed to be low, shall be cut out and reinstated, or remedial work as directed by the Architect shall be executed.

Specific gravity tests, slump tests, cement content and moisture content tests shall be carried out as directed by the Architect.

Records shall be kept of the positions in the works of all batches of concrete and of all test results. Copies of these records shall be supplied to the Architect.

6.8 Concrete Curing.

The requirements of Clause 6.11.6 of C.P. 110 shall be complied with.

6. Continued.

6.9 Proprietary Liquids.

The use of a proprietary liquid applied waterproof membrane may be accepted subject to the Architect's approval.

6.10 Reinforcement for Concrete.

The requirements of Cl. 7 of C.P. 110 shall apply.

6.11 Floor Finish.

The sales block floor slab is to have a power floated finish achieved as follows:-

The concrete shall be uniformly levelled and screeded to produce a plain or ridged surface, surplus concrete being struck off by a straight edge immediately after compaction. Surface shall be power floated as a preliminary to power trowelling to regulate and close the surface. Floating must not be started until surface moisture has evaporated and the concrete is stiff enough to take the machine. The surface shall then be power trowelled. No mortar shall be removed during power trowelling and timing is therefore critical if a hard wearing surface is to be achieved.

After further moisture has evaporated successive trowellings with the blades tilted at greater angles shall be carried out to produce a hard wearing surface.

7. CONCRETE BLOCKWORK

7.1 Concrete Blocks.

Concrete blocks shall comply with the requirements of Irish Standard 20, Concrete Building Blocks. Where concrete blocks are specified or indicated as "factory made", they shall be machine made, consolidated by mechanically or hydraulically applied power. Where one, or both, faces of the walls in which the concrete blocks are to be used is left unrendered, and is not otherwise treated, the texture of the exposed face of the blocks shall be such as to be of a pleasing appearance. No concrete blocks with broken or chipped arrises or other defects, shall be used in unrendered walls.

Every precaution must be taken to prevent undried-out or excessively wet blocks from being built into the work. When stored either at the place of manufacture or at the site, they must be stacked so as to permit a free circulation of air around them and have the tops of the stacks protected from rain etc., by corrugated iron sheeting or similar.

7. Continued.

7.2 Concrete Blockwork.

Only properly matured, dry (i.e. not soaked by rain etc.) blocks shall be used in the work and precautions shall be taken to prevent incomplete blockwork being soaked by heavy rain.

Unless otherwise specified, concrete blockwork shall be built and pointed in cement lime mortar as specified hereinafter. When required pointing shall be ruled and struck.

Unless shell bedding is specified or directed, all concrete blockwork shall be fully and carefully bedded, all vertical and horizontal joints being completely filled with mortar. Blocks shall only be cut where necessary to form closers. All courses shall be laid fair and level, and all quoins and perpends accurately kept.

Unless otherwise specified or directed, joints shall be 10 mm wide.

Blocklaying shall be uniformly carried out; no portion, except with the approval of the Architect, being raised more than 1 m above the adjoining work.

The exposed faces of all blockwork shall be rule pointed and weather struck, or pointed as directed. Where necessary, the faces shall be cleaned down on completion.

Where so indicated on the drawings, or where specified, the blockwork shall be reinforced by building into such courses as may be specified, an approved type of brickwork reinforcing. All such reinforcing shall be properly bedded and maintained in the centre of the thickness of blockwork.

No concrete blocklaying shall be carried out in frosty weather, unless suitable arrangements are made for heating the materials.

7.3 Constituents for Mortar for Concrete Blockwork.

Mortar sand shall be well graded, hard, clean and free from salts or organic matter and shall comply with the requirements of B.S. 1200. Lime shall be hydrated, non hydraulic, lime, and shall conform to the requirements of B.S. 890 and I.S. 8. It shall be run to a putty or mixed with the sand and allowed to stand for a minimum of 16 hours before use. Cement shall be Irish Portland Cement to I.S. 1-: 1963, stored out of contact with the ground and protected from the weather.

Water shall be clean and free from any harmful impurities. Colouring agents shall conform to the requirements of B.S. 1014 and shall be premixed with the cement or the ready mixed lime: sand so as not to exceed 10% by weight of the cement in the mortar, care being taken to ensure that the strength of the mortar remains adequate.

Plasticizers shall conform to the requirements of B.S. 4887 and shall be used only with the written approval of the Architect.

7. Continued.

7.4 Damp Proof Courses.

Damp proof courses in walls above ground level shall be of bitumen on a hessian base in compliance with the requirements of I.S.S. 57 : 1972. Damp proof courses under copings shall be lead cored.

Damp proof courses shall extend through the full thickness of the wall including applied rendering or other facing material. At joints the membrane shall be lapped at least 100 mm and sealed. The mortar bed on which the d.p.c. is to be laid shall be even and free from projections liable to cause damage.

8. ROADWORKS AND PAVING

8.1 General.

All road and paving works shall be in accordance with the relevant clauses of the Specification for Road and Bridge Works, 1976, published by the British Department of the Environment. A copy of the Specification may be inspected at the Engineer's offices by appointment during normal working hours. The clauses listed below refer to that Specification.

8.2 Excavation.

The requirements of Cl. 603 shall apply.

8.3 Forming of Embankments and other Areas of Fill.

The requirements of Cl. 607 shall apply.

Compaction shall be in accordance with Cl. 608 and Table 6/2.

8.4 Preparation and Surface Treatment of Formation.

The requirements of Cl. 609 shall apply.

8.5 Earthworks to be kept free of Water.

The requirements of Cl. 610 shall apply.

8. Continued.

8.6 Surface Levels and Surface Regularity of Pavement Courses.

The requirements of Cl. 701 shall apply.

The permitted tolerance in surface levels measured vertically below true pavement surface shall be:-

Formation	+	20 mm
	-	30 mm
Sub-base	+	10 mm
	-	30 mm
Road Base	±	15 mm
Basecourse	±	6 mm

The surface level of the laid wearing course or concrete slab shall be true within ± 6 mm. However for flexible pavements the negative tolerance shall not be permitted in conjunction with the positive permitted tolerance for the basecourse if the thickness of the wearing course is thereby reduced by more than 6 mm.

The longitudinal regularity of the surfaces of constructed wearing courses, base courses and concrete slabs shall be within the relevant tolerances stated in Table 7/2.

8.7 Cold Weather Working.

The requirements of Cl. 702 shall apply.

8.8 Use of Surfaces by Constructional Traffic.

The requirements of Cl. 703 shall apply.

8.9 Granular Filling up to Formation.

Material for filling up to formation shall be a graded crushed rock, maximum size 100 mm of approved quality.

8.10 Granular Sub-base and Road Base.

Material for the sub-base shall comprise a graded crushed rock complying with Cl. 803 or a natural well graded gravel complying with Cl. 804.

Material for the road base shall comply with Cl. 803.

8. Continued.

8.10 Continued.

The range of grading for these materials is as follows:

B.S. Sieve Size	Percentage by weight passing	
	Crushed Rock Cl. 803	Natural Gravel Cl. 804
75 mm	100	100
37.5 mm	85 - 100	85 - 100
10 mm	40 - 70	45 - 100
5 mm	25 - 45	25 - 85
600 μ m	8 - 22	8 - 45
75 μ m	0 - 10	0 - 10

The materials shall be laid as specified in Cl. 802 and compacted in accordance with Table 8/3.

8.11 Bitumen Macadam Paving.

The wearing course shall be 40 mm of 14 mm dense bitumen macadam to B.S. 4987. The road-base shall be 75 mm of dense bitumen macadam to Clause 2.1.1 B.S. 4987.

8.12 Concrete Roadways and Paving.

The requirements of Clause 6 of this Specification shall apply.

The following class of concrete shall be used:-

Designed Mix for Special Structural Concrete.

Grade 30

Cement Content	Minimum	290 Kg/m ³
	Maximum	550 Kg/m ³

Nominal Maximum Size of Aggregate : 40 mm

Type of Cement : Portland to I.S. 1

8. Continued.

8.12 Continued.

- Air Content of fresh concrete : 4½% ± 1½%
(When specified in Part 2) by volume of the mix
- Water/Cement Ratio by weight : 0.55 max.
- Workability : Low i.e. Maximum slump : 40 mm

The waterproof membrane shall comply with Cl. 1007.

Joints shall comply with Cl. 1009, 1010, 1011 and 1012.

Roadway slabs shall be compacted with a hand guided vibratory beam in accordance with Cl. 1020 and finished in accordance with Cl. 1021.

Particular care shall be taken in the curing of concrete in paving slabs. It shall be kept damp for a period of 7 days either by covering with polythene sheet or with an absorbent material kept damp. Alternatively, an approved curing compound or sprayed membrane may be used.

8.13 Interlocking Paving Brick.

Interlocking paving bricks "Cobble-Lock" or other approved, laid in herringbone pattern on 50 mm base of sand with 200 mm thick sub-base of graded crushed rock complying to Clause 803. Sub-base to be treated with weed-killer before laying base.

The screed height of the base should be approximately 60 mm lower than finished level of paving bricks to allow bricks to vibrate down. Joints between bricks should be not greater than 3 mm. Paving to be compacted to required levels with a plate vibrator.

Fill and brush all joints with dry sand on completion.

8.14 Precast Concrete Kerbs.

Concrete kerbs to be 254 mm x 127 mm half batted kerbs of approved manufacture laid on a mass concrete bed and backed with mass concrete. Kerbs are to be laid with a regular gradient throughout their lengths and to rest firmly on the concrete bed for the whole of their lengths.

8.15 Safeticurb Drain Blocks.

Safeticurb surface water drain blocks of approved manufacture type DBA/2/TS to be laid on a mass concrete bed 150 mm thick and bedded and jointed in lean mix sand and cement. Where necessary drain blocks to be haunched with mass concrete. Silt boxes and inspection blocks to be of similar manufacture, type 1 and DBA respectively.

8. Continued.

8.15 Continued.

All drain blocks to be laid in such a manner that every line is straight and true from point to point with a regular gradient throughout their lengths and that they rest firmly on the concrete bed for the whole of their lengths.

9. BUILDING DRAINAGE

The pipes for surface water drainage and sewerage shall be upvc of approved make and design.

Drainage pipework shall generally be installed in accordance with the recommendations of Building Research Station Digests Nos. 130 and 131 (June and July 1971). Bedding will normally be Class B as defined in Digest No. 130. Under roads and other areas subject to traffic, the pipes shall be surrounded in concrete if the cover is less than 1.2 metres. The dimensions of the concrete surround shall be in accordance with Clause 20.4 of B.S. 8301. Discontinuity joints 12 mm wide shall be formed in the concrete at the joints in the pipe line.

If flexible joints are used care shall be taken to prevent concrete or granular material entering the annular space between socket and pipe barrel.

Inspection junctions, gullies, traps, etc., shall comply with the requirements of the British Standard 65. Where specified or indicated, gully gratings shall be heavy duty road type with hinged lifting portion.

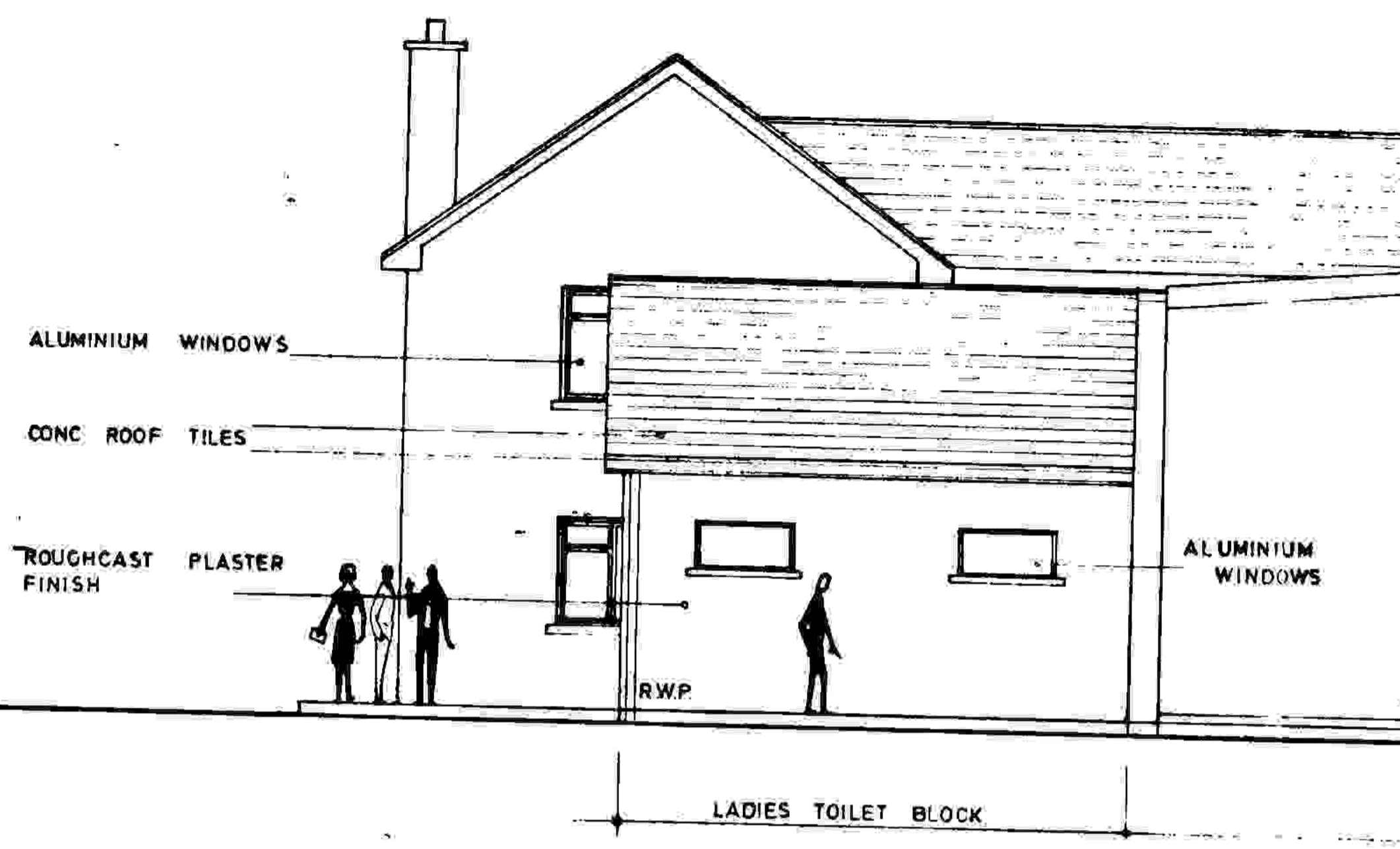
All pipes shall be laid accurately to the required lines, levels and gradients, with the socket pointing opposite the direction of the flow.

All joints shall be made so that the spigot end of the pipe is truly concentric with the socket and the inside of the pipes shall be left free of jointing material. If cement mortar joints are used the inside of each joint shall be wiped off as the work proceeds.

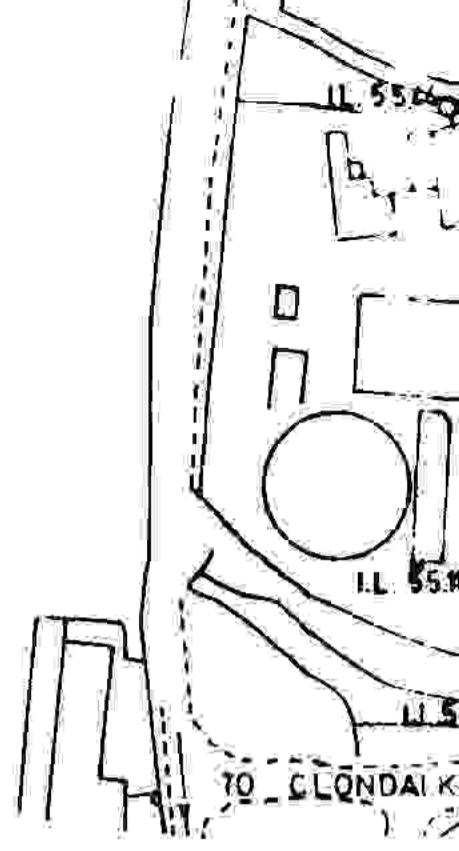
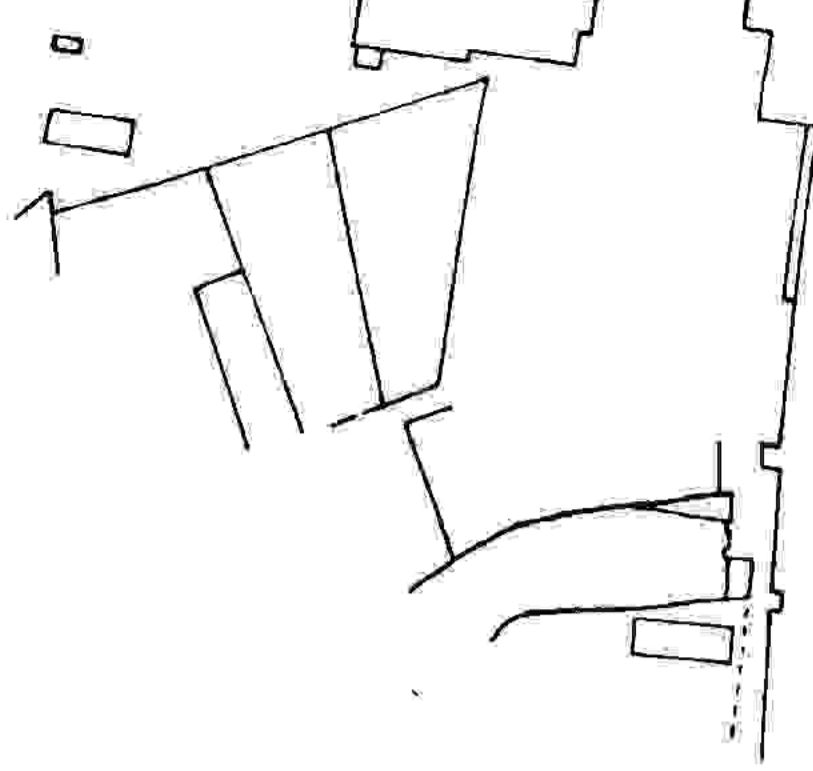
All drains and fittings shall be tested by water pressure, after laying and jointing and before the trench is back filled, with a pressure equivalent to a 9 m head of water applied at the upper end of the drain under test. Loss of water under test shall be not more than 8 litres per hour per 10 cubic metres volume of drain tested. The water pressure shall be held for not less than ½ hour.

No drains shall be covered over until passed as satisfactory by the Architect

Manholes shall be constructed of concrete cast in-situ, or of precast units, as indicated or directed. The water-ways shall be formed of salt glazed ware or plastic half channel sections and the floor of the manholes shall be properly benched up and floated smooth, as indicated in B.S. 8301.



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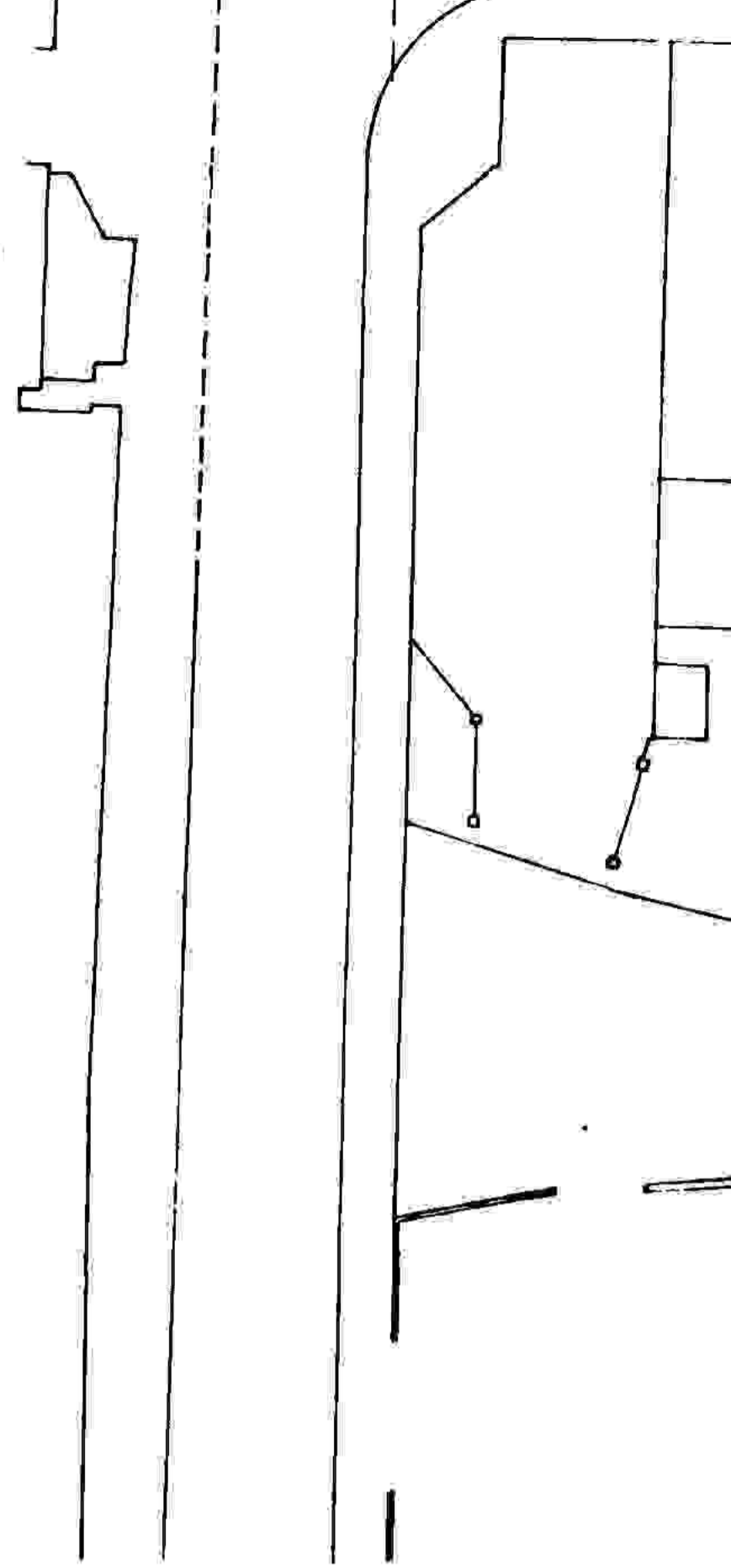
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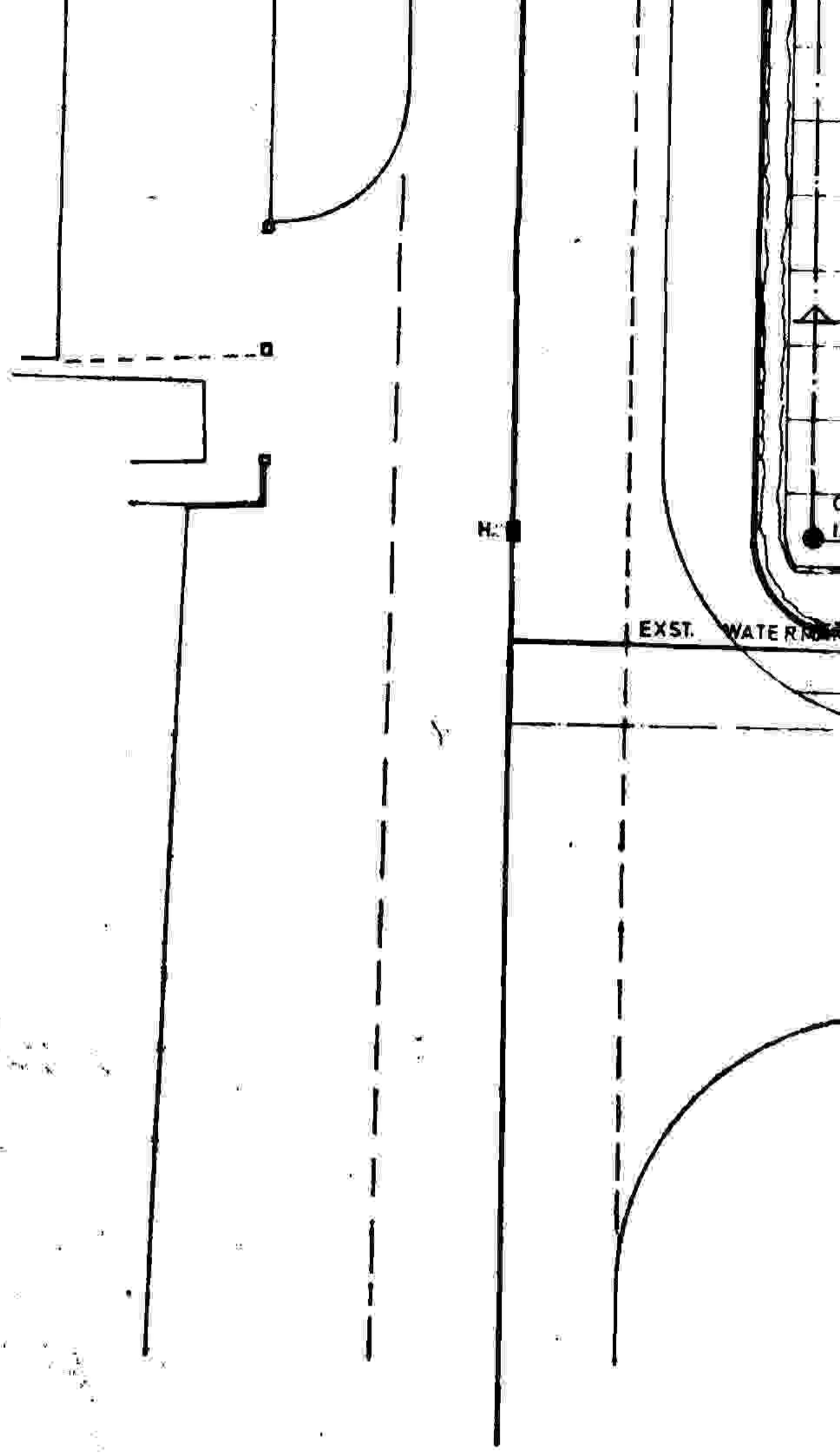
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