

APPEALS DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 914/1517

1	ENTERED IN OBJECTORS BOOK	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS BOOK	
4	ENTERED IN PLANAPS: I.E.:	
	APPEALS DECISION <u>PK</u>	✓
	CHANGE STATUS <u>55</u>	✓
	APPEALS DATE <u>31-08-92</u>	✓
5	COPY OF DECISION FOR WEEKLY LIST (MARY/LAURA)	
6	DECISION CIRCULATED TO LISTED PERSONS	✓
7	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
8	TO L. DOYLE FOR NOTING	
9		
10		

CHANGE STATUS IN PLANAPS:

REFUSAL.....55
 GRANT.....62
 WITHDRAWN.....54
 CONDITIONS.....53

Register Reference : 91A/1517

Date : 6th March 1992

Dear Sir/Madam,

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road

Applicant : Channon Limited

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

I wish to inform you that an appeal has been lodged with An Bord Pleanála against the Council's decision to REFUSE PERMISSION.

All further correspondence in relation to this appeal should be addressed to The Secretary, An Bord Pleanála, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel. 728011).

Please note that submissions or observations made to An Bord Pleanála by or on behalf of a person (other than the applicant) with regard to an appeal made by another person must be accompanied by a fee of £30.

Yours faithfully,

.....
L.S.

for PRINCIPAL OFFICER

Mr. F. X. M. Lynam,
5 St. Fintan's Terrace,
Palmerstown,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

Dear Sir/Madam,

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

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Yours faithfully,

.....L.S.....

for PRINCIPAL OFFICER

Mr. G. Simpson,
The Stone House,
Old Lucan Road,
Palmerstown, Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

Dear Sir/Madam,

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Yours faithfully,

.....
L.S.
.....
for PRINCIPAL OFFICER

Mr. R. Joy,
9 Riverside Drive,
Palmerstown,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

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Yours faithfully,

..... L.D
.....

for PRINCIPAL OFFICER

Mr. A. Wasser,
1 Robinvillas,
Palmerstown,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

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for PRINCIPAL OFFICER

Ms. A. Ellis,
7 Main Road,
Palmerstown,
Dublin 20.

Register Reference : 91A/1517

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Yours faithfully,

.....
LJ

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E.J. Mullally,
"Glencree",
Robin Villas, Palmerstown,
Dublin 20.

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Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

Sean Carvin,
Apt. 9,
Millbrook, Old Lucan Rd,
Palmerstown, Co. Dublin.

Register Reference : 91A/1517

Date : 6th March 1992

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Yours faithfully,

..... L. J.

for PRINCIPAL OFFICER

Mary & Brian Fleming,
22 Lr. Kennelsfort Road,
Palmerstown,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

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Yours faithfully,

.....
for PRINCIPAL OFFICER

J.N. Delamere,
5A Old Lucan Road,
Palmerstown Village,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

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Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

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Yours faithfully,

.....
L.S

for PRINCIPAL OFFICER

Gerard Ryan,
"Edelweiss",
4 Old Lucan Road,
Dublin 20.

Register Reference : 91A/1517

Date : 6th March 1992

Dear Sir/Madam,

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

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.....
L.S

for PRINCIPAL OFFICER

Celia Taylor, An Taisce,
2 Main Road,
Tallaght,
Dublin 24.

Register Reference : 91A/1517

Date : 6th March 1992

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Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

Anne Coffey,
154 Palmerstown Avenue,
Palmerstown,
Dublin 20.

Councillor Gus O'Connell,
47 Palmerstown Green,
Dublin 20.

Our Ref.: 91A/1517

31 January 1992

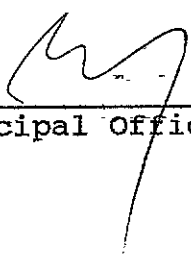
RE: Proposal to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

Dear Councillor O'Connell

I refer to your recent representations in connection with the above planning application.

I now wish to inform you that by Order Dated 30th January, 1992 it was decided to REFUSE PERMISSION for the above proposal.

Yours faithfully,



for Principal Officer.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1517

Date : 31st January 1992

Dear Sir/Madam,

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

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Anne Coffey,
154 Palmerstown Avenue,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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Mr. F. X. M. Lynam,
5 St. Fintan's Terrace,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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Yours faithfully,

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.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
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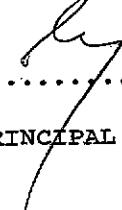
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Sean Carvin,
Apt. 9,
Millbrook, Old Lucan Rd,
Palmerstown, Co. Dublin.



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Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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for PRINCIPAL OFFICER



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J.N. Delamere,
5A Old Lucan Road,
Palmerstown Village,
Dublin 20.



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Bloc 2, Irish Life Centre,
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for PRINCIPAL OFFICER



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Mary & Brian Fleming,
22 Lr. Kennelsfort Road,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1517

Date : 31st January 1992

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Submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be accompanied by a fee of 15.

Yours faithfully,


.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1517

Date : 31st January 1992

Dear Sir/Madam,

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road

Applicant : Channon Limited

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

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Gerard Ryan,
"Edelweiss",
4 Old Lucan Road,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
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Yours faithfully,

A handwritten signature in black ink, appearing to be 'C. J. ...', written over a dotted line.

.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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Baile Atha Cliath 1.
Dublin 1.
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Celia Taylor, An Taisce,
2 Main Road,
Tallaght,
Dublin 24.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
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Yours faithfully,

.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
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Mr. A. Wasser,
1 Robinvillas,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
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Yours faithfully,

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.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
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Mr. G. Simpson,
The Stone House,
Old Lucan Road,
Palmerstown, Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
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Yours faithfully,

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.....
for PRINCIPAL OFFICER



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
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Mr. R. Joy,
9 Riverside Drive,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
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Ms. A. Ellis,
7 Main Road,
Palmerstown,
Dublin 20.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 724755
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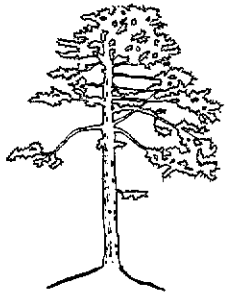
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for PRINCIPAL OFFICER



Palmerstown Environmental Group

1233

TX ✓ 91A/1514
J. Bird
6/1
m

OBJECT

Kit
23/12

154 Palmerstown AVE
Palmerstown
Dublin 20
December 16th 91

Re Proposed Retail Park 91A/1514

Dear Planning Officers for Palmerstown

I write to you on behalf of the above group. We object to the above proposal, which would ruin our village, and destroy our efforts to improve Palmerstown environmentally.

Sincerely yours

Anne Coffey
Environmental Committee

18 DEC 91

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 1517

BELGARD
H + P
20/12/91
==

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
	<p><u>Mr O'Halloran</u> No need for this devt. Existing shopping facilities are adequate - Palmerston</p> <p><u>Mr O'Connell</u> ^{while} Local residents would like to see site cleared generally in favour of some devt.</p> <p>Junction of Kennelsport/Galway Roads is badly designed. To get round it drivers have to break the law by crossing a continuous white line.</p> <p>Opposed to access/exist. church - Old Lecca Rd - would turn Palmerston Village into a roundabout Conflict with C2 zoning</p>		

DUBLIN CITY COURTS
PLANNING DEPT.
RECEIVED
8 OCT 1991

OBJECTOR?

St. Pinter's Tce.,
Palmerstown,
DUBLIN. 20.
October 2nd '91. *P. Kenny*

91A/1517
1021

OBJECTOR

A Chara,
It has come to my notice that the firm of McDonalds are about to set up a business in Palmerstown on the site of Vincent L. Byrne's.

I wish to protest against the action of these people to commence trading in our district. At the present moment we have already three fast food establishments in our small area viz. a Chinese Restaurant just across the road from where McDonalds will operate; we also have a fish and chip shop adjacent to the Chinese Restaurant - namely Borza's. On Manor Road a very short distance away we have yet another Fish & Chip shop.

Surely, we have quite enough of these outlets in such a small area. I, for one would not like to have McDonalds on this piece of land. It is most unfair, to say the least of it, cluttering up our nice quiet village.

At this stage, may I make a very good suggestion, why not start up some scheme for the unemployed, for instance a craft centre, or allotments, so that these poor downtrodden people can grow their own food.

Mise, le meas.
Francis X. M. Lynam
(Francis X. M. Lynam)

BYE LAW APPLICATION FEES

REF. NO.: 91A/1517 CERTIFICATE NO.: 16318B
 PROPOSAL: Retail Centre
 LOCATION: New Lucan Road
 APPLICANT: Channon Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <i>3161 m²</i>	@ £3.50 per M ² or £70	<i>11063.50</i>	<i>11063.68</i>		<i>18p deposit</i>	
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: DHL Date: 23/9/91
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 23/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1517 Cert. No. 26657
 PROPOSAL Retail Centre
 LOCATION New Lucan Road,
 APPLICANT Channon Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>3161m²</u>	@£1.75 per m2 or £40	<u>5531.75</u>	<u>5531.83</u>	<u>8'000gnet</u>	
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: [Signature] Grade D/TL Date 23/9/91
 Column 1 Endorsed: Signed: [Signature] Grade..... Date.....
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade S:0 Date 23/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed:..... Grade..... Date.....

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1983 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTIONS

EG. REF.: 91M/1517

COND. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

REA. OR SITE:

LOOK AREA OF PRESENT PROPOSAL: 34026 sq ft

ENSURED BY:

CHECKED BY:

J.Y.
23/9/91

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT:

MANAGER'S ORDERED NO: BY / OF
DATED

ENTERED IN CONTRIBUTIONS REGISTER

DEVELOPMENT CONTROL ASSISTANT GRADE

Dublin County Council,
Planning Dept.,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.



Please reply to:
'Glencree',
Robin Villas,
Palmerstown,
Dublin 20.

November 1991

Dear Sirs,

1190

REF: 91A / 1517

We, the undersigned, residents of Palmerstown, wish to lodge a very strong objection to the proposed development at Lr. Kennelsfort Road presently occupied by the business of Vincent L. Byrne Ltd.

Our two main concerns are:

1. The unacceptable level of traffic which this development would generate
2. The proposal that the development would include a "McDonalds' fast food outlet.

1. TRAFFIC

The development has to be looked at in the context of traffic volumes both present and projected.

a) Present Traffic

Only one outlet, via Kennelsfort Road to the dual carriageway, caters for the huge volume of traffic generated daily within the landlocked village of Palmerstown as follows:

- i) Daily business traffic to / from the businesses within the village particularly the sole bank in Palmerstown.
- ii) Stewarts Hospital for the mentally handicapped.
- iii) Stewarts Hospital School.
- iv) Stewarts Hospital Sports Centre which attracts national sports events, competitors and spectators.
- v) The sole Church in Palmerstown.
- vi) The Palmerstown Parish Centre.
- vii) Daily bus traffic.

Cont'd..

- viii) Residents of :
 - Old Lucan Road
 - Village and Main Street
 - Riversdale Estate
 - Hollyville Estate
 - Roseview Estate
 - Robin Villas
 - Waterstown Avenue
 - Kennelsfort Road Lower
 - Riverside Estate
- ix) The increased traffic in the village as a result of the opening of the Toll Bridge / Western Parkway
- x) The Palmerstown House pub

b) **Projected Traffic**

In addition to the level of traffic we presently suffer, as outlined above, the volume is set to increase dramatically with the proposed developments in Palmerstown and its environs within the next few years, such as:

- i) The Liffey Valley Linear Park
- ii) The Quarry Vale Development
- iii) The increasing development in the West County and North Kildare
- iv) The increasing number of vehicles from the latter development using the amenities of the village, such as bank, church, businesses, sports complex, pub etc.
- v) Riversdale Nursing Home

It can be seen therefore, that even without the proposed Retail Park, to which we are objecting, the future volumes of traffic are set to reach an unacceptable level.

The proposed egress from the Retail Park to the old Main Road is just not acceptable to the residents who live on same or within close proximity.

The proposed opening of a slip road at the Stewarts Hospital end of the Main Road is no solution to the future problem of traffic within the village, but is merely a stop-gap measure.

It is a source of particular annoyance that the Dublin County Council should now open this slip road in the face of the proposed Retail Park development, in view of their continual refusal to do so despite repeated requests from the Palmerstown Community Council and residents since the closure of the Old Lucan Road.

2. 'McDONALDS' DEVELOPMENT

The inclusion of a McDonalds fast food outlet in this proposed development is totally unacceptable for the following reasons:

- i) It would be the major generator of traffic, particularly at weekends, when increased volumes would also be generated by the church, pub, sports centre, parish centre, Liffey Valley Park etc.
- ii) It is commercially and socially unnecessary in Palmerstown.
- iii) It would not serve the community but rather is aimed at passing traffic.
- iv) It is environmentally unacceptable.
- v) Major littering and vermin would be daily problems.
- vi) A development such as this is contrary to the spirit of the Special Amenity Order for the Liffey Valley and its environs.
- vii) Housing within the surrounding area of a McDonalds outlet would naturally be devalued.

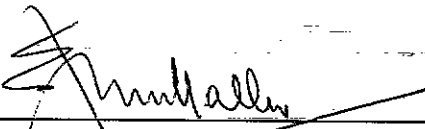
SUMMARY

In conclusion, therefore, our objections to this proposed development are based on the fact that:

- a) It would create a major traffic hazard.
- b) Increased traffic would present a danger to children.
- c) It is environmentally unfriendly.
- d) Presently established business would suffer.
- e) It lessens the effect and spirit of the Special Amenity Order which is unique in this country.
- f) Increased traffic congestion would have a detrimental effect on the access of emergency services such as ambulances, fire brigades, etc.
- g) Dublin County Council have confirmed the cost of repair to the Old Lucan Road at £80,000 and have further confirmed they do not have these funds. Increased traffic would surely heighten this problem.

We would ask that the development be dis-allowed.

Signed on behalf of the residents attached


E.J. Mullally

C.C. PALMERSTOWN COMMUNITY COUNCIL
C.C. CLLR. GUS O'CONNELL

Muala Wasser 1 Robinillas Palmerstown
 Arthur Wasser 1 Robinillas Palmerstown
 Steve Wasser 1 Robinillas Palmerstown
 Aoiqe Wasser 1 Robinillas Palmerstown
 Julie Wasser 1 Robinillas Palmerstown
 Bernadette Simons 3 Lucan Rd Palmerstown
 Mary Fitz Simons 3 Lucan Rd Palmerstown
 Gerard Simons 3 Lucan Rd Palmerstown
 John Corrigan 1 Lucan Rd Palmerstown
 Eoghan Corrigan " " "
 Ann Holland " " "
 Walter Holland 2 The Homestead Lucan Rd.
 Maria P. Meyer 5 Lucan Rd Palmerstown
 Pat Callan 6 Lucan Rd Palmerstown - 220
 Tony Boyd " " " "
 Diane Boyd " " " "
 John Boyd " " " "
 Frank Nolan " " " "
 John Ryan
 Muala Ryan
 Kathleen Lysill
 Christopher Lysill
 Christine Delaghty
 Conna Barron
 Denise Brennan 1 Hoey Hill Lucan Rd
 Joyce Croce 7 Culmore Park Palmerstown
 Mary Cook 6 Hollyville Ter Palmerstown, T.20
 Gerard Ryan 4 Lucan Rd
 Shona Ryan
 Brennan Ryan 3 Lucan Rd
 Evelyn Ryan " " "
 Geoff + Bernie Simpson, The Stonehouse, Old Lucan Rd.
 Elizabeth Callaghan 2 New Town Clarke Cottage

- Andrews Hickey 31 RIVERSDALE AVE DUBLIN 20
- Mairéad Murphy 29 Riversdale Ave. D. 20
- Ann Carberry 28 Riversdale Ave D 20
- Kevin McGeenan 27 Riversdale Ave
- Theresa Lavin
- Josephine Ford 26 Riversdale Ave.
- Miriam "Mimi" "TARRON" ROBIN VILLAS, D. 20
- Maria "Mary" "TARRON" ROBIN VILLAS, D. 20
- John McRough " " " "
- Sue McHugh " " " "
- Donal Kennedy 16 Manor Park Palmerstown
- Barth Kennedy 16 Manor Park Palmerstown
- Peter Cowan 117 Glenmaroon Rd Palmerstown.
- P. J. Lawlor 1 Riverside Ave Palmerstown
- Collette Jordan 10 Riverside St Palmerstown D 20
- Lyndal Jordan 10 RIVERSIDE DR " "
- CAROL VARLEY 12 RIVERSIDE DR D. 20
- Margaret Hughes 18 " " " "
- Frank Hughes 18 " " " "
- Noleen Moran 20 " " D. 20
- Jim Moran 20 " " D. 20
- EILEEN CONAN 21 RIVERSIDE DR.
- Rina Shannon 23 Riverside Dr D 20
- Senan Lalor 25 Riverside Dr D. 20
- Ceate Keirny 29 Riverside Dr D 20
- Kerry Keirny " " " "
- Catherine Morgan 30 Riverside Drive
- Mary Morgan " " " "
- Michael Conley 5 Hollywell
- PAT Coffey 1 Hollywell
- Serry Coffey 1 Hollywell
- Lily + Andrew McKeeney 9 Hollywell Ter,

OBJECTION TO MC DONALD'S Development

John Kennedy	48	Robinillas, Palmerstown
Ann Kennedy	48	Robinillas, Palmerstown
Joan O'Connor	6	Robin Villas Palmerstown
Ellen Kennedy	16	Manx Park Palmerstown
Carolyn McAuley	2	Robin Villas Palmerstown
Mark McAuley	"	"
Harry McAuley	"	"
Seán McAuley	"	"
Sharon Dunne	4	Robin Villas Palmerstown
Tara Dunne	"	"
Diarmuid Dunne	"	"
Marie Brennan	12	Riversdale Grove
Padraig Leahy	10	"
Evelyn Leahy	"	"
Deborah Allen	8	"
Helen Leahy	6	Riversdale Grove
John Leahy	4	Riversdale Grove
Jim Killeather	17	Riversdale Grove
Eva Killeather	17	Riversdale Grove
Sandra de Gas	22	Riversdale Grove
Beryl Bourke	11	Riversdale Grove
John Bourke	11	RIVERSDALE GROVE
Julie Hawley	9	Riversdale Grove
John Hawley	9	Riversdale Grove
Gerda Brennan	7	Riversdale Grove
Christine Harrigan	1	Riversdale Grove
Veronica Kenney	43	Riversdale AVE
John Kenney	"	"
Michael Murray	4	Riversdale Ave
Conor Magan	"	"
Patricia Magan	4	Riversdale Ave
Mary Bannon	29	Riversdale Ave
David Sullivan	32	Riversdale Ave

Robert H. Cobble, 35, Hollyville Lanes, P. town D20
 Joseph + Margaret, 34 Hollyville Lanes S.
 Bernadette Mc Govern, 34 Hollyville Lanes S. Palmerstown D20
 Dorisita Mc Govern 34 " " " "
 Rosa Mc Govern 34 " " " "
 Bob Mc Govern 34 " " " "
 Dede Mc Govern 34 " " " "
 Margaret Mc Govern 34 " " " "
 Maria Mc Govern 34 " " " "
 Agnes + James O'Leary
 Helene Murray 31 Hollyville Lane
 James Murray 31 Hollyville Lane
 John Van Canteact 27 " "
 Gene Gault 26 Hollyville Lane
 Joan Smith 26 " "
 Michael Tavey 25 " "
 James Foy 25 Hollyville Lane
 Michael Murphy 2 Waterstown Ave.
 Ethel Murphy 2 Waterstown Ave.
 R. Griffin 1 Waterstown Ave.
 Ethel Byrne (Site 2) Waterstown Ave, D20
 Des Byrne " " " "
 Tony O'Donnell Swiss Cottage Waterstown Ave.
 Paddy O'Donnell Swiss Cottage Waterstown Ave D20
 Conor O'Donnell Swiss Cottage Waterstown Ave D20
 Declan O'Donnell Swiss Cottage, Waterstown Ave D20
 Cathy Cahill 3 Waterstown Ave D20
 Josephine Messery
 Anthony Downes
 David Downes 5 Waterstown Ave, D20
 John Downes 5 Waterstown Ave, D20.
 Sandra Downes 5 Waterstown Ave, Palmerstown
 Rose Downes 5 Waterstown Ave Palmerstown

Brendan Clancy 3, Robin Villas
 Andrew Clancy " "
 Eileen Clancy " "
 R. Brehon 1, Old Lucan Rd.
 H. Brehon 1 Old Lucan Rd.
 Caroline Kavanagh 2nd Old Lucan Rd.
 Ian Kavanagh " "
 Graham Kavanagh " "
 Doreen O'Reilly 3 Old Lucan Rd.
 Mrs Delamere
 P.J. Lawton 4 Riverside Drive
 John Lennon 3 " "
 Kay " " "
 Joe Colter 2 Riverside Drive
 Carmel Colter " "
 M. Smellwood 13 Lucan Rd.
 P. Smellwood 13 Lucan Rd.
 P. M. Leahy 11 Hollyville Lanes
 M. M. Leahy " "
 Ken M. Leahy " "
 Jan Leahy " "
 Peter Darragh 50 " "
 Ann Darragh " "
 Maria Smith 49 " "
~~Patricia Darragh 48 " "~~

Yes - He - Louisa Hollyville Lanes
~~Patricia~~ Hollyville Lane
 Mary Horgan "
 Pauline O'Leary "
 Nell Horgan Hollyville Lane
 Darragh Curran Hollyville Lane
 R.F. Corbet 35 Hollyville Lane
 N.J. Corbet 35 Hollyville Lane

Eileen Kangan	7	Robin Villas	Palmerstown
Jemo	"	"	"
Rita Mahadey	Rosedene	Robin Villas	Palmerstown
Sean Mahadey	Rosedene	Robin Villas	Palmerstown
David Mahadey	Rosedene	Robin Villas	
Jim Mahadey	Rosedene	Palmerstown	
Erene Hughes		Robin Villas	
Thomas Hughes		Robin Villas	
John Plaxid		Robin Villas	
Grace Mc Fadden		Robin Villas	
Tulsa Kanner		Robin Villas	
Ruelis Kanner		Robin Villas	
Kathleen Conway		Robin Villas	
Kate Conway		Robin Villas	
Adelma Conway		Robin Villas	
Betty Green		Robin Villas	
MARIA Gleason		Robin Villas	
Helen Mullenally	Glenree	Robin Villas	Palmerstown D.20
Paul Mullenally	Glenree	Robin Villas	Palmerstown D.20
Eada Mullenally	"	"	"
Conor Mullenally	Glenree	Robin Villas	Palmerstown DUB.20
Joseph Mullenally	"	"	"
John Mullenally	"	"	"
J. McCabe	8	Robin Villas	
J.C. McCabe	8	Robin Villas	
J.C. McCabe	8	Robin Villas	D.20
Thomas O'Reilly	"	"	"
Maria O'Reilly	"	"	"
Bryan O'Reilly	"	"	"
Sandra O'Reilly	"	"	"
Mary Lynne	"	"	"
Dario Elaney	3	Robin Villas	
Kathleen Lynch			

Paddy Duff	3 Glenpark Close Palmerstown D2
Kathleen Fallon	Waterloo Avenue Palmerstown D2
J. V. Byrne	Wickham Quay Palmerstown D20
W. Byrne	Wickham Quay Palmerstown
Joe Maguire	60 Glenmison Road Palmerstown
LoEllson	63 Templeville Dr, Tolonen, D'6W
David Ellison	37 Ardagh Park Blackrock Co. Dub
Hilary Byrne	91 Spurl Sandford Co. Dublin
Pauline O'Brien	38 Sandford Ave. S.C.R.
Betty Breen	38 Sandford Ave. S.C.R.P.
Louise Slater	60 Farnell Street, Dublin 3,
John O'Brien	Templeogue, Dublin 6
E. H. Vinnell	76 Capin Hill
P. Hendon	76 Capin Hill
Tom Farrelly	11 Carleton St Dublin 2.
Dr Martha Elson	63, Templeville Dr Dublin 6W
Mrs Ellison	63 Templeville Drive 6W.
Bernie Judge	Walterstown Avenue D20
Fatima O'Neill	Kennelsford Rd Dro
Kay Kavanagh	Kennelsford Rd
John Walsh	at Bridget's Ice
Anne Walsh	Lodge Park Straffan
S. Collins	backyard, Straffan Co. Kildare
Michael Collins	" " " "
Samuel Kelly	Lodge Park Straffan Co Kildare
Frank Collins	107 Lucan Heights -
Pat Lyman	299 Beech Park Lucan
S. Fallon	299 Beech Park Lucan
C. J. Lyman	102 Lucan Hills " "
M. J. Sheehy	Tellum Lane Co. Wick
J. Fanning	Saggart Co. Wick

11 a size W coat. 13 anett St Bayezalston Co Cork
 J. J. Lynn 102 Lucan Heights Lucan Co. Dubl
 D. J. Lynn 102 Lucan Heights Lucan Co. Dublin
 T. J. Fanning 102 Lucan Heights Co. Dublin
 Tracy Stafford 29 Glenfield Avenue Clonsilla, Dublin 22
 Patricia Fallon 100 Kennelsfort Road Palmerstown Dublin 20.
 Tony Fallon 24 Glenfield Ave Clonsilla D. 22
 Pat Fallon 100 Kennelsfort Rd Palmerstown D. 20
 Tony Fallon 100
 Dick Fallon 14 Kew Park Lucan Co. Dubl
 Joyce Fallon 14 Kew Park Lucan Co. Dubl
 Yvonne Fallon 14 Kew Park Lucan Co. Dublin
 Helen Fallon 14 Kew Park Lucan Co. Dublin
 Cathryn Fallon 14 Kew Park Lucan Co. Dublin

John Marie Gile Tooran Hse, Old Lucan Rd.
 Mairead Coniskey Tooran Hse Old Lucan Rd
 J. Carrickford Lucan Rd Palmerstown
 K. Carrickford
 C. Roberts. Riversdale Bungalow Lucan Rd.
 Aidan Mahady 9 Westbrook Lucan Rd
 Aileen Mahady 9 Westbrook Lucan Rd
 Jessica Mahady 9 Westbrook Lucan Rd
 Emma Mahady 9 Westbrook Lucan Rd
 Steven Mahady 9 Westbrook Lucan Rd

Apt. 9 Millbrook
Old Lucan Road
Palmerstown
Dublin 20

10th. December 1991

OBJEC

Chief Planning Officer
Dublin County Council.

Dear Sir,

I refer to planning application number 91A/1517 concerning the construction of a retail centre at the junction of Kennelsfort Road and the Chapleizod/Palmerstown/Lucan by-pass.

I hereby formally object to this proposal on the grounds that it will cause massive traffic problems at the above named junction which is the scene of frequent traffic accidents. The major advantage of the by-pass will be negated if the bottle-neck and congestion which formerly was a feature of Palmerstown Village is moved to the above junction. The proposed development would also not be compatible with the general area because of its proximity to the country's first special amenity area.

Will you please advise me if the proposal which I understand Dublin County Council have already approved to reopen the Old Lucan Road at the eastern edge of Palmerstown Village is related to the above planning application.

Yours faithfully


Sean Carvin

DUBLIN COUNTY COUNCIL
PLANNING DEPT

TOR

Dear Sir Madam

13/11/91 9/12/91

pu

I object to the Mc Donald Restaurant being built on the V.L. BYRNE site at Kannelford Road Palmerstown Dublin 20 - namely, it is a two storey Building which by the size of it, will overlook my garden and rear of house thereby depriving me of my privacy, not to mention Odours and litter bins.

The site is zoned for amenities for the locality NOT SO! Mc Donalds is there for the motor-way and to catch people coming in from the country imagine a match day with the Pub and Mc Donalds, we would not reach our own homes, the Village would just become a car park. I now note the Council now propose to open up the slip-way onto the Galway Road, is this really to facilitate Mc Donalds. Sir you should do a traffic count now, this Village cannot take any more traffic as it is (or do we wait for the famous accident fork) I also note this is the first Mc Donalds in Ireland to be situated in a residential area. all others are in towns or industrial areas I.E. NASS ROAD. and as regards employment, the other developments I.E. TV SHOP BANK ETC are already in the Village do we really need to reciprocate last, but not least, what happens when the Liffey Valley gets started, what happens to the OLDE WORLDE VILLAGE

Please think again and let the Money men go elsewhere

91A/1517

1220

Yours sincerely
J R Delmore

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

COMPLAINT SHEET

LOCATION VL BYRNE RETAIL PARK PALMERSTOWN DUBLIN 20

NATURE OF COMPLAINT

PTO

12 DEC 91

DEVELOPER/OWNER

DATE DEVELOPMENT/USE COMMENCED

NAME OF COMPLAINANT MR F R DELAMERE

ADDRESS OF COMPLAINANT S A OLD LUCAN RD PALMERSTOWN VILLAGE
DUBLIN 20

SIGNATURE OF COMPLAINANT F R Delamere

DATE 9/12/91

FOR OFFICE USE ONLY

Reg/BBL Files

Previous Enforcement Files

pu

1x

22 Lx. Kennedy Street

1219

Palmerston
N/N

220

OBJEC

Ref 914/1517

16 DEC 91

A chair,

We are writing to object to the above planning application. As our address indicates we live opposite the proposed development. We have no difficulty with the principle of development at the site in question but we feel that the particular proposal which includes a Mac Donalds premises will generate a large amount of additional traffic which will further exacerbate an already difficult situation.

Palmerston village as only one access feeding, a hospital, 2 schools, a bank, a sports centre, a public house, various shops, a snooker club, a church, an industrial estate, some 200 residences, a nursing home, a restaurant, and in a few years time a public regional park. The existing road junction cannot cater adequately for the traffic as it is. Improvements whenever they come will involve acquiring property on which the applicants intend to build. So granting permission will not only add to the problem that exists but will also put back the day when a solution will be provided.

2. The existing junction is the scene of weekly accidents including a fatality. The biggest share of these involve "right turners" into the village being struck by city bound traffic. Imagine the difficulties caused if significant numbers of the "right turners" are taking immediate left into the proposed developments.

Yours truly

Manly Brian Fleming

91A/1517

1222

PM

OBJECTOR

Dept. of the Environment
 Co. Council
 17/11
 4 Old Lucan Rd.
 Dublin 20.

Dear Sirs. 13/12/91

I understand you have before you a Planning Application for the Development of what is known as the Vincent Byrne site in Palmerstown Village.

I object to any further development in this area until something is done to alleviate the present traffic chaos in the village.

This appalling traffic problem in Palmerstown has, in my opinion, been caused

by Bad Planning and I
Sincerely hope that the
Planning Authority don't intend
to make an appalling
situation worse.

Yours Sincerely

George Ryan



13 DEC 91

17/12

1223

An Taisce

PK

The National Trust for Ireland

2 Main Road,
Tallaght,
Dublin 24
11th December 1991

Re: Planning application dated 18th September 1991 - B 91 A/1517 -
Palmerstown; on site alongside the new Lucan Road - Construct
a retail centre - Channor Limited

Dear Sirs,

OBJECT

The South-West County Dublin Branch of An Taisce wishes to support Palmerstown Community Council in its opposition to the construction of a drive-in restaurant adjacent to the Palmerstown By-Pass in Palmerstown village. Whilst we acknowledge that the restaurant concerned is part of a shopping centre and that a development including a restaurant is a permitted use in the zoning designation concerned, we consider that drive-in restaurants should be regarded as a separate type of development because of their ^{and} size and the impact which they have on neighbouring areas because of the great volume of traffic which they generate. We consider, in fact, that a distinction should be drawn between sizes in restaurants in the Draft Development Plan in the same way that both shops and offices have been subdivided into groups in that plan.

We consider that the site proposed for the development is a most unsuitable one in that access can only be gained to it through a busy traffic junction and a residential area. Old Palmerstown village already suffers acute traffic problems, particularly in that section of the Lower Road to the north of the aforesaid traffic junction. This situation is particularly bad on weekend evenings at precisely the time when a drive-in restaurant will expect to have its greatest number of customers. Again, we would like to remind the Planning Department that this development will be situated next to an area which is zoned "to protect or improve residential amenity." We do not consider that the proposed development will contribute to this objective - particularly when access can only be gained to it through a narrow laneway. Perhaps more importantly the proposed development will be adjacent to an area of which the objective is "to protect and enhance the special physical character of town and village centres". We expect Dublin County Council to be more sensitive in its treatment of areas in the environs of such zones.

We would like to remind Dublin County Council that according to the 1983 Development Plan, a local/neighbourhood centre facility should contain no more than twenty shops (the maximum permitted in a neighbourhood centre, according to that plan). We hope that at present and in future, the Planning Department will bear that in mind.

We recommend the exclusion of a drive-in restaurant at the above location.

Yours faithfully,

Celia Taylor

Celia Taylor

91A/1517
1109

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPL No. 91A/1517
14 NOV 1991

Re: Planning App. 91A/1517
NOV 1991

I wish to object to the
above planned proposal on the
grounds of:

1. Traffic congestion.

2. environment.

Signed:

Anthony Wasser

ANTHONY WASSER
1 ROBINVILLAS
PALMERSTOWN

DUBLIN 20

Phone Home 6268278
office 712811

The Stone House,
Old Lucan Road,
Palmerstown,
Dublin 20.

Telephone: (01) 262894

91A/1517
1086
DEVELOPMENT
- 6 NOV 1991
CONTROL

PK
3/11/1991

OBJECTOR

I wish to register my objection to a proposed development at a site bounded by Old Lucan Road, Lower Kennelsfort Road and the Palmerstown By-Pass. I understand that the proposal is numbered 91A/1517.

Whereas I have no objection, in principle to the site in question being developed in some way, I must protest strongly that any such development should be contemplated until the traffic situation in the area has been satisfactorily resolved. At present, the junction of the Palmerstown By-Pass (Galway Road) and Lower Kennelsfort Road is, at times, chaotic. Those of us living on the old Lucan

Road have only one exit to the outside world and any blockage to that exit leaves trapped. For instance, any trips on Sunday must be planned to take account of Mass times, as otherwise 15/20 minutes should be added to estimated journey times. This is a situation that should be urgently addressed, also with a view to dealing with the growing tailbacks on the By-Pass. At morning and evening rush hours, the lights at Kermelport Road, Deadman's Inn and Fonthill Road are causing increasing congestion, which can only be made even more serious by developments such as those contemplated at Palmerston, and indeed, Quarryvale.

If the road situation can be resolved, then by all means, let us consider this proposal again, ~~by~~ but in the present circumstances, it is simply not on.

Yours sincerely
Geoffrey Simpson

9 Riverside Drive,
Palmerstown,
Dublin 20.

5th November, 1991.

OB.

91A/1517
1098

Planning Officer,
Dublin County Council,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

R
7/11

DUBLIN COUNTY COUNCIL
PLANNING DEPARTMENT
RECEIVED
5 NOV 1991

Ref: File No. 91A/1517

Dear Sir,

I wish to object to the proposed development, planning No. 91A/1517, at Palmerstown, on the grounds of traffic difficulty.

There is at present a problem exiting from the village. This becomes particularly difficult at Funeral and Mass times.

It remains to be seen whether the proposed opening of the exit at Fintans Terrace solves this problem. Even if it does, it is hard to see how these exits could cope with the increased volume of traffic from the proposed development.

I therefore ask that no permission be given for the development until suitable arrangements are made.

Yours sincerely,

R. Joy
Richard Joy.

RECEIVED

91A / 1517

15 NOV 1991

Reg. Sec.

1115

We the undersigned would like to state our objection to the proposed V. L. Byrne Retail Park including McDonalds, at the junction of Kennelsfort Rd & the Galway Dual Carriage-way due to the traffic situation. We also object to the proposed traffic coming out at the Church and the re-opening of the slip road at the end of the village and one-way traffic into the village.

The traffic situation is ridiculous at the present time.

On behalf on the above
Signed Anne Ellis
7 Main Rd
Palmerston D20

John Murphy 8 Main Rd Palmerstown
 Anne O'Reilly, 1 St. Fintans Terrace.
 DAMIEN Ryan 2 St Fintans Terrace
 SANDRA Ryan 2 St Fintans Terrace.
 Rita Flaherty, 4 St. Fintan's Terrace.
 Bessie Flaherty 4, St. Fintan's Terrace.
 Ella Jeff 4 6 St. Fintan's Terrace.
 Nancy Keegan 7 St Fintans Terrace.
 F. Dolina Byrne Kestrel Main Rd Palmerstown
 Stephen Byrne Kestrel Main Rd Palmerstown
 Tony Kennedy 1 Main Rd Palmerstown
 E. Hewitt 2 Main Rd Palmerstown
 M. Walsh 3 Main Rd Palmerstown
 P. Claron 4 Main Rd Palmerstown
 K. Cullen 5 Main Rd Palmerstown
 Kevin Cullen 5 Main Rd Palmerstown
 Richard Ford 6 Main Rd Palmerstown
 Gerard Ford 6 Main Rd, Palmerstown
 Marie C'Connor 8 Red Cow Cottages, Main Road Palmerstown
 Frances GREGORY 2, Main Rd Palmerstown.
 David Gregory 2, Main Rd Palmerstown
 Ann Reilly 6, Main Rd Palmerstown
 Brenda Reilly 6, Main Rd Palmerstown
 Mary Hastwell 7 Main Rd
 J. J. Campbell 6 Glasside Villas
 Catherine Mc Donnell 5 Glasside Villas
 Alice G. Mc Donnell 4 Glasside Villas

4/11/85

Mary A. Parsons 4 Glenside Villas
Molly Connolly, 1 Glenside Villas.

E. Rangan 3 Glenside Villas

Joe. Hesse 2 Charles St. Palmerston

Eileen Clancy 3 Rohen Villas,

22

Kathleen Lynch 3 Rohen Villas,

Christine Carroll 2 main rd Palmerston D

Jenessa Lynnam 5 St Jutans Ice Dn 20

John Mulvey 3 St Jutans Ice Dublin 20

Leo Roche 3 Rohen Villas Palmerston

Tom Buckle 3 Victoria Terrace Palmerston

James Burke 3 Victoria Terrace Palmerston

Diamond O'Brien 3 main Rd Palmerston

Frank Byrne 5 " " "

Gerri Maguire 4 " " "

Jerry Shaw 1 St. Jutans Ice

OBJECTION TO MCDONALD'S Developemem

John Kennedy 48 Robin Villas, Palme.
 Ann Kennedy 48 Robin Villas, Palmerstown
 Joan O'Connor 6 Robin Villas Palmerstown
 Eileen Kennedy 16 Maria Park Palmerstown.
 Carolyn McAuley 2 Robin Villas Palmerstown.
 Mark McAuley " " "
 Harry McAuley " " "
 Seán McAuley " " "
 Sharon Dunne 4 Robin Villas Palmerstown
 Tara Dunne " " "
 Diarmuid Dunne " " "
 Marie Brennan 12 Riversdale Grove
 Paddy Luby 10 " "
 Eileen Luby " " "
 Deborah Allen 8 " "
 Helen Seal 6 Riversdale Grove.
 Jim Seal 4, Riversdale Grove.
 Jim Kilpatrick 17, Riversdale Grove
 Eva Kilpatrick 17, Riversdale Grove
 Sandra de Gas 22 Riversdale Grove
 Blay Bourke 11, Riversdale Grove
 John Bourke 11, RIVERSDALE GROVE.
 Julie Hawley 9, Riversdale Grove
 John Hawley 9, Riversdale Grove
 Geraldine Byrne 7, Riversdale Grove
 Christine Harrigan 1 Riversdale Grove
 Norita Kenney 43 Riversdale AVE
 John Kenney " " "
 Michael Murray 4 Riversdale Ave.
 Geraldine Murray " " "
 Patricia Magennis 4 Riversdale Ave
 Mary Bannion 29 Riversdale Ave
 David Sall 32 Riversdale Ave

Objection TO Mc Donalds Development

Andrews Hickey 31 RIVERSDALE AVE DUBLIN 20
 Mairead Murphy 29 Riversdale Ave. D. 20
 Ann Carberry 28 Riversdale Ave D 20
 Kevin McGeenan 27 Riversdale Ave

Thomas Casar Riversdale ave.
 Josephine Ford 26 Riversdale ave.
 Maria "high" TARMON Robin Villars, Dr 20
 "Mrs. J. Yough" "TARMON" Robin Villars, Dr 20
 John McRoughy " " " "
 Jane McChonick " " " "

Donal Kennedy 16 Manor Park Palmerstown
 Sarah Kennedy 16 Manor Park Palmerstown
 Peter Conkav 117 Glenmaroon Rd Palmerstown.
 P. J. Lawlor 1 Riversdale Ave Palmerstown
 Glette Jordan 10 Riverside Dr Palmerstown D 20
 Gerard Jordan 10 RIVERSIDE DR " " "
 ARNOLD VALBY 12 RIVERSIDE DR " " " D. 20
 Margaret Hughes 18 " " " " "
 Eric Hughes 18 " " " " " "
 Noeen Moran 20 " " " " " D. 20
 Jim Moran 20 " " " " " " D. 20

Eileen Conan 21 RIVERSIDE DR.
 Anne Shannon 23 Riverside Dr D 20
 Eileen Laligh 25 Kingsmill DR D. 20
 Gerie Kenny 29 Riverside Dr D 20
 Gerry Kenny " " " " " "
 Catherine Morgan 30 Riverside Drive
 Mary Morgan " " " " " "
 Michael Gully 5 Hollywell
 PAT Coffey 1 Hollywell
 Gerry Coffey 1 Hollywell
 Lily + Andrew McBehuney 9 Hollywell Ter.,
 " " " " " "

Maala Wasser 1 Robinvillas Palmerston
 Arthur Wasser 1 Robinvillas Palmerston
 SWO Wasser 1, Robinvillas, Palmerston
 Aoife Wasser 1, Robinvillas Palmerston
 Julie Wasser 1, Robinvillas Palmerston
 Dermot Johnsons 3 Lucan Rd Palmerston
 M J & B Simons 3 Lucan Rd Palmerston
 Gerard Johnsons 3 Lucan Rd Palmerston
 John Carrigan 1 Lucan Rd Palmerston
 Bona Carrigan " " "
 Mrs Holland " " "
 Walter Holland 2, The Horseshoe Lucan Rd.
 Martha O'Leary 5 Lucan Rd Palmerston
 Pat Callan 6 Lucan Rd Palmerston D. 20
 Tony Boyd " Lucan Rd " "
 Anne Boyd " " " "
 John Boyd " " " "
 Frank Nolan " " " "
 John Ryan
 Maala Ryan
 Kathleen Lysich
 Christopher Lysich
 Christine Geaghty
 Conor Barry
 Denise Brennan T. Hoey Ave Lucan Rd
 Bona Croce 7, Culmore Park, Palmerston
 Mary Cloak 6 Hollyville Ave, Palmerston, T. 10
 Gerard Ryan 4 Lucan Rd.
 Shinto Ryan
 Brennan Ryan 3 Lucan Rd.
 Evelyn Ryan " " "
 Geoff + Bennie Simpson, The Stone House, Old Lucan Rd.
 Elizabeth Callaghan 2 New Town Clarke Cottages

Eileen Kangan	7	Robin Villas	Palmerstown
Jens	"	"	"
Rita Mahady	Roseene	Robin Villas	Palmerstown
Sean Mahady	Roseene	Robin Villas	Palmerstown
David Mahady	Roseene	Robin Villas	
Jim Mahady	Roseene	Palmerstown	
Irene Hughes		Robin Villas	
Thomas Hughes		Robin Villas	
John Placide		Robin Villas	
Grace Mc Fadden		Robin Villas	
Luisa Kaymer		Robin Villas	
Ruth Kaymer		Robin Villas	
Kathleen Conway		Robin Villas	
Raymond Conway		Robin Villas	
Edelma Conway		Robin Villas	
Betty Gleeson		Robin Villas	
Maria Gleeson		Robin Villas	
Helen Mullenally	Glenree	Robin Villas	Palmerstown D.20
Paul Mullenally	Glenree	Robin Villas	Palmerstown D.20
Enda Mullenally	"	"	"
Conor Mullenally	Glenree	Robin Villas	Palmerstown DUB.20
Joseph Mullenally	"	"	"
John Mullenally	"	"	"
J. McCabe	8	Robin Villas	
J.C. McCabe	8	Robin Villas	
J.C. McCabe	8	Robin Villas	Villas D.20
Thomas O'Reilly	"	"	"
Mama O'Reilly	"	"	"
Bryan O'Reilly	"	"	"
Sandra O'Reilly	"	"	"
Mary Lynch			
David Clancy	3	Robin Villas	
Kathleen Lynch			

Robert H. Cabot 35 Hollyville Lanes, Ptown D20
 Joseph A. Wagoner 34 Hollyville Lanes S,
 Bernadette Mc Govern 34 Polynue Lanes Palmerstown D20
 Doreta Mc Govern 34 " " "
 Sara Mc Govern 34 " " "
 Koin Mc Govern 34 " " "
 Veda Mc Govern 34 " " "
 Gregory Mc Govern 34 " " "
 Maria Mc Govern 34 " " "
 Agnes + James Maunty
 Helene Murray 31 Hollyville Lane
 James Murray 31 Hollyville Lane
 John Van Combaert 27 " "
 Gene Gault 26 Hollyville Lane
 Joan Smith 26 " "
 Michael Tavey 25 " "
 James Wright Hollyville Lane
 Michael Murphy 2 Waterstown Ave
 Ethna Murphy 2 Waterstown Ave
 R. Griffin 1 Waterstown Ave
 Ethel Byrne (Site 2) Waterstown Ave, D. 20
 Des Byrne " " "
 Tony O'Dowd Swiss Cottage Waterstown Ave
 Paddy O'Dowd Swiss Cottage Waterstown Ave D
 Conor O'Dowd Swiss Cottage Waterstown Ave D. 2
 Declan O'Dowd Swiss Cottage Waterstown Ave D
 Anthony Cable 3 Waterstown Ave D. 5
 Mrs. Josephine Mearns
 Anthony Downes
 David Downes 5 Waterstown Ave
 John Downes 5 Waterstown Ave, D. 20.
 Sandra Downes 5 Waterstown Ave Palmer
 Rose Downes 5 Waterstown Ave Palmer

Brendan Clancy	3, Robin Villas
Andrew Clancy	" "
Eileen Clancy	" "
R. Brehon	1, Old Lucan Rd.
H. Brehon	1 Old Lucan Rd.
Caroline Kavanagh	2 Old Lucan Rd.
Lan Kavanagh	" "
Graham Kavanagh	" "
Doreen O'Reilly	3 Old Lucan Rd.
MRS Delamere	
P. Lawless	4 Riverside Drive.
John Lennon	3 " "
Kay	" "
Joe Coker	2 Riverside Drive
Carmel Coker	" "
M. Smellwood	13 Lucan Rd.
P. Smellwood	13 Lucan Rd.
D. M. Leahy	11 Hollyville Lane
M. M. Leahy	" "
Ken M. Leahy	" "
J. M. Leahy	" "
Peter Danaher	50 " "
Ann Danaher	" "
Maria Smith	49 " "
James Redmond	48 " "
Mrs. Mc-Loughlin	Hollyville Lane
John	Hollyville Lane
Mary Hanigan	" "
John White	" "
John Hanigan	Hollyville Lane
DARRAGH CURRAN	Hollyville Lane
R.F. Corbett	35 Hollyville Lane
N.J. Corbett	35 Hollyville Lane

John Marie Gile Toora Hse, Old Lucan Rd.

Maureen Coniskey Toora Hse Old Lucan Rd

J. Carrifford Lucan Rd Palmerstown

K. Carrifford

C. Roberts. Riversdale Bungalow, Lucan Rd.

Aileen Mahady 9 Westbrook Lucan Rd

Aileen Mahady 9 Westbrook Lucan Rd

Jessica Mahady 9 Westbrook Lucan Rd

Emma Mahady 9 Westbrook Lucan Rd

Steven Mahady 9 Westbrook Lucan Rd

PUBLIC REP / OAS

Do

Dublin County Council Comhairle Chontae Atha Cliath

Seomra an Chomhairle

RESIDENCE:
47 Palmerstown Green,
Dublin 20.
TELEPHONE: 626 85 54 (H) 685 777 (W)



P.O. Box 174
46/49 Upper O'Connell Street
Dublin 1
Telephone (01) 727777

The Chief Planning Officer,
Dublin County Council,
Planning Section,
Irish Life Mall, Lower Abbey Street,
Dublin 1.

Our Ref.
Your Ref. PPL/90P
Date 1st Nov 1991

A Chara,

Plamning Application No 91A/1517

I wish to formally object to the granting of planning permission for a Retail Park as proposed by planning application No 91A/1517 for the lands at Kennelsfort Road/old Lucan Road at Palmerstown.

I am objecting, having examined the proposed development file and having attended a public Meeting organised by Palmerstown Community Council to discuss the proposed development and having had representations made to me by a number of constituents on the matter.

In objecting I wish to make the following points-

- I support positive development in the Palmerstown Area;
- Palmerstown suffers from a spate of very poor planning decisions;
- The Traffic at the Kennelsfort Road/Galway Road junction is already a HUGE problem for the people of Palmerstown;
- The Old Galway Road is unsuitable as an exit for the proposed development;
- Palmerstown Village should not be asked take the volume of traffic this development would entail;
- Any development for the site in question should strongly reflect it's C1 zoning;

I want to make it clear that the present chaotic state of traffic at the above junction and elsewhere in Palmerstown will have to be SOLVED PRIOR to ANY DEVELOPMENT going ahead on the above site and traffic solutions will have to show that future development is possible without adverse effect for the Community. Also, future development should be in keeping with the VILLAGE zoning (C2) and with it's proximity to the Liffey Valley and take into account the SHORTAGE of amenities and over-development of Palmerstown.

Yours faithfully,
Guss O'Connell
Councillor Guss O'Connell
INDEPENDENT COMMUNITY

FILE REF: 91A1577

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H+P 31-10 9/ ==</p>	<p>Noted by Ellis Hannon O'Connell + McGrath</p> <p>Hannon - Objections to "McDonalds" would be objections to entire devt as its locally being called 'the McDonalds site'. With Access from Kennelsport Rd + Exit to Old Luce Rd site will become a short cut.</p> <p>O'Connell - problems with exit at church. Bypassal could cause problems at Junction of Kennelsport + N4.</p>		

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
RECEIVED
20/10/91

OBJECTOR?

5, St. Eintan's Tce.,
Palmerstown,
DUBLIN 20.
October 2nd 1991.

91A/157

1021

P. Kenny

OI

A. Chara,

It has come to my notice that the firm of McDonalds are about to set up a business in Palmerstown on the site of Vincent L. Byrne's.

I wish to protest against the action of these people to commence trading in our district. At the present moment we have already three fast food establishments in our small area viz. a Chinese Restaurant just across the road from where McDonalds will operate, we also have a fish and chip shop adjacent to the Chinese Restaurant - namely Borzals. On Manor Road a very short distance away we have yet another Fish & Chip shop.

Surely, we have quite enough of these outlets in such a small area. No one would not like to have McDonalds on this piece of land. It is most unfair, to say the least of it, cluttering up our nice quiet village.

At this stage, may I make a very good suggestion, why not start up some scheme for the unemployed, for instance a craft centre, or allotments, so that these poor downtrodden people can grow their own food.

Mise le meas.
Francis X. M. Lynam
(Francis X. M. Lynam)

Register Reference : QA/1517

Date :

Ⓟ

Development : Retail centre

LOCATION : Palmerstown

Applicant : Channon Ltd.

App. Type :

Planning officer :

Date Recd. : 18.9.91
16/4/92

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	6/8/92
Time	10.00

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL
- 4 JUN 1992
SAN SERVICES

DUBLIN Co. SANITARY SER.
PRINCIPAL OFFICER
4 AUG 1992
Returned <i>GF</i>

Date received in sanitary services

FOUL SEWER

Available as indicated.

NOTE :

- ① Diversion of existing foul sewer to be carried out by Dublin Co. Council at applicants prior expense unless otherwise agreed with the Councils Maintenance Section.
- ② Refer gradients of drains to B.B.L. Dept. (100 diam drains @ 1:100 notes)

SURFACE WATER

Available subject to the following:-

- ① The proposal to divert the existing surface water system as indicated is not acceptable. Before work commences on site an alternative acceptable proposal to be lodged together full longitudinal section for diverted pipe. The pipe diversion to connect to the existing 750 mm section of pipe.
- ② Unless otherwise agreed, the above diversion to be carried out by the Council at the applicants prior expense.
- ③ No new building to be within 5 metres additional
- ④ applicant to note & make provision for existing 225/300 mm S.W. cut to the East of Unit No.2 not heretofore noted on any drawing.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

Note: Refer drain sizes/gradients to B.B.L. Dept.

J. Rice
24/7/92

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

6/8/92

10.00

Date :

Register Reference : 91A/1517.

ENDORSED _____

DATE _____

WATER SUPPLY

Refer to CFO for comment.
Water available. 24 hr storage required
for each unit. Metered supply to be
fitted on each unit. All connections
chlorination + swabbing to be by DCC
personal at applicants full expense

ENDORSED _____

DATE _____

[Signature]
18/6/92

[Signature]
24/6/92

75 500 29/7/92

PL 6/5/88179

DUB. / S.

P/4866/92

AN BORD PLEANÁLA

FINANCIAL CONTRIBUTION :-	
AMOUNT € Nil	
F	REFUSAL

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1517

APPEAL by Channon Limited care of McHugh Consultants of 4 Mount Street Crescent, Dublin against the decision made on the 30th day of January, 1992 by the Council of the County of Dublin to refuse permission for development comprising the construction of a retail centre alongside the new Lucan Road (Palmerstown by-pass), with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road, works to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown, County Dublin;

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the said development for the reasons set out in the Schedule hereto.

SCHEDULE

1. It is considered that the proposed access at Kennelsfort Road, because of its proximity to the nearby junction with the Dublin/Galway Road, which junction is already overloaded and congested, would endanger public safety by reason of traffic hazard.
2. It is considered that the proposed floorspace is excessive having regard to the location of the site within the old village of Palmerstown which is currently served by adequate local shopping. The proposed development would result in excessive traffic generation in the village area and would be seriously injurious to the amenities of property in the area.

M. J. Conwell

Member of An Bord Pleanála duly authorised to authenticate the seal of the Board.

31st day of August 1992.

Order Noted: L.D.	Dated this
Date: 25 OCT 1992	<i>[Signature]</i>
ASSISTANT COUNTY MANAGER	
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Date: 25 th day of SEP. 1992	



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

J. Bird
SENIOR PLANNER,
PLANNING DEPARTMENT.

DATE: 29/07/92

REG. REF. NO. 91A/1517

PROPOSAL: RETAIL CENTRE

LOCATION: KENNELSFORT ROAD &
NEW LUCAN ROAD
PALMERSTOWN

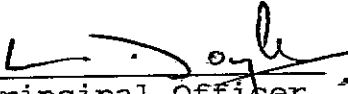
Dear Sir,

I attach copy of appeals correspondence from An Bord Pleanála in regard to the above.

I should be obliged to receive your comments on same before 12/08/92

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF MR. L. DOYLE.

Yours faithfully,


for Principal Officer

DECISION
MADE
BY A.B.P.

DUBLIN COUNTY COUNCIL

Appeals

PLANNING OFFICER: N. PRENDERGAST

REG. REF. 91A/1517

PROPOSAL: RETAIL CENTRE

LOCATION: KENNELSFORT ROAD &
NEW LUCAN ROAD
PALMERSTOWN

I attach for your observations memo/letter dated 20th July
from An Bord Pleanála.

PLEASE REPLY BEFORE: 07/08/92

S.
for Principal Officer.

DATE: 24/07/92

OBSERVATIONS:

Report & ltr. & forward planning
psd 24/7

DECISION
NOW MADE
BY A.B.P.

PLANNING OFFICER

S.E.D.C.

DATE

JOHN HENRY,
SENIOR ENGINEER,
ROADS DEPARTMENT.

DATE: 29/07/92.

REG. REF. NO. 91A/1517

PROPOSAL: RETAIL CENTRE

LOCATION: KENNELSFORT ROAD &
NEW LUCAN ROAD
PALMERSTOWN

Dear Sir,

I attach copy of correspondence from An Bord Pleanala in regard to the above.

I should be obliged to receive your comments on same before 12/08/92

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF MR. L. DOYLE.

Yours faithfully,

L. D.
for Principal Officer

Do Not send reminders
— Tim Brick will have
a report in August.

John Henry,
Senior Engineer,
Roads Department.

Our Ref: 91A/1517

14 July 1992

Re: Proposal to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.


Dear Sir,

I attach copy of grounds of appeal and Planning Officers report in regard to the above.

I should be most obliged to received your comments on same before 28th July, 1992.

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF MR. L. DOYLE, APPEALS

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Appeals

TO: N.R. Prendergast,
S.E.D.C.

REG. REF. 91A/1517

RE: Proposal to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Limited.

I attach for your observations memo/letter dated 6th July, 1992 from An Bord Pleanála.

Please reply before: 22nd July, 1992

S
for Principal Officer

DATED: 9 July 1992

OBSERVATIONS:

Refer to Ads by

not 15/7

DONE
14/7/92
By H.O.

Signature of person making observations: _____

Countersigned: _____

(S.E.D.C.)

DATE: _____

DATE: _____

Appeals

m/c
A.R. Pleanala

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Date Received : 18th September 1991

Register Reference : 91A/1517

Planning Officer : M.GALVIN

Applicant : Channon Limited

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road

DECISION : REFUSE PERMISSION .

DATE OF DECISION : 30.01.92.

APPEAL TYPE : AGAINST DECISION .

APPELLANT TYPE : FIRST PARTY

I attach for your observations memo/letter dated *28/2/92* from An Bord Pleanala

Please reply before *20/3/92*

S *6/3/92*
for Principal Officer Date

OBSERVATIONS

No further comment at this point m/c 21/4

M

.....
.....
.....
.....
.....
.....

PLANNING OFFICER S.E.D.C. DATE

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order No. P/506/92

Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

Louis Burke Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

Reg. Ref. 91A-1517
Appl. Rec'd: 18.09.1991
Floor Area:
Site Area:
Zoning:

Report of the Dublin Planning Officer, dated 30 January 1992

This is an application for PERMISSION to construct a retail centre on a 1.8 acre site at Plamerstown, an outer suburb of population c.9,500.

The proposed site is located close to Palmerstown Village. It is an irregular shaped site which is bounded by the Lucan Road (Palmerstown By-pass) to the south, by Kennelsfort Road Lower to the east and by an existing petrol station and industrial buildings to the south and west. It is bounded to the north by the Lower Lucan Road (in part), existing housing and industrial lands (Dan Kennedy Steel).

The entire site is stated on the planning application form to be in the freehold ownership of the applicants, Channon Ltd.

The eastern portion of the site is currently in use as a builders providers. Existing buildings on this portion of the site include a two storey retail outlet (hardware, etc.) on the Kennelsfort Road frontage, 2 no. warehouse storage buildings to the rear and a small site office. This portion of the site is bounded to the northeast by a high wall and to the south and west by a combination of fencing/planting. The adjoining portion to the west is currently unused. It has a hardcore/gravel surface and is bounded by palisade fencing and the boundary walls to the nearby petrol filling station. There is an existing disused warehouse on the northwestern portion of the overall site, i.e. at Lucan Road frontage.

The proposed site is locate din an area zoned 'C1' - "to protect, provide for and/or improve local neighbourhood facilities" in the Dublin County Development Plan, 1983. This zoning objective remains unchanged in the 1991, Draft County Development Plan

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order No. P/506/92

Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

(Continued)

PLANNING HISTORY

There have been a variety of planning applications in respect of these lands.

Reg. Ref. No. SA 592 refers to a 1980 refusal of permission for workshop and parking on portion of site to the west for B. Fassnidge.

Reg. Ref. No. TA 1157 refers to a 1986 grant of permission for the retention of office and use of site as builders providers for V. Byrne.

Reg. Ref. No. TA 2265 refers to an application for permission to erect a motor vehicle washing and servicing building, etc. for B. Fassnidge. This application was withdrawn (1986).

Reg. Ref. No. TA 2287 refers to an application which was subsequently withdrawn for toilet, canteen facilities, parking, washing and repair service building at rear of 1, Clarkeville Terrace for B. Fassnidge (1981).

Reg. Ref. No. WA 360 refers to a grant of permission for retention of structure as car salesroom at 1, Clarkville Terrace.

Reg. Ref. No. XA 55 refers.

Reg. Ref. No. XA 168 refers to a refusal of permission for new warehouse and extension to existing shop premises for V. Byrne.

Reg. Ref. No. XA 1812 refers to a grant of permission for boiler house, compressor room and tank room to rear of car showrooms at Lucan Road for B. Fassnidge.

Reg. Ref. No. XA 1244 refers to a grant of permission for new warehouse at Kennelsfort Road for V. Byrne.

Reg. Ref. No. 85A-0797 refers to a 1986 grant of permission for change of use of former garage/showrooms at 1, Clarkeville Terrace to Snooker club.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order No. P/506/92

Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channor Ltd.

(Continued)

Reg. Ref. No. 85A-0955 refers to a grant of permission for retention of warehouse on site at Kennelsfort Road for V. Byrne.

Reg. Ref. No. 89A-0992 refers to a grant of permission for use of site for sale of motor vehicles with associated workshop for Grand Prix Motors.

Reg. Ref. No. 89A-1439 refers to a grant of permission for change of use of first floor from showroom to offices at Lucan Road for Baytrust Ltd.

Reg. Ref. No. 89A-1840 refers to a grant of permission for change of use of ground floor from car showrooms/workshop at 1-2, Clarkeville to assembly of microelectronics for Baytrust Ltd.

The current application provides for a retail centre comprising some 12 no. retail outlets. These range in floor area from 58 sq. m. to 1,600 sq. m.

The proposed development involves the demolition of a number of buildings to the east of the site. Certain buildings are to be retained. There are some discrepancies in the application in relation to this matter. The public notice refers to the retention of the "main warehouse units." The planning application form refers only to the retention of the building (floor area 1,600 sq. m.) previously used as office/showrooms. However, from drawings lodged and discussions with the Architect it appears that V. Byrnes existing warehouse is also to be retained and incorporated into the main block of the retail centre.

A substantial portion of the site to the east is shown on lodged plans to be reserved for a McDonalds Restaurant. This does not form part of the current application.

The access to the site from Kennelsfort Road is proposed as access only with an access/exit onto the old Palmerstown Road.

The lodged plans and details indicate a floor area of approximately 4,700 sq. m. of existing retained floor area and proposed floor area.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order No. P/506/92

Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

(Continued)

In unsolicited additional information received on 9th January, the applicant indicates a new floor area of 2,722 sq. m. of new building. The existing unit no. 12 of 1,600 sq. m. is to be retained. This now gives a floor area of 4,322 sq. m. of development on the site. The reduction in floor area is achieved by removing the first floor areas of units 3, 10 and 11.

An increase in floor area of 390 sq. m. is identified as McDonalds Fast Food Drive In Outlet. The lodged plans indicate a McDonalds site between the Kennelsfort Road and the proposed commercial development.

Reg. Ref. 91A-2020 refers to a current application for a McDonalds Drive through restaurant with take-away facilities.

Time extensions have been requested and granted on foot of this application and the unsolicited additional information received on 9th January was as a result of meetings the applicant had with the Planning Authority in an attempt to see whether or not the development as proposed originally could be modified to an acceptable size.

Supervising Environmental Health Officer report noted.

Roads Engineer report noted. While it might be acceptable purely from a roads traffic management point of view to allow egress from the site onto the old Palmerstown Road such a proposal would be totally unacceptable having regard to the preservation of the amenities of the Palmerstown Village and its residents. Without such an egress then and in out arrangement would be necessary onto Kennelsfort Road. Such an arrangement would be totally unacceptable to the Roads Engineer and to the Planning Authority.

Sanitary Services report noted.

A number of objections to the proposed development are noted.

The present application cannot be adequately considered without having regard to the current application for the McDonalds Restaurant. In the event of a refusal of permission issuing to McDonalds then the current development would be located substantially on a backland site and would on that basis alone be totally unsatisfactory.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/506/92
Record of Executive Business and Manager's Orders

Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

(Continued)

The proposed development is inconsistent with the provisions included in the Development Plan.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 for the following (6) Reasons:-

1. It is the opinion of the Planning Authority that the floor area of the proposed development is totally excessive having regard to the fact that the site is located within the old village of Palmerstown which has been severed from the newer areas of Palmerstown by the Dublin Galway Road. The existing village of Palmerstown has an adequate service of local shopping and the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands.
2. The Planning Authority would not permit an access only from Kennelsfort Road and an egress/access onto the Old Palmerstown Road. Such vehicular movements, having regard to the currently proposed development and the possibility of a McDonalds Drive through restaurant on part of the site, would create serious traffic congestion within the old village of Palmerstown and would seriously injure the residential amenities of the area and would *would seriously injure the amenities & property in the vicinity*
3. It is the opinion of the Councils Roads Engineer that Kennelsfort Road frontage would be incapable of providing for a satisfactory ingress/egress arrangement having regard to its proximity with the junction of Kennelsfort Road and the Dublin Galway Road and having regard to the fact that the traffic lights at this junction are already overloaded and consideration is being given to carrying out modifications at the junction.

Accordingly, the Roads Engineer considers that any such egress ingress arrangement would endanger public safety by reason of a serious traffic hazard, and would cause the most serious and unacceptable congestion at this junction.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Order No. P/506/92

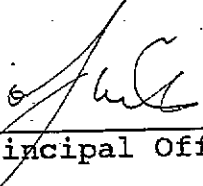
Proposed to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road for Channon Ltd.

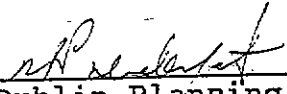
(Continued)

4. It is the opinion of the Planning Authority that the proposed development is premature until such time as it is known what approved developments are to take place on the area of the site between the proposed units and Kennelsfort Road (i.e. the area identified as McDonalds). In the event of a refusal of permission issuing to McDonalds, then the layout of development as proposed would be totally unsatisfactory having regard to its location and orientation.
5. It is the opinion of the Planning Authority that the village of Palmerstown could not sustain a development of the size proposed. Accordingly, the development would be dependant on the availability of the Dublin Galway Dual Carriageway to cater with the traffic generated by the development in the event of the development becoming a viable entity. Clearly the National Primary Route has not been constructed for this purpose and as such the development is inconsistent with the proper planning and development of the area.

(NP/DK)

Endorsed:-


for Principal Officer


For Dublin Planning Officer

Order:-

Pursuant to Section 26(1) to the Local Government (Planning and Development) Acts, 1963-1990 a decision to REFUSE PERMISSION for the above proposal is hereby made by the Council for the (5) reasons set out above and PERMISSION is REFUSED accordingly.

Dated:

30th 4 January, 1992.

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 10th December 1991.

Received 21/1/92 p.m.
[Signature]

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

LOUIS BURKE · DIP.ARCH. B.ARCH.SC. MR.IAI MDSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W. TEL: 901832 · 904121 · FAX: 901271.

F A X M E S S A G E

TO: DUBLIN County Council DATE: 21.1.92
 ATT: JOHN BIRD. REF: PALMERSTOWN DEV.
 FROM: LOUIS BURKE. PAGE: 5 INCLUSIVE.

DEAR MR. BIRD,
copy of letter + schedule attached.

ORIGINALS TOGETHER WITH DRAWINGS WERE
DELIVERED BY HAND, BY MYSELF, ON THURSDAY
JAN 21. 1992 @ 8.45 AM.

LOUIS BURKE.

RIAI



THE ROYAL INSTITUTE
OF THE ARCHITECTS
OF IRELAND

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

OUR REF: LR/mf

YOUR REF:

DATE: 8/1/92

ATT: Mr Al Smith

Dear Mr Smith,

I would refer to our meeting on Tuesday January 7th 1992 in regard to the proposed retail centre to be constructed at Palmerstown by Channon Limited - Your register reference number 91A/1517.

The time for considering this application is extended up to and including January 31st 1992.

We would propose to reduce the floor area of the development to 2722 sq.m (29300 sq.ft) by eliminating the first floor areas over unit 3, unit 10 and unit 11.

The areas referred to are as shown outlined in red on the enclosed drawing 90.28.13.

The floor area of existing structures on site amount to almost 2500 sq.m. Our new proposal represents a minimal increase in floor area over that already established on site.

The existing builders providers operation is in conflict with the land use zoning and we fully intend that the proposed centre will be geared towards improving local neighbourhood centre facilities, as per zone objective C1.

In this regard, the proposed retail uses are as itemized under the permitted category in the draft development plan and will be specifically as per the attached schedule.

The reduced floor area will allow for a reduction in the car parking allocation and we would propose to provide for additional intensive landscaping in areas which can be agreed with your department at a later date.

This car park will have on-site security and will be made fully available to the village for general use.

RIAI



The proposed use for unit number 1 will provide for minimum disturbance to the adjoining residential properties and we intend to include for roller shutters to both ends of the access tunnel, to eliminate any unauthorized disturbance in that area.

In regard to the proposed McDonalds restaurant, we will cooperate fully with any reasonable request your Roads Department may make in regard to access to and egress from the McDonalds area. If necessary, we are quite prepared to give you a formal legal undertaking to this affect.

In conclusion, the applicants have made a major effort to meet with Local Resident Representative Groups with a view to keeping them fully informed with this proposal and in an effort to take cognizance of their views, as expressed during those meetings.

We would be pleased to attend a further meeting with you to discuss this matter, at your earliest convenience.

Many thanks.

Yours sincerely

Louis Burke

LOUIS BURKE

OUR REF . LH/mf

YOUR REF

DATE 8/1/92

PALMERSTOWN RETAIL CENTRE
PROPOSED FLOOR AREAS AND USAGE

UNIT NUMBER 1

360 sq.m

Retail Unit

- * House furnishings.
- * Tiles.



P.O. Box 174
Bosca 174.
2/3 Cearnog Parnell,
2/3 Parnell Square,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727247

Mr. P. Kenny,
Administrative Officer,
Development Control,
Planning Department.

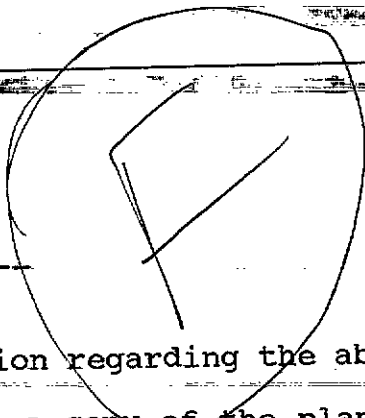
Our Ref.

Your Ref.

Date

14/10/91

91/11517



Re: Planned Retail Park at Palmerstown

I refer to previous telephone conversation regarding the above.

I would be obliged if you could send me a copy of the planning application relevant to the enclosed newspaper article.

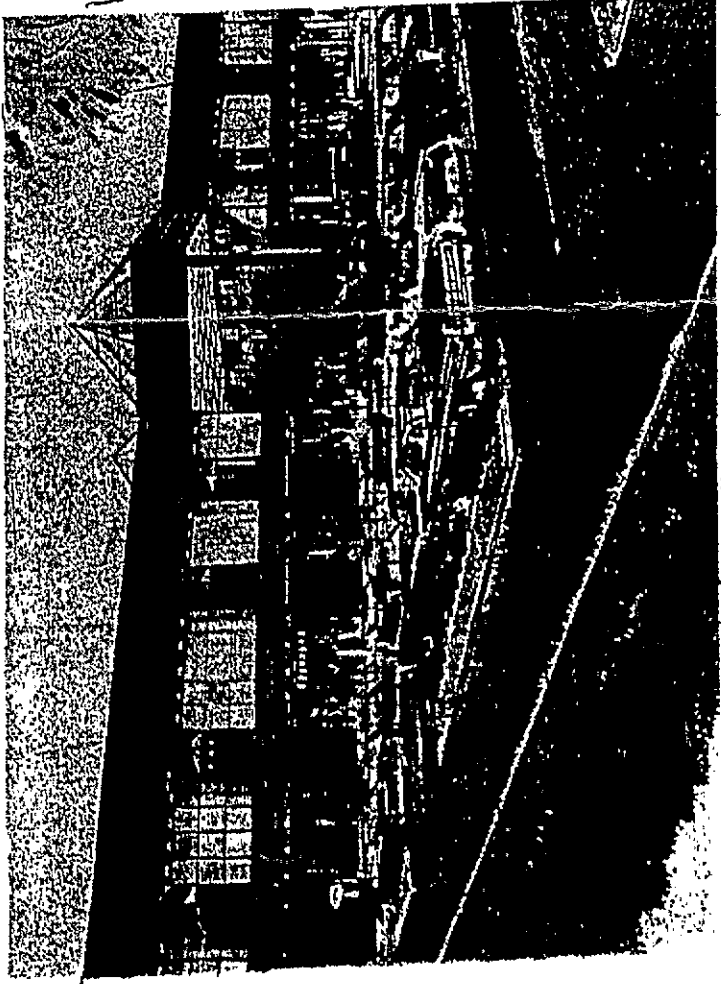
D. Marks

SENIOR STAFF OFFICER
DEVELOPMENT DEPARTMENT

Encs.

*copy sent
on 14/10/91
mg*

market but declined to give any further information. Mr. Friedrich Danz, chairman of opened in 1979 it was hailed



Artist's impression of planned retail park for Palmerstown.

European interests includes a production plant at Watergrasshill in Co. Cork. Although Europa Park had been on the market for about

buildings outside the Newbridge plant was extremely well maintained by both Polaroid and Agra.

New retail park planned for Palmerstown village

ANOTHER retail park is planned for west Dublin, a privately owned development company, Channer Ltd., has sought planning permission for a £5 million shopping facility on a five-acre site fronting the main Galway road at Palmerstown village.

Channer is to provide 55,000 square feet of retail space in 12 units ranging from 500 square feet to 17,000 square feet. McDonalds have agreed to buy part of the site where they are to develop a drive-through restaurant.

The letting agent, Agar Commercial Estate Agents, has

agreed terms to let one unit to an electrical retailer and another one as a furniture outlet. The agent is quoting £11 per square foot for the remaining units which will be suitable for use as a DIY store, newsagents, off licence, video shop, chemist and leisure centre.

Channer spent around £2 million assembling the site which will include Brendan Fasnidge's garage and Vincent Byrne's business premises. The new owners are to upgrade almost 30,000 square feet of existing space and to build the remainder.

Agar says it is the only readily accessible site avail-

able between Heuston Station and the Western Parkway on the N4 dual-carriageway which carries an estimated 22,000 vehicles per day.

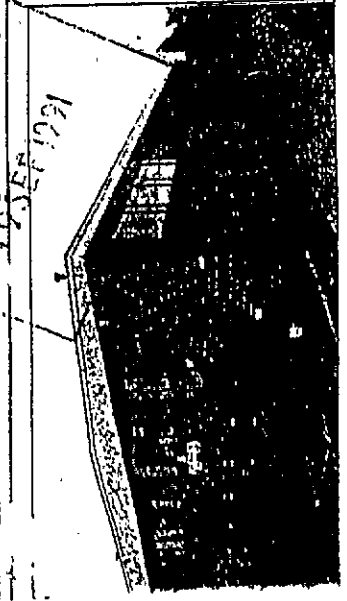
The retail park will be close to the 80-acre site at Quarryvale where it is proposed to develop a controversial new shopping centre. Owen O'Callaghan, the Cork based developer, who is involved in the Quarryvale scheme, has indicated that he is prepared to have the size of the centre "capped" at half a million square feet following an outcry over Dublin Co Council's decision to rezone over 100 acres for "town centre" uses.

□ Tt. **Cl.**
CLAR with 4
Co Dc
Palme being
Tt. Dublin
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 conver
 Laogh
 Includ
 Kodak
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 Tt
 result
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 former

Sherry Fitzgerald

COMMERCIAL

616198



UNIT 60, STILLORGAN INDUSTRIAL PARK, CO. DUBLIN

For Sale
 Superb semi-detached warehouse/factory unit of 10,501 sq. ft. incorporating c. 3,766 sq. ft. of excellent office acc. Generous yard and parking facilities. Freehold vacant possession. Situated on high profile corner site. Price on application.



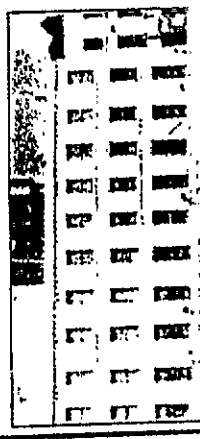
All Auctions are held in our Ballsbridge Sales Office at 3.00 pm

AUCTION TUESDAY, 24th SEPT

THE NEW ORMOND HOTEL, UPPER

Thriving Bord Failte registered fully licensed Grade "B" Hotel, occupying across the Liffey from Temple Bar, Christ Church and within a few hundr

- ★ 63 Guest bedrooms (mostly en
- ★ Colour TV's — direct dial pho
- ★ Computerised reservation system
- ★ Elevator to all floors
- ★ 3 function/conference rooms



Recently completely renovated a with the benefit of an increas turnover. The New Ormond inco

14 HIGHFIELD ROAD,

DUBLIN COUNTY COUNCIL

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT.	
Date	30.10.91
Time	3.00

REG. REF: 91A/1517.
 DEVELOPMENT: Retail Centre.
 LOCATION: Kennelsfort Rd Lr. and Lucan Rd Junction.
 APPLICANT: Channon Ltd.
 DATE LODGED: 18.10.91.

- 1) There is a discrepancy of 5 metres over the length of the site frontage on Kennelsfort Road Lr. between that shown on Dwg. No. 90.28.10.A. and 90.28.11.A. The applicant has confirmed that Dwg. No. 90.28.11.A. shows the correct frontage (18.10.91).
- 2) Access into the site only to be allowed at the Kennelsfort Road, Lower entrance. Applicant to agree with this ~~Development~~ ^{proposal}, full details of public road, kerb, footpath and margin treatments at this entrance together with necessary traffic management/control measures, road signage and stripage required to ensure inward access only occurs here. Likewise for detailing of internal road layout and constrictions at this entrance.
- 3) Vision in the westerly direction is less than desirable at the Old Lucan Road entrance. The applicant should be requested to show how he proposes achieving a standard sightline of 90m at this entrance, from a point 3m set back from the edge of the existing carriageway. The restoration of the footpath and kerbing detail over the site frontage at this boundary must be agreed with Roads Department and be carried out at the applicant's expense.
- 4) Dimensioning of car parking layout is inconsistent with some bays scaling as little as 4.5m x 2.0m. These should be a minimum of 5.0m x 2.4m. We assume this is a draughting error. Based on Development Standards 233 car parking spaces are required. A total of 229 have been provided. This shortfall is minor and maybe acceptable.
- 5) The relocation of overhead and underground services as maybe necessary at the site entrances must be undertaken by the applicant at his own expense.
- 6) We understand that the area designated for a McDonald's outlet will be the subject of a separate planning application. Concerns raised above will apply equally to that development.
- 7) A financial contribution, in the sum of money equivalent to the value of £45,800 (i.e. 229 car parking spaces x £200.00) as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction

B only

2

Register Reference : 91A/1517

Date : 24th September 1991

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road

Applicant : Channor Limited

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 18th September 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 15.11.91
Time 11.30

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL
-4 OCT 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
for PRINCIPAL OFFICER
14 NOV 1991
Returned *gg*

Date received in Sanitary Services ... -4 OCT 1991 ..

FOUL SEWER

Insufficient Information

1. Applicant has not provided ^{full} details of all drains incl. proposed drains (pipe size, gradient levels etc.)
2. Applicant is requested to confirm separate connections for the S.W. system (i.e. that it does not connect to the Public Foul Sewer)

SURFACE WATER

1. As far ① & ② above

2. Engineering Service have no record of a 600 mm surface water sewer as indicated. Applicant is requested to clarify the status of this pipe. If it is a Lead Drain evidence of permission from that department to connect to it is required.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

NOTE: The 300 mm (surface water) & the 450 mm (foul sewer) pipes are not in accordance with the pipe sizes recorded on the Council record sheet (S.E. corner of site)

J. Linn
11/11/91

5
face

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 15.11.91
Time 11.30

Register Reference : 91A/1517

Date : 24th September 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....
Insufficient information. Applicant is to resubmit showing details of watermain's layout together with connection to existing system and water consumption refer to CFO. Ed comment.

Refusal recommended *[Signature]* 6/11/91
[Signature] 4/11/91

ENDORSED *[Signature]* DATE 13/11/91 *[Signature]* 6/11/91

M.G.



P.O. Box 174
Bosca 174.
2/3 Cearnog Parnell,
2/3 Parnell Square,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727247

Mr. Paul Tobin,
Planning Department,
Block 2,
Irish Life Centre,
Lr. Abbey Street,
DUBLIN 1.

Our Ref. Dev. LD 445
Your Ref. 91A/1517.
Date 24/10/1991.

RE: Planning Application 91A/1517 - Channor Ltd. Palmerstown.

I refer to above planning application.

I attach copy of drawing No. LA 991/91 showing an area of land which it has been agreed to dispose of to Mr. Vincent Byrne (County Council Meeting 9th September, 1991). You will note that a one metre strip abutting the Palmerstown By-Pass has been retained by the County Council. This was specifically requested by the Dublin Belgard District Committee at its Meeting on the 6th June, 1991 to prevent direct access on to the Palmerstown/Ballydowd Road.

I return the planning application.

E. Brosnan
Senior Administrative Officer,
Development Department.

For.

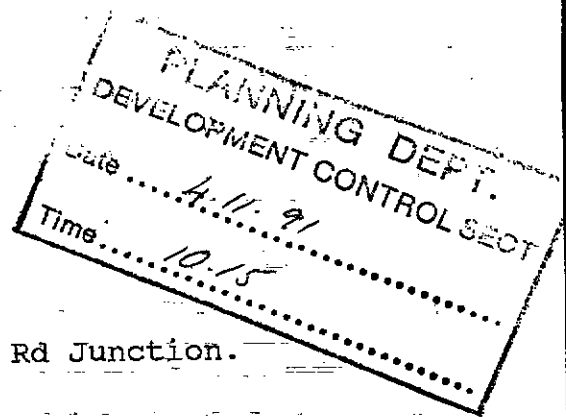
EB/JOR

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.11.91
Time 4.35

Mary Galvin.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1517.
DEVELOPMENT: Retail Centre.
LOCATION: Kennelsfort Rd Lr. and Lucan Rd Junction.
APPLICANT: Channon Ltd.
DATE LODGED: 18.10.91.



- 1) There is a discrepancy of 5 metres over the length of the site frontage on Kennelsfort Road Lr. between that shown on Dwg. No. 90.28.10.A. and 90.28.11.A. The applicant has confirmed that Dwg. No. 90.28.11.A. shows the correct frontage (18.10.91).
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- 5) The relocation of overhead and underground services as maybe necessary at the site entrances must be undertaken by the applicant at his own expense.
- 6) We understand that the area designated for a McDonald's outlet will be the subject of a separate planning application. Concerns raised above will apply equally to that development.
- 7) A financial contribution, in the sum of money equivalent to the value of £45,800 (i.e. 229 car parking spaces x £200.00) as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction

(Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management in the immediate area of the development.

TB/BMcC
18.10.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.11.91
Time 10.15
.....

SIGNED: C.P. [Signature]

ENDORSED: _____

DATE: 18/10/91

DATE: _____

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1517

Date : 19th September 1991

Development : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

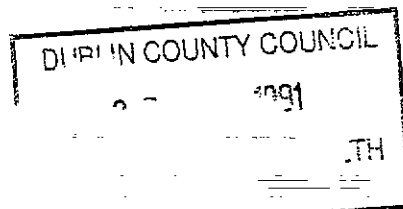
LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road

Applicant : Channon Limited

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 18th September 1991



Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 18th September 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.10.91
Time 9.00

Yours faithfully,

.....
for PRINCIPAL OFFICER

The proposal is acceptable subject to
① Compliance with Health, Safety & Welfare at Work Act 1989
② Compliance with Shops Conditions of Employment Act 1938
③ If male and female staff are employed suitable separate sanitary accommodation shall be provided for each sex.
④ Either canteen facilities or a tea room being provided for the use of staff
⑤ Specific user permission being sought for each unit prior to occupation
Sta Levine for John O'Keefe 28/10/91

157/191
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission to construct a retail centre at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main units for Channon Ltd.

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

Reg. Ref. 91A/1517
Appl. Rec'd: 18.09.1991
Time Ext. let. rec'd: 13.12.1991
Time Ext. up to: 31.01.1992

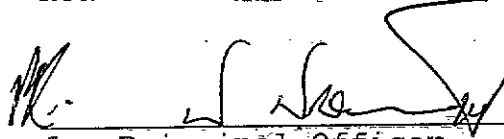
Report of the Dublin Planning Officer, dated 16 December 1991

This is an application for permission to construct a retail centre at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main units for Channon Ltd.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the further extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 31st January, 1992.

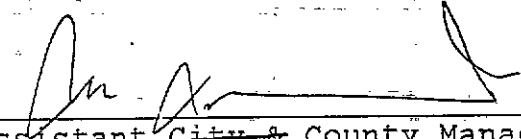
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 16th December, 1991.


Assistant City & County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER

COMHAIRLE CHONTAE ÁTHA CLIATH

Order No. P/526/791

Record of Executive Business and Manager's Orders

Permission to construct a retail centre at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main units for Channon Ltd.

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

Reg. Ref. 91A/1517
Appl. Rec'd: 18.09.1991
Time Ext. let. rec'd: 13.11.1991
Time Ext. up to: 18.12.1991


Report of the Dublin Planning Officer, dated 13 November 1991

This is an application for permission to construct a retail centre at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main units for Channon Ltd.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 18th December, 1991.

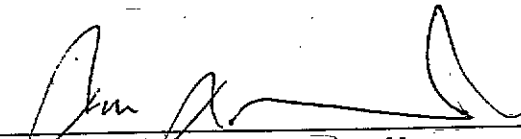
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 14th November, 1991.


Assistant City & County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 6th November 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER

Received p. 12/1/92

John King

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

OUR REF 13/inf

YOUR REF.

DATE 8/1/92

PALMERSTOWN RETAIL CENTRE
PROPOSED FLOOR AREAS AND USAGE

UNIT NUMBER 1	360 sq.m	<u>Retail Unit</u>	
		* House furnishings.	
		* Tiles.	
		* Carpets.	
UNIT NUMBER 2	144 sq.m	<u>Financial Services Building</u>	↓
		* Bank.	
		* Building Society.	
UNIT NUMBER 3	605 sq.m	<u>Retail Unit</u>	↓
		* White goods electrical or similar.	
UNIT NUMBER 4	360 sq.m.	<u>Service Garage</u>	↓
		* Car exhaust company.	
		* Tyres.	
		* Etc.	
UNIT NUMBER 5	97 sq.m	<u>Neighbourhood Shops</u>	}
UNIT NUMBER 6	58 sq.m.		
UNIT NUMBER 8	58 sq.m		
UNIT NUMBER 9	77 sq.m		
		* Dry Cleaners.	
		* Chemist.	
		* Newsagent.	
		* Butcher Shop.	
		* Etc.	

RIAI



REGISTERED

+ 4 Shops.

UNIT NUMBER 7

144 sq.m

UNIT NUMBER 7B

144 sq.m

- * Education.
- * Doctor / Dentist
- * Health.
- * Sports.
- * Neighbourhood / Offices

UNIT NUMBER 10

147 sq.m

UNIT NUMBER 11

138 sq.m

Shop Units

- * Video Shop.
- * Hardware.
- * DIY
- * Restaurant / Coffee Shop.
- * Etc.

McDonalds

390 sq.m.

- * Fast Food drive-in outlet

2722 sq.m

(29300 sq.ft)

File with
5/2/92

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 1517

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>BELGARD H + P <u>28/1/92</u></p>	<p>CCS O Connell - Opposed to Access from Kennelsfort Rd and access/egress to old bus set. Access should be from Dunal Carrieway Junction already available any units to be provided already exist in village. Traffic problem</p>		

PLANNING DEPT.
DEVELOPMENT CONTROL STAMP
Date 03.02.92
Time 10.15
.....

PA

Cds to W Murphy
N Pendergast
29/1/92



Bosca 174
P. O. Box 174
11 Cearnog Parnell,
11 Parnell Square,
Baile Atha Cliath 1
Dublin 1.
Telephone. (01)727777
Fax. (01)727247

Mr. A. Smith,
Principal Officer,
Planning Department.

Our Ref. Dev LD. Gen/B 445
Your Ref. 91A 2020
Date 20.1.92.

(Handwritten signature)
28/1

RE: PLANNING APPLICATION - REG. REF. 91A 2020. 91A/1517

I refer to the above Planning Application submitted by McDonalds Restaurants (Irl.) for a drive-through restaurant at Palmerstown Retail Park at the junction of Kennelsfort Road Lower and the new Lucan Road.

I would point out that in relation to a disposal of land to Mr. Vincent Byrne, it was decided to retain a one metre strip abutting the Palmerstown By-Pass. This was specifically requested by the Dublin-Belgard District Committee at its Meeting on the 6.6.91 to prevent direct access on to the Palmerstown/Ballymount Road.

(Handwritten signature)
SENIOR ADMINISTRATIVE OFFICER,
DEVELOPMENT DEPARTMENT.

DEVELOPMENT
29 JAN 1991
CONTROL

24 JAN 92

SS only

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

LOCATION:

Palmerston

REC. REF. 91A/1517

18-9-91

APPLICANT:

Channon Ltd

PROPOSAL:

Construct retail centre.

Insufficient Information

- ① The drainage survey is inadequate - it does not identify all drains & sewers, which exist on the site over their full length together with their status.
- ② Applicant must provide full details for all sections of pipe, both proposed existing, & including pipe sizes, levels & gradients.
- ③ Applicant must clearly describe on a drawing, & distinguish between, proposed & existing pipework, re-routing, grubbing up etc.
- ④ applicant must establish the status & ownership of all existing pipes & must clearly set out the effect which this proposal will have on all lands served by them.

(2) Date Referred:

DUBLIN Co. Council

(3) Rec'd San. Ser. 29 NOV 1991

SAN SERVICES
San. Services.

(5) Date to Planning

(6) Date to Planner

(7) D.P.C. report to be submitted before

(8) D.P.C. report submitted to

FOUL SEWER

SPACE WATER

Insufficient Information

- ① As for ①, ② & ③ in Foul Sewer.
- ② Applicant proposes a car valet centre on the site. Details of do. must be provided. Note: A Car wash would not be permitted because of an existing deficiency within the foul sewer system to which this development will drain.
- ③ A wayleave Agreement exists over the line of a surface water outfall serving an adjacent site. Applicant must identify the line of this outfall & wayleave area & must indicate same on a drawing & show how it relates to the various elements of the proposed development. It should be noted that the wayleave area extends to 5 metres either side of the outfall pipe and no structure may be constructed within the wayleave area.

Decision due:

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 13.02.92
Time 3.00

J. Rice
7/2/92

ENDORSED

PLANNING DEPARTMENT

BOOK FOLIO

1) Date Lodged
18-9-91

LOCATION: Palmerston

REG. REF. 91A/1517

APPLICANT: Channon Ltd

PROPOSAL: Construct retail center.

WATER SUPPLY

Refer to CFO fee comment.

Water available. 24 hr storage required for each unit. Metered supply to be fitted on each unit. All connections, chlorination, swabbing to be by DCU personnel at applicants' expense.

John Clark
16/12/91

P. Howell
17/12/91

ENDORSED: *[Signature]*

DATE 10/2/92

PLANNING DEPT.
DEVELOPMENT CONTROL SEC
Date 13.02.92
Time 3.00

Our Ref: PL 6/5/88179
P.A. Ref: 91A/1517

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 31 AUG 1992

Appeal re: Construction of a retail centre alongside the new Lucan Road, (Palmerstown by-pass), with access only from Kennelsfort Road Lower and the access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

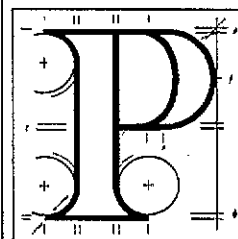

Miriam Baxter.

Encl.

BP 352

EO/ld

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

DEVELOPMENT
- 4 SEI 1992
CONTROL

DUBLIN COUNTY COUNCIL
PLANNING DEPT

03 SEP 1992

RECEIVED

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1517

APPEAL by Channor Limited care of McHugh Consultants of 4 Mount Street Crescent, Dublin against the decision made on the 30th day of January, 1992 by the Council of the County of Dublin to refuse permission for development comprising the construction of a retail centre alongside the new Lucan Road (Palmerstown by-pass), with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road, works to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, permission is hereby refused for the said development for the reasons set out in the Schedule hereto.

SCHEDULE

1. It is considered that the proposed access at Kennelsfort Road, because of its proximity to the nearby junction with the Dublin/Galway Road, which junction is already overloaded and congested, would endanger public safety by reason of traffic hazard.
2. It is considered that the proposed floorspace is excessive having regard to the location of the site within the old village of Palmerstown which is currently served by adequate local shopping. The proposed development would result in excessive traffic generation in the village area and would be seriously injurious to the amenities of property in the area.



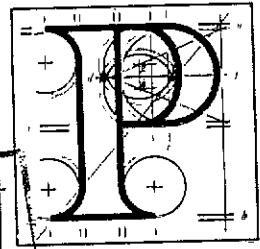
Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 31st day of August 1992.

Our Ref: PL 6/5/88179
P.A. Reg. Ref: 91A/1517

EOH

An Bord Pleanála



The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
21 JUL 1992
RECEIVED

Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel: (01) 72801

DEVELOPMENT
23 JUL 1992
CONTROL

Date: 20th July 1992

Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the New Lucan Road (Palmerstown Bypass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road, Palmerstown, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within fourteen days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours sincerely,


Marie Kennedy

OKS

BP 553A

McHUGH CONSULTANTS

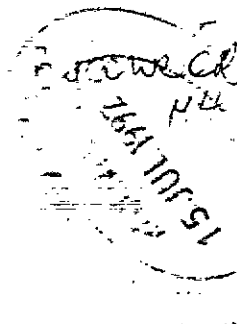
CHARTERED TOWN PLANNERS
DEVELOPMENT CONSULTANTS

4 MOUNT STREET CRESCENT
DUBLIN 2 IRELAND

TELEPHONE: +353.1.619996
TELEFAX: +353.1.764736

The Secretary,
An Bord Pleanála,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Our Ref: 92009



15th July 1992

RE: APPEAL FOR ERECTION OF A RETAIL CENTRE TO INVOLVE THE DEMOLITION OF THE MAJORITY OF EXISTING STRUCTURES ON SITE BUT INCORPORATING THE EXISTING MAIN WAREHOUSE UNITS ON SITE ALONGSIDE THE NEW LUCAN ROAD (PALMERSTOWN BY PASS) WITH ACCESS ONLY FROM KENNELSFORT ROAD LOWER AND EGRESS TO THE OLD LUCAN ROAD, PALMERSTOWN, CO. DUBLIN.

AN BORD PLEANALA REFERENCE PL 6/5/88179

Dear Sir,

Further to our letter of the 3rd July 1992, we now enclose a letter of agreement to enable adequate sight line of 90 metres at the entrance on the Old Lucan Road, in a westerly direction, to be provided. This item was referred to at paragraph 1.12 of our submission dated the 3rd July, and the enclosed letter of consent from the adjoining land owner together with the accompanying map, now confirms the existence of a formal agreement between our clients and this party.

With regard to the proposed access arrangements off Kennelsfort Road Lower, we draw the Boards attention to the submission from Barry and Partners, Consulting Engineers which was enclosed with our submission of the 3rd July 1992. These various options can be considered by An Bord Pleanála in terms of the most appropriate solution to be implemented, should the Board see fit to uphold this appeal.

We are also instructed by our clients to state that they would consent to vehicular access being provided to McDonald's restaurant proposal which is the subject of a separate appeal to An Bord Pleanála at present under reference PL 6/5/88316. Such access facility could be in the nature of a "Blackrock Clinic" type condition which would require the taking in charge by the Local Authority of a length of the proposed access road from the junction of the site with the Kennelsfort Road Lower, for an appropriate distance into the said site.

We trust that the Board now has sufficient information to determine this appeal and we look forward to a favourable outcome in due course.

Yours faithfully,

Bernard McHugh,
McHUGH CONSULTANTS.

RE: LORNS KENNELSFORT LUGHBALMISH DUBLIN D. ITP FRTP MIPI BARRISTER AT LAW
THOMAS McHUGH BE CEng MIEI AMIMone

McHUGH CONSULTANTS IS A LIMITED LIABILITY COMPANY REGISTERED IN IRELAND NO 160191

AITKEN CLAY & COLLINS

SOLICITORS

FITZWILLIAM SQUARE, DUBLIN 2 TEL 510333 Telex: FAX 511352 D.D.L. 171

An Board Plenala
Irish Life Centre
Lower Abbey Street
Dublin 2.

YOUR REF

OUR REF **RM/DC**

DATE

10 July 1992

RE: Our Client: Christopher Byrne
2 Newtownclark, Palmerstown, Co. Dublin.

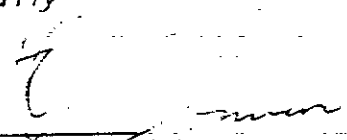
Dear Sirs,

We confirm acting in relation to the above named and write to you concerning a planning appeal lodged by Channon Ltd in relation to a development at Palmerstown Co. Dublin. (PL 6/5/88179).

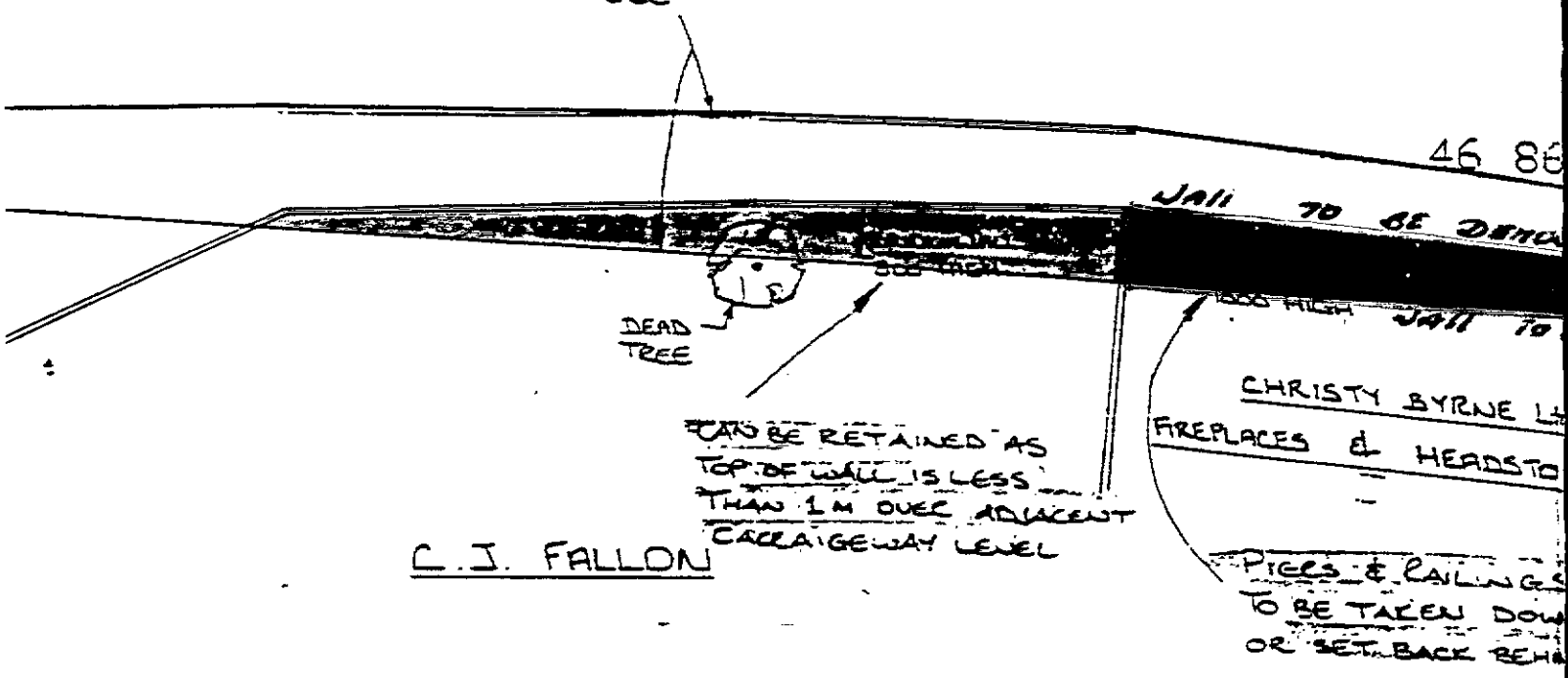
We enclose herewith map relating to our clients holding and would draw your attention to the area coloured blue thereon.

We write to confirm that our client is agreeable that the existing wall on his land be demolished and a new wall re-build set back behind the site line as indicated on the map.

Yours faithfully


Aitken Clay & Collins

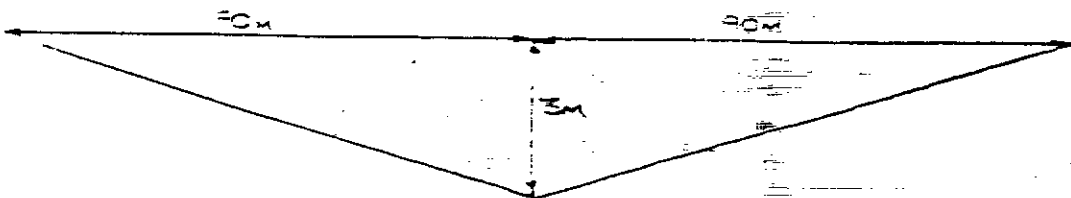
SIGHT VISIBILITY TRIANGLE



C. J. FALLON

PLANNING APPEAL FOR PROPOSED RETAIL CENTRE AT NEW LUCAN ROAD (PALMERSTOWN BY-PASS) WITH INGRESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, PALMERSTOWN CO. DUBLIN.

AN BORD PLEANALA REFERENCE PL6/5/88179



SIGHT VISIBILITY TRIANGLE = 50 km/hr
INTERPOLATED FROM TABLE D3.1 - RT 181

NOTE POSITION OF PROPOSED ROADWAY IS AS SHOWN ON JAMES BYRNE ARCHITECT DRAWING NO 20.28.

SCALE 1/200

T.J.O'Connor & Associates
Consulting Engineers
 Cong House, Cong Rd, Sandycord Industrial Estate, Dublin 18
 Telephone: 2545211 Telex: 80200 Fax: 2545212

46 88

PATH

3500

KERB

46 71

46 + 00

46 + 79

LUCAN 46 + 76

KERB

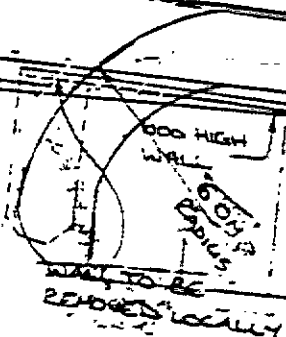
PROPOSED ROAD

KERB TO BE REMOVED
LOCALLY

46 78

2100

SHED
REBUILD
60M
RADIUS



SHRUBS

46 + 90

46 8

46 87 46 + 91

PATH

PROPOSED
ACCESS/EGRESS
ROAD

46 + 95

46 90

CAR PARK

46 9

47 + 01

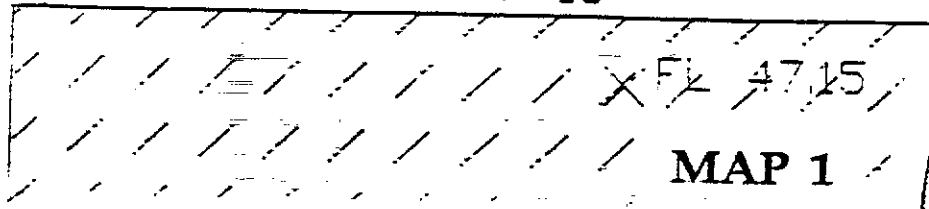
46 90

46 + 96

46 87

46 + 89

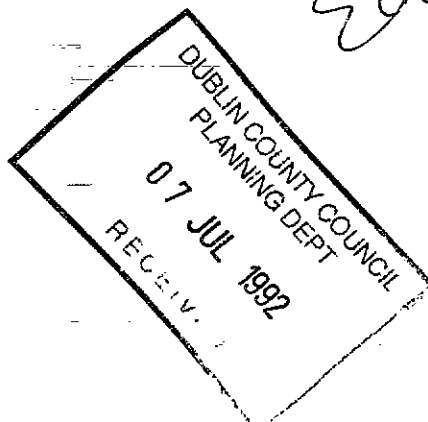
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MAP 1

Our Ref: PL 6/5/88179
P.A. Reg. Ref: 91A/1517

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.



Date: 6th July 1992

Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the New Lucan Road (Palmerstown Bypass) with access only from Kennelsford Road Lower and access/egress to the Old Lucan Road, Palmerstown, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days of the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

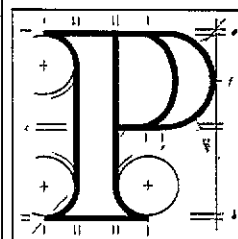
Yours faithfully,


Marie Kennedy

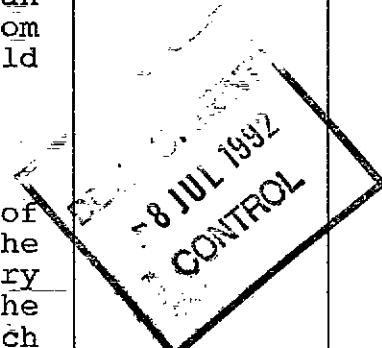
Encl.

BP 553

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



FILED

McHUGH CONSULTANTS

CHARTERED TOWN PLANNERS
DEVELOPMENT CONSULTANTS

4 MOUNT STREET CRESCENT
DUBLIN 2 IRELAND

TELEPHONE: +353.1.619996
TELEFAX: +353.1.764736

The Secretary,
An Bord Pleanala,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 92009

3rd July 1992

RE: APPEAL AGAINST A DECISION OF DUBLIN COUNTY COUNCIL TO REFUSE PERMISSION FOR A RETAIL CENTRE INCLUDING RETENTION OF EXISTING MAIN WAREHOUSE UNITS ON SITE AT PALMERSTOWN ALONGSIDE OF THE NEW LUCAN ROAD (PALMERSTOWN BY-PASS) WITH ACCESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, OPPOSITE PALMERSTOWN CATHOLIC CHURCH.

AN BORD PLEANALA REFERENCE PL 6/5/88179

Dear Sir,

Further to our letter to you dated the 26th February 1992 stating our summary grounds of appeal in this matter, we have now had the opportunity to inspect the relevant Planning Authority documents and to carry out a thorough assessment of the proposed development. Consequently we are now in a position to submit the full grounds of appeal. These come under the following headings:

- General Planning Issues
- Scale of Development
- General Policy Directive 1982
- Report by Barry and Partners, dealing with the roads and traffic aspects of the proposed retail centre.

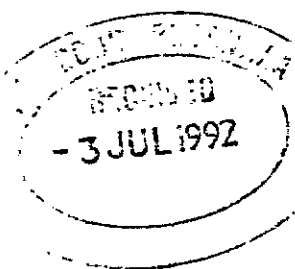
3 JUL 1992
By Hand
M O BYRNE

DIRECTORS: BERNARD McHUGH BA MSc DipLS DipTP FRTP MIPI Barrister-at-Law
THOMAS McHUGH BE CEng MIEI AMIMunE

McHUGH CONSULTANTS IS A LIMITED LIABILITY COMPANY REGISTERED IN IRELAND NO 160191

1.0 General Planning Issues

- 1.1 According to the 1983 Dublin County Development Plan the application site is located within an area where the land use zoning objective is *"to protect, provide and/or improve local neighbourhood facilities"*. In the Draft 1991 Dublin County Development Plan this is unchanged and the site continues to be zoned with a C1 objective. In the application now before An Bord Pleanála, it is proposed to develop part of the overall area zoned C1 as a retail centre.
- 1.2 According to the 1983 Dublin County Statutory development Plan, the uses proposed on the appeal site are either *"permitted in principle"* or *"open for consideration"* under the C1 zoning objective. Thus a development of the kind proposed on the site in question would conform with the policy of the Planning Authority as adopted in the County Development Plan.
- 1.3 A number of points relating to the zoning of this land are worth referring to. The first being the Planning Authority's re-issue of a C1 zoning objective to the lands in question in the 1991 Dublin County Draft Development Plan. The Planning Authority will have been fully aware of the existing supply of local/neighbourhood facilities when according such a zoning to this area. As this submission will go on to deal with in greater detail, we would argue that in re-affirming this C1 objective on the appeal site, the Planning Authority are aware both of the site's strategic importance on the road network of Dublin and the fact that the Palmerstown area has an adequate supply of local neighbourhood facilities. Taking these factors into account we respectfully submit that with regard to the development of this area the appeal site clearly has a wider role to play than just as a *"local centre"*.
- 1.4 This point is actually consolidated by the Planning Authority in their reasons for refusal (dated 30/1/92). Given the extensive area of land zoned for commercial uses at this location they claim that *"the existing village of Palmerstown has an adequate service of local shopping and the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands"*. Thus the proposed development represents an appropriate location for the facilities now being proposed due to its access to the road network and would be in accordance with the proper planning of the area.
- 1.5 As already stated, the Planning Authority claims that *"... the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands"*. In the 1983 Dublin County Development Plan, the lands currently taken up by the aforementioned shopping centre were not zoned at all. More interestingly from the point of view of this appeal is the fact that under the 1991 Dublin County Draft Development Plan, the Planning Authority have seen fit to zone those lands incorporating the shopping centre as C1 *"to protect, provide for and/or improve local neighbourhood facilities"*. From this we can assume that the Planning Authority feel it is possible to have a facility which provides adequately for the needs of the area relative to district centre demands within a C1 use zone.
- 1.6 The layout of the development as proposed in this application was arrived at after considerable and lengthy consultations with Dublin County Council Planning Department and the Roads Department of same. During the course of discussions whilst this application was under consideration by the Planning Authority, our clients were given certain indications that the layout as is now proposed would be the most acceptable form in which development would be contemplated here. It was only at a very late stage in the discussions that any problems arose. The



application now under consideration contains an overall development floorspace of 2771 sq. metres.

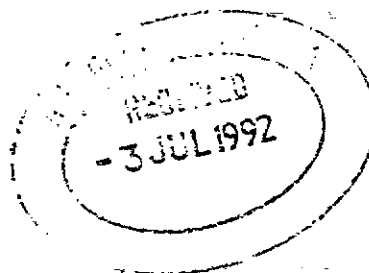
- 1.7 As a result of earlier suggestions proffered by both the Planning Authority and the Roads Authority of Dublin County Council, our clients purchased additional lands at the western portion of the site which enabled an access point to be secured onto the Old Lucan Road, opposite Palmerstown Catholic Church. At no time were there any objections raised in relation to the orientation of development on the appeal site, by either the Planning Authority or the Roads Department. Therefore, whilst acknowledging that such discussions with the Planning Authority are informal and are not to be taken as having any direct bearing on a particular decision, we would emphasise that our clients have, under the guidance of the various Departments of Dublin County Council submitted a proposal that follows good planning principles and practice and which, through careful layout design, would protect and improve the amenities of the area. Thus the proposed development would be in accordance with the proper planning and development of an area.
- 1.8 The proposed development provides for 229 off-street car parking spaces which is in accordance with Dublin County Council Parking Standards (see Drg. No. 90.28.11). The proposed location of a substantial area of car parking on the appeal site, directly opposite Palmerstown Catholic Church would provide a major benefit to the local community. At present this church does not have sufficient off-street parking facilities available to it, nor are there substantial areas of land attached to the church which would facilitate such provision. This was borne out when a site survey was carried out at the church between 10 a.m. and 11.30 a.m. on 8th April 1992.
- 1.9 The results of this survey indicate clearly the injurious effects of the on-street parking associated with the church. The survey showed that of the 30 car park spaces available within the church grounds 26 were occupied, a further 23 vehicles associated with church going activities were noted parked on-street opposite the appeal site and the church itself on the Old Lucan Road. Our clients have indicated their willingness to facilitate off-street car parking generated at the church and have already provided access to the car park which is within their property opposite the church. They would be prepared to continue this arrangement indefinitely if the proposed development is accepted by An Bord Pleanála. This would greatly enhance the amenities of properties in the area rather than injure them.
- 1.10 There is an existing vehicular entrance into the appeal site off Kennelsfort Road Lower. This entrance is almost directly at the junction of Kennelsfort Road Lower and the Palmerstown By-pass (N4). As part of this application, it is proposed to close off the access point at this junction and to utilise an access point north of this as the entrance only into the appeal site. Three access options have been considered and these are comprehensively detailed in the Barry and Partners Roads and Traffic Aspects Report which is enclosed with this submission as Appendix No.1. This report concludes that, "Access, egress, parking and service arrangements are in accordance with normal design standards and would in fact improve the present traffic arrangements at the site."
- 1.11 It is noted from the decision of Dublin County Council that the Roads Authority are considering modifications at the junction of the N4 with Kennelsfort Road and it should be possible when undertaking this work to accommodate the proposed development and access point into the appeal site. At present this junction is already saturated at peak hours. However, the addition of the proposed development, using any of the three traffic options recorded in the Barry and Partners report would not significantly reduce the junction's traffic carrying

capabilities. The road improvements referred to by the Planning Authority in this general area have a built in additional capacity over and above their existing usage levels, and furthermore there are several junctions throughout the city such as the Walkinstown Roundabout which operate adequately at traffic flows well above their design capabilities. It is therefore respectfully submitted that in terms of the roads and traffic issues, there are no valid grounds for refusal of permission for the proposed development. Section 5 of the Barry and Partners Report deals fully with the roads and traffic implications stated in the County Council's reasons for refusal.

- 1.12 In the Roads Department Report concerning the original application (91A/1517) dated 18th October 1991 it is stated that, " *Vision in the westerly direction is less than desirable at the Old Lucan Road entrance. The applicant should be requested to show how he proposes to show a standard sight line of 90 metres at this entrance, from a point of 3 metres set back from the edge of the existing carriageway.*" . This has now been addressed. Map 1 (enclosed in Appendix No.2) shows the proposed access/ egress road from the appeal site onto Old Lucan Road. The two areas of contention are coloured blue and yellow respectively.

The blue area: An agreement has been made with the owner of this strip of land to enable the existing piers and railings to be taken down and set back behind the sight line. A letter from the current owner to this effect will be submitted to An Bord Pleanála within the next couple of weeks as a formal agreement is now being concluded.

The yellow area: The boundary wall of this commercial property is 800mm high and consequently presents no obstacle to sight visibility. This wall was constructed pursuant to planning permission as part of a commercial development and as such any proposed change in its height would require planning permission. It is anticipated therefore that the height of this wall can be effectively controlled and will not affect the sight visibility from the access point of the appeal site.



2.0 Scale of Development

- 2.1 Having recorded the general planning matters relating to this appeal, this submission goes on to outline the issues relating to the scale of the development with particular reference to the existing supply of retail outlets in the vicinity of the proposed development.
- 2.2 At present there are 2,415 sq.m of lawfully established structures on the appeal site with approved uses such as offices, showrooms, and retail operations. The proposed development which is now the subject of this appeal envisages a total floor area of 2,771 sq. m, and this includes the retention of some 1,600 sq. m of commercial buildings within the site which have been integrated into the proposed layout. Therefore, the proposed development constitutes a minimal increase in floor area over that which already exists on the site.
- 2.3 We therefore respectfully submit that the proposed development represents incremental growth in keeping with the scale of the site and its surrounding area. It is not "totally excessive" as was claimed by the Planning Authority; but is in accordance with the proper planning and development of the area.
- 2.4 In attempting to determine the current retail situation in the wider Palmerstown area it would be desirable to follow the methodology set out in Development Plan Manual No. 3 "The Demand for Retail Space" published by An Foras Forbatha in June 1984. However, as there is little or no data relating to turnover, per capita spending etc, aggregated at this local level, the basis for this part of the submission is a retail survey carried out in the subject area on the 1st and 8th of April 1992 by McHugh Consultants Ltd.
- 2.5 The suggested extent of the Palmerstown shopping primary catchment area is shown in Map 2 "The Palmerstown Subject Area" (Appendix No.2) and is described as follows: an area bounded by the Western Parkway to the west, the Liffey Valley to the north, the Dublin/Cork rail line to the south and Kylemore Road, Ballyfermot to the east. These boundaries are considered to be the break-off points of the area.

TABLE 1

POPULATION CHANGE IN THE DED'S WITHIN THE PALMERSTOWN CATCHMENT AREA 1981 - 1991

DED	1981	1986	1991 (estimate)	% Change 1981-1986	% Change 1986-1991	% Change 1981-1991
Cherry Orchard A	372	221	1300	-40.6	+588.2	+349.5
Cherry Orchard B	4768	3852	3300	-19.6	-14.3	-30.8
Cherry Orchard C	1696	4362	4300	257.0	-1.4	+253.5
Kylemore	4546	3774	3200	-17.0	-15.2	-29.6
Drumfinn	6517	5224	4400	-19.8	-15.8	-32.5
Palmerstown Village	4947	4975	4400	-0.5	-11.6	-11.1
Palmerstown West	3507	6924	7350	97.4	+5.4	+208.2
Total	26,353	29,312	28,200	11.2	-3.9	7.0

(Source: Census of Population 1981, 1986, 1991 Preliminary Report)

2.6

This catchment area covers seven District Electoral Divisions (DEDs) and contained a population of 29,312 in 1986. The area grew by almost 3,000 over the period 1981-1986 and is estimated to have reduced marginally over the period 1986-1991. This data is illustrated in Table 1.

The two Palmerstown DEDs witnessed a rise from 8,454 persons in 1981 to 11,899 persons in 1986, with the majority of this growth occurring in Palmerstown West which extends towards Lucan and is between Clondalkin and Blanchardstown.

2.7

It is the basis of our case under this general heading that the present level and distribution of local shopping facilities amounts to an over-supply. This is supported by a 14.0% vacancy rate amongst retail units in the subject area. There is however a vast difference in the supply of retail units when the types of goods being retailed are examined. Our survey findings indicate that the over-supply is predominantly in the area of local convenience units, whilst there is a clear lack of durable goods type outlets such as those proposed in this application.

2.8

The retail survey of this area carried out by McHugh Consultants came up with the following findings;

- A) There is a large scale over-supply of local convenience retail outlets in the subject area.
- B) There is a vacancy rate of 14.0% amongst these outlets.
- C) These outlets are well spread out over the area at eight locations.
- D) There is an substantial shortage of the type of household goods outlet such as is proposed in this development.

These points are now expanded upon in turn.

2.9

The survey findings show that there is a total of 109 retail outlets in the subject area, accounting for 21,100 sq. m. (22,194 sq. ft.) of net retail space. These units are well distributed over the area of eight locations. This information can be seen illustrated in Table 2, along with pipeline developments which will add further to the current supply of retail outlets in the Palmerstown area.

TABLE 2

THE NUMBER AND LOCATION OF THE RETAIL OUTLETS
IN THE SUBJECT AREA

Map Ref.	Location	No. of Units	Pipeline Development
A	Palmerstown Village	12	-
B	Palmerstown Shopping Centre	17	-
C	Kennelsfort Road	2	-
D	Cherry Orchard	6	-
E	Ballyfermot Road	17	Retail/Restaurant
F	Le Fanu Road	11	6 new shops, restaurant and leisure gym
G	Ballyfermot Road	40	-
H	Crazy Prices	4	-
Total		109	

(Source: Survey by McHugh Consultants Ltd., 8th April 1992).

The location of these retail units is shown on Map 3 "Distribution of Retail Outlets Within the Palmerstown Subject Area" (Appendix No.2) using the map references above. This illustrates that these outlets are well distributed over the subject area thus enabling the population good access to these facilities.

- 2.10 The supply of retail units providing household goods, such as those proposed on the appeal site, are in very short supply. In fact only 5.5% of the total retail units deal in these types of retail goods. This amounts to about 500 sq. m. of unit floorspace involved in the sale of household goods, or 2.3% of the subject area's total floorspace. This imbalance in the supply of retail outlets compares poorly with the average split between the different retail goods sectors in the Dublin area. Dublin County Council Working Paper No. 7 - Shopping (1988) indicated that the County as a whole had 23.3% of the total retail floorspace dedicated to "durable goods". Thus the figure of 2.3% for the comparable goods in the Palmerstown area illustrates further the inadequacy of the current supply of the household/durable goods outlets in the subject area.
- 2.11 Working Paper No. 7 goes on to illustrate the distribution of retail floorspace per head of population which is a further indicator related to the supply of particular retail goods. As can be seen in Table 3 the figures for "durable goods" in the subject area fall far below those for the Belgard District and for Dublin County as a whole. Convenience goods on the other hand show a figure far in excess of either of the figures for the other two areas. It is clear therefore that the Palmerstown area is significantly undersupplied with retail outlets selling durable household goods. We therefore respectfully submit that there is demand for a development such as that being proposed by the applicant, as it would provide a service which is not been adequately supplied to date.

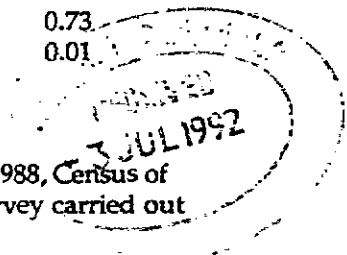
TABLE 3

DISTRIBUTION OF RETAIL FLOORSPACES PER HEAD OF POPULATION BY LOCATION

Location	1986 Population		Floor Area (Sq. Metres)	Floor Area per Capita (Sq. Metres)
Dublin County	138,474	Convenience	76,194	0.16
		Durable	40,986	0.08
Dublin-Belgard	199,478	Convenience	21,708	0.11
		Durable	10,642	0.05
Palmerstown Subject Area	28,230*	Convenience	20,700	0.73
		Durable	500	0.01

* 1991 estimate

(Sources: Dublin County Council Working Paper No. 7 - Shopping, 1988, Census of Population 1981, 1986, 1991 Preliminary Report: Area, Retail Survey carried out by McHugh Consultants Ltd.)



- 2.12 This argument is bolstered even further by the figures presented in Table 3 which indicate the distribution of retail floorspace per head of population in Dublin County, Dublin-Belgard and Palmerstown subject area. It can be seen that there is an undersupply of household goods retail outlets in Dublin-Belgard compared to Dublin County. Furthermore, Palmerstown recorded a level of floor area per head

of population for durable goods which is only one fifth that of the Dublin- Belgard figure.

- 2.13 The National Income and Expenditure figures for household goods over the past 15 years indicates a sizeable increase in the amount being spent on household goods. Although these are national figures they can be taken as being indicative of the situation in the subject area.

TABLE 4
EXPENDITURE OF PERSONAL INCOME (EXCLUDING TAXES)
AT CONSTANT (1989) MARKET PRICES

(£ Million)

Year	Convenience *			Durable *		
	Expenditure	Actual	%	Expenditure	Actual	%
1975	2633.7	-	-	937.0	-	-
1976	2559.2	-74.5	-2.8	978.5	41.5	4.4
1977	2709.2	150	5.8	1026.8	48.3	4.9
1978	2865.2	156	5.7	1156.9	130.1	12.6
1979	2966.6	101.4	3.5	1243.1	86.2	7.4
1980	3067.0	100.4	3.3	1201.0	-442.1	-3.3
1981	3110.0	43	1.4	1222.0	21	1.7
1982	3115.8	5.8	0.1	1031.5	-190.5	-15.5
1983	3147.2	31.4	1.0	1123.1	96.6	8.8
1984	3108.3	-38.9	-1.2	1153.2	30.1	2.6
1985	3113.0	4.7	0.1	1258.7	105.5	9.1
1986	2964.8	-148.2	-4.7	1285.7	27	2.1
1987	3023.4	58.6	1.9	1369.1	83.4	6.4
1988	2949.6	-73.8	-2.4	1534.6	165.5	12.0
1989	3001.6	52	1.7	1590.0	55.4	3.6

* Convenience Goods in this case are to be taken as; "Food", "Non-alcoholic beverages" and "tobacco".

** Durable Goods in this case are to be taken as; "Clothing and Footwear" and "Durable household goods".

(Source: National Income and Expenditure, 1982, 1985, 1988, 1990 CSO, Dublin).

- 2.14 This growth trend in expenditure on household goods, allied to the substantial undersupply of household goods outlets in the Palmerstown area, adds further weight to our contention that the demand exists for these types of retail outlets in the subject area and that the proposed development would go some way towards providing for this demand. Indeed areas such as Blanchardstown and Lucan/Clondalkin, with their growing populations and growing demands are also undersupplied in the area of household goods and hardware. This is illustrated by examining "Dublin Shopping Centres: Statistical Digest II" published by The Centre for Retail Studies, UCD. This indicates that there are four purpose built shopping centres in these "new towns" each having only one unit that supplies the household/hardware goods that are so lacking in the Palmerstown area. It is accepted that these centres do not account for "all" shopping outlets, however these

are purpose built centres designed to serve very wide areas of population and it is fair to assume that such centres are most likely to provide for these types of goods.

TABLE 5

SHOPPING CENTRES IN THE NORTH WEST DUBLIN SUB-REGION

	Net Retail Space (sq. ft)	No. of Outlets	Net Household Goods (sq ft)
Blanchardstown	40,000	14	1,000
Clondalkin	20,540	4	940
Lucan	33,103	9	2,025
Roselawn	42,344	19	980
Ballyfermot	24,356	6	-
Total	160,343	52	4,945

(Source: Dublin Shopping Centres: Statistical Digest II, Centre for Retail Studies, UCD.)

- 2.15 In conclusion of this point it is clear that the built up area west of the Phoenix Park including Lucan/Clondalkin, Blanchardstown and the Palmerstown subject area is undersupplied with retail outlets selling household goods. We would further submit that having regard to existing population levels and prospects for further growth as outlined in the County Development Plan and illustrated in Map 1 of this submission, there is an increasing demand for these forms of retail goods as proposed in this development. It is clear that the location of the appeal site, adjacent to the Dublin- Gaiway Road and close to the M50 Orbital Road, affords a high level of accessibility to the majority of the population in the centres mentioned previously. Thus the subject site is an appropriate one for the development of a retail centre of this kind and the proposed development would be in accordance with the proper planning and development of this area.
- 2.16 The degree to which the "subject area" is over supplied in retail terms can best be measured by the number of retail outlets which are either vacant or closed, each of these indicating that the demand is exceeded by the supply. Table 6 provides a list of locations of these vacant/closed units in the "subject area". This shows that there is a sizeable occurrence of vacancy, distributed evenly across the subject area, giving a vacancy rate of 14.6%. However the crucial part of this finding is that all of these retail outlets deal in convenience/food goods. On the other hand the demand in the subject area for the household/hardware goods outlets as proposed by our clients development remains uncatered for.

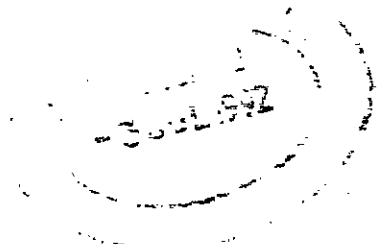


TABLE 6
VACANT/CLOSED UNITS IN THE PALMERSTOWN SUBJECT AREA

Map Ref.	Location	No. Of Units	Floorspace (approx.)(sq. m.)
A	Palmerstown Village	3	240
B	Palmerstown Shopping Centre	3	280
C	Kennelsfort Road	1	80
D	Cherry Orchard	3	260
E	Ballyfermot Road	4	360
F	Le Fanu Road	2	190
Total		16	1,410

Source: Survey by McHugh Consultants Ltd. - 8th April 1992

3.0 General Policy Directive 1982

3.1 The Local Government (Planning and Development) General Policy Directive, 1982 requires both planning authorities and An Bord Pleanála to consider retail shopping developments which would represent a large scale addition to the existing retail shopping capacity in a locality, in terms of the following parameters:-

- a) The adequacy of existing retail shopping outlets.
- b) The size and location of existing retail shopping outlets.
- c) The quality and convenience of existing retail shopping outlets.
- d) The effect on existing communities, particularly the effect on established retail shopping outlets and on employment.
- e) The needs of elderly, infirm or disabled persons and others who may be dependent on availability of local shopping outlets.
- f) The need to promote urban renewal and the use of spare capacity of infrastructural facilities in urban areas.

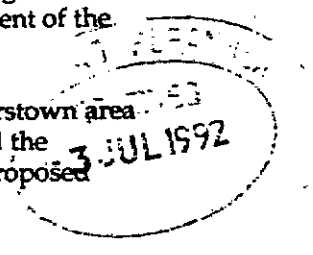
3.2 The first four matters may be distilled into the following key issues:-

- 1) How is the subject area presently served in terms of the quantity, quality and location of shopping facilities ?
- 2) Does the present and anticipated future demand for shopping facilities correspond to the present and permitted available supply of such facilities?
- 3) Will the provision of large scale new purpose built retail shopping premises have a demonstrably adverse impact upon the economy of the subject area ?

3.3 As has already been shown in this submission, the Palmerstown subject area and the surrounding areas of, Lucan, Clondalkin and Blanchardstown have a lack of household goods outlets such as those proposed for the majority of the development which is the subject of this appeal. It is clear therefore that this development will not have an adverse impact on existing retail outlets, as the type of retail uses proposed for the appeal site will complement rather than conflict with the retail outlets that exist in the subject area.

3.4 As the retail survey of the subject area shows, the supply of convenience retail outlets more than meets the demand from the area's population. This is illustrated by the 14.6% vacancy rate amongst the existing units in the area. Of particular relevance to this submission was the finding that of the 21,100 sq. m. of net retail floor space in the Palmerstown subject area, only 500 sq. m. are in retail outlets dealing in household goods. This represents a floor space per capita figure of 0.01 sq m. in the subject area. When this is compared with the figures for "Dublin County" and "Dublin- Belgard" in Dublin County Council Working Paper No. 7 "Shopping" of 0.08 sq. m. and 0.05 sq. m. respectively, it indicates a substantial under supply of household goods outlets in the Palmerstown subject area. Thus the proposed development would correspond with the demand for this type of shopping development and would comply with the proper planning and development of the area.

3.5 In view of the low supply of household goods retail outlets in the Palmerstown area and adjoining areas such as Lucan/ Clondalkin and Blanchardstown, and the accessible location of this site on the road network, we submit that the proposed



development would be entirely suitable at this site and would have a beneficial impact upon the economy of the subject area.

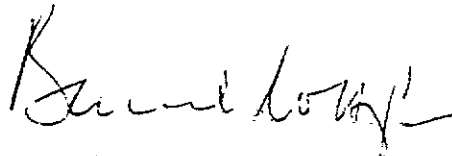
3.6 On the basis of this we would respectfully submit that this proposed development satisfies both the spirit and purpose of the General Policy Directive 1982.

In conclusion the main points can be summarised as follows:

- The proposed development is situated in zone C1, and the uses proposed on the appeal site are either "permitted in principle" or "open for consideration" within this zoning objective.
- The application includes adequate provision for car parking. Car parking on the appeal site which is directly opposite Palmerstown Catholic Church already provides a major benefit to the local community and would continue to do so if the proposed development goes ahead.
- The proposed development constitutes a minimal increase in floor area over that which already lawfully exists on the site.
- The type of retail outlets proposed are significantly undersupplied in the subject area. In this regard the proposed development would be serving a different market to existing retail outlets in this area and would consequently have no adverse impact on these existing outlets.
- The site location adjacent to the Dublin- Galway Road and near to the M50 Orbital Route is highly accessible and must therefore be considered an appropriate location for the development of a retail centre.
- It is our submission that the proposed development satisfies both the spirit and purpose of the General Policy Directive 1982.
- The Report dealing with Roads and Traffic aspects of the proposed retail centre by Barry and Partners, Consulting Engineers dated 6th May 1992 concludes that the proposed development can operate at this location without causing undue traffic congestion or traffic hazards. For the convenience of the Board, a copy of this Report is included in Appendix No.1 of this submission.
- The issue of sight visibility at the access point onto Old Lucan Road has been satisfactorily resolved.

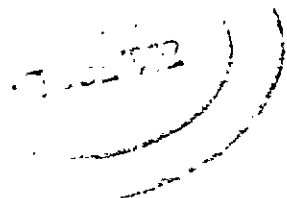
In consideration of all these factors, we respectfully submit that the proposed development would be in accordance with the proper planning and development of this area and we therefore urge An Bord Pleanála to uphold this appeal and grant permission for this proposed development.

Yours faithfully,



Bernard Mc Hugh,
Mc HUGH CONSULTANTS.

Encl/...

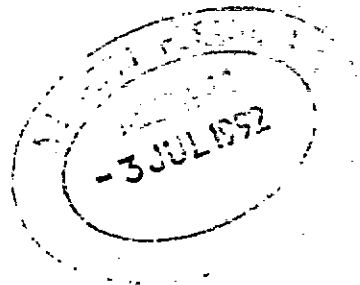




APPENDIX No. 1

Proposed Retail Centre at Palmerstown - Report on Roads and Traffic Aspects.

Barry and Partners, Consulting Engineers.



PROPOSED RETAIL CENTRE AT PALMERSTOWN

PLANNING APPEAL REF. PL 61/5/88179

PLANNING REF. 91A/1517

Planning Appeal - Roads & Traffic Aspects

1. INTRODUCTION

A planning application was made by Louis Burke, Architect, to Dublin County Council on 16 September 1991 for permission to develop a Retail Centre at Palmerstown. The gross area on which permission was sought was quoted as 3,161 m². The floor area of existing buildings on the site is 2,415 m², some of which are to be demolished. It appears that the McDonalds' restaurant was included in the application (see letter dated 25 November 1991 Louis Burke to Dublin County Council).

On 8 January 1992 Louis Burke wrote to Dublin County Council and proposed a reduction in the overall floor area to be considered, from 3,161 m² to 2,722 m², by the elimination of first floor office space. The McDonalds fast food outlet was still included in the application at this stage.

On 30 January 1992 Dublin County Council issued a notice of intent to refuse planning permission, inherent in which was the fact that the McDonalds' restaurant was not part of this application (see reasons 2 and 5). Furthermore, the reports on the planning file in Dublin County Council offices refers to McDonalds' application as being a separate one under registration no. 91A/2020.

That being the case, the application now under consideration appears to be for a gross floor area of 2,771 m². The McDonalds' application must still be considered as part of the overall development, albeit under a separate application, from a traffic point of view.

2. THE PROPOSED DEVELOPMENT

2.1 Proposed Uses

At present there are existing structures on the site with a total floor area of 2,415 m². It is proposed to demolish some of these buildings, but to retain approximately 1,600 m² and incorporate this area into the proposed overall development of 11 units. The gross floor area of the 11 units would be 2,771 m² with the McDonald restaurant of 390 m² additional to that.

A breakdown of the proposed uses and areas is as follows:-

	USE	FLOOR AREA
Unit 1	Furnishings/Carpets	360 m ²
Unit 2	Banking Facilities	141 m ²
Unit 3	Electrical/White Goods	605 m ²
Unit 4	Car Accessories, etc.,	360 m ²
Units 5, 6, 8 & 9	Dry Cleaners, Chemists, Newsagent, Butcher	290 m ²
Units 7 & 7B	Doctor, Dentist, etc.,	288 m ²
Unit 10	Video/DIY, etc.,	147 m ²
Unit 11	Hardware/Coffee Shop	138 m ²
First Floor Offices		<u>139 m²</u>
	TOTAL FLOOR AREA	<u><u>2,771 m²</u></u>

2.2 Proposed Access

The main access to the site will be via a newly designed entrance off Kennelsfort Road Lower, located 25 metres north of the existing entrance. The existing entrance will be closed up. Two options have been considered at this access point.

Option 1

Entry only permitted at the Kennelsfort junction. This would be a 5 metre wide "one way in" carriageway with footpaths on either side. All traffic from Lucan By Pass would enter the site at this point. The radius of the access road approach kerbs would be large enough to facilitate a smooth entry without any disruption to through traffic on Kennelsfort Road Lower. One way pressure plates would be installed on the access road to prevent cars exiting by this route.

Exit from the development would be onto Old Lucan Road where, with some minor modifications, adequate sight lines can be established. Entrance to the site from Old Lucan Road would also be provided at this point to facilitate local shoppers. Option 1 was the proposal

submitted with the planning application for the site.

Option 2

Access to and egress from the site at the Kennelsfort Road Lower junction. This alternative was developed in deference to refusal reason no. 2 of Dublin County Council's refusal notification. For this alternative to function it would be necessary to install traffic signals at the site entrance and to move back the existing traffic signals by 20 metres from their present position, northwards along Kennelsfort Road Lower.

T J O'Connor & Associates, Consulting Engineers, have carried out an analysis of the two options and prepared layout drawings showing both. Their results will be submitted as part of the appeal on the McDonald site.

A third option which could be considered would be access and egress at both points.

2.3 Parking

It is proposed to provide a total of 229 car parking spaces within the site in accordance with the standards laid down in the County Development Plan. For shopping centres, retail stores and retail warehousing 1 space per 20 m² gross floor area is required and for offices, 1 space per 25 m² gross floor area is required. The spaces being provided have been allocated on the following basis:-

Shopping Floor Area 2,332 m ²	
1 space per 20 m ² required	117 spaces
Office Floor Area 439 m ²	
1 space per 25 m ² required	18 spaces
Existing Office Area 1,600 m ²	
1 space per 25 m ² required	64 spaces
Parking Requirement for Employees	<u>30 spaces</u>
Total Parking Requirement	229 spaces

The number of spaces being provided (229) therefore fulfils the parking requirement.

Parking for the proposed McDonalds' restaurant will be provided separately within its own site.

2.4 Servicing

It is proposed to provide off road unloading bays outside units 1 and 2 to serve those developments.

Units 3 to 11 will be serviced both via the internal central service yard

and by external lay-by type unloading bays outside the larger units (3 and 4). The internal service yard will cater for the smaller type of service vehicles, which will comprise the bulk of day to day deliveries. The larger articulated vehicles will draw into specially designated lay-by type unloading bays which will be provided along the main access. Figure 1 shows the proposed servicing arrangements.

The volume of servicing required for a store is dependant on a number of factors, including:-

- The nature of the store.
- The retail area of the store.
- The size of storage area within the store.
- The stocking policy of the store concerned.

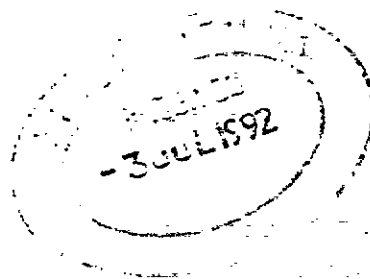
Non food stores do not generate the same number of service vehicles as food stores, and are not as time dependent as food stores. Early morning deliveries of fresh produce is not a factor in non food stores, and so deliveries can be spread out over the day.

Delivery vehicles come in three basic sizes, 5 metre length, 10 metre length, and 15 metre long articulated trucks. From surveys carried out at other retail centres the following is an average breakdown of percentage vehicle sizes which service them:-

5 metre (vans, pickups, etc..)	55%
10 metre (rigid trucks)	40%
15 metre (articulated trucks)	5%

For a development such as the present proposal, the arrival pattern of delivery vehicles will be random, so it would be important to ensure that an adequate number of unloading bays are provided.

A common way of calculating service vehicle trips is on the basis of the gross floor area of the unit. Table 1 shows the range of service vehicle trips per day for different types of retail unit. These figures were developed from surveys carried out in the UK. There is a considerable volume of Irish data available on service vehicle trip generation by supermarkets, but very little on retail centres. UK survey data is therefore adopted for this project.



SERVICE VEHICLE GENERATION

Type of Unit	Trips/day/100 m ²
Jewellery/Leather Goods	0.05 - 0.1
Clothing/Footwear	0.1 - 0.3
Hairdressers/Opticians	0.1 - 0.7
Variety Stores/Department Stores	0.2 - 1.0
Furniture/Electrical Goods/Hardware	0.1 - 2.0
Confectionary/Tobacco/Newsagents	1.0 - 2.5
Food	1.0 - 4.0
TV Rentals	3
Vehicle Repairs	1.5 - 2.1
Builders & Building Services	2.0 - 2.4

T A B L E 1

Most of the proposed uses lie within the range of services listed in Table 1 and the most appropriate approach would be to take an average service vehicle trip rate per 100 m² of floor area for the whole centre. It is suggested that a figure of 2.0 trips per 100 m² of gross floor area would be a reasonable rate to adopt for the Palmerstown retail centre.

This would generate the following:-

$$23.22 \times 2.0 = 47 \text{ service vehicles/day}$$

These vehicles would be made up of:-

55% or 26 no. vans, pickups, etc./day

40% or 19 no. rigid trucks/day

and 5% or 2 no. articulated trucks/day

Offloading times vary according to the vehicle concerned, but for articulated trucks the average offloading time is 1 hour, for rigid trucks about 30 minutes and for the smaller units 15 to 20 minutes.

The Dublin County Development Plan requires that one unloading bay per 557 m² GFA be provided. In the Palmerstown case this would result in a requirement of 4 unloading bays. In fact, double that amount of unloading bays will be provided thereby more than catering for the demand.

2.5 Shopper Traffic

The number of shoppers generated by a particular retail development is dependant on the size of the development in question, and on the mix of retail uses contained within that development. There is a considerable amount of survey data available on shopper traffic to supermarkets in Ireland, but little or no survey data on shopper traffic to retail centres.

Surveys carried out in the UK indicate a very wide range of trips per 100 m² GFA from 5 to 40. However, it is generally accepted that non food stores generate approximately 20% less shopping trips than food stores. Taking all of the above into consideration it would be reasonable to adopt an average of 30 trips per 100 m² of GFA as the visitation rate to Palmerstown Retail Centre. This would result in 700 trips per day to the centre.

Peak inflow for shopping centres is normally 15% of the daily flow and adopting that figure for Palmerstown would give a peak inflow of 105 cars per hour. The vast majority of these cars (say 100 per hour) would enter the centre through the main entrance off Kennelsfort Road Lower. Traffic generated by the McDonald restaurant would be extra to that.

3. EXISTING DEVELOPMENT

There is an existing DIY store on the site with a gross floor area of 350 m². The maximum number of recorded trips to and from this store is 120 per day. The store opens 9.00 am to 6.00 pm Monday to Saturday, so the average visitation rate is 13 trips per hour with a peak rate of 18 - 20 trips per hour. All of the above area actually recorded figures and fall well within the predicted rates for the proposed retail store.

1. EFFECT OF TRAFFIC ON JUNCTIONS

Two junctions will be affected by traffic generated by the proposed development. These are the Lucan By Pass/Kennelsfort Road Lower junction with the main site access and the Old Lucan Road/site exit road junction. There are traffic lights at the Lucan By Pass/Kennelsfort Road Lower junction which operate on a four phase, 130 second cycle time, although the cycle time does vary outside peak flow periods.

Existing peak hour traffic flows on the N4, Lucan By Pass, are as follows:-

Morning Peak Hour	:	Eastbound 2,259 pcu
7.45 - 8.45	:	Westbound 816 pcu
Evening Peak Hour	:	Eastbound 1,020 pcu
5.15 - 6.15	:	Westbound 2,183 pcu

The above figures include turning movements at the junction.

Peak hour movements in and out of Kennelsfort Road Lower from the Lucan By Pass are as follows:-

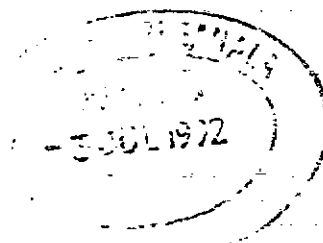
Morning Peak Hour	:	185 pcu in to Kennelsfort
7.15 - 8.45	:	194 pcu out of Kennelsfort
Evening Peak Hour	:	275 pcu in to Kennelsfort
5.15 - 6.15	:	283 pcu out of Kennelsfort

The above traffic flows include the present peak flow of 20 cars per hour in and 20 cars per hour out of the site via the existing entrance. To assess the effect of traffic generated by the proposed development on the junction the nett traffic increase must be added to existing flows. The Retail Centre will generate a peak hour flow of 100 cars per hour in to the site from the Lucan By Pass junction.

Consultants for the McDonald restaurant proposal calculate that this will generate a further 169 cars per hour into the site at this junction at peak hour times (1.00 to 2.00 pm).

An analysis on the effect of this increased traffic flow in the capacity of the junction has been carried out by Consultants for the McDonald application and the results have been submitted to the Bord under separate cover. The conclusion arrived at was that by adjustment to the timing of the traffic signals the junction could cater for the increased flow without causing a hazard.

At peak times 244 cars per hour will be exiting from the site onto the Old Lucan Road, some turning right and proceeding back to the Lucan By Pass via Kennelsfort Road Lower (option 1). This is a lightly



trafficked road with only 1 existing houses fronting onto Old Lucan Road between the site exit and the Kennelsfort Road Lower junction. Houses fronting Kennelsfort Road Lower have off street lay-by parking along the frontage.

Cars exiting from the site will also have the option of turning left onto the Old Lucan Road and regaining access onto the main road system less than 1 km to the west.

5. PLANNING REFUSAL REASONS

Reason no. 2 of the County Council's notice of refusal says that an access only off Kennelsfort Road and an access/egress onto the old Palmerstown Road (Old Lucan Road) would create serious traffic congestion within the old village of Palmerstown, and would seriously injure the residential amenities of the area and of the properties in the vicinity.

It is difficult to see how this assertion can stand up to any examination based on facts. The Old Lucan Road was until recently the N1 National Primary route, and was the major traffic artery to the west. With the construction of the Lucan and Palmerstown By Pass, all of this through traffic was taken off the Old Lucan Road, leaving the latter to serve as a local distributor. So from carrying up to 20,000 per day this road has a reduced traffic load of a fraction of that volume. To suggest that the addition of a few hundred cars per hour is going to cause serious traffic congestion in Palmerstown is just not credible. Indeed the reports on file from the Roads' Department of Dublin County Council do not suggest any traffic problem in Palmerstown as a result of traffic from the proposed development. The reference to serious damage to the residential amenities and property of the area similarly cannot stand up to examination based on facts.

Refusal reason no. 2 has therefore no credibility and no basis in fact.

Refusal reason no. 3 is based on a proposal which was not part of the planning application. The application did not suggest that the Kennelsfort Road access be used as an exit point, so quoting this as a refusal reason on the application is invalid. However, as mentioned in Section 2.2, this possibility was examined in detail by T J O'Connor & Associates and the implications of such an arrangement are detailed in a report from them.

Refusal reason no. 4 is based on the same incorrect assumption and had no valid standing, based on the application.

Refusal reasons based on roads or traffic considerations have no validity, a fact which is bourn out by the planning reports from the Roads' Department of Dublin Co Council.

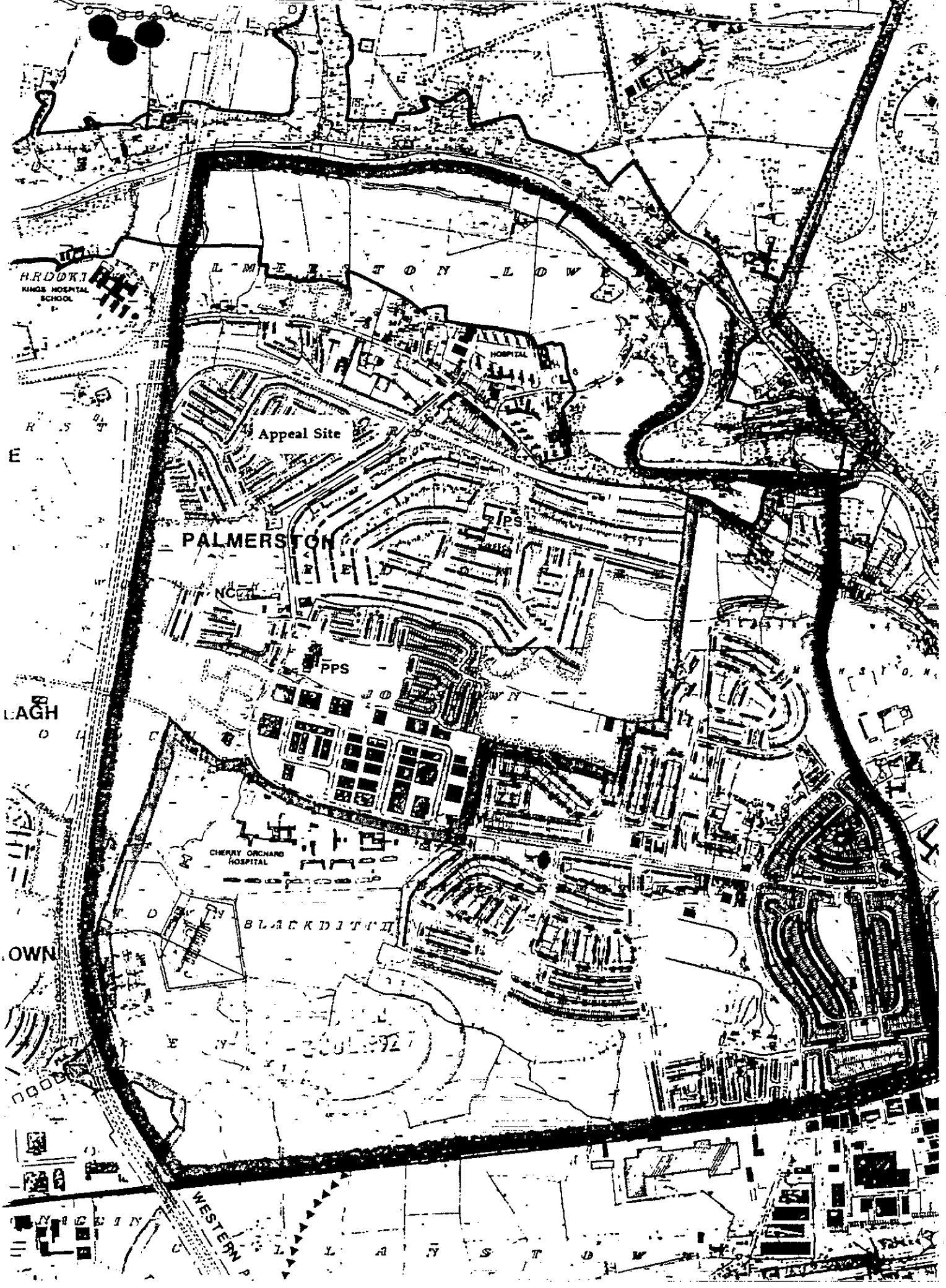


APPENDIX No. 2

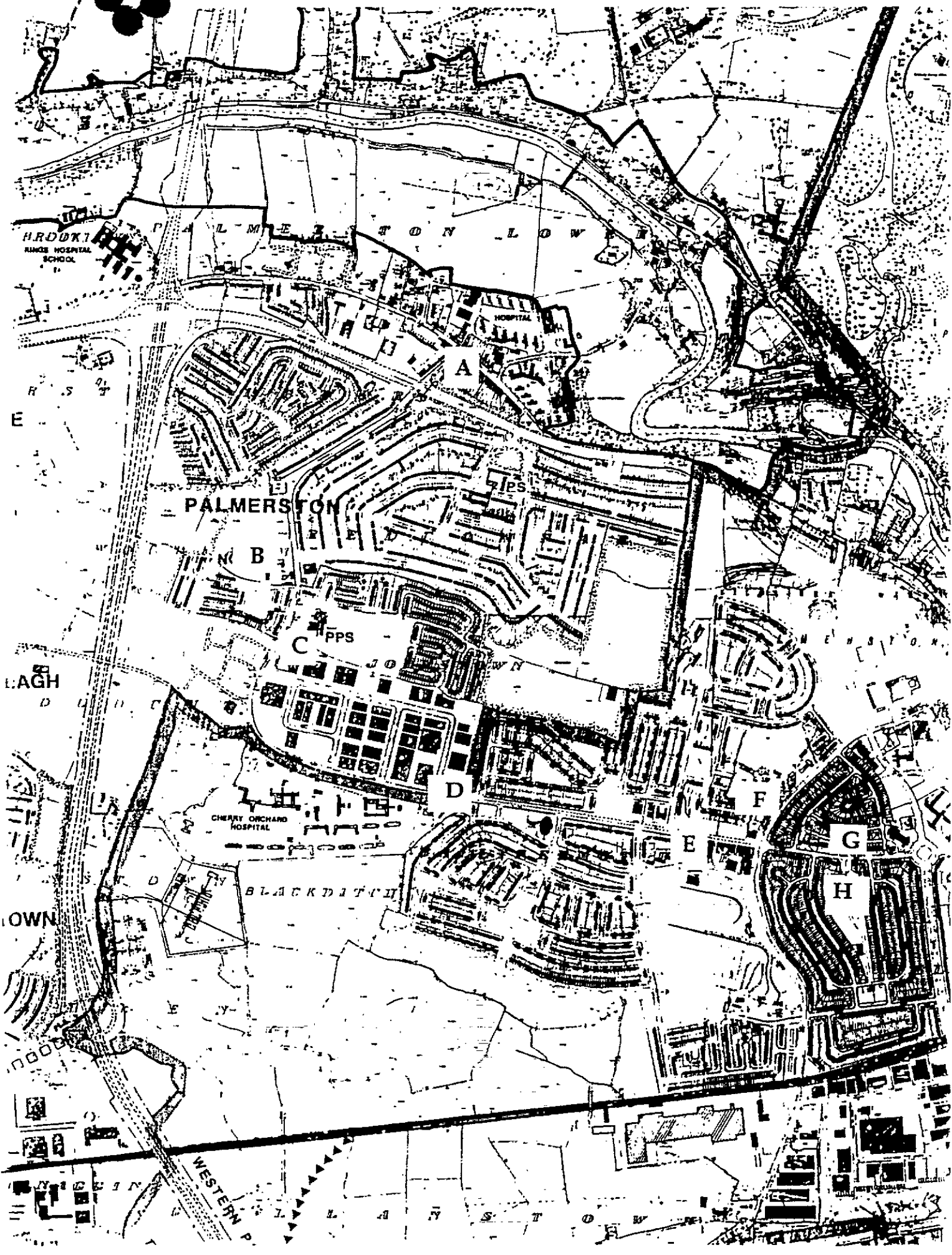
Maps No. 1 - 3

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MAP2 THE PALMERSTOWN SUBJECT AREA.



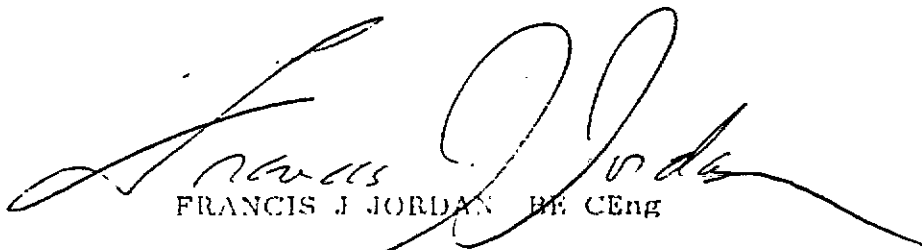
MAP 3 DISTRIBUTION OF RETAIL OUTLETS WITHIN THE PALMERSTOWN SUBJECT AREA.



6. SUMMARY

This submission has examined the roads, traffic and parking aspects of the proposed development and concludes that the Palmerstown Retail Centre can operate on the site under appeal without causing undue traffic congestion or accident hazards. Access, egress, parking and service arrangements are in accordance with normal design standards and would in fact improve the present traffic arrangements at the site. The provision of car parking at the western end of the site will improve the amenities of the area by providing car parking for use by people attending the Church across the road from the site exit. The existing site is in a state of semi dereliction and the proposed development will eliminate that, and add considerably to the amenities of the area.

The Bord is asked to examine this proposal on the facts provided and to grant permission for the development either as originally proposed, or in accordance with the Option 2 access arrangement.



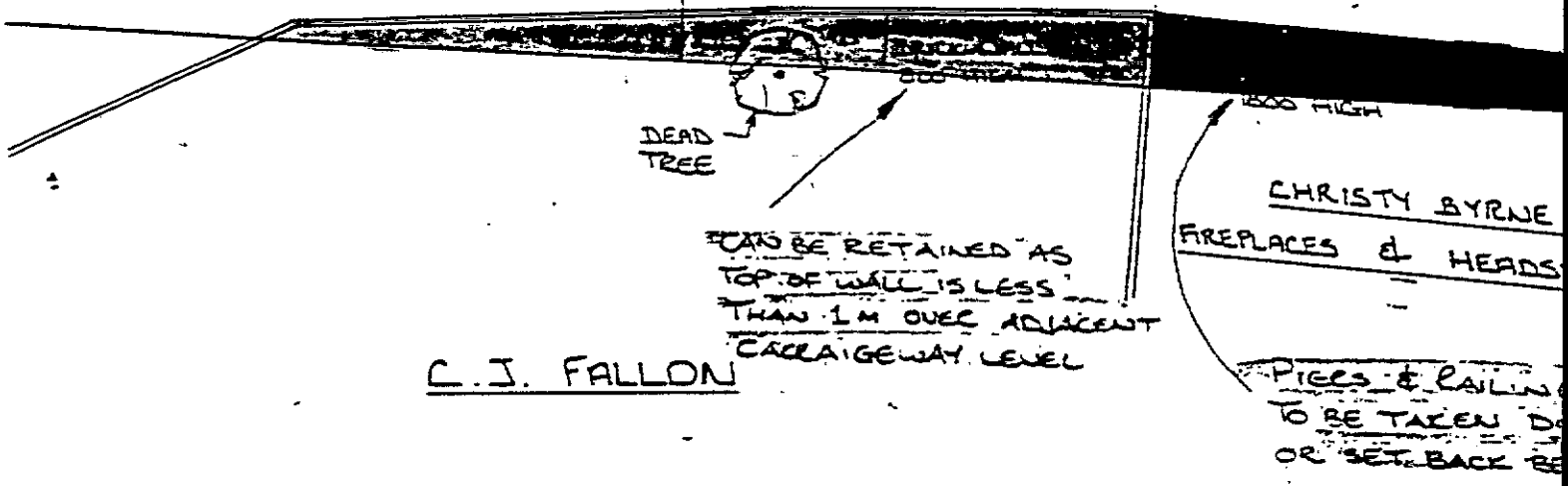
FRANCIS J JORDAN BE CEng

6 May 1992

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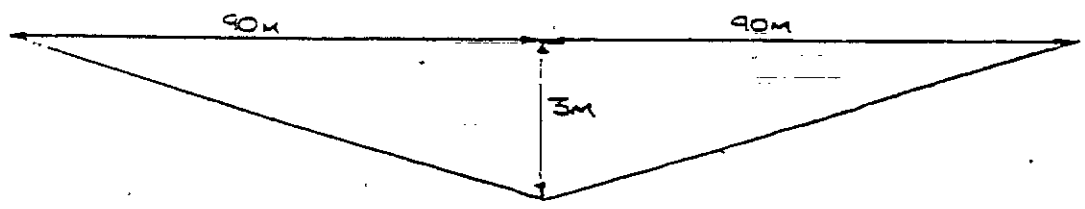
SIGHT VISIBILITY TRIANGLE

46 8



PLANNING APPEAL FOR PROPOSED RETAIL CENTRE AT NEW LUCAN ROAD (PALMERSTOWN BY-PASS) WITH INGRESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, PALMERSTOWN CO. DUBLIN.

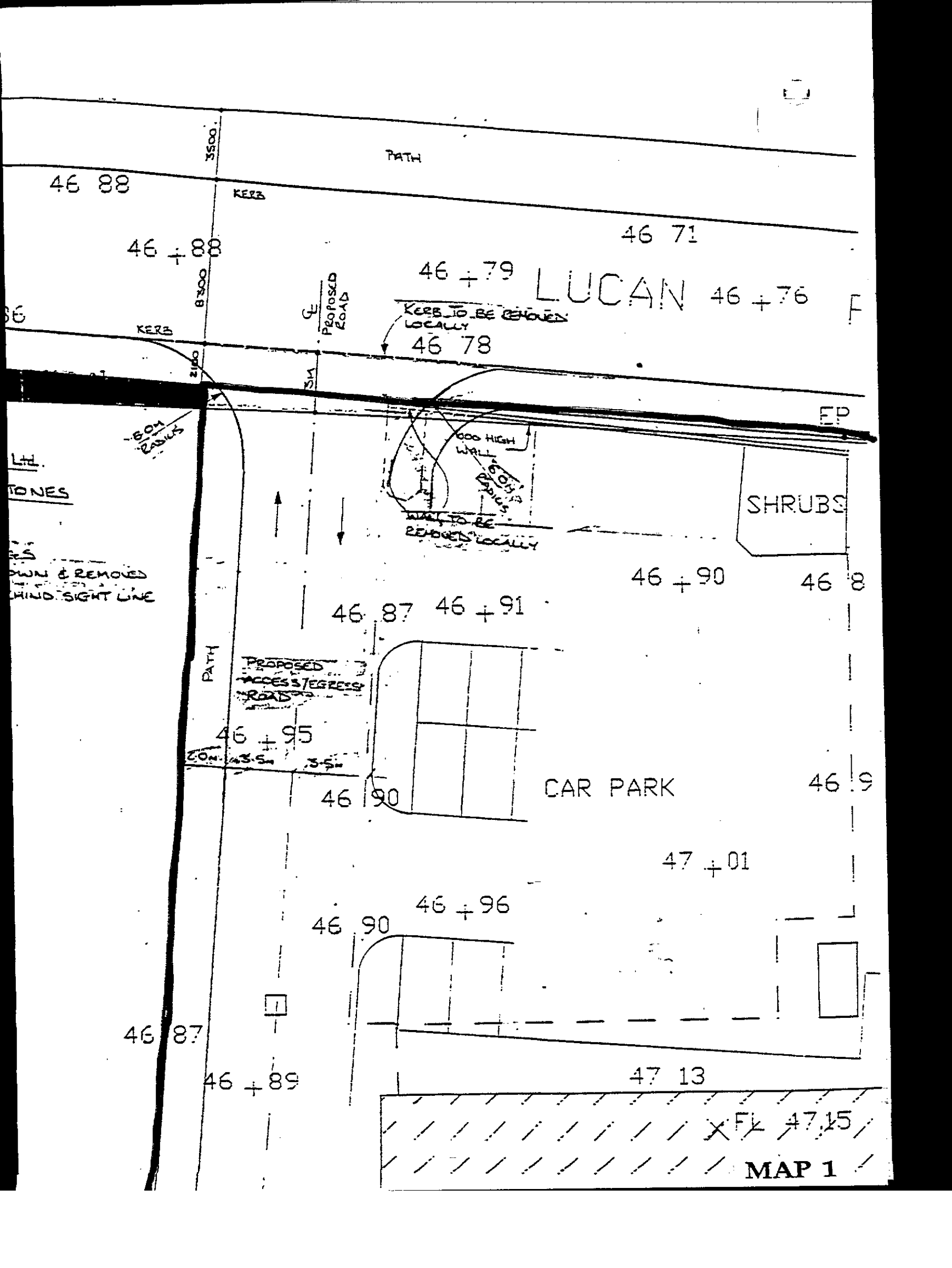
AN BORD PLEANALA REFERENCE PL6/5/88179



SIGHT VISIBILITY TRIANGLE = 50 km/hr
 INTERPOLATED FROM TABLE D3.1 - 27 181

NOTE: POSITION OF PROPOSED ROADWAY IS AS SHOWN ON LOUIS BURKE ARCHITECT DRAWING NO 90.28.11

T.J.O'Connor & Associates



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3500

KERR

46 71

46 + 88

46 + 79

LUCAN

46 + 76

F

KERR TO BE REMOVED LOCALLY

46 78

KERR

PROPOSED ROAD

2100

EP

60M RADIUS

LH. TONES

600 HIGH WALL

WALL TO BE REMOVED LOCALLY

SHRUBS

46 + 90

46 8

46 87 46 + 91

PROPOSED ACCESS/EGRESS ROAD

PATH

46 + 95

CAR PARK

46 9

46 90

47 + 01

46 + 96

46 90

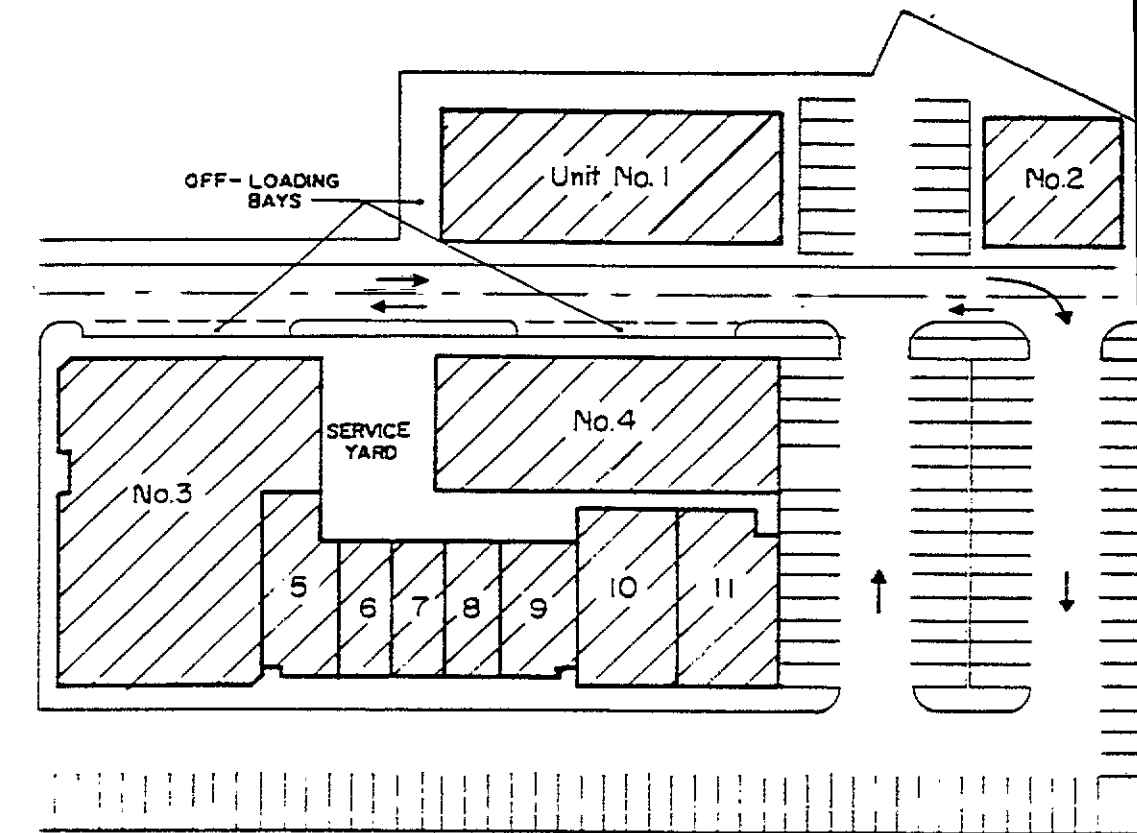
46 87

46 + 89

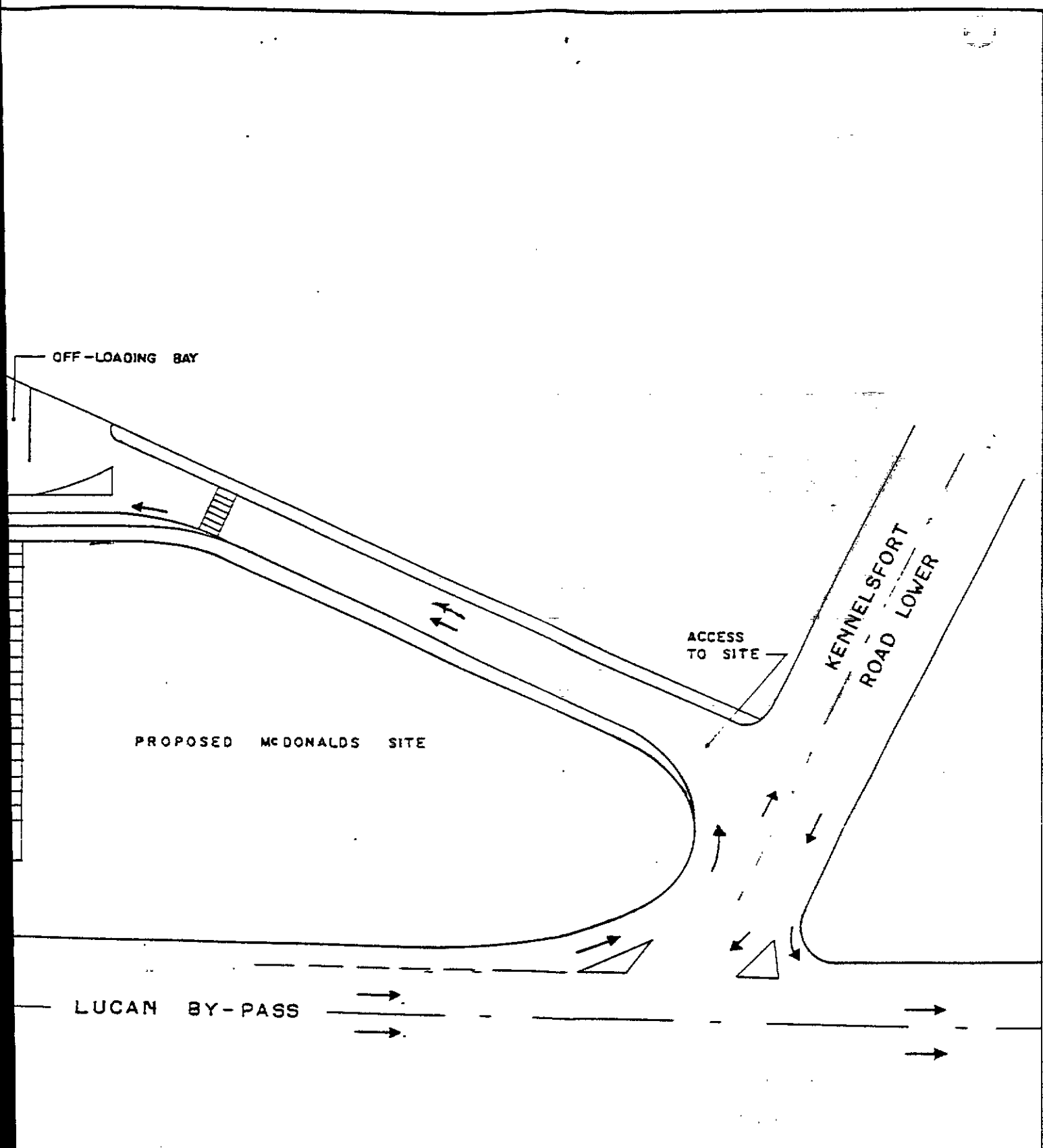
47 13

X FL 47 15

MAP 1



Contractors to check
Commencing any work
from drawing.



JOHN. B. BARRY + PARTNERS Consulting Engineers			
project		PALMERSTOWN RETAIL CENTRE	
drawn	checked	scales	date
F.T.	F.J.	N.T.S.	May '92
title			drawg no
MAIN SITE LAYOUT.			FIGURE 1.
			rev

All dimensions on site before
 E. No dimensions to be scaled

Our Ref: PL 6/5/88179
P.A. Reg. Ref: 91A/1517

Ed

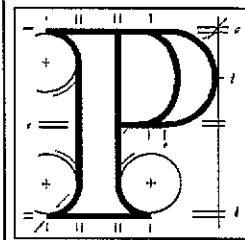
The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.

- 9 JUN 1992

RECEIVED

An Bord Pleanála



Date: 4th June 1992.

Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the new Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road, Palmerstown, County Dublin.

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 728011

Dear Sir/Madam,

Enclosed for your information is a copy of a letter received by the Board in relation to the above-mentioned appeal.

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

DEVELOPMENT
11 JUN 1992
CONTROL

Encl.

BP 555

**McHUGH
CONSULTANTS**CHARTERED TOWN PLANNERS
DEVELOPMENT CONSULTANTS4 MOUNT STREET CRESCENT
DUBLIN 2 IRELANDTELEPHONE: +353.1.619996
TELEFAX: +353.1.764736

The Secretary,
An Bord Pleanala,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 92009

For the Attention of Kevin Carlton

4th June 1992

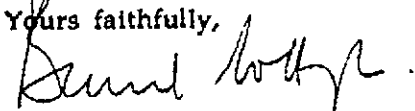
RE: APPEAL FOR PROPOSED RETAIL CENTRE ON SITE ADJOINING THE
NEW LUCAN ROAD (PALMERSTOWN BY PASS) WITH ACCESS ONLY
FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE
OLD LUCAN ROAD. PALMERSTOWN, CO. DUBLIN.

AN BORD PLEANALA REFERENCE PL 6/5/88179

Dear Sir,

Further to our telephone conversation with your Mr. Kevin Carlton this morning and previous correspondence in this appeal, we wish to advise that we have had discussions with the Roads Department of Dublin County Council concerning access and circulation proposals for traffic in relation to this site. Certain proposals have been agreed in principle with regard to the treatment of the vehicular access from this site onto the Old Lucan Road and this requires some negotiation with the adjoining landowner in order to obtain suitable visibility splays at the junction. We are currently progressing these negotiations and hope to be in a position to lodge our full grounds of appeal within the next two weeks. We would be obliged if you would defer further consideration of this appeal in the meantime.

Yours faithfully,



Bernard McHugh,
McHUGH CONSULTANTS.

Our Ref: PL 6/5/88179
P.A. Reg. Ref: 91A/1517

E-014

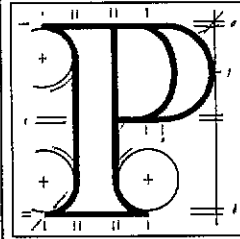
The Secretary,
Dublin County Council
Planning Section,
Block 2,
Irish Life Centre,
Dublin 1.

CONTROL
13 MAY 1992

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
14 MAY 1992
RECEIVED

Date: 13th May 1992

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

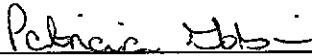
Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the new Lucan Road (Palmerstown By Pass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road, Palmerstown, Co. Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of a letter received by the Board in relation to the above-mentioned appeal.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,


Patricia Tobin

Encl.

BP 555

**McHUGH
CONSULTANTS**

CHARTERED TOWN PLANNERS
DEVELOPMENT CONSULTANTS

4 MOUNT STREET CRESCENT
DUBLIN 2 IRELAND

TELEPHONE: +353.1.619996
TELEFAX: +353.1.764736

The Secretary,
An Bord Pleanála,
Floor 3, Block 6 & 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Our Ref: 92009

4th May 1992

RE: ERECTION OF A RETAIL CENTRE TO INVOLVE THE DEMOLITION OF THE MAJORITY OF EXISTING STRUCTURES ON SITE BUT INCORPORATING THE EXISTING MAIN WAREHOUSE UNITS ON SITE ALONGSIDE THE NEW LUCAN ROAD (PALMERSTOWN BY PASS) WITH ACCESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, PALMERSTOWN. CO. DUBLIN.

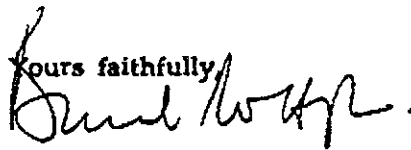
AN BORD PLEANALA REFERENCE PL 6/5/88179

Dear Sir,

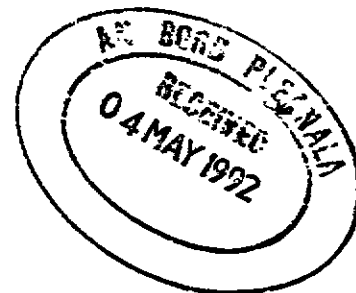
We refer to the Board's letter dated the 9th April 1992 and to the telephone conversation of today's date between your Ms. Liz Dolan and our Mr. Bernard McHugh. We hereby confirm that we do not request an Oral Hearing of this appeal, and are happy to deal with the matter by way of written representations.

As mentioned during our telephone conversation of today's date, following our examination of the traffic report on this application as prepared by Dublin County Council we have arranged for various traffic surveys to be carried out in order to address the reasons for refusal in detail. We are presently finalising our case and expect to be in a position to submit this in full during the week beginning the 25th May 1992.

Accordingly we will be grateful if the Board will defer further consideration of this case until that date.

Yours faithfully,


Bernard McHugh,
McHUGH CONSULTANTS.



DIRECTORS: BERNARD McHUGH BA MSc DipLA DipTP FRTP MIPI Barrister-at-Law
THOMAS McHUGH BE CEng MIEI AMIMunE

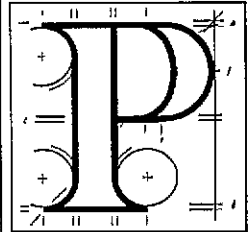
McHUGH CONSULTANTS IS A LIMITED LIABILITY COMPANY REGISTERED IN IRELAND NO. 160191

Our Ref: PL 6/5/88179
P.A. Reg. Ref: 91A/1517

DUBLIN COUNTY COUNCIL
PLANNING
REC
15 APR 1992

E.O.H.

An Bord Pleanála



The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

DEVELOPMENT
CONTROL
15 APR 1992

Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 9th April 1992.

Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the new Lucan Road (Palmerstown Bypass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road, Palmerstown, County Dublin.

Dear Sir/Madam

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. Also enclosed is a copy of the Board's reply.

While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within twenty-one days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Yours faithfully,

Suzanne Lacey
Suzanne Lacey

Encl.

BP 553B

McHUGH CONSULTANTS

CHARTERED TOWN PLANNERS
DEVELOPMENT CONSULTANTS

4 MOUNT STREET CRESCENT
DUBLIN 2 IRELAND

TELEPHONE: +353.1.619996
TELEFAX: +353.1.764736

The Secretary,
An Bord Pleanála,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



Our Ref: 92009

1st April 1992

RE: APPEAL AGAINST A DECISION OF DUBLIN COUNTY COUNCIL TO REFUSE PERMISSION FOR A RETAIL CENTRE INCLUDING RETENTION OF EXISTING MAIN WAREHOUSE UNITS ON SITE AT PALMERSTOWN ALONGSIDE OF THE NEW LUCAN ROAD PALMERSTOWN BY-PASS) WITH ACCESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, OPPOSITE PALMERSTOWN CATHOLIC CHURCH.

DUBLIN COUNTY COUNCIL PLANNING REGISTER REFERENCE NO. 91A/1517.

DATE OF DECISION 30TH JANUARY 1992.

Dear Sir,

Further to our previous correspondence regarding this matter (26/2/92) and having undertaken a site inspection and reviewed the relevant planning files and documentation relating to this case, we wish to confirm that we are in a position to finalise our detailed grounds of appeal.

X Before submitting our case to you we would ask the Board to make a direction regarding the nature of the appeal procedure, whether by written representation or by oral hearing. Upon receiving this direction from you we will act accordingly.

Yours faithfully,

Bernard McHugh,
McHUGH CONSULTANTS.

DIRECTORS BERNARD McHUGH BA MS DipLS DipTP FRTP MIPI Barrister-at-Law
THOMAS McHUGH BE CEng MIEI AMIMunE

McHUGH CONSULTANTS IS A LIMITED LIABILITY COMPANY REGISTERED IN IRELAND NO 160191

Our Ref: PL 6/5/88179
P.A. Reg. Ref 91A/1517
Your Clients: Channon Ltd.

McHugh Consultants,
4 Mount Street Crescent,
Dublin 2.

Date: 9th April 1992.

Appeal re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the new Lucan Road (Palmerstown Bypass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road, Palmerstown, County Dublin.

Dear Sirs,

An Bord Pleanála has received your letter dated the 1st of April, 1992 in relation to the above-mentioned appeal. The contents of your letter have been noted.

In relation to your request as to whether the Board will proceed with the appeal by written submissions or by an oral hearing, please note that there is at present no formal request for an oral hearing before the Board.

Under Article 6 of the Local Government (Planning and Development) (Fees) (Amendment) Regulations, 1989, a request for an oral hearing of an appeal must be accompanied by a non-refundable fee of £50. The Board cannot consider the request unless this fee is paid.

You should be aware that it is the policy of the Board to grant an oral hearing only where it considers that the complexity of the issues involved in the particular appeal warrants such a hearing. In fact, most appeals are dealt with on the basis of written submissions from the parties.

If you wish to make a formal request for an oral hearing, please forward the required fee within fourteen days of the date of this letter.

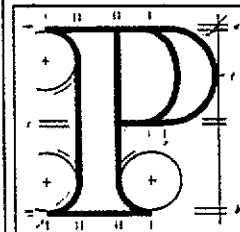
Yours faithfully,



Kevin Carleton
Executive Officer

BP552+

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

PLANNING DEPT

RECEIVED

13 APR 1992

91A/1517

1-4.0

A.I. for BBL

OUR REF: LB/mf 071

YOUR REF: PC/SK

DATE: 7/4/92

Dublin County Council
 Building Control Section,
 Block 2,
 Irish Life Centre,
 Lower Abbey Street,
 Dublin 1.

RE: Time extension / additional information for B.B.L Reg.
Ref No: 91A/1517

Dear Sirs,

I wish to refer to your letter of February 28th 1992 in regard to the above Building Bye-Law Application Reference - 91A/1517.

I would also refer to my subsequent meetings with your Mr Terry Rice and Gary O'Brien. I am enclosing herewith, in duplicate, the following additional information:-

1. The drainage survey drawing revised to identify all drains and sewers which exist on site. The surface water drain is indicated yellow and the sewer indicated blue.

The positions were identified following consultations with Gary O'Brien.

It would appear that the surface water drain caters for the surface water disposal from the small housing scheme to the north of the site together with surface water disposal from an original ditch contained on the site.

The fowl sewer indicated serves the housing development in Woodfarm Acres on the southern side of the carriageway.

2. Drawing 90.28.11 revision E clearly indicates the details of all sections of pipe both proposed and existing and includes pipe sizes, levels and gradients.
3. Drawing 90.28.11 revision E illustrates the proposed alterations to the existing public sewers on site.

RIAI



THE ROYAL INSTITUTE
 OF ARCHITECTS
 OF IRELAND

We would propose to increase the size of the pipe from manhole A to F to 300mm and divert the surface water drain from the housing scheme through this pipe and connect to the existing 600mm diameter surface water drain at manhole F.

We would also propose to divert the existing 600mm surface water drain, servicing the old ditch, from manhole B through to manhole F.

The new pipe runs are indicated yellow on the drawing and the pipe runs dotted in yellow would be grubbed up and removed.

In addition, we would propose to divert the public sewer servicing Woodfarm Acres from manhole C through to D and connected to the existing manhole E in a new 300mm diameter pipe.

The existing sewer pipe run dotted blue would be grubbed up and removed.

4. All drainage contained within the site, apart from the surface water drain referred to in number 3 above, will be in private ownership.

The existing public sewer referred to in number 3 above will be diverted outside the boundaries of the site, into the existing grass margin.

5. Should a car valet centre be included on the site, we would propose to make this the subject of a future Planning Application.

6. The wayleave agreement refers to the surface water outfall indicated yellow on the drawing and identified in number 1 above. There will be no construction within 5m either side of this outfall pipe.

The existing owner of the land will complete the wayleave agreement before this development starts on site.

I trust that this is the correct interpretation of the points discussed at our various meetings but should you have any further query on this application, please contact me.

Yours faithfully

Louis Burke

LOUIS BURKE

Tel.: 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/ 28179

Our Ref.: 91A-1517

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Retail centre at Palmerstown

Applicant: Óscar Hill

Dear Sir,

With reference to your letter dated 3/3/72 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
 - (3) A copy of the public notice given, i.e. Irish P.L.A. 18/1/72.
 - (4) The plan(s) received from the applicant on 18/1/72.
 - (6) & (7) A certified copy of Manager's Order 2/3/72.
- DATED, 20/1/72 together with technical reports in connection with the application.
- (8) Histories to follow.

Yours faithfully,

P. Jewell
for Principal Officer.
Encls.

• Our Ref: PL 6/5/88179
• Your Ref: 91A/1517

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 28th February 1992.

Planning authority decision re: Erection of a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units on site alongside the new Lucan Road (Palmerstown Bypass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road, Palmerstown, County Dublin.

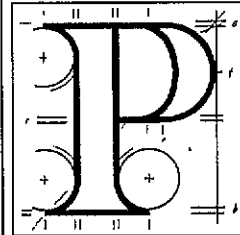
Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

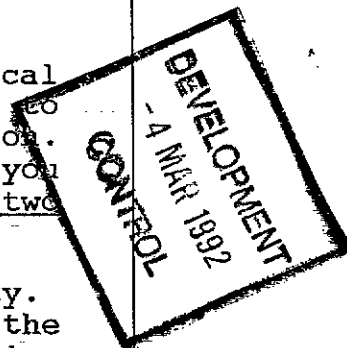
- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

A.P.H.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



965

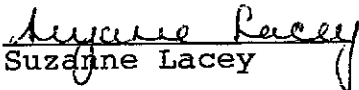
Please note that the other party to the appeal is being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

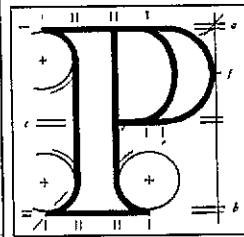
Yours faithfully,


Suzanne Lacey

Encl.

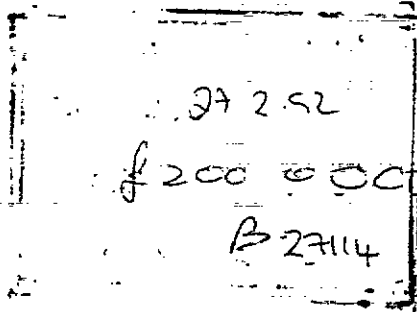
BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

The Secretary,
An Bord Pleanála,
Floor 3, Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



Our Ref: 92009

26th February 1992

RE: APPEAL AGAINST A DECISION OF DUBLIN COUNTY COUNCIL TO REFUSE PERMISSION FOR A RETAIL CENTRE INCLUDING RETENTION OF EXISTING MAIN WAREHOUSE UNITS ON SITE AT PALMERSTOWN ALONGSIDE OF THE NEW LUCAN ROAD (PALMERSTOWN BY-PASS) WITH ACCESS ONLY FROM KENNELSFORT ROAD LOWER AND ACCESS/EGRESS TO THE OLD LUCAN ROAD, OPPOSITE PLAMERSTOWN CATHOLIC CHURCH.

DUBLIN COUNTY COUNCIL PLANNING REGISTER REFERENCE
NO. 91A/1517

DATE OF DECISION 30TH JANUARY 1992

Dear Sir,

We are instructed by the applicant, Channon Ltd., to lodge this appeal against the above decision. In compliance with the statutory regulations we enclose a cheque for £200. as the appeal fee.

The grounds of appeal in summary format, at this stage are as follows:-

- 1) Taking the appeal site plus the adjoining proposed site for a McDonalds Restaurant, there are at present some 2,415 sq. metres of lawfully established structures with approved uses as offices, showrooms and retail operations. The proposed development which is now the subject of this appeal envisages a total floor area of 3,161 sq. metres, and this include retention of some 1,600 sq. metres of existing commercial buildings within the site. The total area of the appeal site is 18,538 sq. metres. The entire appeal site is part of a larger area which is zoned objective C1 in both the Dublin County Development Plan 1983 and the Draft Development Plan of 1981. According to the 1983 Dublin County Development Plan, all of the proposed uses in this application are either permitted or open for consideration within this use zone. Given the extensive area of land zoned for commercial type uses at this location, and the claim by the Planning Authority that the existing village of Palmerstown has an adequate service of local shopping, and that the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands, the proposed development represents an appropriate location for the facilities now being proposed, and would be in accordance with the proper planning and development of this area.

- 2) The level of traffic which the proposed development could be expected to generate would not create serious traffic congestion within the old village of Palmerstown. Because of the separate locations of the entrance and exit to the proposed development, traffic attracted would not seriously injure the residential amenities of the area. The proposed location of a substantial area of car parking on the appeal site, directly opposite Palmerstown Catholic Church would provide a major benefit to the local community. At present this church has no significant off street car parking facilities available to it. Nor are there substantial areas of land attached to the church which would facilitate such provision. Our clients have already indicated their willingness to facilitate off street car parking generated at the church here and have already provided access to the car park which is within their property opposite the church. They would be prepared to continue this arrangement indefinitely if the proposed development is accepted by An Bord Pleanála. This would enhance the amenities of properties in the area rather than injure them.
- 3) There is an existing vehicular entrance into the appeal site off the Kennelsfort Road Lower. This entrance is almost directly at the junction of the Kennelsfort Road Lower with the Palmerstown By Pass. As part of this application, it is proposed to close off the access point at this junction and to utilise an existing access point north of this as the entrance only into the appeal site. It is noted from the decision of Dublin County Council that the Roads Authority propose to carry out modifications at the junction of the N4 with the Kennelsfort Road and it should be possible when undertaking this work to accommodate the proposed development and access point into the appeal site. Given the commercial zoning of the appeal site and the fact that what is being proposed now would be an entrance only off the Kennelsfort Road Lower rather than the existing situation which provides for both entry and exit here, the proposed development would not constitute a serious traffic hazard and would not result in unacceptable congestion at this junction.
- 4) The layout of development as proposed in this application was arrived at after considerable and lengthy consultations with both the Planning Authority of Dublin Council and the Roads Authority of same. In fact it was as a result of suggestions offered by these two Departments that our clients purchased additional lands at the western portion of the site which enabled an access point to be secured onto the Old Lucan Road opposite Palmerstown Catholic Church. During the course of discussions while this application was under consideration by the Planning Authority our clients were given certain indications that the layout of development could best be accommodated as is now proposed and that this would be the most acceptable form in which development would be contemplated here. At no time were there any objections raised in relation to the orientation of development on the appeal site, by either the Planning Authority or the Roads Authority.
- 5) The appeal site lies clearly within the built up area of Dublin West and its proximity to a recently improved road system constitutes an opportunity to integrate appropriate land uses on the appeal site with the recently improved road transportation system which is intended to serve the development process. Given the size of the appeal site and the nature and extent of proposed development here, the additional traffic turning movements which would be generated and the traffic flows that would have to be accommodated would not represent a significant increase to the existing levels of traffic using the adjoining road system. The road improvements referred to by the Planning Authority in this general area have a built in additional capacity over and above their existing usage levels. The purpose of the road system is to serve development which is an ongoing process. This location is an appropriate one for the development of a retail centre and the proposed development would be in accordance with the proper planning and development of this area.

APPEAL
21 FEB 1992
SU
J. J. J.

We will make a more detailed submission after we have had an opportunity of examining the documents which gave rise to this decision by the Planning Authority.

Yours faithfully,



Bernard McHugh,
McHUGH CONSULTANTS.

Encl/..



DUBLIN COUNTY COUNCIL

Tel. 724705 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

NOTIFICATION OF A DECISION TO REFUSE:

~~OUTLINE PERMISSION~~ PERMISSION: ~~APPROVAL~~

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1983 1983

To..... Louis Burke Architect,..... Register Reference No. 91A-1517
..... Mantua Studio,..... Planning Control No.
..... Templeogue Bridge,..... Application Received 18.09.1991
..... Dublin 6W. Additional Information Received
Applicant Channon Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order, P/ 506/92 dated 30.01.1992 decided to refuse:

~~OUTLINE PERMISSION~~ PERMISSION ~~APPROVAL~~

For..... to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. for the following reasons:

1. It is the opinion of the Planning Authority that the floor area of the proposed development is totally excessive having regard to the fact that the site is located within the old village of Palmerstown which has been severed from the newer areas of Palmerstown by the Dublin Galway Road. The existing village of Palmerstown has an adequate service of local shopping and the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands.
2. The Planning Authority would not permit an access only from Kennelsfort Road and an egress/access onto the Old Palmerstown Road. Such vehicular movements, having regard to the currently proposed development and the possibility of a McDonalds Drive through restaurant on part of the site, would create serious traffic congestion within the old village of Palmerstown and would seriously injure the residential amenities of the area and would seriously injure the amenities of property in the vicinity.

(Continued)

Signed on behalf of the Dublin County Council

for PRINCIPAL OFFICER

30.01.1992

Date

IMPORTANT:

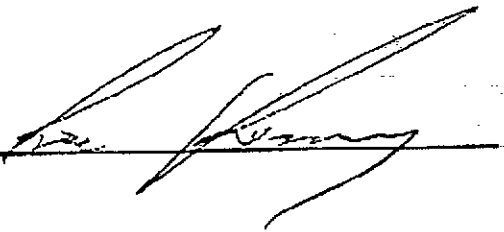
NOTE: (1) An appeal against the decision may be made to An Bord Pleanála. The applicant may appeal within one month from the date of receipt by him of this notification. The appeal shall be in writing and shall state the subject matter of the appeal and grounds of appeal and should be addressed to An Bord Pleanála, Irish Life Centre, Lower Abbey Street, Dublin 1. An appeal lodged by an applicant or his agent with An Bord Pleanála will be invalid unless accompanied by a fee of £36 (Thirty-six pounds). (2) A party to an appeal making a request to An Bord Pleanála for an oral hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanála a fee of £36 (Thirty-six pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten pounds) to An Bord Pleanála in order to be heard. (4) When an appeal is made to An Bord Pleanála, the applicant must submit to An Bord Pleanála a copy of this notification and a copy of the decision of the Dublin County Council.

(Continued)

3. It is the opinion of the Councils Roads Engineer that Kennelsfort Road frontage would be incapable of providing for a satisfactory ingress/egress arrangement having regard to its proximity with the junction of Kennelsfort Road and the Dublin Galway Road and having regard to the fact that the traffic lights at this junction are already overloaded and consideration is being given to carrying out modifications at the junction.

Accordingly, the Roads Engineer considers that any such egress ingress arrangement would endanger public safety by reason of a serious traffic hazard, and would cause the most serious and unacceptable congestion at this junction.

4. It is the opinion of the Planning Authority that the proposed development is premature until such time as it is known what approved developments are to take place on the area of the site between the proposed units and Kennelsfort Road (i.e. the area identified as McDonalds). In the event of a refusal of permission issuing to McDonalds, then the layout of development as proposed would be totally unsatisfactory having regard to its location and orientation.
5. It is the opinion of the Planning Authority that the village of Palmerstown could not sustain a development of the size proposed. Accordingly, the development would be dependant on the availability of the Dublin Galway Dual Carriageway to cater with the traffic generated by the development in the event of the development becoming a viable entity. Clearly the National Primary Route has not been constructed for this purpose and as such the development is inconsistent with the proper planning and development of the area.



A handwritten signature in black ink, appearing to be 'L. J. Henry', written over a horizontal line.



DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

NOTIFICATION OF A DECISION TO REFUSE:

~~OUTLINE PERMISSION~~ PERMISSION: ~~APPROVAL~~

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1983

To Louis Burke Architect, Register Reference No. 91A-1517
Mantua Studio, Planning Control No.
Templeogue Bridge, Application Received 18.09.1991
Dublin 6W. Additional Information Received

Applicant Channon Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order, P/ 506/92 dated 30.01.1992 decided to refuse:

~~OUTLINE PERMISSION~~ PERMISSION ~~APPROVAL~~

For to construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown on site alongside the New Lucan Road (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. for the following reasons:

1. It is the opinion of the Planning Authority that the floor area of the proposed development is totally excessive having regard to the fact that the site is located within the old village of Palmerstown which has been severed from the newer areas of Palmerstown by the Dublin Galway Road. The existing village of Palmerstown has an adequate service of local shopping and the Kennelsfort Road new shopping centre provides adequately for the needs of the area relative to district centre demands.
2. The Planning Authority would not permit an access only from Kennelsfort Road and an egress/access onto the Old Palmerstown Road. Such vehicular movements, having regard to the currently proposed development and the possibility of a McDonalds Drive through restaurant on part of the site, would create serious traffic congestion within the old village of Palmerstown and would seriously injure the residential amenities of the area and would seriously injure the amenities of property in the vicinity.

(Continued)

Signed on behalf of the Dublin County Council


for PRINCIPAL OFFICER
30.01.1992

Date

IMPORTANT:

NOTE: (1) An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. The appeal shall be in writing and shall state the subject matter of the appeal and grounds of appeal and should be addressed to An Bord Pleanala, Irish Life Centre, Lower Abbey Street, Dublin 1. An appeal lodged by applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36. (Thirty-six pounds). (2) An appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36. (Thirty-six pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten pounds) to An Bord Pleanala in relation to an appeal. When an appeal has been duly made and has not been withdrawn, An Bord Pleanala will treat the application for permission as if it had been made to them in the first instance.

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

ATT: Mr Al Smith

Dear Mr Smith,

I would refer to our meeting on Tuesday January 7th 1992 in regard to the proposed retail centre to be constructed at Palmerstown by Channon Limited - Your register reference number 91A/1517.

The time for considering this application is extended up to and including January 31st 1992.

We would propose to reduce the floor area of the development to 2722 sq.m (29300 sq.ft) by eliminating the first floor areas over unit 3, unit 10 and unit 11.

The areas referred to are as shown outlined in red on the enclosed drawing 90.28.13.

The floor area of existing structures on site amount to almost 2500 sq.m. Our new proposal represents a minimal increase in floor area over that already established on site.

The existing builders providers operation is in conflict with the land use zoning and we fully intend that the proposed centre will be geared towards improving local neighbourhood centre facilities, as per zone objective C1.

In this regard, the proposed retail uses are as itemized under the permitted category in the draft development plan and will be specifically as per the attached schedule.

The reduced floor area will allow for a reduction in the car parking allocation and we would propose to provide for additional intensive landscaping in areas which can be agreed with your department at a later date.

This car park will have on-site security and will be made fully available to the village for general use.

RIAI



The proposed use for unit number 1 will provide for minimum disturbance to the adjoining residential properties and we intend to include for roller shutters to both ends of the access tunnel, to eliminate any unauthorized disturbance in that area.

In regard to the proposed McDonalds restaurant, we will cooperate fully with any reasonable request your Roads Department may make in regard to access to and egress from the McDonalds area. If necessary, we are quite prepared to give you a formal legal undertaking to this affect.

In conclusion, the applicants have made a major effort to meet with Local Resident Representative Groups with a view to keeping them fully informed with this proposal and in an effort to take cognizance of their views, as expressed during those meetings.

We would be pleased to attend a further meeting with you to discuss this matter, at your earliest convenience.

Many thanks.

Yours sincerely

Louis Burke

LOUIS BURKE

RECEIVED

09 JAN 1992

Reg. Sec.

91A/1517
RECEIVED
09 JAN 1992
Reg. Sec.

OUR REF: LB/mf

YOUR REF:

DATE: 8/1/92

PALMERSTOWN RETAIL CENTRE

PROPOSED FLOOR AREAS AND USAGE

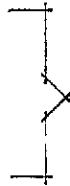
UNIT NUMBER 1	360 sq.m	<u>Retail Unit</u> * House furnishings. * Tiles. * Carpets.
UNIT NUMBER 2	144 sq.m	<u>Financial Services Building</u> * Bank. * Building Society.
UNIT NUMBER 3	605 sq.m	<u>Retail Unit</u> * White goods electrical or similar.
UNIT NUMBER 4	360 sq.m.	<u>Service Garage</u> * Car exhaust company. * Tyres. * Etc.
UNIT NUMBER 5	97 sq.m	<u>Neighbourhood Shops</u> * Dry Cleaners. * Chemist. * Newsagent. * Butcher Shop. * Etc.
UNIT NUMBER 6	58 sq.m.	
UNIT NUMBER 8	58 sq.m	
UNIT NUMBER 9	77 sq.m	

RIAI



UNIT NUMBER 7

144 sq.m



- * Education.
- * Doctor / Dentist
- * Health.
- * Sports.
- * Neighbourhood / Offices

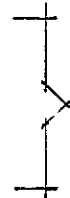
UNIT NUMBER 7B

144 sq.m

Shop Units

UNIT NUMBER 10

147 sq.m



- * Video Shop.
- * Hardware.
- * DIY
- * Restaurant / Coffee Shop.
- * Etc.

UNIT NUMBER 11

138 sq.m

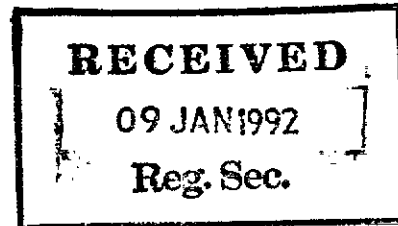
McDonalds

390 sq.m.

- * Fast Food drive-in outlet

2722 sq.m

(29300 sq.ft)



Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

Reg. Ref.: 91A/1517

15 November 1991

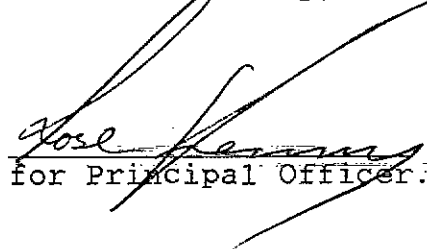
Re: Permission to construct a retail centre at Palmerstown on site alongside the new Lucan Road, (Palmerstown By-Pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main units for Channor Ltd.

Dear Sir,

With reference to your planning application received here on 18th September, 1991, (letter for extension period received 13th November, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including 18th December, 1991.

Yours faithfully,


for Principal Officer.

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

LOUIS BURKE · DIP.Arch. B.Arch.Sc. MR.IAI MOSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W. TEL: 901832 · 904121 · FAX: 901271.

W I T H C O M P L I M E N T S

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

OUR REF: LB/mf 404

YOUR REF:

DATE: 13/11/91

Dublin County Council
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

ATT: Mr Al Smith

Dear Mr Smith,

I wish to refer to application Register Reference 91A/1517 - Construction of a Retail Centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units at Palmerstown, Co. Dublin lodged on September 18th 1991.

To facilitate the submission of further information on this proposal, I would be obliged if you would extend the time for considering this application for a further four week period, up to and to include ~~October~~ 18th 1991.

December
LB

Yours faithfully

Louis Burke

LOUIS BURKE

COPY: Mr Noel Prendergast

RIAI



THE ROYAL INSTITUTE
OF THE ARCHITECTS
OF IRELAND

LOUIS BURKE · DIP. ARCH. R. ARCH. SC. MR IAI MDSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W · TEL: 901832 · 904121 · FAX: 901271
V.A.T. NO. 4533451R

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

OUR REF: LB/mf 404

YOUR REF:

DATE: 13/11/91

Dublin County Council
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

ATT: Mr Al Smith

Dear Mr Smith,

I wish to refer to application Register Reference 91A/1517 -
Construction of a Retail Centre to involve the demolition of
the majority of existing structures on site but incorporating
the existing main warehouse units at Palmerstown, Co. Dublin
lodged on September 18th 1991.

To facilitate the submission of further information on this
proposal, I would be obliged if you would extend the time for
considering this application for a further four week period, up
to and to include ~~October~~ 18th 1991.

December

LB

Yours faithfully

5264

Louis Burke

LOUIS BURKE

COPY: Mr Noel Prendergast

RIAI



THE ROYAL INSTITUTE
OF THE ARCHITECTS
OF IRELAND

LOUIS BURKE · DIP.ARCH. B.ARCH.SC. MR.IAI MDSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W. TEL: 901832 · 904121 · FAX: 901271.
V.A.T. NO. 4533451R

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

91A/1517

OUR REF: LB/mf 304

2-32.0

YOUR REF:

Unsl A.1.

DATE: 11/10/91

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Dear Sirs,

I wish to refer to application register reference **91A/1517**,
lodged on **September 18th 1991**, for proposed retail centre at
Palmerstown for Channon Limited.

Please find enclosed, in quadruplicate, additional information
as follows:-

1. Drawing 90.28.11 - Issue D - which incorporates invert
levels for both the foul drainage and surface water
systems.
2. Drawing 90.28.14A - Issue A - illustrating longitudinal
and cross sections through the proposed structures.
3. Structural drawings BH/91/01 to 06 inclusive prepared by
Horgan Lynch & Partners, Consulting Engineers.

Yours faithfully

Louis Burke

LOUIS BURKE

11 OCT 91

RIAI



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OF IRELAND

LOUIS BURKE · DIP.ARCH, B.ARCH.SC. MRIAI MDSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W. TEL: 901832 · 904121 · FAX: 901271.
V.A.T. NO. 4533451R

Job N^o.
BH/91

HORGAN LYNCH PARTNERS

Consulting Engineers
Pinewood
Bishopstown,
Cork Ireland
Telephone 021-545333
Telex 75410 HL EI
Fax No. 353-21-342497

58, North Great Charles Street,
Mountjoy Square,
Dublin 1.
Telephone 01-728588
Fax No. 01-365195

DRAWING REGISTER
PALMERSTOWN

Revisions ~ Issue Date.

Dwg. N^o.

Title PALMERSTOWN RETAIL PARK

A B C D E F G H

BH/91/01

Foundation Plan G.A. of Ground Beams
Plinths & Pads

BH/91/02

Ground Floor G.A.
Slab Layout

BH/91/03

First Floor G.A.
Slab Layout

BH/91/04

Roof Truss / Layout

BH/91/05

Cross Sections

BH/91/06

Foundation Ground Floor & Roof Plan
G.A. Unit 2

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1517

Date : 19th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Construct a retail centre to involve the demolition of the majority of existing structures on site but incorporating the existing main warehouse units

LOCATION : Palmerstown on site alongside the new Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the old Lucan Road

APPLICANT : Channor Limited

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 18th September 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Louis Burke Architects,
Mantua Studio,
Templeogue Bridge,
Dublin 6W



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuance of uses.
2. Postal address of site or building New Lucan Road (Palmerstown bypass) access only from
(If none, give description sufficient to identify) Kennelsfort Road and access / egress onto the old Lucan Road.
3. Name of applicant (Principal not Agent) Channon Limited
- Address Bluebell Business Centre, Old Naas Road. Tel. No. 552661
4. Name and address of person or firm responsible for preparation of drawings Louis Burke Architects, Mantua Studio, Templeogue Bridge,
Dublin 6W. Tel. No. 901832
5. Name and address to which notifications should be sent As per number 4.

6. Brief description of proposed development New retail centre
7. Method of drainage County Council Mains. 8. Source of Water Supply County Council Mains

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. Office and showrooms
(b) Proposed use of each floor Office and showrooms

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO
11. (a) Area of Site 18,538 Sq. m.
(b) Floor area of proposed development 3,161 Sq. m.
(c) Floor area of buildings proposed to be retained within site 1,600 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold owners

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken into account in your proposal.
It is our policy to take into account the draft building regulations when preparing planning applications. This is not taken as a guarantee that this application complies with those building regulations.

15. List of documents enclosed with application. 4 copies of drawings and specifications, 1 copy of newspaper advertisement. Cheque for £16,595.51

16. Gross floor space of proposed development (See back) 3,161 Sq. m.

No of dwellings proposed (if any) _____ Class(es) of Development _____
Fee Payable £ 16,595.51 Basis of Calculation 3161 sq.m at £5.25 per sq.m
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Louis Burke Date 16th September 1991

Application Type P/B FOR OFFICE USE ONLY
Register Reference 91A/1517
Amount Received £ 17/8
Receipt No _____
Date _____

FREE PAID 58 31 83 18/9

RECEIPT No. NS0646

Irish Press 18/9/91

DUBLIN Permission sought by Channon Ltd to construct a retail centre at Palmerstown on site along side the New Lucan Road, (Palmerstown by-pass) with access only from Kennelsfort Road Lower and access/egress to the Old Lucan Road. Works to involve the demolition of the majority of existing structures on site, but incorporating the existing main warehouse units.

18,538 Sq. m.
3,161 Sq. m.
1,600 Sq. m.

11063.68 N 47339

RECEIVED
18 SEP 1991
Reg. Sec.

1.524 18/9

MHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

N 47339

£11063.62

Received this 18th day of September 1991

from Chancer Ltd
Bluebell Business centre, Old Naas road

The sum of eleven thousand and sixty three Pounds

sixty eight Pence being ten for 68

application of New Leman road

Michael O'Hara Cashier

S. CAREY
Principal Officer

MHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,

DUBLIN 1.

N 50646

£5531.83

Received this

12th day of September 1991

from Chanaco Hd
Bluebell Business centre, Old Naas road

the sum of five thousand five hundred and thirty one
eighty three Pounds
Pence being 66 pence

application at New Linn road

Michael O'Hara Cashier

S. CAREY
Principal Officer

Class 4

L O U I S B U R K E
ARCHITECTS · INTERIOR DESIGNERS

OUR REF: LB/mf

YOUR REF:

DATE: 16/9/91

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Dear Sirs,

Please find enclosed, in quadruplicate, copies of documents prepared in regard to a proposed retail centre to be constructed at Palmerstown, Co. Dublin.

On behalf of my clients, **Channon Limited**, I wish to apply for full planning and building bye-law approval for this development.

The gross area of proposed development is **3161 sq.m** and I am enclosing herewith my clients cheque in the amount of **£16,595.51** calculated on the basis of **£5.25 per sq.m.**

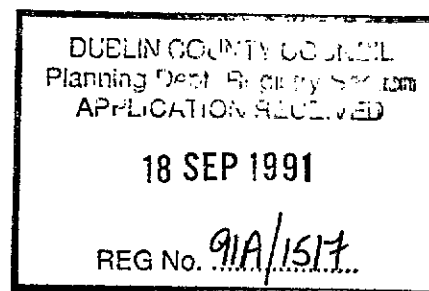
Car parking provisions are as per the schedule contained in drawings number **90.28.11.**

If you require any further information on this development, please contact me.

Yours faithfully



LOUIS BURKE

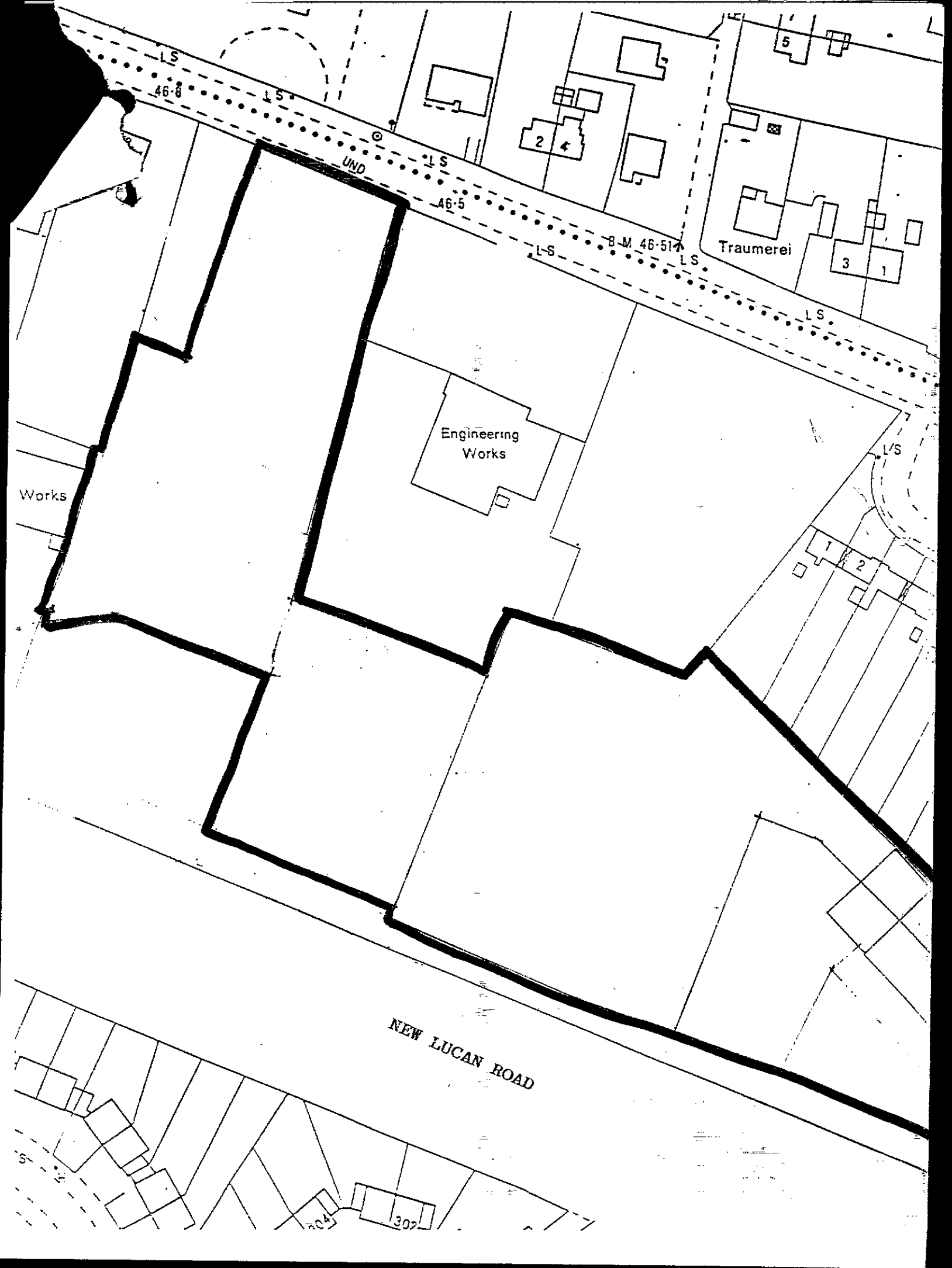


COPY: Channon Limited

RIAI



LOUIS BURKE · DIP.ARCH. B.ARCH.SC. MR IAI MDSI
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6W. TEL: 901832 · 904121 · FAX: 901271.
V.A.T. NO. 4533451R



Engineering Works

Traumerei

NEW LUCAN ROAD

Works

46.8

46.5

B.M. 46.514

5

2

4

3

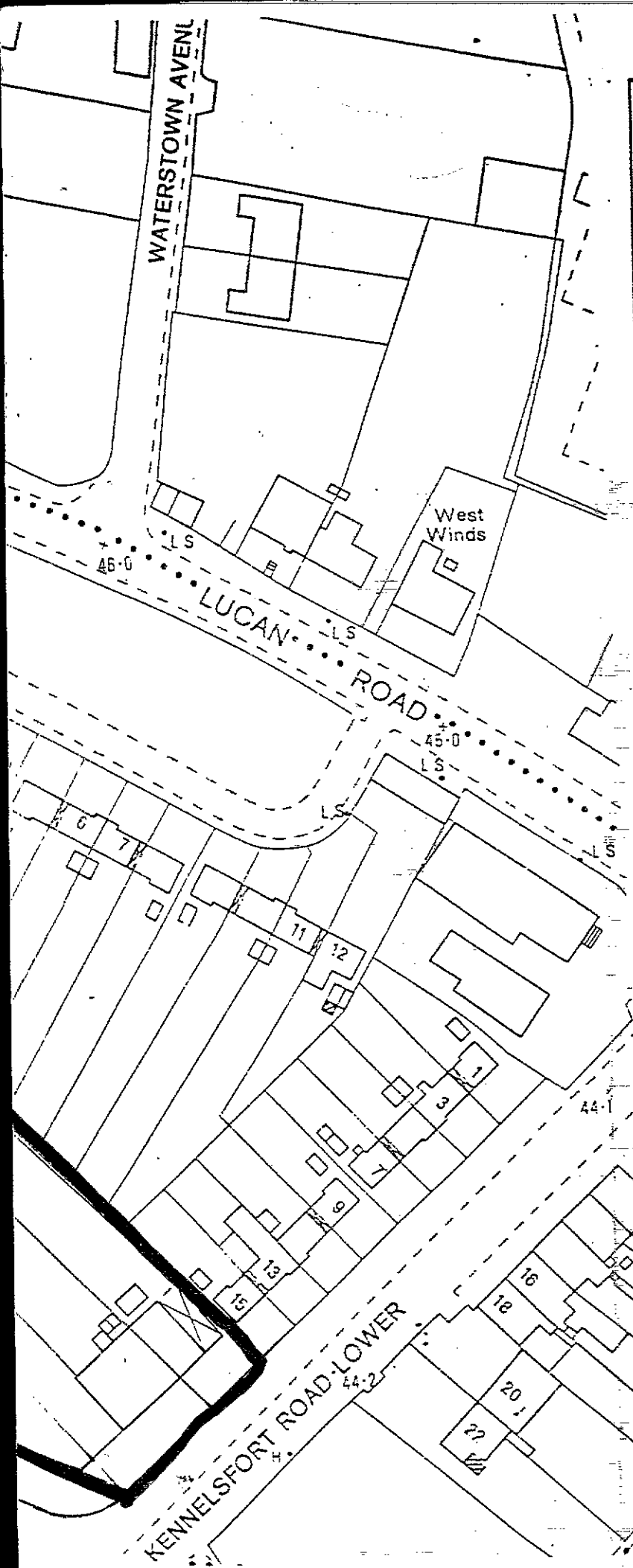
1

1

2

304

307



NOTES

DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED

18 SEP 1991

REG No. 91A/1517

REVISION	DATE	ISSUE
----------	------	-------

102 PALMERSTOWN RETAIL PARK

DRAWING SITE LOCATION MAP

SCALE	DATE	DATE	ISSUE
1 : 1000	SEPT 1991	90.28.10	A

LOUISBURKE ARCHITECT
 dip arch · b arch sc · m r i o · telephone 904281
 Mantua Studio · Templeogue Bridge · Dublin 6

THE COPYRIGHT OF THIS DRAWING IS HELD BY THE ARCHITECT AND NO PART OF IT IS TO BE REPRODUCED WITHOUT HIS WRITTEN CONSENT. ALL CONTRACTS MUST BE WITH THE ARCHITECT AND HE IS RESPONSIBLE FOR THE DRAWING AND THE DIMENSIONS SHOWN THEREON. THE ARCHITECT'S OFFICE IS AT 10, TEMPLEogue BRIDGE, DUBLIN 6.

DUBLIN COUNTY COUNCIL
Planning Dept Registry Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/1517

PROPOSED RETAIL PARK
AT
PALMERSTOWN, CO. DUBLIN
FOR
CHANNOR LIMITED.



**IRISH
GEOTECHNICAL
SERVICES**



GEOTECHNICAL REPORT



Newbridge
Co. Kildare

IGSL

Irish Geotechnical Services Ltd.,
Newbridge,
Co. Kildare.
Tel: (045) - 31088/33306
Fax: (045)- 33145

Our ref

Your ref

Horgan Lynch & Ptnrs.
Consulting Engineers,
58 North Great Georges St.
Dublin 1.

16th July 1991

Att:Albert Holmes

Dear Sirs,

re: PALMERSTOWN RETAIL PARK

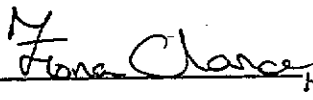
We would confirm that the allowable bearing pressure in the intermediate firm clays can be taken at 160KN/m² (using the lower test results in Borehole 4).

It would appear that somewhat higher values can be taken in the areas of Boreholes 2 and 3, probably of the order of 200KN/m².

The recommendations in the final paragraph of the report, relating to the inspection of foundations is vital.

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully,


HORGAN & LYNCH

P.P. Joe Clancy.

RECEIVED

DATE 18 JUL 1991

ATT	ACTION	DATE
AH		

FILE 64/91

RETAIL PARK,
PALMERSTOWN , DUBLIN

HORGAN LYNCH & PTNRS.

CONTENTS

- I. Introduction
- II. Fieldwork
- III. Testing
- IV. Discussion

APPENDICES

- Ia. Boring Records
- Ib. Trial Pit Records
- II. Test Results
- III. Site Plan

FOREWORD

Notes on Site Investigation Procedure

The following notes should be read in conjunction with the Report. Any modifications to the procedures outlined below are indicated in the main text.

GENERAL :

The recommendations made and opinions expressed in the Report are based on the Boring Records, an examination of samples and the results of the site and laboratory tests. No responsibility can be held for conditions which have not been revealed by the boreholes, for example, between borehole positions. Whilst the Report may express an opinion on a possible configuration of strata both between borehole positions and below the maximum depth of the investigation, this is for guidance only and no liability can be accepted for its accuracy.

BORING TECHNIQUE :

Unless otherwise stated, the 'Shell and Auger' technique of soft ground boring has been employed. Whilst this technique allows the maximum data to be obtained on strata conditions, a degree of mixing of some layered soils, (e.g. thin layers of coarse and fine granular material) is inevitable. Specific attention is drawn to this factor where evidence of such a condition is available.

GROUND WATER :

The ground water conditions entered on the Boring Records are those ascertained at the time of the investigation. The normal rate of boring does not usually permit the recording of an equilibrium water level for any one water strike. Moreover, ground water levels are subject to variations caused by seasonal effects or changes in local drainage conditions. The table of each Boring Record shows the ground water level at the quoted borehole and casing depths, usually at the start of the day's work. The word 'None' indicates that ground water was sealed off by the borehole casing.

ROUTINE SAMPLING :

Undisturbed samples of predominantly cohesive soils are obtained in a 102 mm diameter open-drive sampler, complying with the requirements of the British Standard Code of Practice B.S. 5930. Large disturbed samples of granular soils, or of soils in which undisturbed sampling is not possible or appropriate, are taken from the boring tools and sealed into polythene bags. Small disturbed samples are taken at frequent intervals of depth and sealed into 0.5 kg. glass jars or polythene bags for subsequent visual classification. Where encountered in sufficient quantity, samples of ground water are taken.

Unless otherwise stated in the main text, disturbed soil samples may not be at their natural water content.

* * * * *

REPORT ON A SITE INVESTIGATION
AT PALMERSTOWN RETAIL PARK
FOR HORGAN LYNCH AND PARTNERS
CONSULTING ENGINEERS

REPORT NO; 1762

JULY 1991

I: INTRODUCTION:

A site close to the junction of Kennelsfort Road and the new Lucan Dual Carriageway at Palmerstown is to be developed as a retail trading area.

The consulting engineers for the project, Horgan Lynch and Partners have ordered an investigation of sub soil, conditions, including boreholes and trial pits, to establish criteria for foundation design.

This report details the findings of the investigation and relates the findings to the design of safe and economic foundations for the development.

II: FIELDWORK:

Four boreholes and two trial pits have been sunk on the site in positions shown on the site plan enclosed in Appendix III to this report. The site is on generally level ground extending over a number of properties. Access to a number of proposed investigation positions was not available at the time of the work.

a. BOREHOLES; Descriptions and depths of the strata encountered are given on the Boring Records found in Appendix Ia. These records also detail samples taken and in situ tests carried out as well as comment on ground water conditions pertaining at the time of the investigation.

The records show generally softish clayey fill below surface hardcore in places. At Borehole 1 the fill is underlain by soft grey brown silty slightly stony clay from 2.10 to 3.30 with firm to stiff grey stony clay over hard black very stony clay from 3.30 to 4.90. Fragments of grey limestone, presumably the bedrock, were recovered from 4.90 to 5.40.

In the remaining boreholes (2 to 4) the upper fill, which varies in thickness from 1.10 to 2.20, overlies firm mottled grey brown silty stony clay. Stiff to hard clays lie below

this upper mottled clay with limestone fragments recovered just below 4.00 metres in each borehole indicating the presumed bedrock horizon. Rock was not proved as part of the investigation programme.

Ground water was noted in each borehole, generally in association with the presumed rock horizon, water levels are shown on the boring records.

b. TRIAL PITS; Pits were originally scheduled at four positions, however because of access difficulties only two pits, Nos. 1 and 3 were excavated. Pit details are given in Appendix 1b. Compact fill overlies the old top soil layer with mottled clay underlying this. A firm yellow grey brown clay (dampish) was noted from 2.30 to 3.30 in Trial Pit 1. At Pit 2 a stiffer clay was noted from 1.40 to 3.30, some isolated granular material noted within the clay in which water was noted.

III: TESTING:

All samples from boreholes and trial pits were returned to the IGSL laboratory for inspection and a number of tests carried out to determine soil strength and characteristics.

Chemical tests were also performed to determine sulphate content and pH. All laboratory data is enclosed in Appendix II.

Standard penetration tests were carried out at intervals in each borehole to establish soil strength and results are given in the right hand column of the borehole logs. The test involves driving a standard probe a measured distance (300mm) into the soil and recording the resistance in blows.

Values of from 13 to 18 were recorded in the fill implying firm/medium dense condition. In the clay underlying the fill in Borehole 1 an N value of 6 indicates soft material. In the remainder of the clays values of from 18 to 91 were obtained, the lower values relating to the brown grey clays and the higher values being in the hard black silty clay (boulder clay)

TRIAxIAL COMPRESSION TESTS; Remoulded samples of clays from the boreholes have been tested in the triaxial compression apparatus and cohesion values of from 35 to 68 kN/sq.m. obtained for the natural clays below the fill deposits.

CLASSIFICATION TESTS; Several samples have had liquid and plastic limits determined to establish behavioural characteristics and results are plotted on the Casagrande Chart. The soils tested are of low to medium plasticity.

CHEMICAL ANALYSES; Sulphate content and acidity of samples of ground water and soil have been determined and results lie in Class I of the standard classification. No special precautions need be taken to protect buried foundation from sulphate deterioration.

IV: DISCUSSION:

The investigation has shown variable fill deposits (from 1.00 to 2.20 in thickness) overlying original top soil and softish upper clay deposits. Firm to stiff clays are noted at 3.30 metres in Borehole 1, at 2.20 metres in Borehole 2 and at about 1.50 in Boreholes 3 and 4.

Test results, both field and laboratory, would indicate an allowable bearing capacity of the order of 100 kN/sq.m. for conventional strip or pad footings placed on these clays. An increase in allowable bearing capacity can be achieved by placing foundations on the lower black boulder clays where 250 kN/sq.n. could be taken. To achieve this level of

bearing pressure, excavation depth of the order of 4.00 metres will be required.

Should depth of excavation prove uneconomical the use of short piles founded in the black boulder clay or the limestone rock can be considered.

While main structural loads must be transferred below the fill to the original sub soils, consideration can be given to supporting ground floor slabs on the fill. We would suggest the removal of some 0.50 metres of fill and replacement by well compacted controlled hardcore and would suggest an allowable floor load of the order of 25 to 30 kN/sq.m.

Given the variation noted in the boreholes and trial pits careful inspection of all foundation excavations is advised. Any obviously soft or suspect materials should be removed and replaced by well compacted granular fill or by lean mix concrete. As the clays are sensitive to increase in moisture content all excavated clays should be blinded to avoid deterioration.

APPENDIX Ia. - Boring Records

Contract **PALMERSOWN RETAIL PARK** Borehole No. **1**
Sheet

Location **DUBLIN** Type and Diameter **Cable Tool 200mm**

Client **HORGAN LYNCH & PTNRS.** Ground Level
Date **17.6.91**

Description	Reduced Level	Legend	Depth	Samples			Field Records And Tests
				Ref. No.	Type	Depth	
Hardcore			0.40				
Soft dark clayey FILL with organic materials-paper, concrete,brick etc.				6230	D	1.00	(1.00)N=13
			2.10	6231	D	2.00	(2.20)N=6
Soft mottled grey brown silty stony CLAY				6232	D	3.00	
			3.30	6233	D	3.50	(3.60)N=22
Firm grey very gravelly CLAY				6234	D	4.50	(4.50)N=43
			4.00				
Hard black very silty,very stony CLAY				6235	D	5.40	(5.40)44/50m & refu
			4.90				
Fragments of grey limestone							
			5.40				

Date	Hole Depth	Casing Depth	Depth to Water	Remarks
17.6.91	3.10	3.10	3.10	Water noted
	4.90	4.90	4.90	Water noted
	5.20	Nil	2.90	End of boring

Remarks
Chiselling in fill = 1hr
Chiselling 4.9-5.4=2hrs

Sample/Test key
 U-Tube Sample
 D-Disturbed Sample
 W-Water Sample
 S-Standard Penetration Test

C-Cone Penetration Test
 N-Blows/0.3 metres
 R-Refusal
 V-Vane

Report No. 1762

BORING RECORD

IGSL

Contract PALMERSTOWN RETAIL PARK

Borehole No. 2
Sheet

Location DUBLIN

Type and Diameter
Cable Tool 200mm

Client HORGAN LYNCH & PTNRS

Ground Level
Date 18.6.91

Description	Reduced Level	Legend	Depth	Samples			Field Records And Tests
				Ref. No.	Type	Depth	
Compact Hardcore			0.50				
Soft black clayey FILL with timber, wire, brick etc.			1.00	6236	D	1.00	(1.50)N=18
			2.00	6237	D	2.00	
Firm to stiff mottled grey green very silty CLAY with small stones			2.20				
			3.00	6238	D	3.00	(3.00)N=35
Hard black silty stony CLAY			3.70				
			4.00	6239	D	4.00	(4.00)N=91
Fragments of broken rock			4.30				
			4.50	6240	D	4.50	
			4.60				

Water Level Observations during Boring				
Date	Hole Depth	Casing Depth	Depth to Water	Remarks
18.6.91	4.00	4.00	4.00	Water noted
	4.60	Nil	2.70	End of boring

Remarks
Chiselling 4.3-4.6=2hrs
Chiselling wire & concrete in fill = 2hrs

Sample/Test key
 C-Cone Penetration Test
 U-Tube Sample
 N-Blows/0.3 metres
 D-Disturbed Sample
 R-Refusal
 W-Water Sample
 V-Vane
 S-Standard Penetration Test

Report No. 1762

BORING RECORD

IGSL

Contract PALMERSTOWN RETAIL PARK

Borehole No. 3
Sheet

Location DUBLIN

Type and Diameter Cable Tool 200mm

Client HORGAN LYNCH & PTNRS

Ground Level
Date 19.6.91

Description	Reduced Level	Legend	Depth	Samples			Field Records And Tests
				Ref. No.	Type	Depth	
Hardcore			0.40				
Soft to firm black clayey fill with paper, timber, concrete			1.20	6241	D	1.00	(1.00)N=14
Firm brown sandy silty stony CLAY, becoming stiffer			3.40	6242	D	2.00	(2.40)N=47
Stiff black silty very stony CLAY			4.10	6243	D	3.00	
Grey limestone fragments			4.30	6244	D	3.80	(4.00)50/75mm & refus

Water Level Observations during Boring				
Date	Hole Depth	Casing Depth	Depth to Water	Remarks
19.6.91	4.10	4.10	4.10	Seepage only
	4.30	Nil	3.80	End of boring

Remarks
Chiselling at 4.10-4.30=2½hrs

Sample/Test key
 U-Tube Sample
 D-Disturbed Sample
 W-Water Sample
 S-Standard Penetration Test

C-Cone Penetration Test
 N-Blows/0.3 metres
 R-Refusal
 V-Vane

Report No. 1762

BORING RECORD

IGSL

Contract PALMERSTOWN RETAIL PARK

Borehole No. 4
Sheet

Location DUBLIN

Type and Diameter Cable Tool 200mm

Client HORGAN LYNCH & PTNRS

Ground Level
Date 20.6.91 - 21.6.91

Description	Reduced Level	Legend	Depth	Samples			Field Records And Tests
				Ref. No.	Type	Depth	
Made Ground with clay, rubble, timber			1.10	6246	D	1.00	
Firm mottled grey brown silty stony CLAY			2.80	6247	D	2.50	(1.50)N=18
Firm to stiff grey brown very silty CLAY			3.90	6248	D	3.70	(3.00)N=19
Hard black silty stony CLAY			4.10	6249	D	4.30	(4.40)30/25mm
fragments of grey limestone			4.40	6250	W	Water	

Water Level Observations during Boring				
Date	Hole Depth	Casing Depth	Depth to Water	Remarks
21.6.91	4.10	4.10	4.10	Water noted
	4.40	Nil	3.60	End of boring

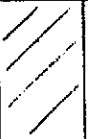


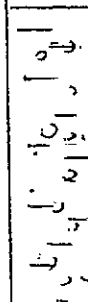
Remarks

Chiselling in fill = 1/2 hr
Chiselling 4.1-4.4 = 2hrs

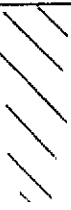


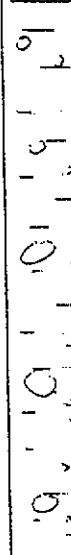
Sample/Test key
 U-Tube Sample
 D-Disturbed Sample
 W-Water Sample
 S-Standard Penetration Test

C-Cone Penetration Test
 N-Blows/0.3 metres
 R-Refusal
 V-Vane

APPENDIX Ib. - Trial pit Records

Report No.		TRIAL PIT RECORD		IGSL	
Contract PALMERSTOWN		Sheet No.	Trial Pit No. 1		
Location CO. DUBLIN		Excavation Method JCB			
Client HORGAN LYNCH		Ground Level			
		Date 20.6.91			
Description	Depth	Legend	Samples		
			Ref. No.	Type	Depth
FILL : Brick, clay, rubble					
Old organic layer	1.20 1.25				
Firm light yellow brown sandy CLAY with some stones				(75 kN/m ²)	
	2.30				
Firm mottled yellow grey brown, very gravelly sandy clay with occasional cobbles (damp throughout) (grading to a brown medium clayey gravel)				(75 kN/m ²)	
	3.30				
Ground Water Conditions					
Remarks <p style="text-align: center;">Pit collapsing slightly at 2.30m.</p>					

Contract PALMERSTOWN	Sheet No.	Trial Pit No. TP. 3
Location CO. DUBLIN	Excavation Method JCB	
Client HORGAN LYNCH	Ground Level	
Date 20.6.91		

Description	Depth	Legend	Samples		
			Ref. No.	Type	Depth
Compact coarse granular FILL	0.75				
Old Topsoil	0.80				
Firm mottled brown grey silty CLAY with occasional stones and fine root fibres	1.40		(75KN/m ²)	D	1.00
Stiff mottled yellow grey brown very stony CLAY -Slightly damp in granular zones (1.75 - 2.10) -Hard from 2.00 - 3.30	3.30		(125KN/m ²)	D	1.60

Ground Water Conditions
Slight seepage

Remarks

APPENDIX II - Test results

Report No. 1762

TRIAXIAL COMPRESSION TEST



Contract PALMERSTOWN RETAIL PARK

Borehole No.	Sample No.	Depth (Metres)	Description of Sample	Triaxial Compression						Remarks	
				Test Code	Lateral Pressure kN/m ²	Compression Strength kN/m ²	Cohesion kN/m ²	Angle of Friction (degrees)	Bulk Density Mg/m ³		Water Content % dry Weight
1	6233	3.50	Grey silty sandy gravelly CLAY	100	150	55	35	0	1.97	19.3	
				R	300	80					
					450	75					
2	6238	3.00	Greyish silty very stony CLAY	100	150	90	53	0	2.02	15.7	
				R	300	110					
3	6242	2.00	Brown sandy very stony	100	150	120	68	0	2.08	15.1	
				R	300	140					
					450	150					

Triaxial Compression Code: 38 - 38mm dia specimen
 102 - 102mm dia specimen
 U - Undrained
 CD - Consolidated Drained
 CU - Consolidated Undrained
 M - Multi-stage
 R - Remoulded

Report No. 1762

CLASSIFICATION TEST RESULTS

IGSL

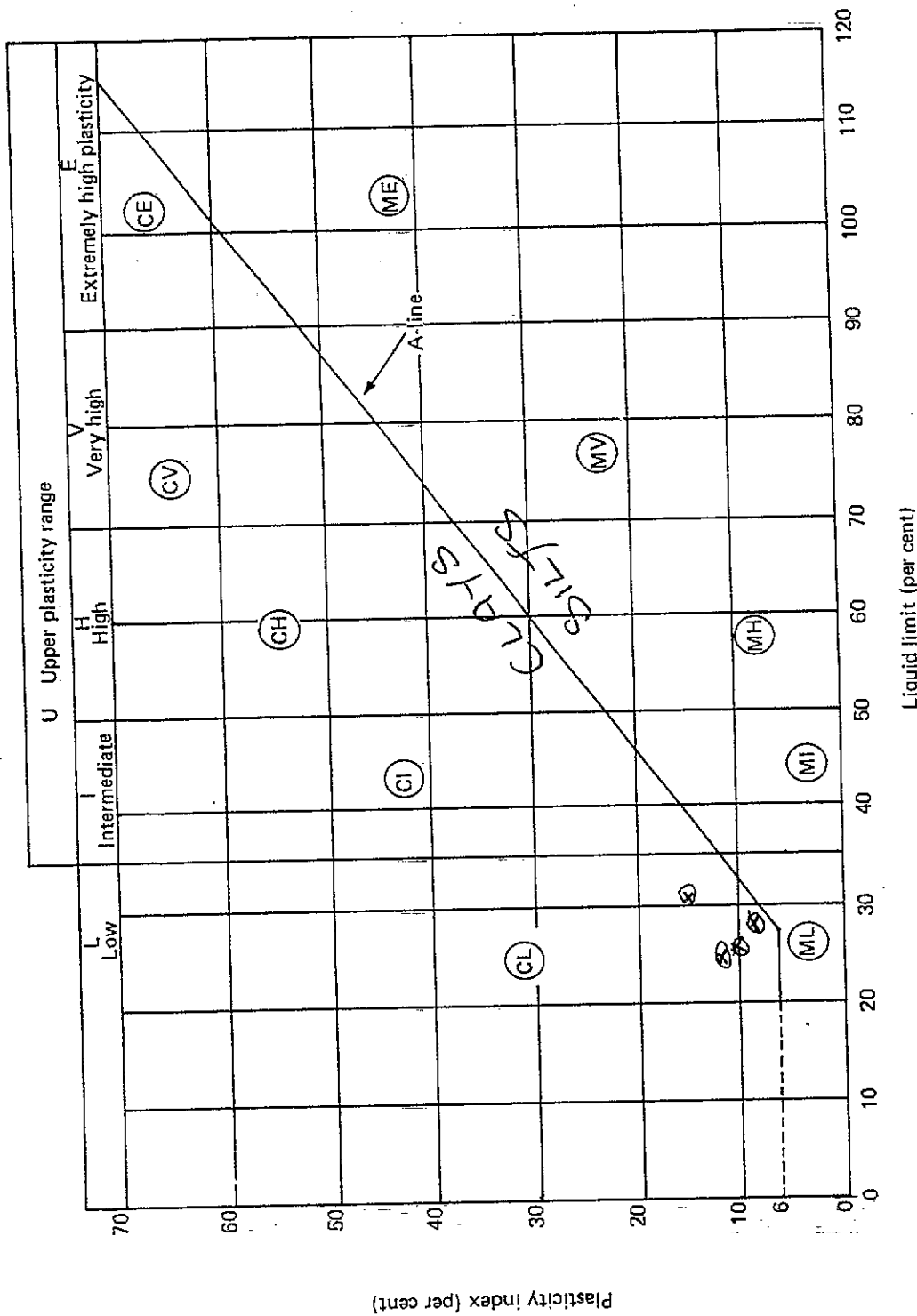
Contract

PALMERSTOWN RETAIL PARK

Borehole No.	Sample No.	Depth (Metres)	Sample Description	Percentage Passing 425 μ m Sieve	Liquid Limit (LL)	Plastic Limit (PL)	Plasticity Index (PI)	Water Content %
1	6232	3.00	Grey brown mottled silty CLAY		31	17	14	22.5
2	6238	3.00	Greyish silty very stony CLAY		26	16	10	15.7
3	6242	2.00	Brown silty sandy stony CLAY		25	14	11	15.0
4	6247	2.50	Grey brown silty stony CLAY		28	20	8	17.3

Contract:

PALMERSTOWN RETAIL PARK



REPORT NO. 1762

CHEMICAL ANALYSIS

IGSL

CONTRACT PALMERSTOWN RETAIL PARK

BOREHOLE NO.	SAMPLE NO.	DEPTH (METRES)	SAMPLE TYPE	TEST CODE	SULPHUR TRIOXIDE		pH VALUE
					PARTS SO ₃ PER 100,000 WATER	PER CENT SO ₃ SOIL	
2	6236	1.00	FILL	S		0.14	7.6
4	6250	-	Water	W	9.5		7.5

TEST CODE W - WATER

S - SOIL

A - AQUEOUS SOIL EXTRACT.

APPENDIX III - Site Plan

HORGAN LYNCH PARTNERS
CONSULTING ENGINEERS

PROJECT
Palmerstown Retail Park

SCALE
N.T.S.

PAGE

DRAWN

DATE

CHKD BY

CLIENT

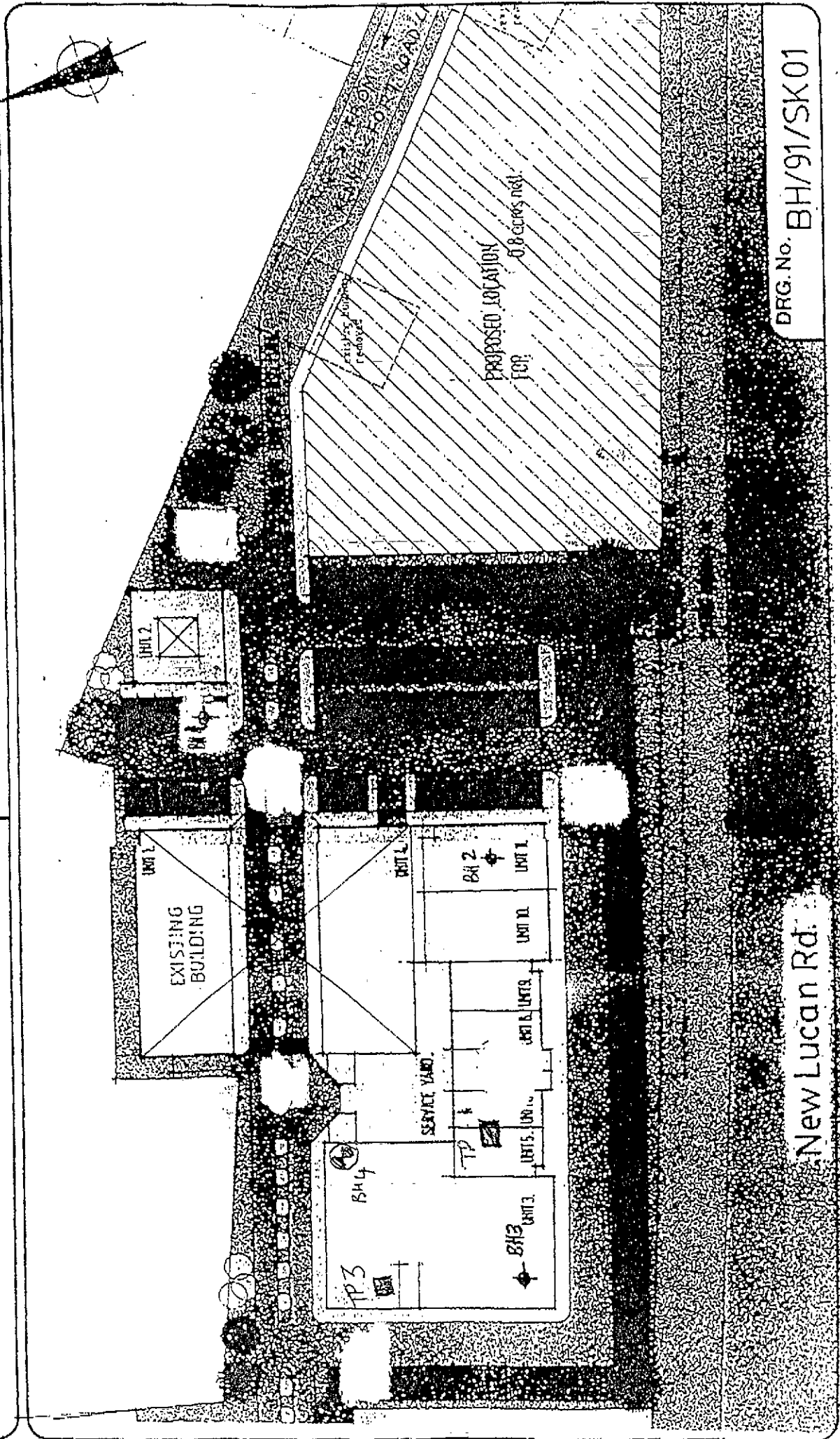
TITLE

BH + TP Locations

REV

DATE

BY



New Lucan Rd.

DRG. No. BH/91/SK01

Design Information

Client	Engineer responsible
Architect: Louis Burke	Albert Holmes
Dublin County Council	Building Regulation Authority or other
D.O.E. Building Regulations	Relevant Building Regulations and Design Codes
Concrete : BS 8110 / IS 326	
Steel : BS 449	
Loadings : BS 6399	
Retail	Intended use of structure
As per Fire Officer requirements	Fire resistance requirements
Imposed roof - 0.75 KN/m ²	General loading conditions
Imposed floor - 4 KN/m ² + 1KN/m ² partitions	
Speed 46 m / S	Wind loading conditions
Factors S1 = 1.0, S2 = 0.69, S3 = 1.0	
q = 0.62 KN/m ² , F max = 0.62 (0.7 - (-0.3))	
Steel frame consisting of lattice girders at roof level and UB sections at 1st floor level supported by UC steel column sections	Superstructure
Formation will generally be on firm to stiff grey/brown silty stoney clay at depths varying between 2.5m and 3.5m below existing ground level	Subsoil conditions
Design G.B.P. = 125 KN/M ²	
RC Ground beams on plinths and pad bases	Foundation type
Concrete Superstructure = f _{cu} = 35 N/mm ²	Material data
Substructure = f _{cu} = 37.5 N/mm ²	
Steel Grade 43 to BS 4360 (or similar approved)	
Reinforcement High tensile = f _y = 460 N/mm ²	
Mild tensile = f _y = 250 N/mm ²	
Calculations for profiled steel roof decking and P.C.C. 1st floor units to be submitted by specialist to Engineer for approval.	Other relevant information

INDEX

1.0 LOADINGS

2.0 ROOF STEELWORK

3.0 FIRST FLOOR STEELWORK

4.0 STEEL COLUMNS

5.0 R.C. GROUND BEAMS AND FOUNDATIONS

6.0 CLADDING RAILS, SWAY STABILITY, MISC.

LOADINGS :-

		KN/m ²	
ROOF	IMPOSED	= 0.75	
	CHIPPINGS + FELT	= 0.45	
	DECKING (METAL)	= 0.12	
	INSULATION	= 0.03	
	CEILING + SERVICES	= 0.25	
	TRUSSES, etc	= 0.20	
		<u>1.80</u>	<u>1.8</u>
FIRST FLOOR	IMPOSED (4+1) LIVE + PART	= 5.00	
	50 CONC. SCREED + FINISHES	= 1.25	
	SOFFITE + SERVICES	= 0.20	
		<u>6.45</u>	
	150 P.C.C. UNITS	= 2.35	8.8
	250 " "	= 3.55	<u>10.0</u>
INTERNAL WALLS	215 BLOCK	= 4.25	
	PLASTER * 2	= 0.50	
		<u>4.75</u>	<u>4.75</u>
CAVITY WALLS	102 BRICK	= 2.10	
	215 BLOCK	= 4.25	
	PLASTER	= 0.25	
		<u>6.60</u>	<u>6.60</u>

ROOF GIRDERS

CONSIDER WORST CASES:-

I 12.3m SPAN @ 3.35m CTS

$$UDL = 1.8 \times 3.35 = 6.03 \text{ kN/m}$$

$$BM = 6.03 \times 12.3^2 / 8 = 114.0 \text{ kNm}$$

$$R = 6.03 \times 12.3 / 2 = 37.1 \text{ kN}$$

$$= 6.03 \text{ kN/m}$$

$$= 114.0 \text{ kNm}$$

$$= 37.1 \text{ kN}$$

II 13.0m SPAN @ 3.07m CTS

$$UDL = 1.8 \times 3.07 = 5.53 \text{ kN/m}$$

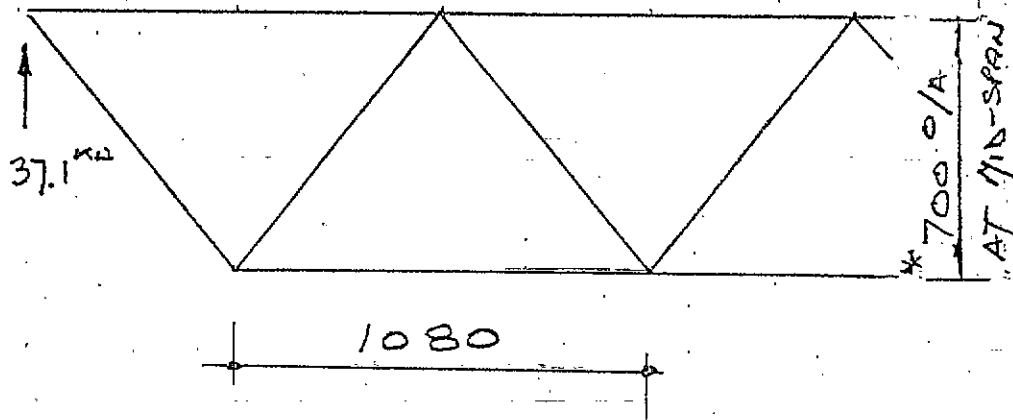
$$BM = 5.53 \times 13.0^2 / 8 = 116.7 \text{ kNm}$$

$$R = 5.53 \times 13.0 / 2 = 35.9 \text{ kN}$$

$$= 5.53 \text{ kN/m}$$

$$= 116.7 \text{ kNm}$$

$$= 35.9 \text{ kN}$$



Def. = 700.
-8p = 6020

TOP BOOM

$$F_c = 116.7 / 0.62 = 188.2 \text{ kN}$$

$$BM = 6.03 \times 1.08^2 / 12 = 0.59 \text{ kNm}$$

Try 125 x 75 x 8 L (RESTRAINED ABOUT Y-Y AXIS)

$$= 188.2 \text{ kN}$$

$$= 0.59 \text{ kNm}$$

$$e / r_{yy} = 0.7 \times 108 / 410 = 18.9$$

$$= 18.9$$

P_c

$$= 188.2 \times 10^3 / 15.5 \times 10^2 = 121.1 \text{ N/mm}^2$$

$$= 147.4 \text{ N/mm}^2$$

$$= 121.1 \text{ N/mm}^2$$

$$f_{bc} = 0.59 \times 10^3 / 29.6 = 20 \text{ N/mm}^2$$

$$= 20 \text{ N/mm}^2$$

$$20 / 145 + 121 / 147 = 0.95 < 1.0 \text{ O.K.}$$

125 x 75
+ 8 L

BTM BOOM

$FT = 182.3 \text{ kN}$

$A_{reqd} = 182.3 \times 10^3 / 155 = 1176 \text{ mm}^2$

Try $100 \times 75 \times 8L$ $A_{prov} = 1350 \text{ mm}^2$

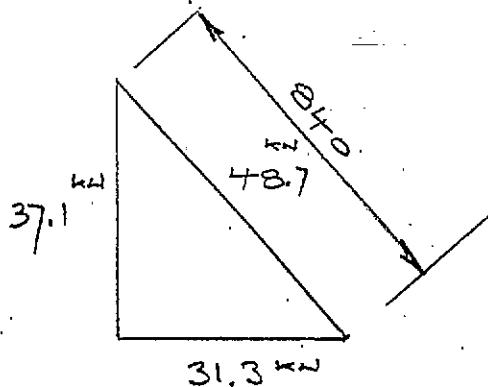
Allow 1 No 18 ϕ HOLE

$A_{ef} = 1350 - 144 = 1206 \text{ mm}^2$

O.K.

100x75
x8L

INTERNAL STRUT



$F_c = 48.7 \text{ kN}$, Try $50 \times 50 \times 6L$

$r_{yy-y} = 84 \times 0.85 / 0.97 = 74$

$f_c = 48.7 \times 10^3 / 5.59 \times 10^2 = 874 \text{ N/mm}^2$

$= 74$

$= 111 \text{ N/mm}^2$

$= 874 \text{ N/mm}^2$

O.K.

50x50
x6L

INTERNAL TIES

Try $50 \times 50 \times 6L$ $A_{prov} = 5.59 \text{ cm}^2$

EFFECTIVE AREA (1 LEG ATTACHED) $= 4.89 \text{ cm}^2$

$F_{all} = 155 \times 4.89 \times 10^2 / 10^3 = 75.8 \text{ kN}$

O.K.

50x50
x6L

PURLINS P1-P12 , SPAN = 5.3m

$MAX\ UDL = 3.07 + 1.8 = 5.52\ kN/m$
 $B_M = 5.52 \times 5.3^2 / 8 = 19.4\ kNm$
 $Z_{reqd} = 19.4 \times 10^3 / 165 = 118\ cm^3$
 $T_{reqd} = 178 + 76C$
 $D.L.L. = 5 \times 2.3 + 5300^4 / (384 \times 210 \times 10^3 + 1337 \times 10^4) = 8.4\ mm$

$Z_{prov} = 150\ cm^3\ o.k.$
 $o.k.$

178 x 76C

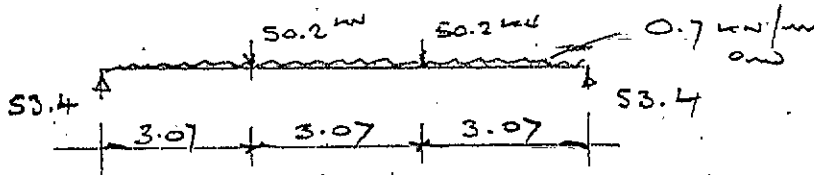
P13-P22 (COLUMN TIES)

SPIRE BEAMS
ON C.L.S

203 x 102
UB 23

(a) R1 & R2: MAX SPAN = 9.2m

P.L. (@ 1/3 PTS) = $9.2 / 3 \times 18.2 / 2 + 1.8 = 50.2\ kN$



$B_M = 53.4 \times 3.07 - 0.7 \times 3.07^2 / 2 = 160.7\ kNm$
 $Z_{reqd} = 160.7 \times 10^3 / 165 = 974\ cm^3$
 $T_{reqd} = 406 + 178\ UB\ 60$
 $Z_{prov} = 1058\ cm^3$

o.k.

$d.L.L. = 50.2 / (5.52 \times 2.3 + 10^3 + 23 \times 9200^3 / (648 \times 210 \times 10^3 + 21508 \times 10^4)) = 12.8\ mm$

o.k.

406 x 178
UB 60

(b) R3-R8, MAX SPAN = 6.1m

P.L. (@ 1/2 SPAN) = $6.1 / 2 \times 18.2 / 2 \times 1.8 = 50.0\ kN$

$B_M = 50.0 \times 6.1 / 4 = 76.1\ kNm$
 $Z_{reqd} = 76.1 \times 10^3 / 165 = 461\ cm^3$
 $T_{reqd} = 305 + 127\ UB\ 37$
 $Z_{prov} = 471\ cm^3$

o.k.

305 x 127
UB 37

BEAMS R9-R23 SIMILAR

R24 - 305 x 127 UB 42
R25 & R26 356 x 171 UB 51

FIRST FLOOR BEAMS

F1 - F15 F1 - F3 WORST CASE, SPAN = 4.1 m

LOADINGS = $11.7/2 \times 8.8 + 0.6 \text{ o.w. c/c} = 52.1 \text{ kN/m}$
 $R = 104.8 \text{ kN}$
 $BM = 52.1 \times 4.1^2 / 8 = 109.4 \text{ kNm}$
 $Z_{reqd} = 109.4 \times 10^3 / 165 = 663 \text{ cm}^3$
 Try 356 x 171 UB 45, Z_{prov} = 687 cm³ o.k.

356 x 171
UB 45

F16 - F18 SPAN = 4.1 m

LOADINGS: FLOOR = $6.7/2 \times 8.8 + 9.2/2 + 10.0 = 75.5 \text{ kN/m}$
 BEAM o.w. c/c = 1.0
 76.5
 $R = 154.8 \text{ kN}$
 $BM = 76.5 \times 4.1^2 / 8 = 160.7 \text{ kNm}$
 $Z_{reqd} = 160.7 \times 10^3 / 165 = 974 \text{ cm}^3$
 Try 457 x 152 UB 60, Z_{prov} = 1120 cm³ o.k.

457 x 152
UB 60

F19 - F21 SPAN = 4.8 m Max

LOADINGS = $18.2/2 \times 10.0 + 1.0 \text{ o.w. c/c} = 92.0 \text{ kN/m}$
 Floor
 $R = 220.8$
 $BM = 92.0 \times 4.8^2 / 8 = 264.9 \text{ kNm}$
 $Z_{reqd} = 264.9 \times 10^3 / 165 = 1606 \text{ cm}^3$
 Try 457 x 191 UB 82, Z_{prov} = 1612 cm³ o.k.

457 x 191
UB 82

F22 - F24 SPAN = 5.0 m

LOADINGS = $12.2/2 \times 8.8 + 1.0 \text{ o.w.} = 54.7 \text{ kN/m}$
 $R = 142.2 \text{ kN}$
 $BM = 54.7 \times 5.0^2 / 8 = 170.9 \text{ kNm}$
 $Z_{reqd} = 170.9 \times 10^3 / 165 = 1036 \text{ cm}^3$
 Try 356 x 171 UB 67, Z_{prov} = 1073 cm³ o.k.

356 x 171
UB 67

BEAM F28 & 29

F29 WORST CASE - SPAN = 6.1 m

LOADING: 1ST FLOOR = $9.0/2 + 10.0 = 45.0$
BEAM, etc = 1.5
46.5

$R = 141.8$

$BM = 46.5 \times 6.1^2 / 8 = 216 \text{ kNm}$

$Z_{req} = 216 \times 10^3 / 165 = 1311 \text{ cm}^3$

Try 457 x 152 UB74 $Z_{prov} = 1406 \text{ cm}^3$ o.k.

457 x 152
UB74

BEAMS F30 - F34 MAX SPAN = 8.4 m

LOADING: 1ST FLOOR = $0.5 \text{ span} + 8.8 = 4.4$
BEAM, etc = 8.0
12.4

$BM = 12.4 \times 8.4^2 / 8 = 109.4 \text{ kNm}$

$Z_{req} = 109.4 \times 10^3 / 165 = 663 \text{ cm}^3$

Try 356 x 171 UB45 $Z_{prov} = 687 \text{ cm}^3$

356 x 171
UB45

BEAMS F35 - F42 MAX SPAN = 6.1 m

LOADING: = 12.4 kN/m

$BM = 12.4 \times 6.1^2 / 8 = 57.7 \text{ kNm}$

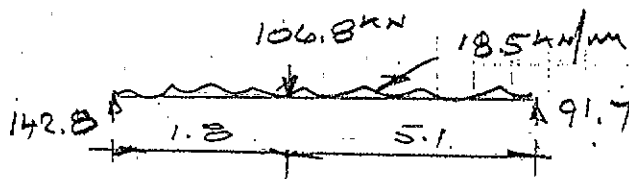
$Z_{req} = 57.7 \times 10^3 / 165 = 350$

Try 356 x 127 UB33 $Z_{prov} = 471 \text{ cm}^3$

$R = 37.8 \text{ kN}$ o.k.

356 x 127
UB33

BEAM F45



$BM = 91.7 \times 5.0 - 18.5 \times 5.0^2 / 2 = 227.3 \text{ kNm}$

$Z_{req} = 227.3 \times 10^3 / 165 = 1378 \text{ cm}^3$

457 x 152
UB74

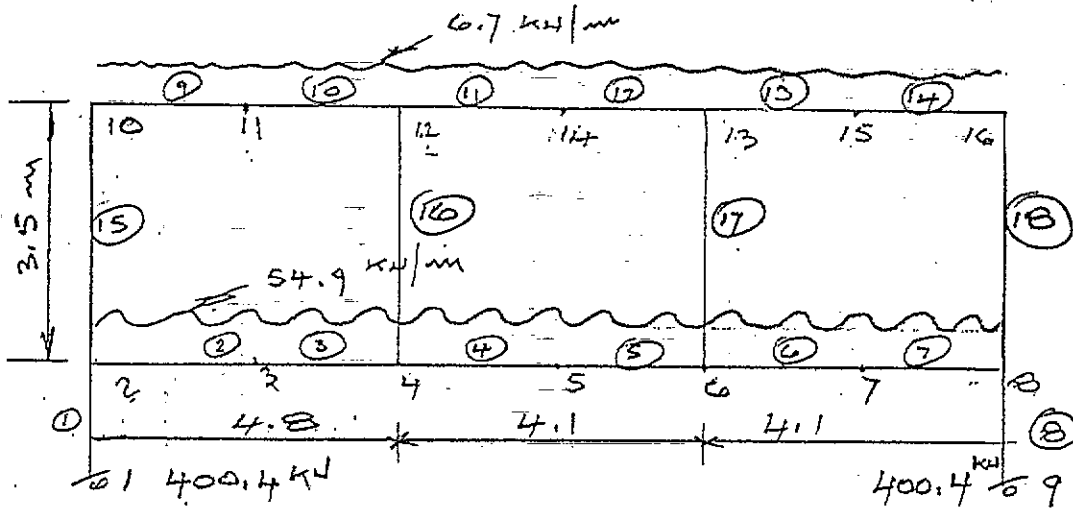
BEAMS F43 & F44

LOADING = 15.3 kN/m $BM = 70.9 \text{ kNm}$ $R = 46.7 \text{ kN}$

356 x 127
UB33

VIERENDEEL GIRDER - C(5-10) & D(5-10)
ANALYSIS: V61 & V62

ROOF LOAD = $6.7 / 2 + 1.8 = 5.5$
1ST FLOOR = $12.2 / 2 + 8.8 = 53.7$
o.w. etc = 2.4 say
61.6 kN/m



FOR ANALYSIS SEE COMPUTER PRINTOUT :-

SUMMARY CRITICAL FORCES :-

TOP BOOM :- (10) BM = 301.93 kNm
AXIAL = 150.77 kN

BTM BOOM :- (2) BM = 401.53 kNm
AXIAL = 114.3 kN

VERT INTERNALS :- (17) BM = 279.64 kNm
AXIAL = 89.45 kN

VIERENDEEL GIRDER V.G. 1 & V.G. 2

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*****
*
*          S T A A D - III
*    REVISION 12.00 (REVISION 11 LEVEL 0)
* PROPRIETARY PROGRAM OF
* RESEARCH ENGINEERS, INC.
* DATE=    JUL 26, 1991
* TIME=    8:40:3
*
*****

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- 1. STAAD PLANE
- 2. UNIT METER KNS
- 3. JOINT COORDINATES

4.	1	.000	.000	.000
5.	2	.000	3.650	.000
6.	3	2.400	3.650	.000
7.	4	4.800	3.650	.000
8.	5	6.850	3.650	.000
9.	6	8.900	3.650	.000
10.	7	10.950	3.650	.000
11.	8	13.000	3.650	.000
12.	14	6.850	7.300	.000
13.	9	13.000	.000	.000
14.	10	.000	7.300	.000
15.	11	3.400	7.300	.000
16.	13	10.950	7.300	.000
17.	16	13.000	7.300	.000
18.	12	4.800	7.300	.000
19.	13	8.900	7.300	.000

40. MEMBER INCIDENCES

21.	1	1	2
22.	2	2	3
23.	3	3	4
24.	4	4	5
25.	5	5	6
26.	6	6	7
27.	7	7	8
28.	8	8	9
29.	9	10	11
30.	10	11	12
31.	11	12	14
32.	12	13	14
33.	13	14	15
34.	14	15	16
35.	15	2	10
36.	16	3	12
37.	17	6	16
38.	18	9	16

41. UNIT IN KNS

40. MEMBER PROPERTIES

- 41. 1 13 8 18 PRISMATIC AX 154.9 IZ 40246
- 42. 2 3 4 5 6 7 9 10 11 12 13 14 PRISMATIC AX 154.9 IZ 40246
- 43. 16 17 PRISMATIC AX 155.8 IZ 76207
- 44. SUPPORTS
- 45. 1 9 PINNED

STAAD PLANE

PAGE NO. 3.2.2.

49. UNIT METER KNS

50. LOAD : (DI +1)

51. MEMBER LOAD

52. 2 3 4 5 6 7 UNI Y -54.9

53. MEMBER LOAD

54. 9 10 11 12 13 14 UNI Y -6.7

55. PERFORM ANALYSIS PRINT BOTH

++ PROCESSING MEMBER/ELEMENT INFORMATION.

++ PERFORMING BAND-WIDTH REDUCTION.

ORIGINAL BAND-WIDTH = 11

REDUCED BAND-WIDTH = 3

++ CHECKING LOAD DATA.

++ PROCESSING SUPPORT CONDITION.

++ PROCESSING AND SETTING UP LOAD VECTOR.

LOADING 1 (DL+LL)

MEMBER LOAD -- UNIT KNS METE

MEMBER	UDL	L1	L2	CON	L	LINE1	LINE2
2	-54.900 Y	.00	2.40				
3	-54.900 Y	.00	2.40				
4	-54.900 Y	.00	2.05				
5	-54.900 Y	.00	2.05				
6	-54.900 Y	.00	2.05				
7	-54.900 Y	.00	2.05				

MEMBER LOAD - UNIT KNS METE

MEMBER	UDL	L1	L2	CON	L	LINE1	LINE2
9	-6.700 Y	.00	2.40				
10	-6.700 Y	.00	2.40				
11	-6.700 Y	.00	2.05				
12	-6.700 Y	.00	2.05				
13	-6.700 Y	.00	2.05				
14	-6.700 Y	.00	2.05				

***TOTAL APPLIED LOAD (KNS METE) SUMMARY (LOADING 1)
 SUMMATION FORCE-X = .00
 SUMMATION FORCE-Y = -800.80
 SUMMATION FORCE-Z = .00

SUMMATION OF MOMENTS AROUND THE ORIGIN-
 MX= .00 MY= .00 MZ= -5805.20

- ++ PROCESSING ELEMENT STIFFNESS MATRIX. 8:40:16
- ++ PROCESSING GLOBAL STIFFNESS MATRIX. 8:40:17
- ++ PROCESSING TRIANGULAR FACTORIZATION. 8:40:18
- ++ CALCULATING JOINT DISPLACEMENTS. 8:40:19
- ++ CALCULATING ELEMENT FORCES. 8:40:20

***TOTAL REACTION (KNS METE) SUMMARY

LOADING 1
 SUM-X= .00 SUM-Y= 800.80 SUM-Z= .00
 SUMMATION OF MOMENTS AROUND ORIGIN-
 MX= .00 MY= .00 MZ= 5805.20

***** END OF DATA FROM INTERNAL STORAGE *****

STAAD PLANE

JOINT DISPLACEMENT (CM) RADIANS) STRUCTURE TYPE = PLANE

JOINT	LOAD	X-TRANS	Y-TRANS	Z-TRANS	X-ROTAN	Y-ROTAN	Z-ROTAN
1	1	.00000	.00000	.00000	.00000	.00000	.00123
2	1	-.09814	-.04220	.00000	.00000	.00000	-.00165
3	1	-.09022	-1.17956	.00000	.00000	.00000	-.00559
4	1	-.08230	-2.01397	.00000	.00000	.00000	-.00062
5	1	-.06770	-2.04672	.00000	.00000	.00000	.00069
6	1	-.05310	-1.76063	.00000	.00000	.00000	.00136
7	1	-.04742	-.97362	.00000	.00000	.00000	.00539
8	1	-.04174	-.04220	.00000	.00000	.00000	.00203
14	1	-.20407	-1.98950	.00000	.00000	.00000	.00072
9	1	.00000	.00000	.00000	.00000	.00000	-.00024
10	1	-.16641	-.05672	.00000	.00000	.00000	-.00194
11	1	-.17606	-1.11841	.00000	.00000	.00000	-.00543
15	1	-.22267	-.96440	.00000	.00000	.00000	.00520
16	1	-.23651	-.05720	.00000	.00000	.00000	.00252
12	1	-.18721	-2.00222	.00000	.00000	.00000	-.00064
13	1	-.22022	-1.75065	.00000	.00000	.00000	.00145

SUPPORT REACTIONS -UNIT KNS METE STRUCTURE TYPE = PLANE

JOINT	LOAD	FORCE-X	FORCE-Y	FORCE-Z	MOM-X	MOM-Y	MOM Z
2	1	36.47	400.40	.00	.00	.00	.00
7	1	-36.47	-400.40	.00	.00	.00	.00

MEMBER END FORCES STRUCTURE TYPE = PLANE

ALL UNITS ARE -- KNS METE

MEMB	LOAD	JT	AXIAL	SHEAR-Y	SHEAR-Z	TORSION	MOM-Y	MOM-Z
1	1	1	400.40	-36.47	.00	.00	.00	.00
		2	-400.40	36.47	.00	.00	.00	-133.13
2	1	2	-114.30	262.38	.00	.00	.00	401.53
		3	114.30	-130.92	.00	.00	.00	70.20
3	1	3	-114.30	130.92	.00	.00	.00	-170.80
		4	114.30	.84	.00	.00	.00	226.91
4	1	4	-246.61	103.58	.00	.00	.00	12.64
		5	246.61	8.96	.00	.00	.00	-83.35
5	1	5	-246.61	-8.96	.00	.00	.00	-22.35
		6	246.61	121.51	.00	.00	.00	-50.38
6	1	6	-95.97	-22.05	.00	.00	.00	-229.26
		7	95.97	144.60	.00	.00	.00	48.19
7	1	7	-95.97	-144.60	.00	.00	.00	-48.19
		8	95.97	257.14	.00	.00	.00	-363.60
8	1	8	400.40	36.47	.00	.00	.00	133.13
		9	-400.40	-36.47	.00	.00	.00	.00
9	1	10	150.77	137.72	.00	.00	.00	281.92
		11	-150.77	-121.64	.00	.00	.00	29.30
10	1	11	150.77	121.64	.00	.00	.00	-29.30
		12	-150.77	-106.56	.00	.00	.00	301.93
11	1	12	283.08	1.14	.00	.00	.00	-59.55
		14	-283.08	12.60	.00	.00	.00	47.80
12	1	13	283.08	26.53	.00	.00	.00	-7.90
		14	-283.08	-12.60	.00	.00	.00	47.80
13	1	13	132.44	-129.52	.00	.00	.00	-278.09
		15	-132.44	129.52	.00	.00	.00	26.65
14	1	15	132.44	-129.52	.00	.00	.00	-126.65
		16	-132.44	142.26	.00	.00	.00	-252.94
15	1	2	137.72	-150.77	.00	.00	.00	-268.40
		10	-137.72	150.77	.00	.00	.00	-281.92
16	1	4	-104.42	-132.31	.00	.00	.00	-240.54
		12	104.42	132.31	.00	.00	.00	-242.38

MEMBER END FORCES STRUCTURE TYPE = PLANE

ALL UNITS ARE -- KNS METE

MEMB	LOAD	JT	AXIAL	SHEAR-Y	SHEAR-Z	TORSION	MOM-Y	MOM-Z
17	1	6	-89.45	150.64	.00	.00	.00	279.64
		18	89.45	-150.64	.00	.00	.00	270.19
18	1	8	142.26	132.44	.00	.00	.00	230.47
		16	-142.26	-132.44	.00	.00	.00	252.94

***** END OF LATEST ANALYSIS RESULT *****

27. PRINT JOINT DISPLACEMENTS ALL

JOINT DISPLACEMENT (CM RADIANS) STRUCTURE TYPE = PLANE

JOINT	LOAD	X-TRANS	Y-TRANS	Z-TRANS	X-ROTAN	Y-ROTAN	Z-ROTAN
1	1	.00000	.00000	.00000	.00000	.00000	.00123
2	1	-.09814	-.04220	.00000	.00000	.00000	-.00145
3	1	-.09022	-1.17956	.00000	.00000	.00000	-.00559
4	1	-.08230	-2.01357	.00000	.00000	.00000	-.00062
5	1	-.06770	-2.04672	.00000	.00000	.00000	.00069
6	1	-.05310	-1.76063	.00000	.00000	.00000	.00156
7	1	-.04742	-.97342	.00000	.00000	.00000	.00529
8	1	-.04174	-.04220	.00000	.00000	.00000	.00203
14	1	-.20407	-1.98950	.00000	.00000	.00000	.00072
9	1	.00000	.00000	.00000	.00000	.00000	-.00084
10	1	-.16641	-.05672	.00000	.00000	.00000	-.00194
11	1	-.17686	-1.11841	.00000	.00000	.00000	-.00543
15	1	-.22867	-.96440	.00000	.00000	.00000	.00520
16	1	-.23651	-.05730	.00000	.00000	.00000	.00252
12	1	-.18731	-2.00832	.00000	.00000	.00000	-.00064
13	1	-.22083	-1.75065	.00000	.00000	.00000	.00145

***** END OF LATEST ANALYSIS RESULT *****

58. PRINT SUPPORT REACTIONS

STAAD PLANE

PAGE NO. 3.2.9.

SUPPORT REACTIONS -UNIT KNS METE STRUCTURE TYPE = PLANE

JOINT	LOAD	FORCE-X	FORCE-Y	FORCE-Z	MOM-X	MOM-Y	MOM Z
1	1	36.47	400.40	.00	.00	.00	.00
9	1	-36.47	-400.40	.00	.00	.00	.00

***** END OF LATEST ANALYSIS RESULT *****

- 59. PLOT DISPLACEMENT FILE
- 60. PLOT BENDING FILE
- 61. FINISH

***** END OF STAAD-III *****

***** DATE= JUL 26, 1991 TIME= 8:40:30 *****

 * CALL RESEARCH ENGINEERS (EUROPE) LTD ON 01-763-1379 *
 * TELEX: 929101 FAX: 01-763-1379 *
 * 19 LANSDOWNE COURT, BRIGHTON ROAD, PURLEY, CR2 2BD UK *

VG: 1 & 2, DESIGN

TOP BOOM: - MEMBER (10)

BM = 301.93 kNm, AXIAL = 150.77 kN

Try 533 x 210 UB 92

$$\frac{M}{Z} = \frac{301.93 \times 10^3}{2070} = 145.8 \text{ N/mm}^2$$

$$\frac{P}{A} = \frac{150.77 \times 10^3}{11708 \times 10^2} = 12.8 \text{ N/mm}^2$$

$$13/155 + 145/145 = 0.96 < 1.0 \text{ o.k.}$$

533x210
UB 92

STAY BOOM: - MEMBER (2)

BM = 401.53 kNm, AXIAL = 150.77 kN

Try 356 x 368 UC 153

$$\frac{M}{Z} = \frac{401.53 \times 10^3}{2681} = 150 \text{ N/mm}^2$$

$$\frac{P}{A} = \frac{150.77 \times 10^3}{1952 \times 10^2} = 7.7 \text{ N/mm}^2$$

$$150/145 + 8/155 = 0.96 < 1.0 \text{ o.k.}$$

356x368
UC 153

VERTICALS: MEMBER (17)

BM = 279.64 kNm, AXIAL = 89.45 kN

Try 457 x 191 UB 89

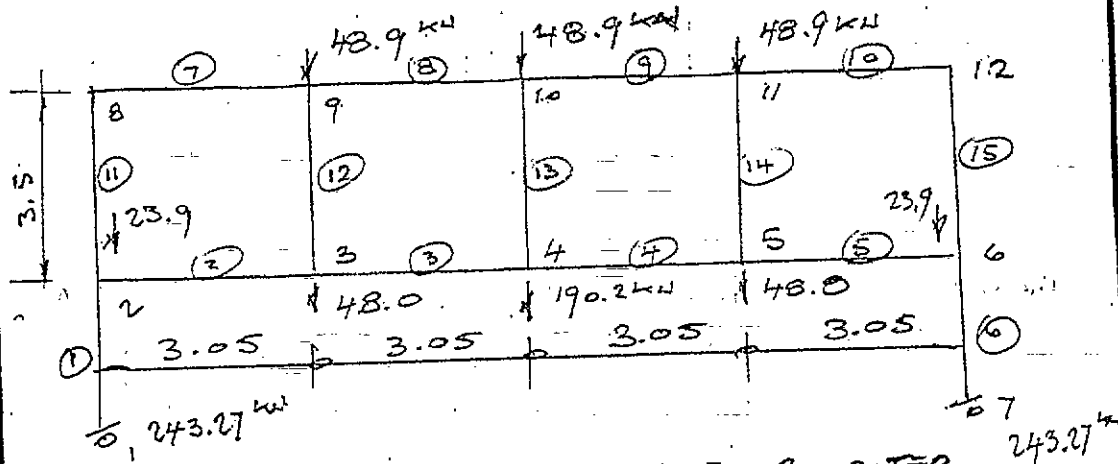
$$\frac{M}{Z} = \frac{279.64 \times 10^3}{1770} = 158 \text{ N/mm}^2$$

o.k.

457x191
UB 89

VIERENDEEL GIRDER V.G.3

SPAN = 12.2m



FOR FULL ANALYSIS SEE COMPUTER PRINTOUT :-

Summary: WORST CASE FORCES

TOP BOOM: (7) & (10) BM = 176.95 kNm
AXIAL = 67.15 kN

BTM BOOM: (2) & (5) BM = 181.61 kNm
AXIAL = 50.1 kN

VERTS: (11) & (15) BM = 129.09 kNm

(12) & (14) BM = 251.28 kNm

VIERENDEEL GIRDER V.G.3.

3.4.1.

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*
*          S T A A D  -  I I I
*          REVISION 11.0c (VERSION 11 LEVEL 0)
*          PROPRIETARY PROGRAM OF
*          RESEARCH ENGINEERS, INC.
*          DATE=      JUL 23, 1991
*          TIME=     11: 2:52
*
*****

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1. STAAD PLANE
 2. UNIT METER KNS
 3. JOINT COORDINATES

4.	1	.000	.000	.000
5.	2	.000	3.650	.000
6.	3	3.050	3.650	.000
7.	4	6.100	3.650	.000
8.	5	9.150	3.650	.000
9.	6	12.200	3.650	.000
10.	7	12.200	.000	.000
11.	8	.000	7.350	.000
12.	9	3.050	7.350	.000
13.	10	6.100	7.350	.000
14.	11	9.150	7.350	.000
15.	12	12.200	7.350	.000

14. MEMBER INCIDENCES

17.	1	1	2
18.	2	2	3
19.	3	3	4
20.	4	4	5
21.	5	5	6
22.	6	6	7
23.	7	8	9
24.	8	9	10
25.	9	10	11
26.	10	11	12
27.	11	2	8
28.	12	3	9
29.	13	4	10
30.	14	5	11
31.	15	6	12

32. UNIT MMS KNS
 33. MEMBER PROPERTIES
 34. 1 11 6 15 PRISMATIC AX 9290 IZ 113600000
 35. 2 3 4 5 7 8 9 10 PRISMATIC AX 8540 IZ 195220000
 36. 12 13 14 PRISMATIC AX 10450 IZ 321030000
 37. SUPPORTS
 38. 1 7 PINNED
 39. CONSTANTS
 40. E 210 ALL
 41. UNIT METER KNS
 42. LOAD 1 (DL+LL)
 43. MEMBER LOAD
 44. 2 3 4 5 UNI Y -16.2
 45. JOINT LOAD

2	-16.200	Y	.00	3.05
3	-16.200	Y	.00	3.05
4	-16.200	Y	.00	3.05
5	-16.200	Y	.00	3.05

3.4.2

JOINT LOAD - UNIT KNS METE

JOINT	FORCE-X	FORCE-Y	FORCE-Z	MOM-X	MOM-Y	MOM-Z
9	.00	-48.90	.00	.00	.00	.00
10	.00	-48.90	.00	.00	.00	.00
11	.00	-48.90	.00	.00	.00	.00
4	.00	-142.20	.00	.00	.00	.00

***TOTAL APPLIED LOAD (KNS METE) SUMMARY (LOADING 1)

SUMMATION FORCE-X = .00
 SUMMATION FORCE-Y = -486.54
 SUMMATION FORCE-Z = .00

SUMMATION OF MOMENTS AROUND THE ORIGIN-

MX= .00 MY= .00 MZ= -2967.89

- ++ PROCESSING ELEMENT STIFFNESS MATRIX. 11: 3: 4
- ++ PROCESSING GLOBAL STIFFNESS MATRIX. 11: 3: 5
- ++ PROCESSING TRIANGULAR FACTORIZATION. 11: 3: 6
- ++ CALCULATING JOINT DISPLACEMENTS. 11: 3: 7
- ++ CALCULATING ELEMENT FORCES. 11: 3: 8

***TOTAL REACTION (KNS METE) SUMMARY

LOADING 1

SUM-X= .00 SUM-Y= 486.54 SUM-Z= .00

SUMMATION OF MOMENTS AROUND ORIGIN-

MX= .00 MY= .00 MZ= 2967.89

***** END OF DATA FROM INTERNAL STORAGE *****

49. PRINT ANALYSIS RESULTS

STAAD PLANE

PAGE NO. 4

JOINT DISPLACEMENT (CM RADIANS) STRUCTURE TYPE = PLANE

JOINT LOAD X-TRANS Y-TRANS Z-TRANS X-ROTAN Y-ROTAN Z-ROTAN

2	1	-.03977	-.04551	.00000	.00000	.00000	-.00223
3	1	-.03125	-1.53474	.00000	.00000	.00000	.00000
4	1	.00000	-2.21397	.00000	.00000	.00000	.00000
5	1	.03125	-1.53474	.00000	.00000	.00000	.00223
6	1	.03977	-.04551	.00000	.00000	.00000	.00307
7	1	.00000	.00000	.00000	.00000	.00000	-.00170
8	1	.04557	-.06454	.00000	.00000	.00000	-.00382
9	1	.03415	-1.53642	.00000	.00000	.00000	-.00204
10	1	.00000	-2.20150	.00000	.00000	.00000	.00000
11	1	-.03415	-1.53642	.00000	.00000	.00000	.00204
12	1	-.04557	-.06454	.00000	.00000	.00000	.00382

3.4.3.

STAAD PLANE

-- PAGE NO. 3

SUPPORT REACTIONS -UNIT KNS METE STRUCTURE TYPE = PLANE

JOINT	LOAD	FORCE-X	FORCE-Y	FORCE-Z	MOM-X	MOM-Y	MOM Z
-------	------	---------	---------	---------	-------	-------	-------

			AXIAL LOAD	SHEAR				
1	1	1	243.27	-17.05	.00	.00	.00	87 -62.24
		2	-243.27	17.05	.00	.00	.00	
2	1	2	-50.10	142.93	.00	.00	.00	181.61
		3	50.10	-93.52	.00	.00	.00	178.97
3	1	3	-183.75	83.53	.00	.00	.00	72.31
		4	183.75	-34.12	.00	.00	.00	107.12
4	1	4	-183.75	34.12	.00	.00	.00	-107.12
		5	183.75	-83.53	.00	.00	.00	-72.31
5	1	5	-50.10	-93.52	.00	.00	.00	-178.97
		6	50.10	142.93	.00	.00	.00	-181.61
6	1	6	243.27	17.05	.00	.00	.00	62.24
		7	-243.27	-17.05	.00	.00	.00	.00
7	1	8	67.15	100.34	.00	.00	.00	129.09
		9	-67.15	-100.34	.00	.00	.00	176.95
8	1	9	200.80	61.43	.00	.00	.00	66.28
		10	-200.80	-61.43	.00	.00	.00	121.07
9	1	10	200.80	-61.43	.00	.00	.00	-121.07
		11	-200.80	61.43	.00	.00	.00	-66.28
10	1	11	67.15	-100.34	.00	.00	.00	-176.95
		12	-67.15	100.34	.00	.00	.00	-129.09
11	1	2	100.34	-67.15	.00	.00	.00	-119.37
		3	-100.34	67.15	.00	.00	.00	129.09
12	1	3	9.99	-133.65	.00	.00	.00	-251.28
		9	-9.99	133.65	.00	.00	.00	243.23
13	1	4	-73.95	.00	.00	.00	.00	.00
		10	73.95	.00	.00	.00	.00	.00
14	1	5	9.98	133.65	.00	.00	.00	251.28
		11	-9.98	-133.65	.00	.00	.00	243.23
15	1	6	100.34	67.15	.00	.00	.00	119.37
		12	-100.34	-67.15	.00	.00	.00	129.09

STAAD PLANE

3.44.

***** END OF LATEST ANALYSIS RESULT *****

50. PRINT JOINT DISPLACEMENTS ALL

STAAD PLANE

--- PAGE NO. 8

JOINT DISPLACEMENT (CM RADIANS) -- STRUCTURE TYPE = PLANE

JOINT	LOAD	X-TRANS	Y-TRANS	Z-TRANS	X-ROTAN	Y-ROTAN	Z-ROTAN
1	'91-07-23 15:55 HORGAN LYNCH & PARTNERS				021 342497		P.12
2	1	-.03977	-.04551	.00000	.00000	.00000	-.00367
3	1	-.03125	-1.53474	.00000	.00000	.00000	-.00223
4	1	.00000	-2.21397	.00000	.00000	.00000	.00000
5	1	.03125	-1.53474	.00000	.00000	.00000	.00223
6	1	.03977	-.04551	.00000	.00000	.00000	.00367
7	1	.00000	.00000	.00000	.00000	.00000	-.00170
8	1	.04557	-.04454	.00000	.00000	.00000	-.00382
9	1	.03415	-1.53642	.00000	.00000	.00000	-.00204
10	1	.00000	-2.20150	.00000	.00000	.00000	.00000
11	1	-.03415	-1.53642	.00000	.00000	.00000	.00204
12	1	-.04557	-.04454	.00000	.00000	.00000	.00382

***** END OF LATEST ANALYSIS RESULT *****

- 51. PLOT DISPLACEMENT FILE
- 52. PLOT BENDING FILE
- 53. FINISH

***** END OF STAAD-III *****

***** DATE= JUL 23, 1991 TIME= 11: 3:17 *****

V.G.3. DESIGN

TOP BOOM: - MEMBERS ⑦ & ⑩

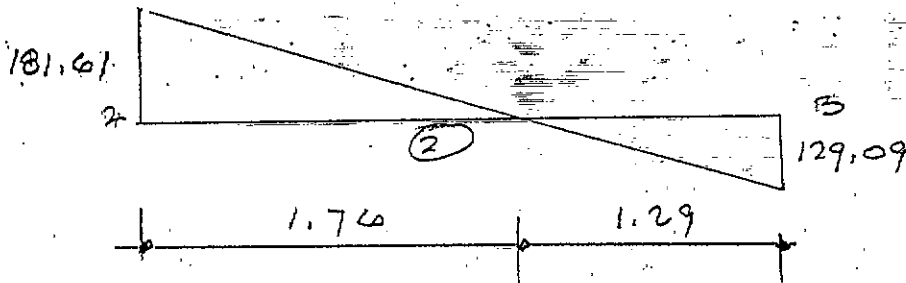
BM = 177 kNm, SHEAR NOT CRITICAL

$Z_{reqd} = 177.0 \times 10^3 / 165 = 1073 \text{ cm}^3$
 Try 406 x 178 UB 67, $Z_{prov} = 1188 \text{ cm}^3$ ok

406 x 178
UB 67

BTM BOOM: - MEMBERS ② & ⑤

BM = 181.6 kNm, SHEAR NOT CRITICAL



TRAY 150 L HAUNCH
 BM AT END HAUNCH = $[181.61 - (181.61 / 1.76 \times 1.5)]$
 = 166.1 kNm

$Z_{reqd} = 166.1 \times 10^3 / 165 = 1007 \text{ cm}^3$
 Try 356 x 171 UB 67, $Z_{prov} = 1073 \text{ cm}^3$ ok

356 x 171
UB 67

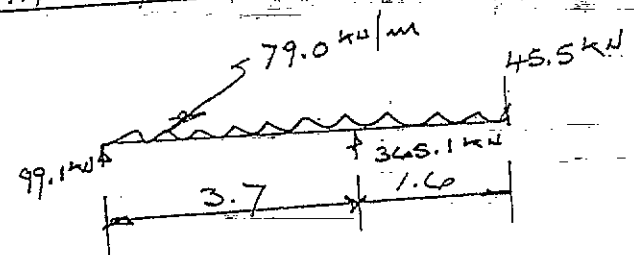
INTERNAL VERTICALS: - MEMBERS ⑫, ⑬ & ⑭

BM = 251.28 kNm, SHEAR NOT CRITICAL

$Z_{reqd} = 251.28 \times 10^3 / 165 = 1523 \text{ cm}^3$
 Try 457 x 191 UB 82, $Z_{prov} = 1612 \text{ cm}^3$ ok

457 x 191
UB 82

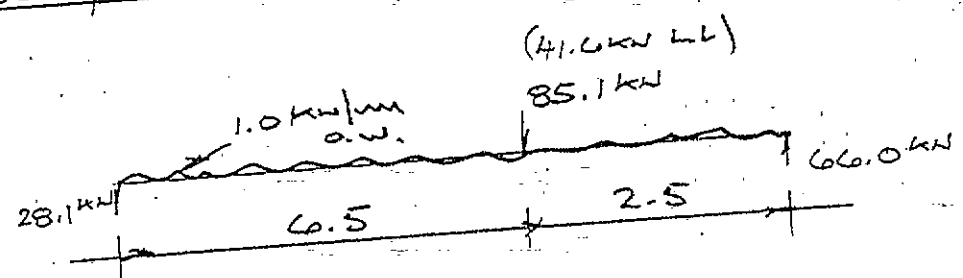
BEAM F46



$BM_{max} = 79.0 \times 1.6^2 / 2 + 45.5 \times 1.6 = 173.9 \text{ kNm}$
 $Z_{reqd} = 173.9 \times 10^3 / 145 = 1073 \text{ cm}^3$
 Try 356 x 171 UB 67 $Z_{prov} = 1073 \text{ cm}^3$ o.k.

356 x 171
UB 67

BEAM F50



$BM = 28.1 \times 6.5 - 1.0 \times 6.5^2 / 2 = 161.5 \text{ kNm}$
 $Z_{reqd} = 161.5 \times 10^3 / 145 = 979 \text{ cm}^3$
 Try 356 x 171 UB 67 $Z_{prov} = 1073 \text{ cm}^3$
 Equiv. $W_{eq} = 161.5 \times 0 / 9.02 = 16.0 \text{ kNm/m o.k.}$

$\Delta L.L. ONLY = 50\% \text{ say TOTAL} = 8.0 \text{ kN/m}$
 $= 5 - 8.0 \times 9000^4 / 384 \times 210 \times 10^3 \times 19522 \times 10^4 = 16.7 \text{ mm}$
 $\Delta ALL = 9000 / 340 = 25.0 \text{ mm} > 16.7 \text{ mm} \text{ o.k.}$

356 x 171
UB 67

COLUMN LOAD TABLE

COL. REF.	BEAM REACTIONS AT ROOF LEVEL					BEAM REACTIONS AT 1ST FLOOR					TOTAL FOR COLUMN
	N	S	E	W	TOTAL	N	S	E	W	TOTAL	
04B (F, H, I, J, K), FS						106.8	106.8	0.0	0.0	214.8	214.8
L6 #LB						156.8	156.8	0.0	0.0	314.8	314.8
N6 #NB						188.0	220.8	0.0	0.0	410.6	410.6
CH #F4	34.6	14.3	18.3	120.2	287.4		142.2	120.2	46.7	309.7	496.5
CS #B5	14.3	200.2	25.0	25.0	264.5	142.2	200.2	50.0	50.0	442.4	706.9
C10 #D10	200.2	18.0	21.3	21.3	260.8	200.2	42.3	56.4	56.4	355.3	616.1
AS (A4, A7 #64S, 7)	13.7	13.7	25.0	18.0	70.4	107.8	107.8	0.0	3.0	219.2	289.6
9 (H, I, J, K), 5 (I, J, K)	33.5	18.0	20.2	20.2	91.9	106.8	3.0	56.4	77.7	222.6	314.5
N10	35.5	18.0	40.8	40.8	135.1	220.8	4.0	77.7	77.7	380.2	515.3
P7	13.7	13.7	18.0		45.4	141.8	141.8	3.0	0.0	287.2	352.6
A9 #010/P9	13.7	12.0	21.3	12.0	59.0	107.8	7.5	56.4	1.5	167.2	226.2
G5	6.0	52.9	15.0	10.2	84.1	86.6		142.8	0.0	224.0	308.1
E10 #F9 #L9 #M10	35.7	27.0	40.8	20.2	123.7	156.8	3.0	77.7	77.7	315.2	438.9

COLUMN DESIGN

a) COL L61-

LOADING:
GRD = 1ST 156.8 kN + 156.8 kN
ONLY
0.6 kN

TOTAL LOAD = 314.8 + 2.0 o.w. etc = 316.8 kN

Try 152 x 152 UC 37
 $f_{lc} = 395 + 1.0 / 3.87 = 102$, $P_c = 77 N/mm^2$
 $f_{ce} = 316.8 + 10^3 / 47.4 \times 10^2 = 67 N/mm^2$
 o.k.

152 x 152
UC 37

b) COL N10

LOADING:
1ST-ROOF 18.0 kN + 35.5 kN GRD-1ST 4.0 kN + 220.8 kN
40.8 kN 77.7 kN
40.8 kN 77.7 kN

TOTAL LOAD = 515.3 + 8.0 o.w. etc = 523.3 kN

BM x-x = 220.8 + 0.1 = 44.2 kNm
 $f_{lc} = 44.2 / 2 \times 10^3 = 449.2$ = 49 N/mm²
 $f_{ce} = 523.3 + 10^3 / 58.8 \times 10^2 = 89 N/mm^2$
 Try 203 x 203 UC 46, $P_c = 107 N/mm^2$

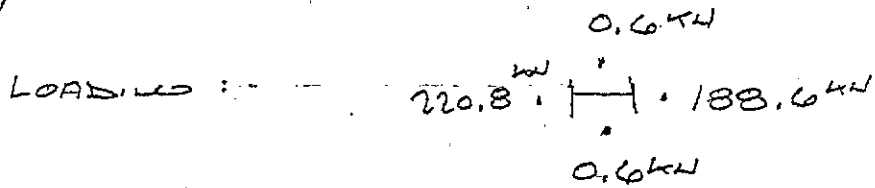
89 / 107 + 49 / 165 = 1.1 > 1.0

Try 203 x 203 UC 52, Z_{pl, y-y} = 510.4 mm³
 $f_{lc} = 44.2 / 2 \times 10^3 = 510.4$ = 43 N/mm²
 $f_{ce} = 395 + 1.0 / 5.16 = 77$, $P_c = 107 N/mm^2$
 $f_{ce} = 523.3 + 10^3 / 66.4 \times 10^2 = 79 N/mm^2$

79 / 107 + 43 / 165 = 1.0 o.k.

203 x 203
UC 52

c) COLUMN NB



TOTAL LOAD = $410.6 + 2.5 \text{ o.w.c.l.} = 413.1 \text{ kN}$
 Try 203 x 203 UC 46

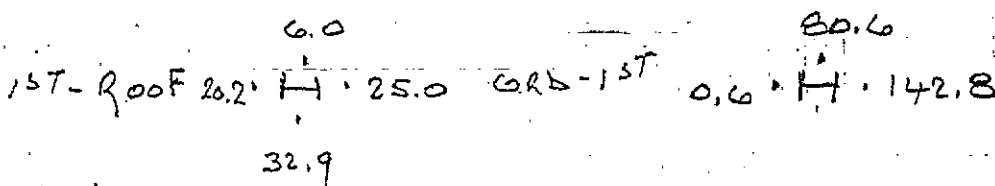
$l / r_y = 395 + 1.0 / 5.11 = 77, \quad f_c = 107 \text{ N/mm}^2$
 $B_{7f} = (220.8 - 188.6) \times 0.2 = 6.4 \text{ kNm}$
 $f_{bc} = 6.4 \times 10^3 / 449.2 = 14 \text{ N/mm}^2$
 $f_c = 413.1 \times 10^3 / 58.8 \times 10^2 = 70 \text{ N/mm}^2$

$14 / 165 + 70 / 107 = 0.74 < 1.0 \quad \text{o.k.}$

203 x 203
UC 46

d) COLUMN GS

LOADINGS:



TOTAL LOAD = $308.1 + 2.5 \text{ o.w.c.l.} = 310.6 \text{ kN}$
 Try 203 x 203 UC 46

$B_{7f} = 142.8 \times 0.2 = 28.6 \text{ kNm}$
 $B_{7f} = 80.6 \times 0.1 = 8.1 \text{ kNm}$
 $f_{bc} = [28.6 \times 10^3 / 449.2 + 8.1 \times 10^3 / 151.5] / 2 = 59 \text{ N/mm}^2$
 $f_c = 310.6 \times 10^3 / 58.8 \times 10^2 = 53 \text{ N/mm}^2$

$59 / 165 + 53 / 107 = 0.85 < 1.0 \quad \text{o.k.}$

203 x 203
UC 46

COLUMNS C4 & F4 (V.G. 3)

AXIAL LOADS:-

1ST- ROOF $18.3 \times 1.1 \times 100.34 = 2036.1$ KN
 34.6 KN
 4.3 KN
 GRS - 1ST $46.7 \times 1.1 \times 142.93 = 7448.5$ KN
 142.2 KN
 499.3 KN

TOTAL LOAD = $167.5 + 331.8 = 499.3$ KN

GRS - 1ST $M_x-x = 62.2 - (46.7 \times 0.225) = 51.7$ KNm
 $M_y-y = 142.2 + 0.1 = 142.3$ KNm

$f_{lc} x-x = 51.7 \times 10^3 / 894.5 = 58$ N/mm²
 $f_{lc} y-y = 14.2 \times 10^3 / 305.0 \times 2 = 23$ N/mm²

$e/m = 395 \times 1.0 / 6.46 = 61$
 $f_c = 125$ N/mm²
 $f_c = 54$ N/mm²
 $54 / 125 + 8 / 165 = 0.92 < 1.0$ O.K.

254 x 254
UC 73

COLUMNS C10, D10 (C5 & D5 SIMILAR) V.G. 1 & 2

AXIAL LOADS:-

1ST- ROOF $18.0 \times 1.1 \times 137.72 = 2719.0$ KN
 21.3 KN
 21.3 KN
 GRS - 1ST $42.3 \times 1.1 \times 262.68 = 12150.0$ KN
 56.4 KN
 56.4 KN

$M_x-x = 133.1 - (42.3 \times 0.275) = 121.5$ KNm
 $M_y-y = 198.32 + 417.78 = 616.1$ KNm

TRY 305 x 305 UC 97
 $e/m = 395 + 1.0 / 7.68 = 51$
 $f_c = 133$ N/mm²
 $f_c = 50$ N/mm²
 $f_c = 84$ N/mm²
 $84 / 165 + 50 / 133 = 0.89 < 1.0$ O.K.

305 x 305
UC 97

GROUND BEAMS

(a) 300W x 450D (SUPPORTING 215 INTERNAL WALLS)

d = 390

LOADING: WALL = 4.75 x 3.85 x 1.4 = 25.6
 BEAM = 0.3 x 0.45 x 24 x 1.4 = 4.5
 30.1 kN/m

2.5 kN/m

$M = 30.1 \times 6.1^2 / 8 = 140.2 \text{ kNm}$
 $A_{st} = 140.2 \times 10^6 / (460 \times 0.87 \times 390 \times 0.95) = 946 \text{ mm}^2$
 Try 2T25 As provided = 982 mm²

$V = 30.1 \times 6.1 / 2 = 91.8 \text{ kN}$
 $\tau = 91.8 \times 10^3 / (300 \times 390) = 0.78 \text{ N/mm}^2$
 $\rho_{min} = 100 \times 982 / (300 \times 390) = 0.84$ SC = 0.66 N/mm²
 Non Links

2T16T
 2T25B
 +
 R10 LINKS
 @ 250CS

(b) 400W x 450D (SUPPORTING CAVITY WALLS)

d = 390
 φ 540

LOADING: WALL = 6.6 x 3.5 x 1.4 = 32.3
 BEAM = 0.4 x 0.45 x 24 x 1.4 = 6.0
 38.3 kN/m

27.4 kN/m

7.61m MAX SPAN:-

$M = 38.3 \times 7.61^2 / 10 = 142.5 \text{ kNm}$
 As (a) ABOVE

2T25T & B
 R10 LINKS
 @ 250CS

6.1 - 6.7m SPAN:-

$M = 38.3 \times 6.7^2 / 10 = 171.9 \text{ kNm}$
 $k = 171.9 \times 10^6 / (400 \times 390^2 \times 37.5) = 0.08$, $a = 0.9$

$A_s = 171.9 \times 10^6 / (440 \times 0.87 \times 390 \times 0.9) = 1224 \text{ mm}^2$
 Try 3T25 T & B As provided = 1470 mm²
 Non Links

3T25T & B
 R10 LINKS
 @ 250CS

6.7 - 8.4m SPAN:- Try 400W x 600D BEAM

$M = 38.3 \times 8.4^2 / 10 = 270.2 \text{ kNm}$
 $A_s = 270.2 \times 10^6 / (440 \times 0.87 \times 540 \times 0.93) = 1344 \text{ mm}^2$
 Non Links

3T25T & B
 R10 LINKS
 @ 250CS

PAD BASES

DESIGN G.B.P. = 125 kN/m²

FOR 400 DP
PAD, d =
400-40-20
= 340 mm

a) eg COLS H6 & H8

LOADING: COL = 214.8
GRD BEAM = 88.2
PAD o.w. etc = 18.0 SAY
321.0 kN

TRY 1600 x 1600 x 400 DP
G.B.P. = 321.0 / 1.6² = 125 kN/m²
FACTORED LOAD = 321 x 1.5 = 482 kN
BM = (482 / 8 x 1.6) + (1.6 - 0.55)² = 41.5 kNm
NOT REIF.

TYPE A
1600 x 1600
x 400 DP
6 T20 c/w B
@ 300 c/s

b) eg H9, K5

LOADING: COL = 314.5
GRD BEAM = 168.5
PAD o.w. etc = 25.0 SAY
508.0 kN

TRY 2000 x 2000 x 400 DP
G.B.P. = 508 / 2.0² = 127 kN/m²
FACTORED LOAD = 508 x 1.5 = 762 kN
BM = (762 / 8 x 2.0) + (2.0 - 0.55)² = 100.1 kNm
AS = 100.1 x 10⁴ / 460 x 0.87 x 340 x 0.9 = 818 mm²

TYPE B
2000 x 2000
x 400 DP
7 T20 B.c.w
@ 300 c/s

c) eg COLS C4, F4

LOADING: COL = 496.5
GRD BEAM = 65.6
PAD o.w. = 35.0 SAY
597.1 kN

TRY 2200 x 2200 x 400 DP
G.B.P. = 597.1 / 2.2² = 123 kN/m²
FACTORED LOAD = 597.1 x 1.5 = 896 kN
BM = (896 / 8 x 2.2) + (2.2 - 0.55)² = 138.4 kNm
AS = 138.4 x 10⁴ / 460 x 0.87 x 340 x 0.9 = 1132 mm²
TRY 8T20 AS prev = 2510 mm²

TYPE C
2200 x 2200
x 400 DP
8 T20 B.c.w
@ 300 c/s

o.k.

d) eq Cols C5 & D5:-

LOADING:	COLS	= 706.9
	GRD BEAMS	= 19.8
	O.W. ETC	= 50.0
		<hr/>
		776.7 kN

TRY 2500 x 2500 x 400 DP

G.B.P.	= 776.7 / 2.5 ²	= 124 kN/mm ²
FACTORED LOADS	= 776.7 x 1.5	= 1165 kN

$$BM = (1165 / 8 + 2.5) + (2.5 \cdot 0.55)^2 = 221.5 \text{ kNm}$$

$$A_s = 221.5 + 10^6 / 460 \times 0.87 \times 340 \times 0.9 = 1809 \text{ mm}^2$$

TRY 9T20 ; AS prov = 2830 mm²

TYPE D

2500 x 2500
x 400 DP
9T20 @ c/c
C30 conc

CLADDING RAILS @ 4.0m c/c MAX.

VERT. SPAN = 2.7 m

WIND LOADING = 0.62 kN/m²
LOAD = 0.62 x 1.6 = 1.0 kN/m

L reqd = 2600 / 45 = 58
D reqd = 2600 / 60 = 43

BM = 1.0 x 2.7² / 8 = 0.91 kNm
Z reqd = 0.91 x 10³ / 165 = 5.5 cm³

Try 70 x 70 x 6 L Z_{prov} = 7.3 cm³ o.k.

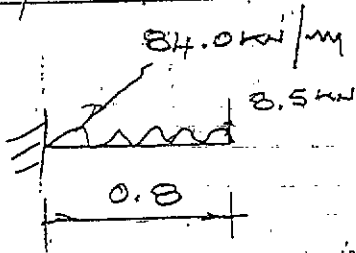
70 x 70 x 6 L

BEAM SUPPORTING RAILS

CONSIDER LOAD AS UDL.
LOAD = 3.0 x 0.25 + 3.0 o.w.c = 3.75 kN/m
MAX SPAN = 6.9 m BM = 22.3 kNm
L reqd = 22.3 x 10³ / 165 = 135 cm³
Try 203 x 74 L Z_{prov} = 192 cm³ o.k.
R = 12.9 kN

203 x 74 L

CANT. BRACKET



BM = 84.0 x 0.8² / 2 + 8.5 x 0.8 = 33.7 kNm
Z reqd = 33.7 x 10³ / 165 = 204 cm³
Try 203 x 133 UB 25 Z_{prov} = 232 cm³ o.k.

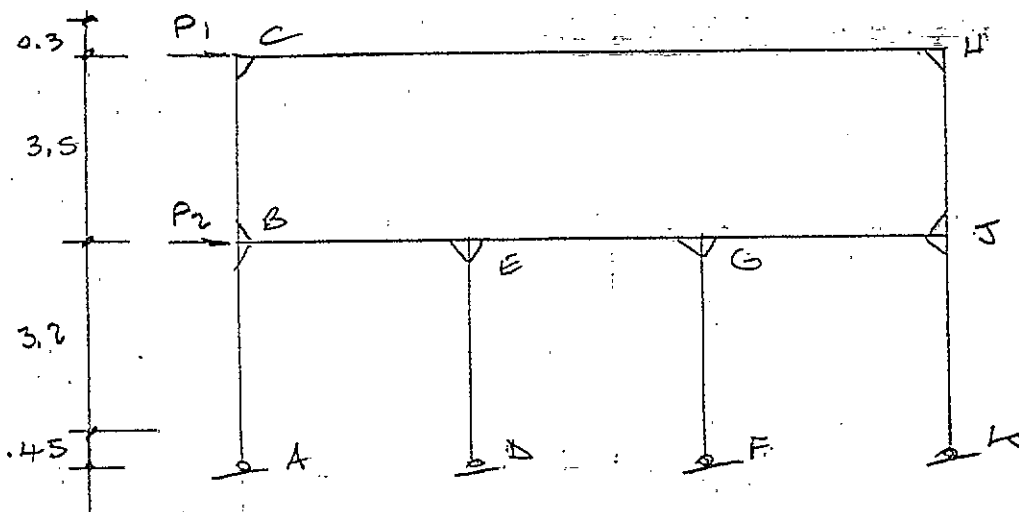
203 x 133 UB 25

LATERAL STABILITY

WIND RESISTANCE IS AFFORDED BY HORIZONTAL DIAPHRAGM ACTION OF FLOOR AND ROOF TRANSFERRING END REACTIONS FROM FRAMES TO WALL DIAPHRAGMS / WIND PORTALS IN PLANE OF FORCE.

WIND PORTAL

CONSIDER FRAME ON GRID LINE (K) AS TYPICAL EXAMPLE.

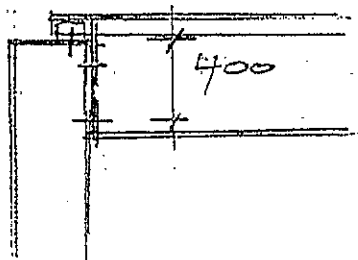


$$P_1 = 11.7/2 + 0.62 \times (3.5/2 + 0.3) = 7.4 \text{ kN}$$

$$P_2 = 11.7/2 + 0.62 \times 6.7/2 = 12.2 \text{ kN}$$

a) WIND PORTAL BEHT:-

$$\text{WIND MOMENT} = 7.4 \times 3.5 / 2 = 13.0 \text{ kNm}$$

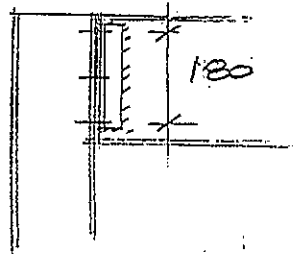


TRY 6 NO M20 BOLTS
 $l_e = 400$
 $F_t = 13.0 / (0.40 \times 2) = 32.5 \text{ kN}$
 $P_L = 68.6 \text{ kN}$

USE 6 NO
M20/8.8
BOLTS
o.k

e) WIND PORTAL AB DE FG JK 1-

$$\text{WIND MOMENT} = (7.4 + 12.2) \times 3.65 / 6 = 11.9 \text{ kNm}$$



Try 615 M20 BOLTS
Q = 106.8 kN

$$F_g = -106.8 / 6 = 17.8 \text{ kN}$$

$$F_{jt} = 11.9 / 0.180 \times 2 = 33.1 \text{ kN}$$

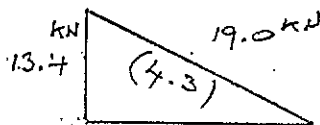
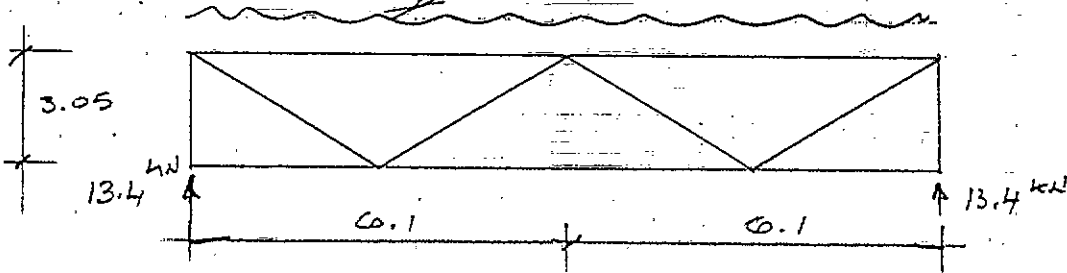
$$17.8 / 59.0 + 33.1 / 68.6 = 0.78 < 1.4 \text{ O.K.}$$

615 M20
8.8 BOLTS

WIND ON GABLES

HORIZONTAL WIND TRUSS, MAX SPAN = 12.0 M

$$2.2 \text{ kN/m} (7.0 / 2 + 0.62)$$



$$F_c \text{ max} = 19.0 \text{ kN}$$

$$L = 4.3 \text{ m}$$

Try 76.1 x 3.2 CHS

$$R_{fy} = 430 \times 0.85 / 2.58 = 142$$

$$f_e = 19.0 \times 10^3 / 7.33 \times 10^2$$

$$P_c = 45 \text{ N/mm}^2$$

$$= 264 \text{ N/mm}^2$$

76.1 x 3.2
CHS

P.K.

CONCRETE SPECIFICATION

PALMERSTOWN RETAIL PARK

BH/91

1.0 Concrete Work

The materials, labour and workmanship in and connected with the execution of the concrete work shall be the best of their kind without regard to any trade terms and the contractor shall employ a duly qualified person experienced in reinforced concrete construction to supervise the work. The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of BS 8110 Part 1 in regard to all requirements not otherwise described in this Specification.

2.0 Materials for Concrete

Fine and coarse aggregates shall conform to Irish Standard Specification No. 4 'Coarse & Fine Aggregates from Natural Sources for Concrete' except that the use of 'all-in' aggregates will not be permitted.

Coarse aggregate shall be washed gravel or crushed stone of 40mm or 20mm max. size.

Fine aggregate shall be washed sand of 4.5mm max size which can be combined with the coarse aggregate so as to give a combined aggregate grading which lies in the relevant grading zone of Road Note 4 (issued by the Road Research Laboratory).

Cement

"Portland cement used in concrete, shall be certified as complying with I.S.1:1963 as amended, in accordance with the Irish Standard Mark Licensing Scheme or approved equal. Manufacturers' or suppliers' certificates of compliance with the Standard shall be provided when requested by the architect.

Water

Water for the work shall be of Potable quality.

The amount of water shall be measured by volume or by weight. Any solid admixtures to be added shall be measured by weight only, but liquid or paste admixtures shall be measured by volume or by weight.

The batch weights of aggregates shall be adjusted for the moisture content of the aggregates being used. The quantity of water contained in the aggregates shall be determined by the contractor in accordance with a method approved by the Architect, and the quantity of water contained in the aggregates being used.

The accuracy of all measuring equipment shall be within 3% of the quantity of cement, water or total aggregates being measured and with 5% of the quantity of any admixture being used. All measuring equipment shall be maintained by the Contractor in a clean, serviceable condition.

The mixer shall comply with the requirements of BS 1305 or BS 4251 where applicable. The mixing time shall not be less than two minutes or the time necessary to ensure compliance with the required strength. When the mixer complies with BS 4251 no water shall be added at the batching plant or in transit to site.

3.0 Transporting & Pumping Concrete

The concrete shall be transported from the mixer to the formwork or place of deposit as rapidly as practicable by method which shall prevent the segregation or loss of any of the ingredients and shall maintain the required workability.

4.0 Placing & Compaction of Concrete

The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in a horizontal direction. The concrete shall be deposited in layers to a compacted depth not exceeding 450mm where internal vibrators are used or 300mm in all other cases. The concrete required for one construction unit shall be placed in one continuous operation.

The concrete shall not be dropped from a height exceeding 1800mm unless approved by the Architect.

The concrete shall be thoroughly compacted and worked around the reinforcement and embedded fixtures, and into corners of the formwork to form a solid dense mass, free from voids, and which shall have the required surface finish when the formwork is removed. Unless otherwise approved by the Architect compaction shall be achieved using vibrators.

The number and method of use of vibrators shall be such as to ensure uniform compaction.

The heads of immersion vibrators shall be sufficiently small to pass freely between the reinforcing bars. Vibrators shall not be applied via the reinforcement or embedded fixtures.

External vibrators shall be used in such a manner as to ensure efficient compaction without surface blemishes, hollows or bulges.

The concrete shall not be vibrated after setting has commenced and shall not be subsequently disturbed.

5.0 Construction Joints

Construction joints shall be located in the positions shown on the drawings and the position and detail of any construction joints not described in the contract shall be subject to the approval of the Architect.

Longitudinal joints shall be provided by means of steel roar forms braced in true vertical alignment, with provision made for the dowels between pours.

In no case shall concrete be formed or run to a feather edge.

6.0 Concreting in Cold Weather

All concreting work shall be entirely suspended when the temperature in the shade is below 2°C, and concrete shall not be mixed when the temperature in the shade is below 4°C.

The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air.

The temperature of concrete measured at the surface at the most unfavourable position shall not be less than 5°C at the time of placing. Any batch of concrete whose temperature as measured above falls below 5°C shall be removed from the site.

Subsequent to or during cold weather the water and aggregates used in the mix shall be free from snow, ice and frost. Formwork, reinforcement and any other surfaces against which fresh concrete is to be poured shall be free from snow, ice and frost and have a temperature within 2°C of the temperature of the fresh concrete.

Concrete placed in cold weather shall be protected from damage by frost with a covering of suitable insulation material.

All concrete damaged by frost or other weather conditions shall be cut out and replaced with fresh concrete at the contractor's expense.

6.1 Concrete in Hot Weather

During hot weather the contractor shall ensure that the constituent materials are sufficiently cool to prevent the concrete from stiffening prematurely. The temperature of mixing water shall be less than 60°C.

7.0 Protection of Concrete Foundations

Reinforced concrete foundations, up to a thickness of 300mm shall not require formwork, the concrete being cast against the sides of the excavations. The contractor shall ensure that the footings be kept clear of loose materials from the sides of the excavations. Particular care shall be taken to keep footings clean during the operation of fixing reinforcement and pouring concrete. Subject to the approval of the Architect reinforced concrete foundations of thickness greater than 300mm shall not require formwork.

8.0 Curing

The method and duration of curing shall be such that the concrete has satisfactory durability and strength and the member suffers a minimum of distortion, is free of excess efflorescence and does not cause, by its shrinkage, cracking in the structures.

Similar components shall be cured under the same conditions.

The concrete during the curing period shall be protected to prevent rapid changes in temperature at the surface, sudden temperature variations across the section, and excessive loss of water by evaporation due to drying winds or sunshine.

The method of curing and protection shall be approved by the Architect.

The use of accelerating or retarding curing agents or compounds shall be with the written consent of the Architect only.

9.0 Loadings

Concrete shall at no time be subjected to loading, including its own weight which will induce a compressive stress in it greater than one-third of the characteristic strength. The assessment of the strength of the concrete and the stresses produced by the load shall be subject to the agreement of the Architect.

10.0 Openings

No tampering with the concrete whether by cutting holes or otherwise by other trades shall be allowed without the written consent of the Architect.

All pipes passing through the concrete shall be provided with an approved fibre tube and shall be concreted in position during the course of the work.

11.0 Designed Mix

The Contractor shall be responsible for selecting the mix proportions to achieve the specific strength workability and durability.

Before commencement concreting the Contractor shall produce at his own expense, evidence for each grade of concrete showing that the mix proportions and manufacturing method produce concrete of the specific quality.

The following information shall be submitted to the Architect before any mix is supplied or used:-

1. Nature and Source of material
2. Either:-
 - (a) Appropriate existing data as evidence of satisfactory previous performances for target mean strength, current margin, workability and water/cement ratio:
 - (b) Full details of tests of each ingredient per cubic metre of fully compacted concrete.

The Contractor shall notify the Architect in writing of any change in source of materials and any change in cement content which results in a difference greater than 20 Kg/m³ from the cement content previously used.

11.1 Strength of Concrete

The grades of concrete shall be as follows:-

Grade	Characteristic Strength Mix N/mm ²	Compliance Strength in N/mm ² assuming a current margin of 15 N/mm ² at :	
		7 days	28 days
Leanmix			
C10	10	11.5	17.5
C20	20	18.0	27.5
C25	25	21.5	32.5
C30	30	25.0	37.5
C37.5	37.5	30.0	45.0

Compliance with the specified characteristic strength shall be judged by test made on cubes at 7 days and at 28 days.

The rate of sampling shall be one sample from a randomly selected batch representing an average volume of not more than 7 M³ or 7 batches whichever is smaller for suspended slabs, beams and exposed architectural concrete: the lesser of 15 M³ or 15 batches for walls and floating slabs. Higher rates of sampling and testing shall be carried out on the Architects instructions.

Each cube shall be made from a single sample taken from a randomly selected batch of concrete.

Compliance with the specified characteristic strength shall be assumed only if :

1. The average strength determined from any group of four consecutive test cubes exceeds the specified character strength by not less than 0.5 times the current margin, and
2. Each individual test result is greater than 85% of the specified characteristic strength.

The current margin shall be taken as 15 N/mm² unless a smaller margin has been established (under 6.7.6.2 of CP 119 Part 1: 1972) to the satisfaction of the Architect.

11.2 Test Cubes

The strength of the concrete shall be verified by means of 150mm test cubes, made under the supervision of the Clerk of Works.

The cubes shall be made, compacted by hand and stored in the manner specified in BS Code of Practice 8110. The concrete sample for the making of the test cube shall be obtained at the place of deposition of the concrete. The cubes shall be given an identification mark and an accurate register of the location and dates of each cube sample shall be kept on site, so that the location of the concrete from which the cube was made may be ascertained at any time.

The Contractor shall provide a sufficient number of machined steel or cast iron cube moulds to carry out the sampling required by the specified method of quality control.

The action to be taken in respect of concrete which is represented by test cubes which fail to meet either of the compliance criterion shall be determined by the Architect.

12.0 Striking of Formwork

The minimum period for retaining formwork in position before striking shall not be less than indicated in the following table.

Type of Formwork	Cement Type			
	Normal Portland Cement		Rapid Hardening Portland Cement	
	Mean Air Shade Temperature		Mean Air Shade Temperature	
	7°C	16°C	7°C	16°C
Vertical facing to columns, walls and beams	12 hrs	12 hrs	12 hrs	12 hrs
Soffit facing to slabs	5 days	3 days	4 days	2 days
Supports to slabs	12 days	10 days	10 days	8 days
Soffit facing to beams	5 days	3 days	4 days	2 days
Supports to beams	18 days	15 days	15 days	12 days

Periods during which the air shade temperature remains below 3°C shall not be taken into account. Provided always that the minimum periods before striking are as in the above table, the actual times of striking shall remain the responsibility of the Contractor.

Where the Contractor can submit evidence that the performance of the structure will not be adversely affected by reducing the specified periods before striking, reduced striking times may be approved.

Re-propping shall not be permitted unless approval is obtained.

13.0 Classes of Concrete

Mixes for the various classes shall be denoted by the grade in N/mm² and maximum aggregate sized in mm, e.g. 30/20 denotes a grade 30 concrete with 20mm maximum aggregate size.

13.1 Minimum Cement Content for reinforced concrete.

The nominal cover to all reinforcement (including links) and minimum cement content to meet durability requirements shall be as follows :-

	Nominal Cover (to all Reinforcement)				
	mm	mm	mm	mm	mm
Mild	20	20	20	20	20
Moderate	-	40	30	25	20
Severe	-	-	40	30	25
Very Severe	-	-	50	40	30
Extreme	-	-	-	60	50
Concrete Properties					
Maximum free water/cement ratio	0.65	0.60	0.55	0.50	0.45
Minimum cement content (kg/m ³)	275	300	325	350	400
Characteristic strength N/mm ²	30	35	37.5	40	42.5

This table relates to normal weight aggregate of 20mm nominal maximum size.

Mildly exposed concrete shall be completely protected against weather, or aggressive conditions.

Moderately exposed concrete is defined as concrete sheltered from severe rain and against freezing whilst saturated with water. Buried concrete and concrete continuously under water shall be deemed moderately exposed.

Severe exposure is defined as exposure to driving rain, alternate wetting and drying and to freezing whilst wet, and subject to heavy condensation or corrosive fumes.

13.2 Maximum Cement Content

The cement content of concrete shall not be greater than 550 kg/m³

14.0 Placing Bending Reinforcement

All bar reinforcement shall be bent and cut in accordance with BS 4466. Particular care shall be taken to ensure that the radius of bend of reinforcement projects from concrete is not less than that specified in BS 4466.

Bars shall not be reshaped or rebent without the written permission of the Architect.

Reinforcement shall be accurately placed as shown on the drawings and secured against displacement by tying wire and shall be supported on an adequate number of small precast concrete blocks with tying wire cast in, or metal spacers or plastic spacers, or metal hangers.

All joints in round mild bar reinforcement shall have overlaps of at least 50 diameters of the smallest of the overlapping bars and in deformed high tensile bar reinforcement lapps of at least 40 diameters of the smaller of the overlapping bars.

Laps in fabric reinforcement shall be as follows:-

Oblong mesh : 450mm along longitudinal wires and 75mm along transverse wire.

Square mesh : 300mm both ways

Reinforcement shall not be surrounded by concrete unless it is free from mud, oil, paint, retarders, loose rust, loose mill scale, snow, ice, grease or any other substance which will affect adversely the steel or concrete chemically, or reduce the bond between steel and concrete.

All reinforcement shall be bent cold and no heating or welding will be permitted. When the temperature of the steel is less than 5°C, the speed of bending shall be reduced.

15.0 Workability

Workability shall be determined by means of the slump test, compacting factor test or VB consistometer test. The contractor shall keep on site the necessary equipment in good working order for carrying out one of these.

A plasticizer additive shall not be used without the approval of the Architect.

Concrete with slumps greater than 50mm or a reading greater than 0.91 in the compacting factor test shall not be permitted.

16.0 Formwork

All formwork whether of wood, metal or glass reinforced plastic shall in every respect be adapted to the structure and to the surface finish of the concrete. All formwork shall be fixed in perfect alignment and be securely braced to withstand displacement, deflection or movement of any kind, the weight of forces exerted by the wet concrete, the movement of persons, material or plant and the effects of mechanical vibrators. Notwithstanding approval by the Architect the strength and adequacy of the shuttering shall remain the responsibility of the Contractor.

Formwork defined as wrought shall be lined with an approved smooth non-absorbent lining, or rendered non-absorbent by means of polyurethane based paint or varnish.

All pipes, angles and inserts of any kind shall be firmly fixed to the formwork which shall be neatly and accurately cut around them.

16.1 Joints in formwork

All joints shall be sufficiently close and tight to prevent the leakage of grout.

Joints in forms shall be horizontal or vertical, and perfect alignment of joint pattern shall be maintained consistent with the first pour of concrete. Where concrete is vibrated all joints are to be tongued and grooved or the boards shall have straight parallel edges planed perpendicularly to the board edge. If necessary joints are to be caulked or sealed with approved compound or material.

Where steel or glass reinforced plastic formwork is used all joints and holes in the formwork shall be sealed with tape and approved adhesive.

17.0 Cast in Items and Holes

Anchor bolts for roof trusses and holding down bolts for portal frames shall be set accurately and templated and held firmly in position. During the placing of concrete the positions of all embedded shall be fully checked by an approved means to ensure the correct location. Holding down bolts in foundations shall be set with sleeves in accordance with the drawings to allow for minor adjustments.

All sleeves for pipes or other materials that pass through concrete shall be accurately set and securely held in position. Reinforcement shall not be relocated or cut. If reinforcement is found to clash with the position of any hole or sleeve the Architect shall be consulted. Sleeves shall be adequately blocked or filled with sand to prevent concrete from entering. No sleeve, pipe or chase shall intercept a structural member unless the member has been specifically designed therefore.

18.0 Ground Floor Grade Slabs

Blinded hardcore shall be placed and compacted under floor slabs in thicknesses as detailed on drawings.

18.1 Damp Proof Membrane

Before concreting begins blinding shall be cleaned down and levelled and covered with a layer of 1000 gauge polythene roll jointed at the edges.

Polythene shall be protected when laid and shall not be incorporated in the works if perforated in any way.

Polythene shall be turned up at the edges of slabs and placed under wall D.P.C.

Joints in floor slabs shall be constructed in accordance with the drawings. Joint fillers in isolation joints shall be synthetic inorganic rigid board.

Specified reinforcement meshes shall be placed so that they lie 50mm under the finished floor level when cast.

18.2 Finish to Slab

Concrete floors shall be power float finished. Variations in level measured with a 2 metre long steel "Straight edge" shall not exceed 3mm.

Floors shall be laid and finished within rooms in a single operation so that an integral finish is achieved.

The slab shall be levelled, between screeds to a true level plane surface by means of screeding beams immediately after laying.

BLOCKWORK SPECIFICATION

PALMERSTOWN RETAIL PARK

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1.0 Materials

1.1 All blocks shall comply with the requirements of the Irish Standard for blockwork IS 20.

1.2 Blocks shall generally be Type A Block 5 kn/mm^2 compressive strength as defined in IS 20.

1.3 Blocks shall be fair face finish where indicated by the Architect, otherwise they shall have standard finish.

1.4 Mortar Materials.

1.4.1 Cement for mortar shall comply with the Irish Standard for Cement I.S. 1 or approved equal.

1.4.2 Lime used in mortar shall be non-hydraulic (calcium) limes or semi-hydraulic limes and magnesium limes to conform to the requirements of B.S. 890.

1.5 Admixtures.

Admixtures may be used subject to the Architect's approval in writing.

2.0 Preparation of Mortars

2.1 Recommended Mortars

Mortar for the work shall be 1:1:6 by volume of dry materials.

2.2 Equivalent Mortar Mixes

Alternative mortar mixes may be used subject to the Architect's approval in writing.

2.3 Batching of Mortars

The materials for the mortar shall be measured accurately to conform with the specified mix proportions either by weight batching or by the use of gauge boxes.

2.4 Mixing of Mortars

The mortar shall be mixed by machine. Mortars containing cements shall be used within two hours of the mixing of the cement and water and any mortar not then used shall be discarded and not retempered.

3.0 Reinforcement, Wall and Bonding Ties

3.1 Bed Joint Reinforcement

The bed joint reinforcement for twin leaf 215 wide walls shall be brickforce or similar approved.

3.2 Wall Ties

Wall ties shall be galvanised and conform to the requirements of B.S. 1243.

4.0 Handling and Storage of Materials

4.1 Cement

Cement shall be stored in a manner to ensure that it is not affected by damp and shall be used in the order of delivery.

4.2 Sand

Sands shall be stored separately according to type where they will not be contaminated.

4.3 Metals

Reinforcement and ties shall be protected from becoming contaminated, and reinforcement shall be free from loose mill scale and rust.

4.4 Blocks

Facing blocks shall be carefully unloaded so as to avoid damage to the units. All blocks shall be stacked on prepared level areas to ensure that the stack is stable and blocks used for fairfaced work shall be protected to prevent the exposed faces from becoming stained or marked.

5.0 Testing

5.1 General

Independent testing of blocks shall be carried out in accordance with Clause 17 of BS 2028.

6.0 Workmanship

6.1 Dimensions

All blockwork shall be set out and built to the respective dimensions, thickness and heights shown upon the drawings.

When detailing, consideration should be given to the size and position of openings so as to allow for a full block to be positioned directly beneath a lintel bearing.

6.2 Uniformity

All perpends, quoins, joints, etc., shall be kept strictly true and square, other angles shall be plumbed and the whole properly bonded or tied together and the bed joints levelled as the work proceeds.

6 Bond

The blockwork shall be built to the bond indicated on the drawings. Where no bond is indicated, the units shall be laid in stretcher bond. Where possible the coursing shall be arranged to allow a full block to be positioned directly beneath a lintel bearing.

6.4 Cutting

Blocks used for facing shall be cut with a masonry saw. Where it is necessary to cut the blocks wet they shall be allowed to dry before being built into the wall.

6.5 Chases

The positions and size of the chasings shall be as indicated on the drawings and shall be carried out neatly using a chasing tool.

6.6 Weather

No block laying shall be carried out when the temperature is at or below 3°C unless precautions are taken to ensure a minimum temperature of 4°C in the work when laid and thereafter to maintain the temperature above freezing point until the mortar has hardened. Should any block wall be damaged by frost it shall be pulled down and made good at the contractor's expense. Walls shall, where necessary, be adequately braced during construction to prevent damage by winds or other causes.

6.7 Laying

Each block shall be laid and adjusted to its final position while the mortar is still plastic.

6.8 Mortar Joints

All blocks shall be laid on a full mortar bed. Vertical joints shall be filled. All joints are to be nominally 10mm thick.

6.9 Excess Mortar

Any mortar which extrudes from the joint of fairfaced units shall be cut away and on no account is mortar to be smeared onto the face of the block.

6.10 Control Joints

Control joints shall be constructed as indicated on the drawings. Expansion joints shall be cleaned out to ensure that mortar does not bridge the joint.

6.11 Double Leaf (Cavity) walls

6.11.1 Wall Ties

The walls shall be built with cavities of the width shown on the drawings and tied together with ties embedded in the mortar at least 50mm. Unless otherwise detailed the ties shall be staggered in alternate courses and spaced in accordance with the following table.

Least Leaf Thickness	Cavity width (mm)	Spacing of Ties	
		Horizontally (mm)	Vertically (mm)
75			
90 or more	50-75	450	450
90 or more	50-75	900	450
90 or more	75-100	750	450
90 or more	100-150	450	450

The spacing may be varied provided that the number of ties per unit area is maintained.

Additional ties shall be provided in every course within 225mm of openings and on each side of control joints. Ties shall be laid falling to the external leaf.

6.11.2 Cavities

The cavity and ties shall be kept clear and clean of mortar droppings or other materials during construction and any extruding mortar shall be struck off flush. No cavity shall be sealed off until inspected and approved by the Architect.

6.11.3 Weepholes (cavity walls)

Weepholes 10mm wide X 75mm high, spaced at centres not exceeding 900mm and extending through the vertical mortar joints of the outer leaf, shall be provided at ground level and at positions where the cavity is bridged and at locations indicated on the drawings.

6.11.4 Vent Holes

Vent holes shall be of the dimensions as for weepholes and shall be positioned at locations indicated on the drawings.

6.12 Protection

6.12.1 Stability

Precautions shall be taken to ensure stability of walls during backfilling and concreting operations.

6.12.2 Finished Work

The tops of constructed walls shall be protected from rain and in addition fairfaced work shall be protected against staining from construction activities.

6.13 Making good

At the completion of the work all temporary holes in mortar joints of fairfaced work shall be filled with mortar and suitably tooled. Any damaged blockwork shall be repaired with approved materials or replaced to the satisfaction of the architect.

6.14 Backfilling

Backfilling shall not be placed against concrete masonry walls within 14 days of completion of the construction. Vehicles shall not be operated closer to the wall than a distance equal to the height of the wall.

STRUCTURAL STEELWORK SPECIFICATION

PALMERSTOWN RETAIL PARK

BH/91

1.0 General

1.1 Standards

Where standards are referred to the most recent editions of the standards shall be deemed to apply. Where a standard has been superseded the new standard shall be deemed to apply.

1.2 Notwithstanding the following, all steelwork shall be fabricated and erected in accordance with the National Structural Steelwork Specification for Building Construction published by the B.C.S.A.

2.0 Materials

2.1 Steelwork

Materials shall be mild steel to conform to BS 4360 or approved equal.

2.2 Welding

Metal arc welding shall be in accordance with BS 5135 or approved equal.

2.3 Electrodes for welding shall comply with BS 639.

2.4 Nuts and Bolts

Unless otherwise shown Bolts and Nuts shall be black bolts and nuts to BS 916 or approved equal. Bolts with designation 4.6 shall be used. Tapered washers to tapered surfaces shall comply with BS 3410 or approved equal.

2.5 Steelwork Rolled Sections shall conform to BS 4.

2.6 Grade 43 steel (or approved equal) shall be used throughout.

2.7 All steelwork shall be free from laminations edge defects and inclusions.

3.0 Workmanship

3.1 Shop Drawings

The steelwork contractor shall prepare and submit two copies of shop drawings for approval at least three weeks before required fabrication work is due to commence.

3.2 Erection Programme

A programme for the erection of the works shall be prepared and submitted by the contractor on appointment for the execution of the work.

3.3 Tolerances (To be in accordance with B.C.S.A. publication stated in 1.2)

The permissible dimensional deviations for structural steel elements above foundations are summarised as follows:

For any nominally horizontal surface measured from the nearest reference level $\pm 10\text{mm}$.

For any nominally vertical surface measured from the nearest reference level $\pm 10\text{mm}$, maximum allowable deviation of top of column relative to base (out of plumb) is storey height/600.

3.4 Quality Control

A provisional sum is included for testing and such tests as are required shall be carried out by an approved body. The contractor will be required to provide attendances for testing.

3.5 All steel is to be fabricated in accordance with BS 449.

3.6 The contractor shall give one week's notice of commencement of steelwork fabrication.

3 Cleat Projections

Cleats shall be fixed to project 3mm beyond the end of simply supported members.

3.8 De-Burring

All burrs and sharp arises shall be removed.

3.9 Splicing

Splices shall not be used except where shown on the drawings.

3.10 Each element of fabricated steelwork shall be marked in accordance with an assembly drawing before delivery to site.

4.0 Erection

4.1 All structural steelwork shall be erected in accordance with BS 449.

4.2 Flame Cutting

Flame cut edges which will be subjected to substantial stress or which are to have weld metal deposited on them shall be reasonably free from gouges. Occasional notches or gouges not more than 3mm deep shall be permitted. Gouge marks greater than 3mm that remain from cutting shall be removed by grinding. All re-entrant corners shall be shaped to a radius of at least 15mm. Flame cutting equipment shall not be used on site without prior approval.

4.3 The lengths of tack welds which shall be incorporated in the finished work shall be not less than four times the thickness of the thicker plate or 50mm, whichever is the smaller.

4.4 Qualification of Welders

All welders shall hold an approved proficiency certificate or approved qualification, appropriate to the class of work on which they are to be engaged. Copies of proficiency tests shall be supplied on request. Where proficiency certificates are not available a welder's competence shall be ascertained by some other agreed method.

4.5 Bolting

Drift holes which are one third diameter or more off centre shall not be used.

4.6 Washers

Washers are to be placed under black bolts and nuts of all bolts connecting metal coated steel.

5.0 Protection of Steelwork

5.1 Generally

The references in brackets in clauses in this specification are to numbers of clauses and sub-clauses in British Standard Code of Practice BS5493 - Protective Coating of Iron and Steel Structures against corrosion. The recommendations of any clause or sub-clause so referred to are requirements of this specification.

All stages of preparation and protection of the works shall be carried out in workshops with suitable lighting, heating and ventilation and in accordance with Cl. 22.26.

All steelwork surfaces shall be blast cleaned to remove all millscale, rust and other contaminations to a minimum standard of SA2-1/2 according to Swedish Standard STS055900.

The abrasive used during blast cleaning shall be steel, malleable iron or chilled iron shot of a grading suitable to give a maximum surface amplitude of 100 microns.

All surface defects likely to be detrimental to the protective system, such as cracks, surface laminations and deep pitting, shall be removed in accordance with BS 4360. Fabrication surface defects, such as fins at saw cuts and burrs, shall be similarly removed.

All dirt and debris shall be removed from surfaces after blasting by vacuum cleaner, airline or brush. If any residues are trapped in the paint, the affected area shall be reblasted and recoated.

After blast cleaning, tests shall be made to detect soluble rust-producing salts, in accordance with Appendix 'G' BS5493 and, if found to be positive, the steel shall be cleaned with a suitable solvent and washed with clean warm water and then dried immediately using hot air.

All shop weld areas and shop bolted or riveted connections shall be blast cleaned to the same standard as adjacent steel. All weld slag and spatter shall be removed.

Blast cleaned surfaces shall be overcoated as soon as possible after cleaning, but in any event within four hours from the start of cleaning, and the steel shall be kept indoors in a clean, dry, controlled environment during this period.

5.2 Secondary Painting Preparation

Any contamination of the treated steelwork surface shall be removed before further protective coatings are applied. Where spirit or naphtha may be used to clean the steelwork followed by scrubbing with a 22% solution of Teepol and a thorough rinsing with clean water.

Where the contamination (e.g. oil or grease) cannot be removed completely by white spirit or naphtha, a suitable solvent shall be obtained from the paint manufacturer and used, followed by scrubbing and washing as above.

Where the surface has become dirty, as opposed to contaminated, or has been exposed in the open for more than two days, it shall be scrubbed down with a 2% solution of Teepol and hosed with clean water.

5.3 Removal of Zinc Salts

Where zinc coatings, whether flame-sprayed, hot-dip galvanised or zinc-rich paints, have been exposed to the weather for more than one week they shall be wired brushed and washed with clean, warm water to remove the zinc salts formed, before coatings.

5.4 Drying

Paint shall not be applied to wet or damp surfaces.

5.5 Ambient Conditions (23.2) (23.3) (23.4)

The ambient conditions during painting shall be such as to ensure that there is no condensation on the steel and that the temperature and humidity are suitable for the application of the particular paint (see manufacturer's instructions).

5.6 Inaccessible Areas

Areas of steel inaccessible after erection shall be treated during fabrication and erection so that they receive the full treatment specified.

5.7 Paint Application (22.2.6)

Paints shall be applied by the methods stated in accordance with the manufacturers instructions, so as to give an even, uniform coating.

5.8 Strip Coats (18)

An extra strip coat of primer shall be applied to all edges and corners of steelwork which will be exposed externally in the finished structure.

5.9 Minimum Dry Film Thickness (19)

Each coat of paint shall be applied at a spreading rate to give the required minimum dry film thickness.

5.10 Drying & Overcoating Period

The maximum and minimum overcoating period and drying periods before exposure to weather or to being transported shall be those stated by the paint manufacturer.

5.11 Remedial Work (32)

Any damaged areas of paint shall be cleaned and made good within 14 days, to a standard equivalent to that of the adjacent paintwork. If damage has exposed parent metal local reblasting may be required to prepare the steel for remedial painting. The maximum time lag between cleaning steel and applying primer shall be not more than two hours.

5.12 Standard of Protection to Connections

Joints shall be painted with the specified materials to give the standard of protection achieved on adjacent steel. Strip coats shall be used, particularly to seal all edges of steel and gaps between adjacent steel surfaces.

Preparation Specification A

5.13 Concrete Encased Steelwork & Steelwork to be Fire Encased

All steelwork which is to be encased in concrete shall be blast cleaned and left unpainted.

5.14 Site Welds (25.4)

Site welds, if used, and adjacent areas shall be cleaned to remove all welding slag, spatter and flux residues by chipping, blast cleaning and washing before painting commences.

5.15 Cleaning of Jointing Bolts (25.2)

Bolted joints shall be thoroughly cleaned to remove all oils and grease, before painting.

Plated bolts and nuts shall be primed with an etch primer suitable for use on the particular type of surface.

Preparation Specification A

5.16 Steelwork Generally

The whole shall be dusted down and immediately painted with two coats of Berger Paints MPI99 High Build Zinc Phosphate Primer at 100 microns d.f.t. or HGW approved alternative at works. Contact surfaces using high strength friction grip bolted connections should not be painted or oiled.

Surfaces in permanent contact before delivery shall be brought into permanent contact whilst the paint is still wet.

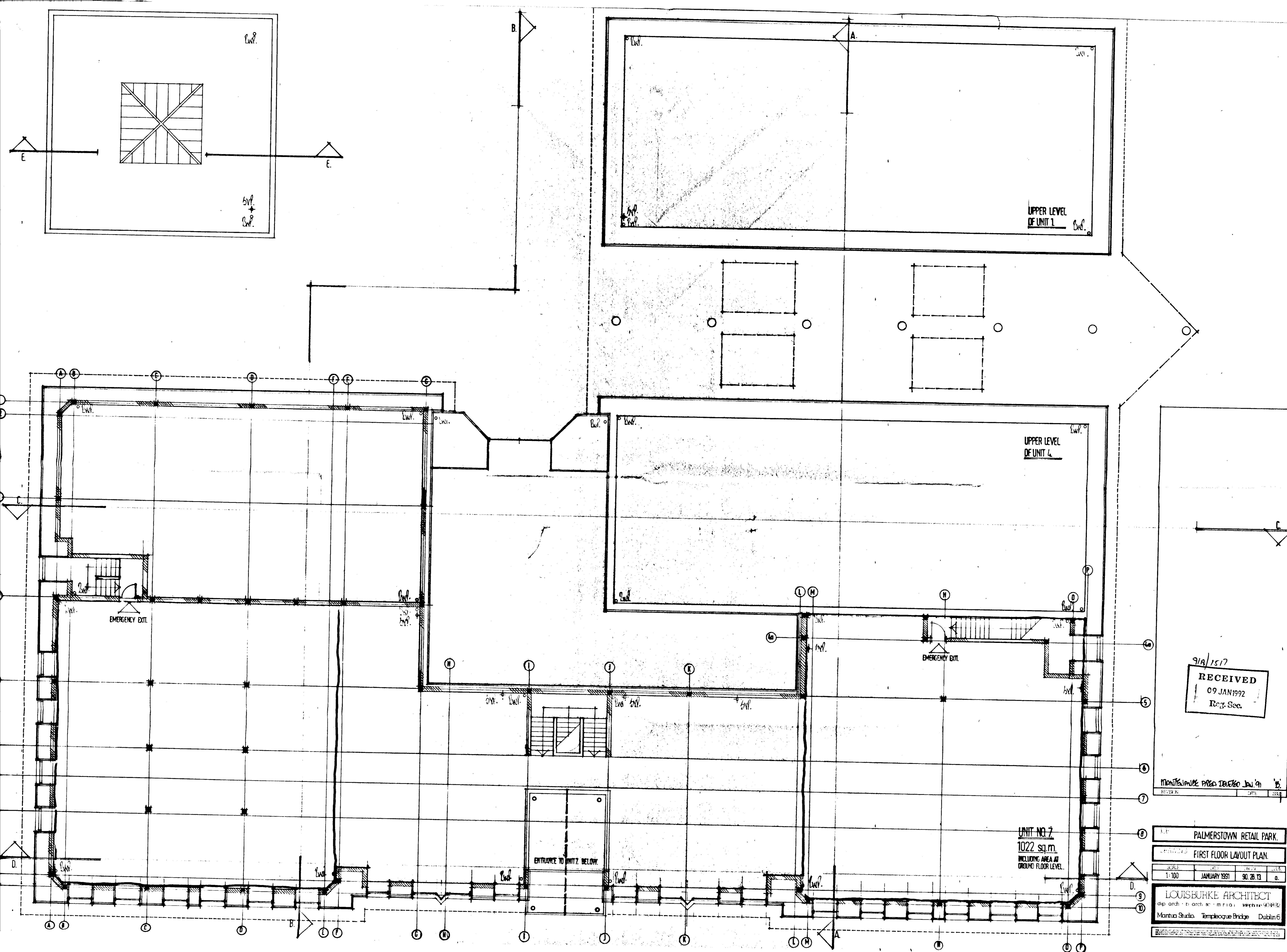
Following completion of erection, all steelwork shall be thoroughly inspected and all damaged paint and rust removed down to bright metal by the Contractor, and repainted with primer to the Engineer's satisfaction. All site connections including site bolts shall be thoroughly cleaned and repainted with one coat MP100 primer by the Contractor.

Where steelwork is to be temporarily subjected to external exposure conditions after erection, one coat of Berger M.1.0 Phenolic High Build AL180 at 75 microns d.f.t. shall be applied on site by the Contractor.

Following completion of erection all steelwork shall be thoroughly cleaned down.

Where steelwork is to be encased in brickwork, all concealed surfaces should receive a protective finishing coat of bitumen-based paint applied by the Contractor.

Where steelwork is to be encased in concrete all painting should be deleted.

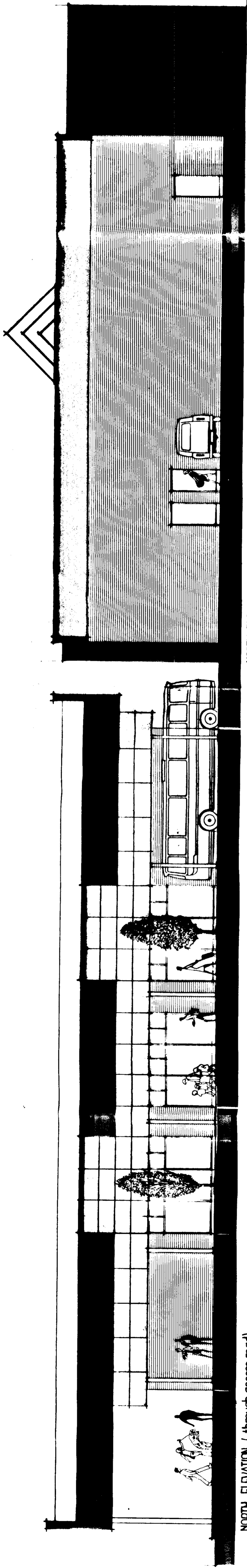


9/18/1517
RECEIVED
 09 JAN 1992
 Reg. Sec.

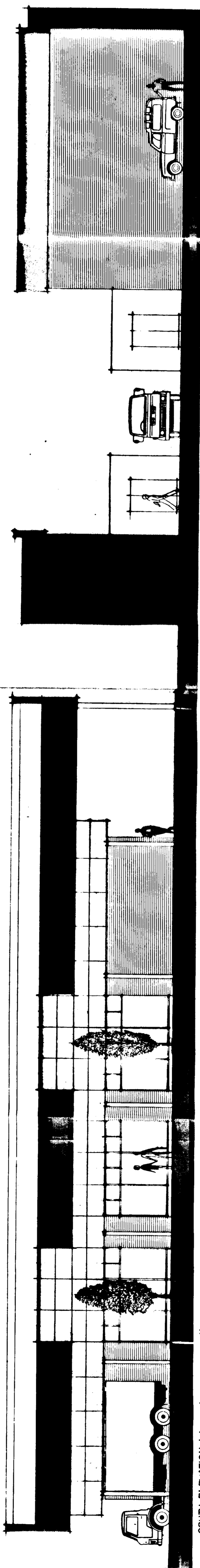
MANUSCRIPT AREA DESIGN Jan 91
 REVISION DATE ISSUE

PALMERSTOWN RETAIL PARK.			
FIRST FLOOR LAYOUT PLAN.			
SCALE	DATE	NO.	ISSUE
1:100	JANUARY 1991	90.28.13	a.
LOUISBURKE ARCHITECT			
dip arch + b arch + m rto + w rto + 908832			
Mantua Studio, Templeogue Bridge, Dublin 6			

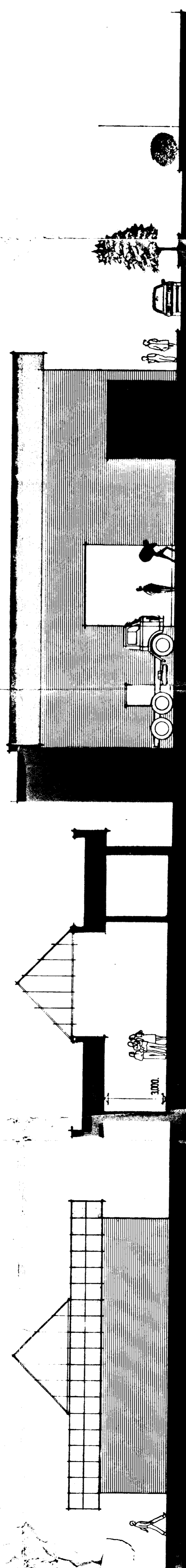
NOTES



NORTH ELEVATION (through access road)



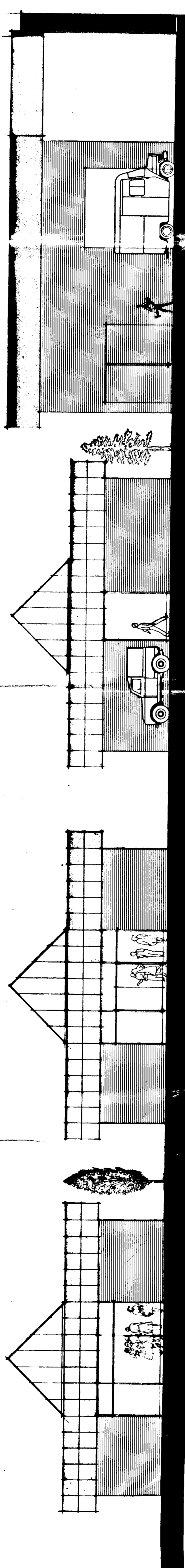
SOUTH ELEVATION (through access road)



NORTH ELEVATION - Unit 2

SECTION E.E.

EAST ELEVATION - SERVICE YARD



SOUTH ELEVATION - Unit 2

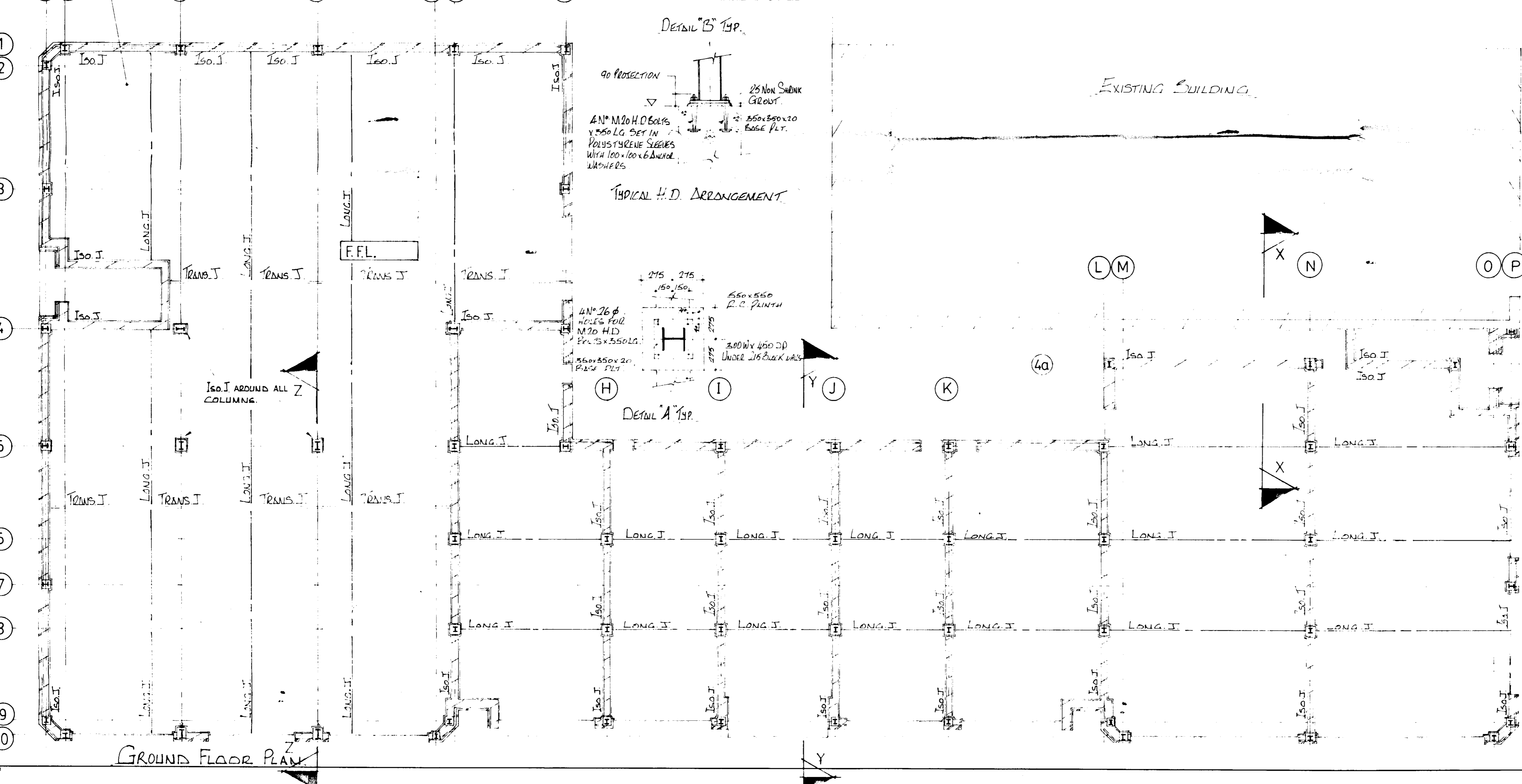
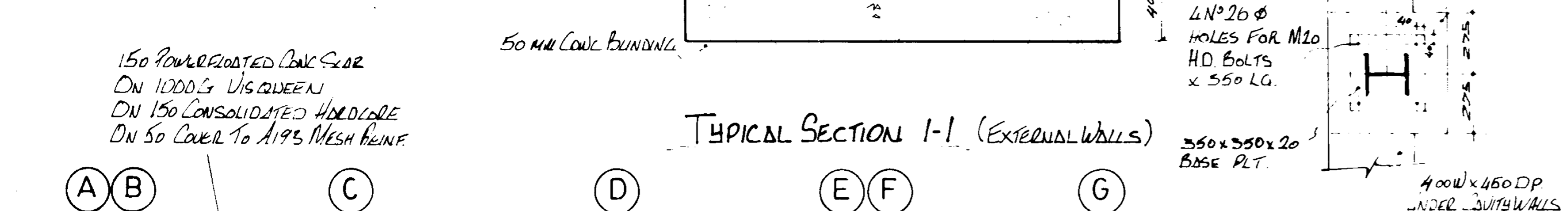
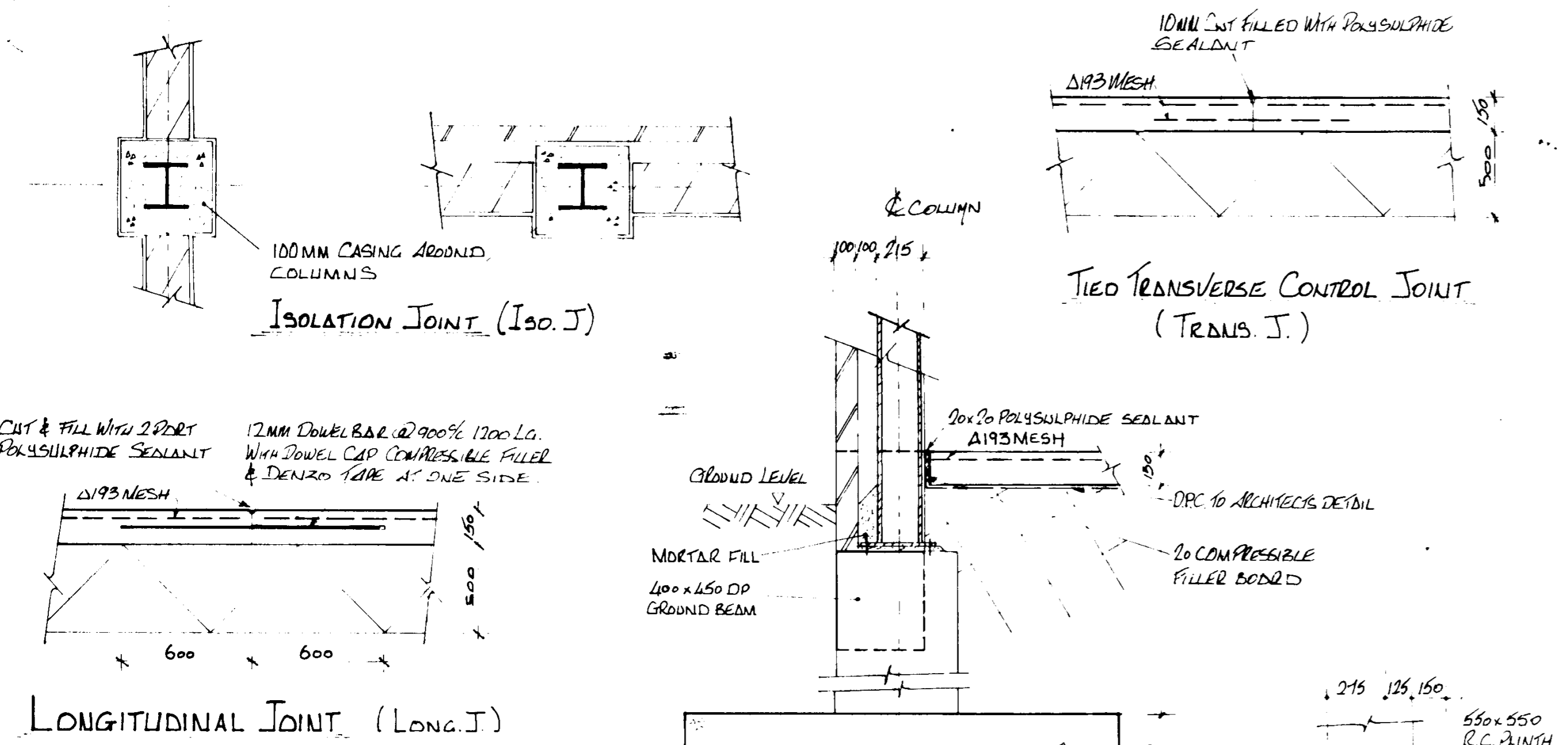
WEST ELEVATION - Unit 2

EAST ELEVATION - Unit 2

WEST ELEVATION - SERVICE YARD

DUBLIN COUNTY COUNCIL
 Planning and Development
 APPLICATION NO. 15/14/14/01
 18 SEP 1991
 REG No. 91/1/15/14

108 PALMERSTOWN RETAIL PARK
 DRAWING ELEVATIONS II
 SCALE 1:100 DATE JANUARY 1990
 LOUISBURKE ARCHITECT
 dir arch: b arch: m r: o: l: weston: g: w: k:
 Martin Studio, Terenure Park, Dublin 6



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 18 SEP 1991
 REC No. 9/11/1517

- NOTES
- 1 THIS DRG IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - 2 CONCRETE STRENGTHS :-
 - a) PADS, FINISHES & GROUND BEAMS
C 37.5/20 325 KG/M³ MIN CEMENT WATER/CEMENT RATIO = 0.55
 - b) GROUND FLOOR SLAB
C 35/20 300 KG/M³ MIN CEMENT WATER/CEMENT RATIO = 0.6
 - c) STRUCTURAL TOPPING
C 30/10 315 KG/M³ MIN CEMENT WATER/CEMENT RATIO 0.65
 - 3 COVER = 40MM
 - 4 ALL STEELWORK BELOW GROUND TO BE ENCLOSED IN 100MM MIN COLL TO BE BOUND TO BE 1:12 LEAN MIX.
 - 5 SUB-BASE UNDER GROUND FLOOR SLAB TO BE MIN 50MM OF CLEAN GRADED GRANULAR FILL (TYPE BOLL) COMPACTED IN LAYERS NOT EXCEEDING 150MM.

REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH + PARTNERS
 CONSULTING ENGINEERS

Pinewood, Bishopstown, Cork. Phone (021) 45333 Telex 75410 HLEI

58 Great Charles St. Mountjoy Sq. Dublin 1. Phone (01) 728588

Louis Burke, Architect, Mantua Studio, Templeogue Bridge, Dublin 6W.

JOB TITLE
 Palmerstown Retail Park.

DRG TITLE
 Ground Floor G.A. Slab layout.

Scales 1:100, 1:20 Drawn AR.
 Date JUNE '91 Checked
 DRAWING NUMBER BH. '91/02 Ri

1000m-N

900m-N

800m-N

1000m-E

1100m-E

1200m-E

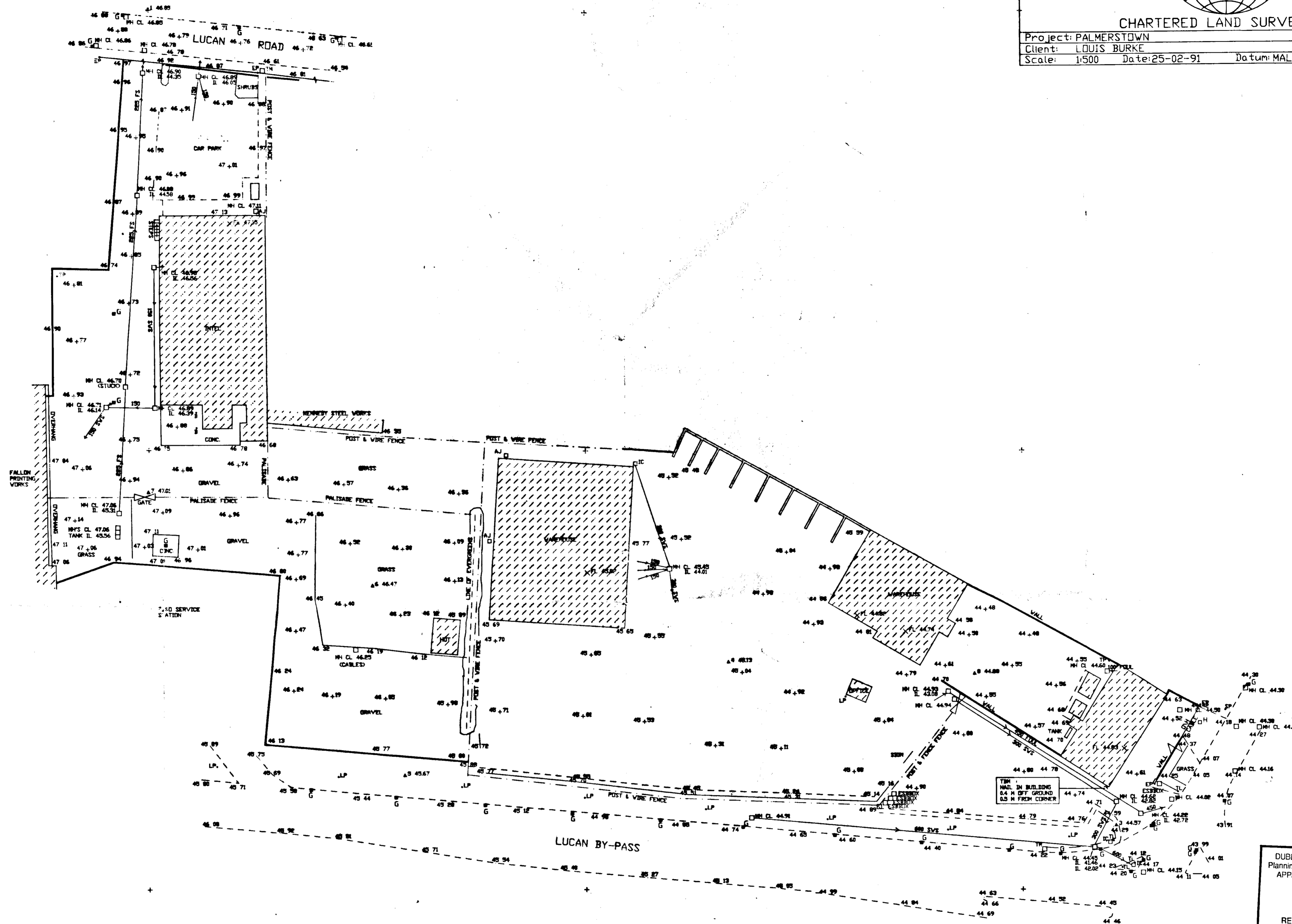
LAND ENGINEERING,
BUILDING AND
AERIAL
SURVEYORS



RATHFEIGH, TARA,
CO. MEATH.
Tel: 041/25386
Fax: 041/25624

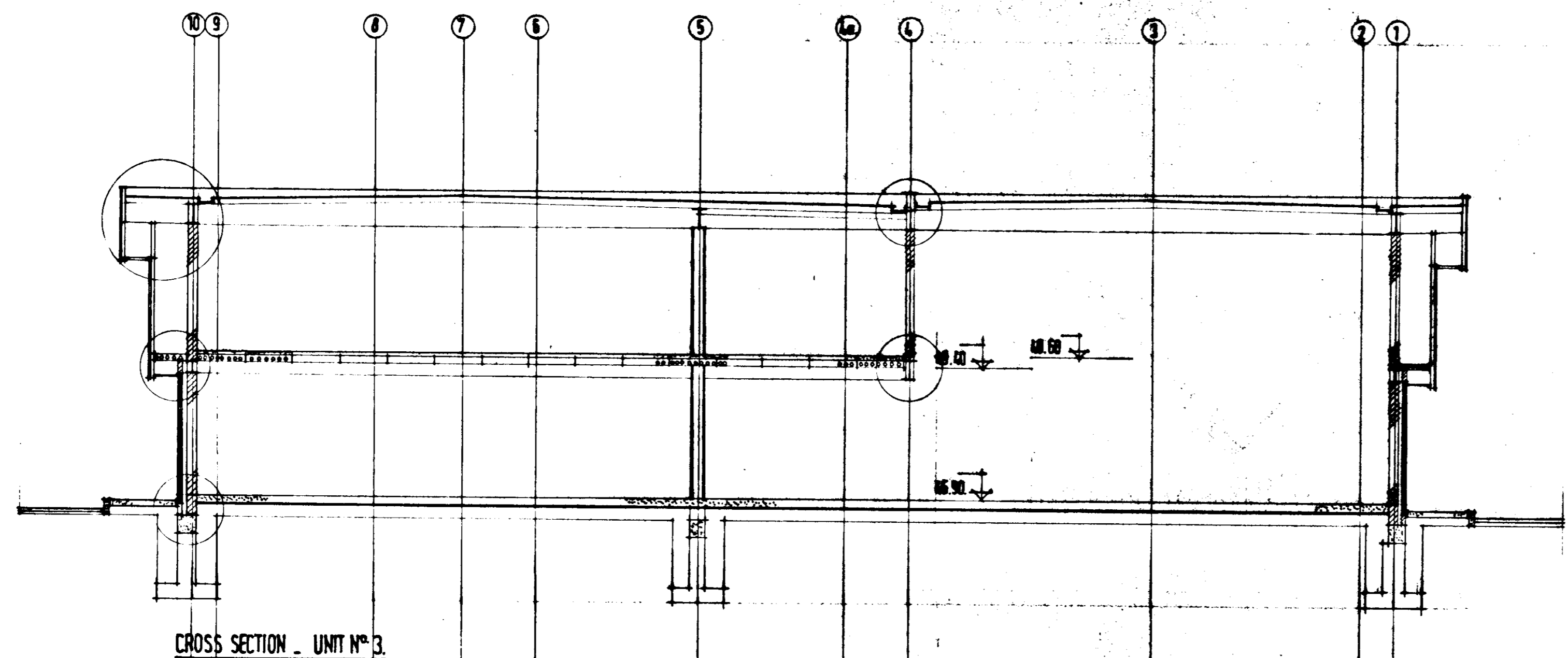
CHARTERED LAND SURVEYORS

Project: PALMERSTOWN	Computed by: DM
Client: LOUIS BURKE	Scale: 1:500
Date: 25-02-91	Datum: MALIN HD.
Sheet: 01	

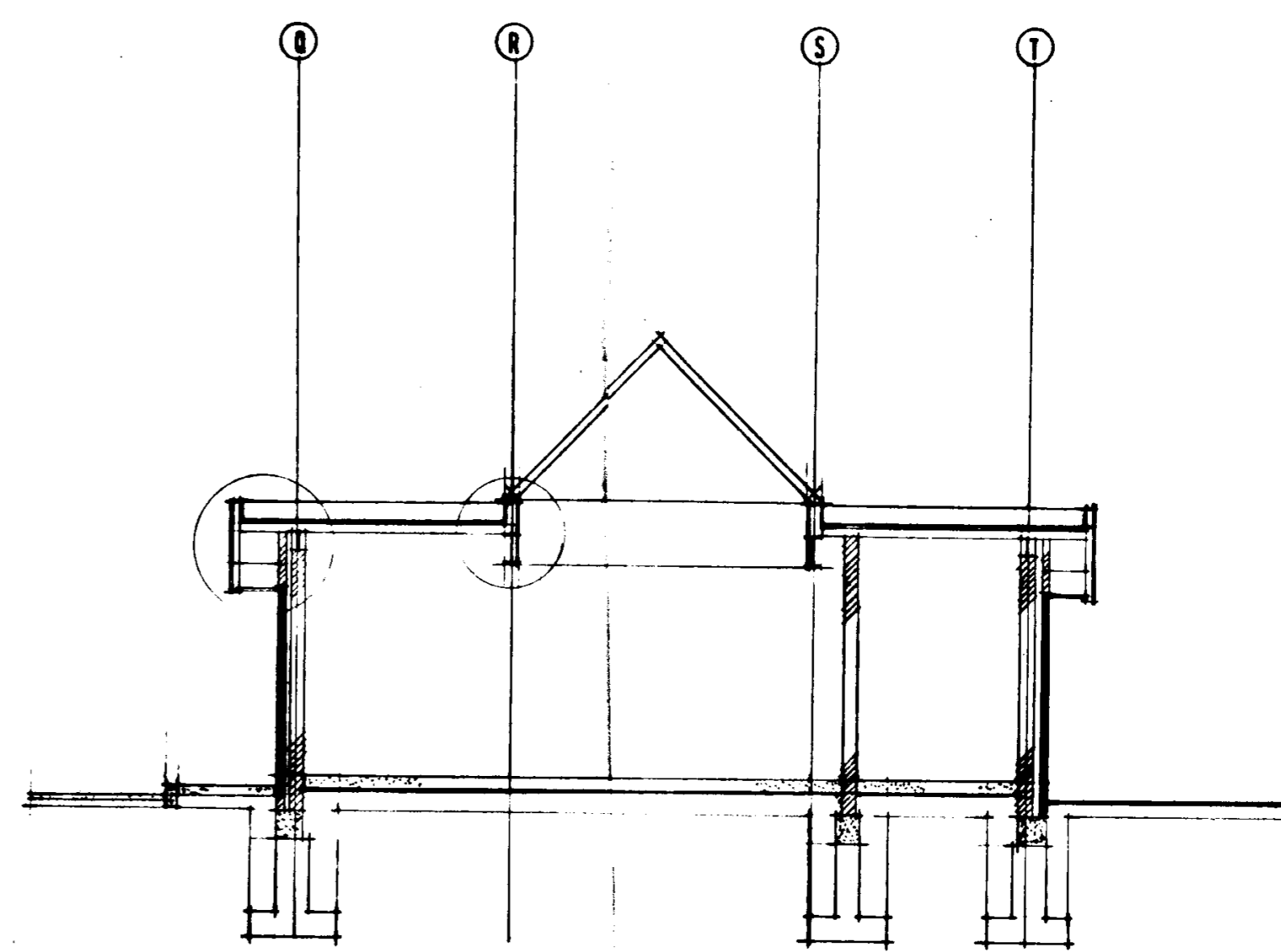


DUBLIN COUNTY COUNCIL
Planning Dept. Register Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/1517

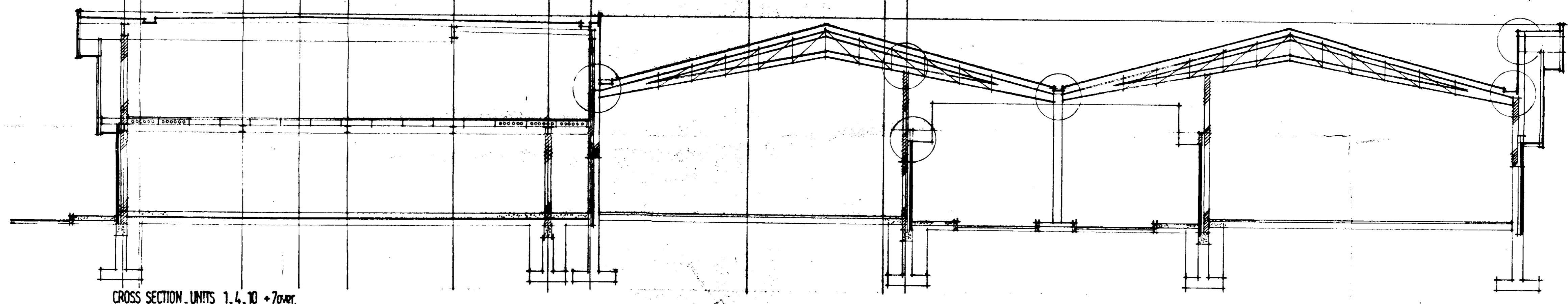
LOUIS BURKE dip.arch.b.arch.sc.urpl.mdsi ARCHITECT
MANTUA STUDIO - TEMPLEBOGUE BRIDGE - DUBLIN 6W
TEL: 901832 / 904121 FAX: 901271



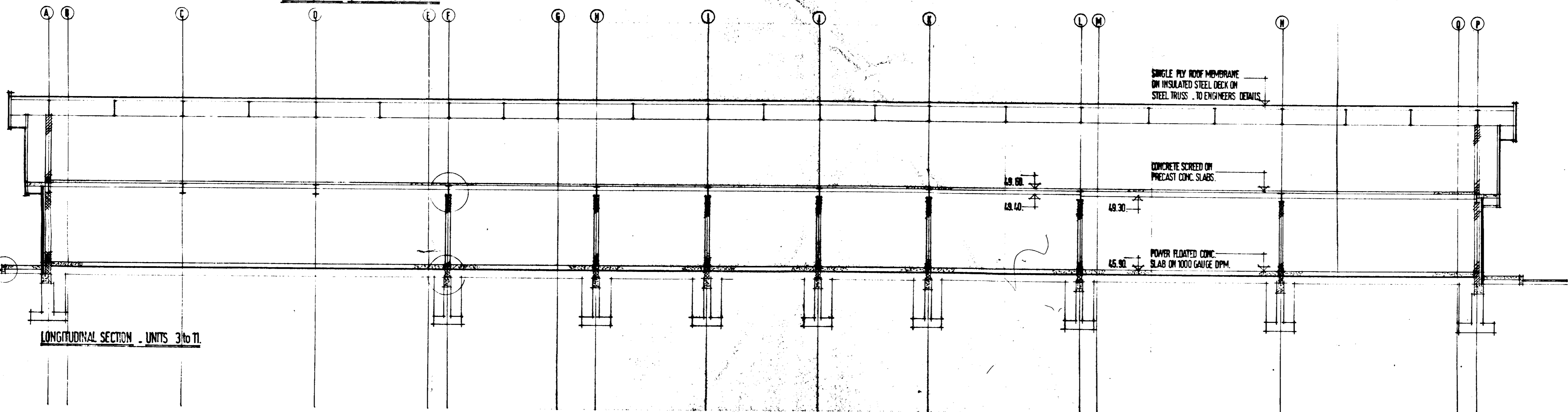
CROSS SECTION - UNIT N° 3



CROSS SECTION - UNIT N° 2



CROSS SECTION - UNITS 1, 4, 10 + 7over



LONGITUDINAL SECTION - UNITS 3 to 11

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 11 OCT 1991
 REG No. 11/1571

REVISION	DATE	ISSUE

JOB PALMERSTOWN RETAIL PARK

DRAWING SECTIONS

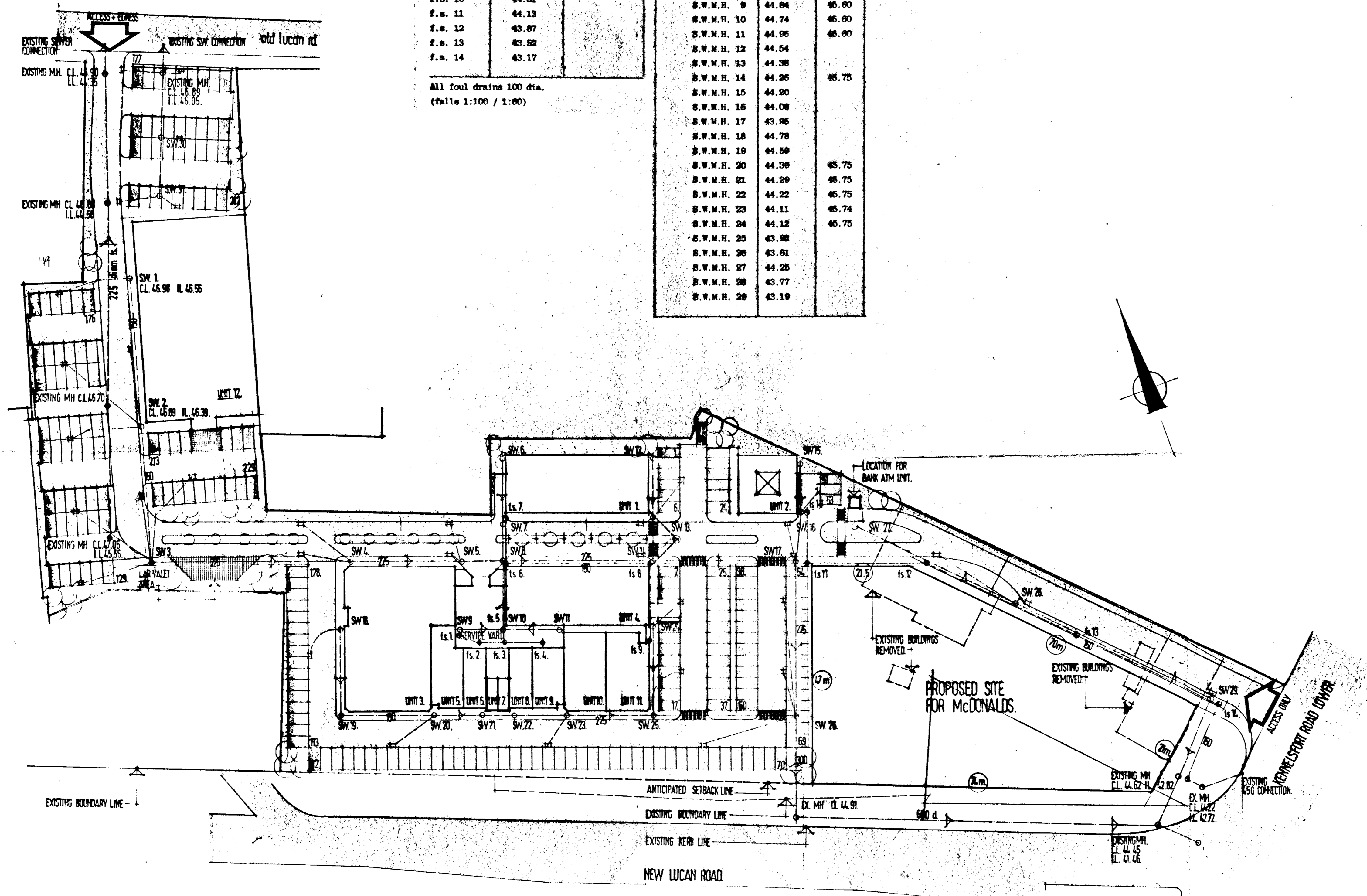
SCALE	DATE	DRG NO.	ISSUE
1:100	OCTOBER 1991	98.28.1a	1

LOUIS BURKE
 ARCHITECTS - INTERIOR DESIGNERS

RIA
 MANTUA STUDIO - TEMPLEogue BRIDGE - DUBLIN 9W
 TEL. 90182 - 904121 - FAX 901271

FOUL DRAINAGE LEVELS			SEWAGE WATER DRAINAGE LEVELS		
S.N. NO.	I.L.	C.L.	S.N. NO.	I.L.	C.L.
f.s. 1	45.20	45.80	Ex'g. S.W.M.H. 1	45.98	45.56
f.s. 2	45.12	45.60	Ex'g. S.W.M.H. 2	46.39	46.89
f.s. 3	45.07	45.60	S.W.M.H. 3	45.64	
f.s. 4	45.20	45.60	S.W.M.H. 4	44.82	45.75
f.s. 5	44.92	45.60	S.W.M.H. 5	44.68	45.60
f.s. 6	44.79	45.67	S.W.M.H. 6	44.87	
f.s. 7	44.86	45.67	S.W.M.H. 7	44.69	
f.s. 8	44.47	45.67	S.W.M.H. 8	44.59	45.60
f.s. 9	44.75	45.67	S.W.M.H. 9	44.84	45.60
f.s. 10	44.32		S.W.M.H. 10	44.74	45.60
f.s. 11	44.13		S.W.M.H. 11	44.96	45.60
f.s. 12	43.87		S.W.M.H. 12	44.54	
f.s. 13	43.52		S.W.M.H. 13	44.38	
f.s. 14	43.17		S.W.M.H. 14	44.26	45.75
			S.W.M.H. 15	44.20	
			S.W.M.H. 16	44.08	
			S.W.M.H. 17	43.86	
			S.W.M.H. 18	44.78	
			S.W.M.H. 19	44.59	
			S.W.M.H. 20	44.39	45.75
			S.W.M.H. 21	44.29	45.75
			S.W.M.H. 22	44.22	45.75
			S.W.M.H. 23	44.11	45.74
			S.W.M.H. 24	44.12	45.75
			S.W.M.H. 25	43.92	
			S.W.M.H. 26	43.61	
			S.W.M.H. 27	44.25	
			S.W.M.H. 28	43.77	
			S.W.M.H. 29	43.19	

All foul drains 100 dia.
(falls 1:100 / 1:60)



NOTES

Unit 1 :	360 sq.m.
Unit 2 :	144 sq.m.
Unit 3 :	605 sq.m.
Unit 4 :	360 sq.m.
Unit 5 :	97 sq.m.
Unit 6 :	58 sq.m.
Unit 7 :	1022 sq.m.
Unit 8 :	58 sq.m.
Unit 9 :	77 sq.m.
Unit 10 :	147 sq.m.
Unit 11 :	138 sq.m.

3066 sq.m.

Car parking requirement.

5 spaces per 100 sq.m. = 153

Commerce at 1 per 557 sq.m = 6

Existing unit No.12
1600 sq.m in office use
4 spaces per 100 sq.m = 64

Operational requirement
at 1 per 372 sq.m = 4

Total number of spaces
required for existing
unit 12 and proposed
development = 227

Number of spaces
provided = 229

DUBLIN COUNTY COUNCIL
Planning & Property Section
APPLICANT: [REDACTED]
11 OCT 1991
REG No. [REDACTED]

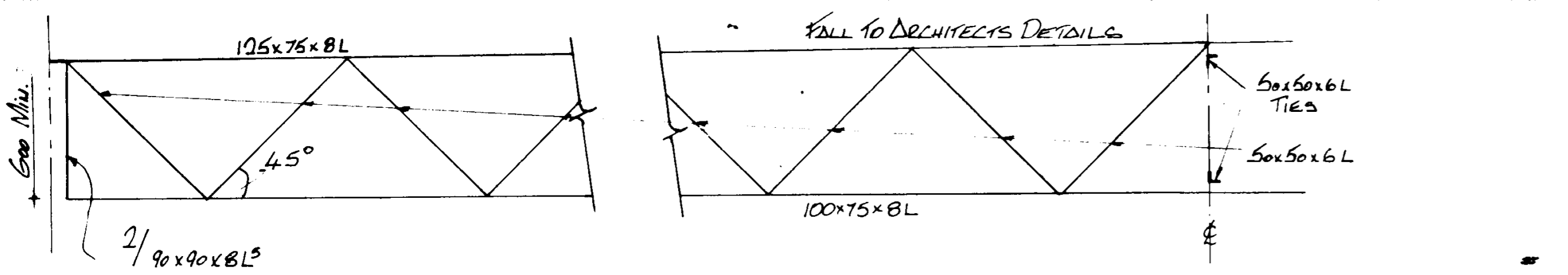
LEVELS ADDED	OCT 1991	D
REDRAWN	JUNE 1991	C
ARM UNIT LOCATED	APRIL 1991	B
REVISION:	DATE:	USER:

PALMERSTOWN RETAIL PARK

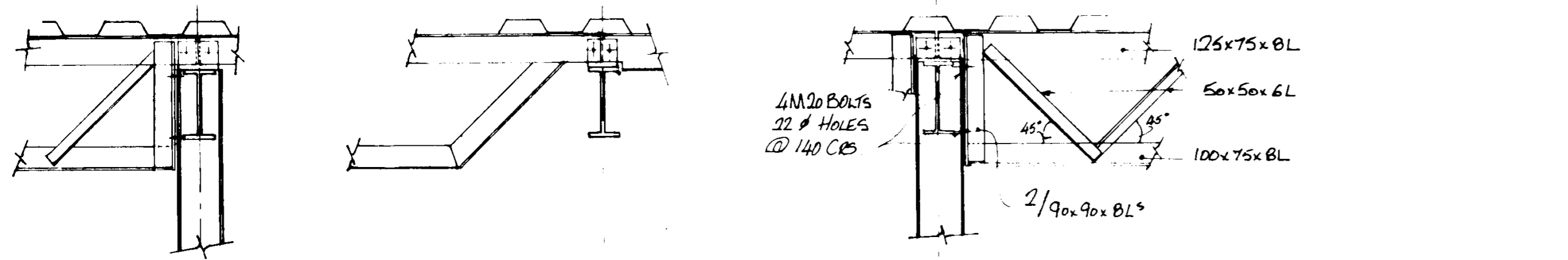
SITE BLOCK PLAN.

SCALE	DATE	PROJECT	USER
1:500	JANUARY 1991	90.28.11	A

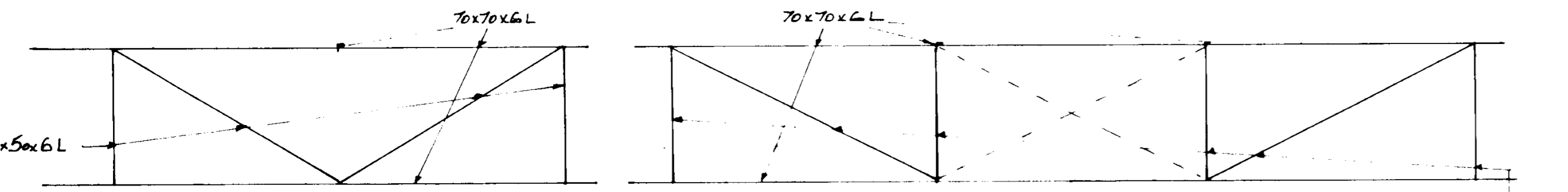
LOUISBURKE ARCHITECT
dip arch - b arch sc - m r i o i telephone 908830
Marina Studio, Templeogue Bridge, Dublin 6



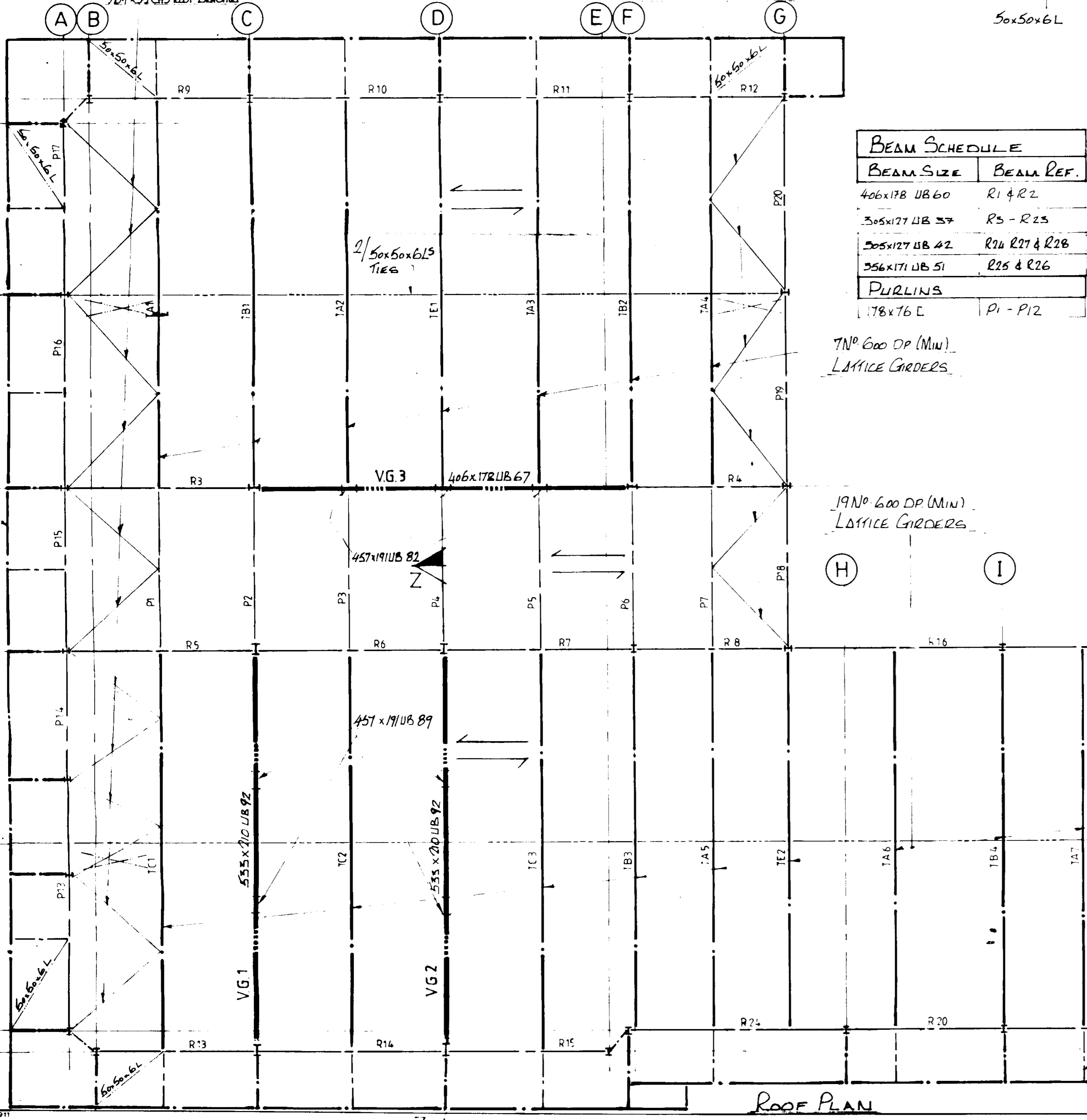
LATTICE GIRDERS



TYPICAL CONNECTION DETAILS



FASCIA TRUSS ELEVATIONS

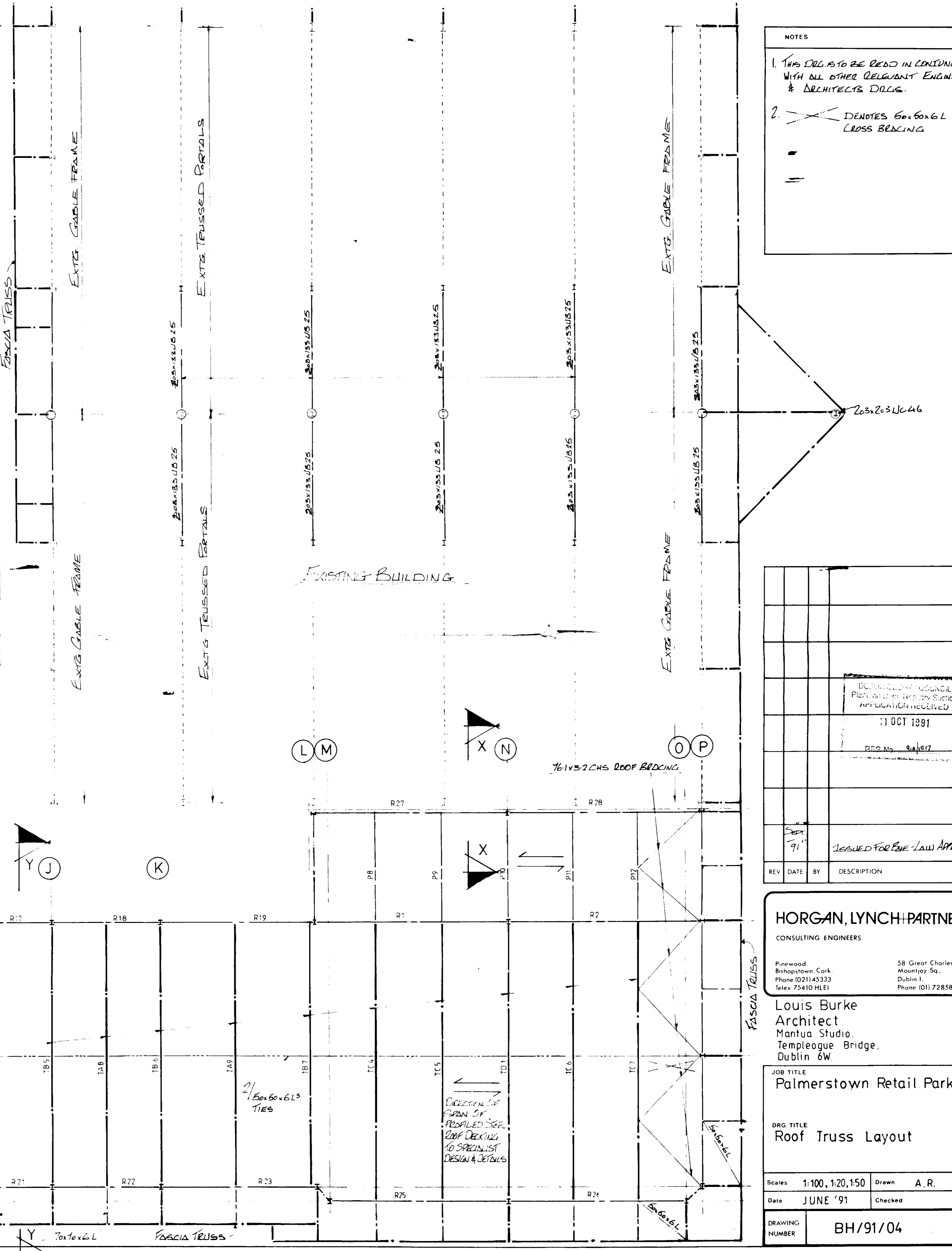


BEAM SCHEDULE	
BEAM SIZE	BEAM REF.
406x178 UB 60	R1 & R2
305x127 UB 37	R3 - R23
305x127 UB 42	R24, R27 & R28
356x171 UB 51	R25 & R26
PURLINS	
178x76 L	P1 - P12

7N° 600 DP (MIN)
LATTICE GIRDERS

19N° 600 DP (MIN)
LATTICE GIRDERS

ROOF PLAN



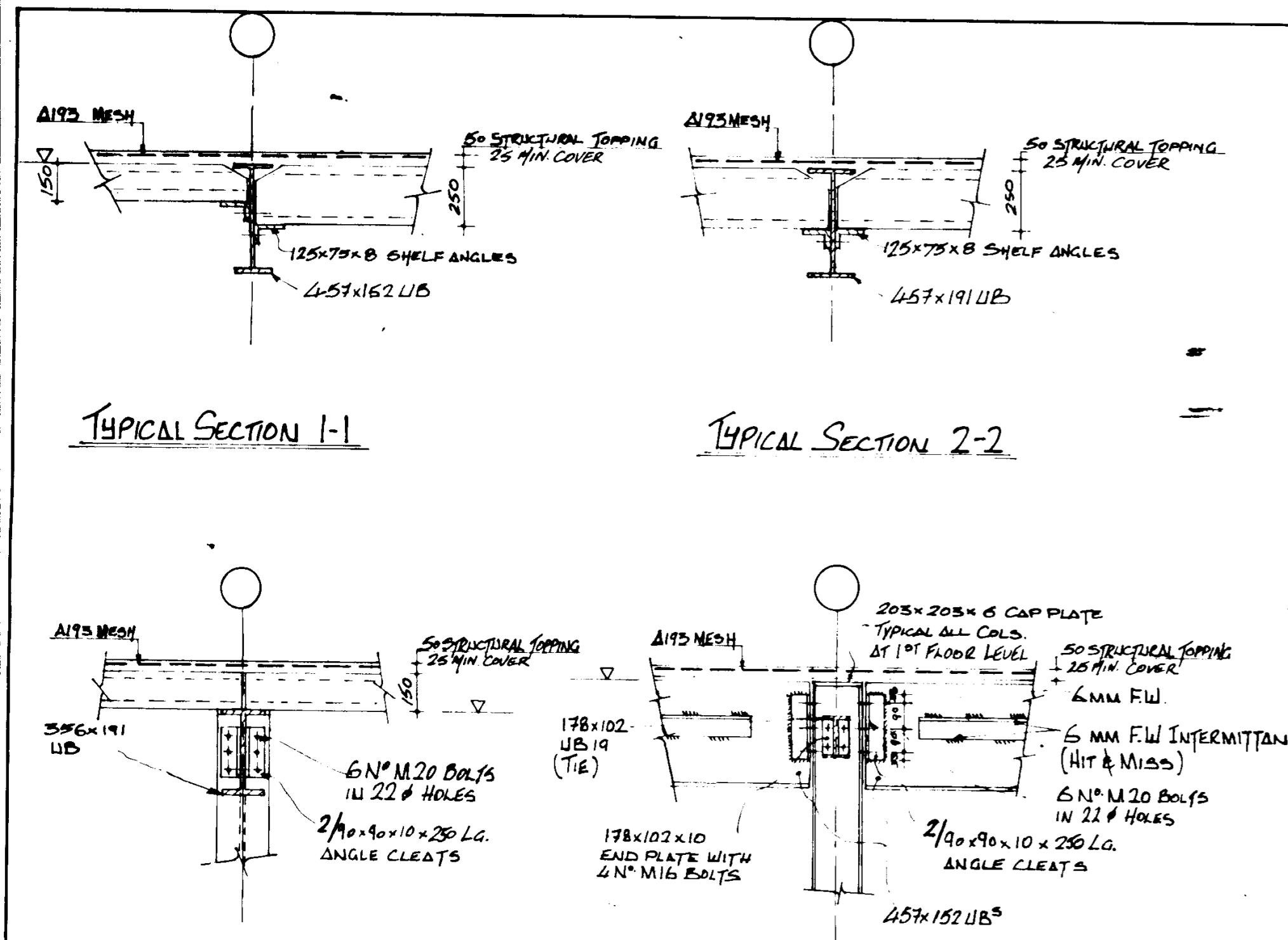
- NOTES
- THIS DRG. IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - DENOTES 60x60x6L CROSS BRACING

DUBLIN CITY COUNCIL Planning & Regulatory Section APPLICATION RECEIVED 11 OCT 1991 REG. NO. 91/617			
ISSUED FOR P&E - LAW APPROVAL			
REV	DATE	BY	DESCRIPTION

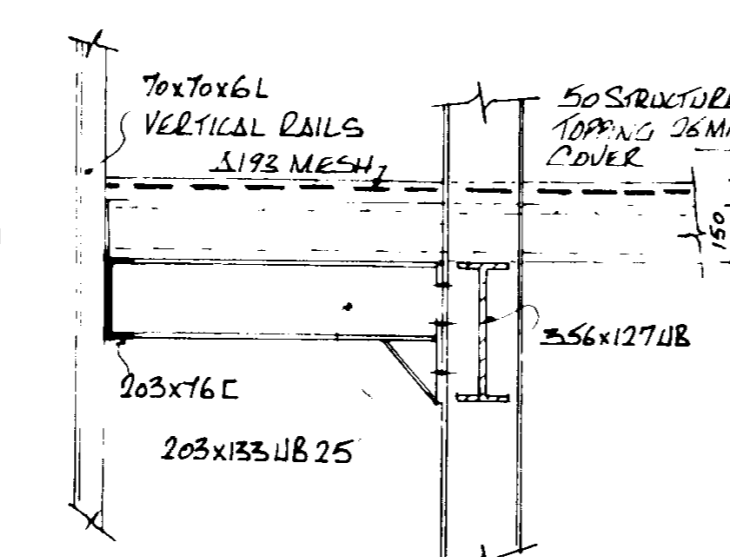
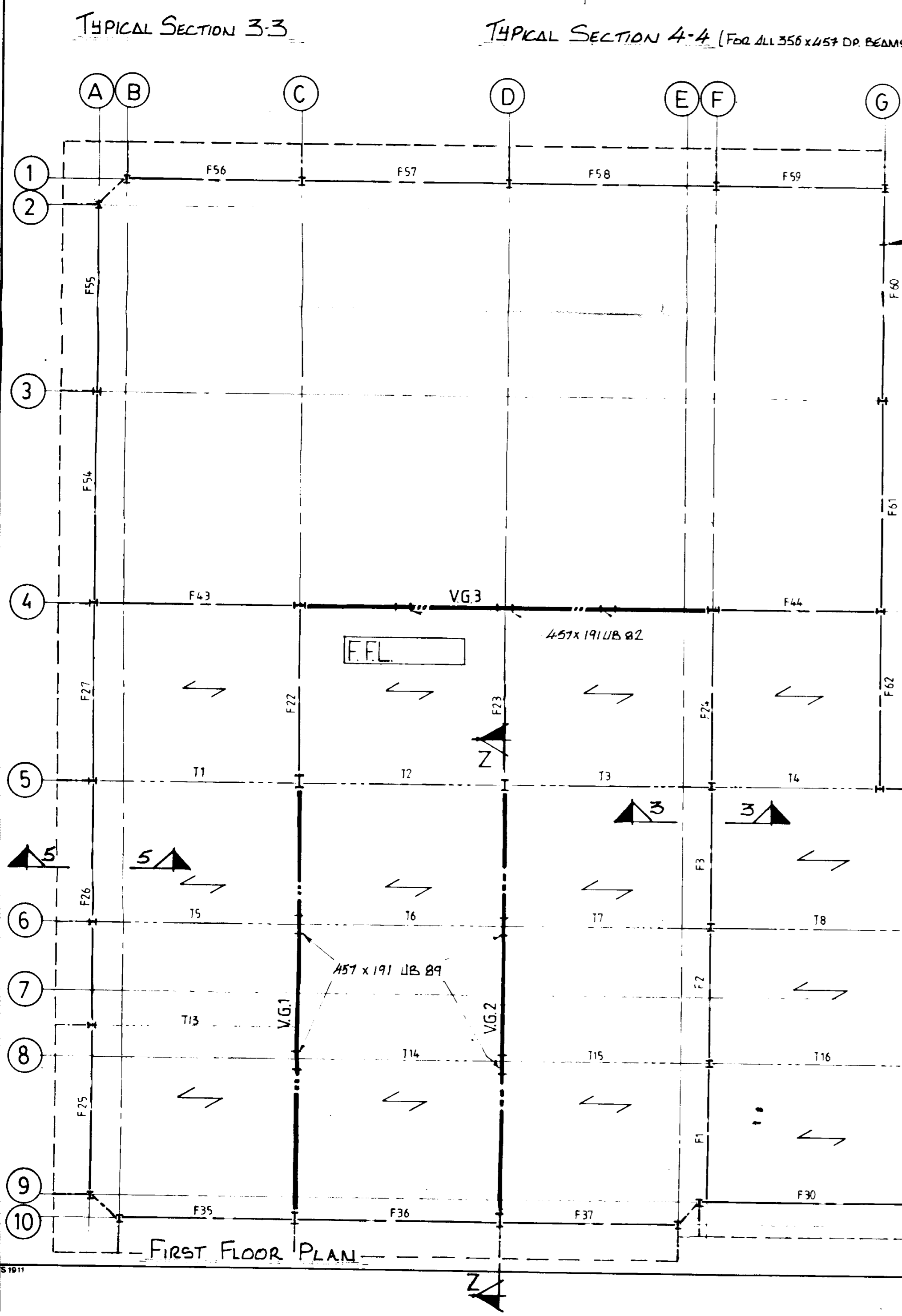
HORGAN, LYNCH PARTNERS
CONSULTING ENGINEERS
Pinewood, Bishopscourt, Cork
Phone (021) 45333
Telex 75410 HLEI
58 Great Charles St.
Mountjoy Sq.
Dublin 1.
Phone (01) 728588

Louis Burke
Architect
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

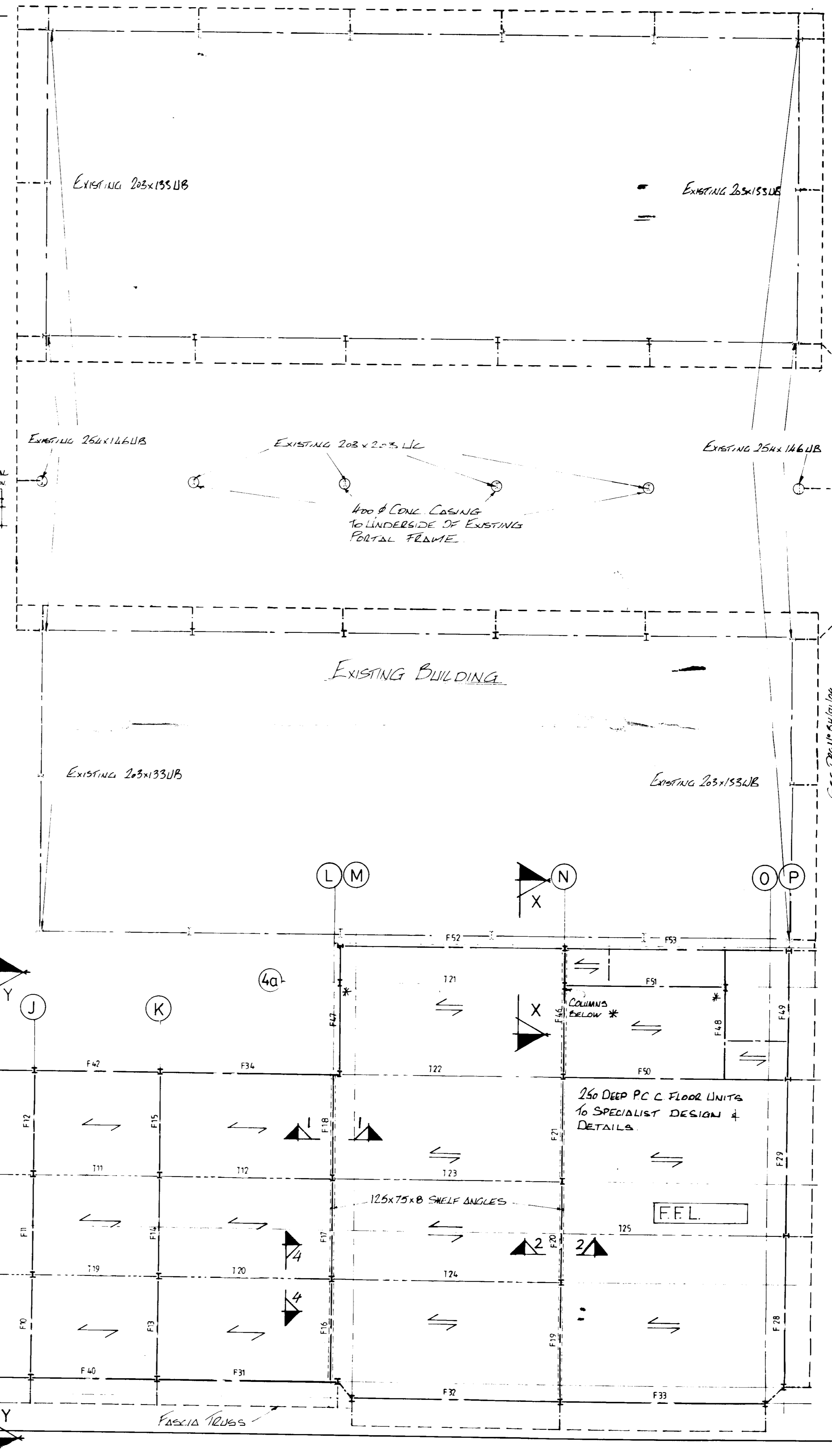
JOB TITLE
Palmerstown Retail Park.
DRG. TITLE
Roof Truss Layout
Scales: 1:100, 1:20, 1:50 Drawn: A.R.
Date: JUNE '91 Checked:
DRAWING NUMBER: BH/91/04 REV:



BEAM SCHEDULE	
BEAM SIZE	BEAM REF.
356x171 UB 45	F1 - F15, F47, F49, F51, F55 & F62
457x152 UB 60 + 2/125x75x8 L*	F16, F17, F18, F46
457x191 UB 82 + 2/125x75x8 L*	F19, F20, F21
356x171 UB 67	F22, F23, F24, F50, VG 3
356x171 UB 51	F25 - F27
356x171 UB 45	F30 - F34
356x127 UB 35	F34 - F41, F35 - F44
457x152 UB 74	F28, F29, F45
356x368 UC 153	VG1 & VG2
152x89 UB 16	T1 - T20 (TIES)
178x102 UB 19	T21 - T25 (TIES)



COLUMNS	
COL. SIZE	COL. REF.
305 x 305 UC 97	C5, C10, D5, D10,
254 x 254 UC 75	CA, FA
203 x 203 UC 52	N10
205 x 205 UC 46	ALL OTHER COLUMNS
152 x 152 UC 37	F6, G6, H6, I6, J6, K6, L6, F8, G8, H8, I8, J8, K8,



- NOTES
- THIS DRG IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - ALL STEEL TO BE GRADE 43 TO BS 4360 OR APPROVED EQVTL
 - ALL BOLTS TO BE GRADE 8.8 TO BS 916
 - ALL STEELWORK TO BE SHOT BLAST CLEANED TO SA 2 1/2 & RECEIVE TWO COATS OF HIGH BUILD ZINC PHOSPHATE PRIMER AT WORKS (MIN. D.F.T = 100 µm)
ALL DAMAGED AREAS OF WORKS APPLIED PAINT TO BE TOUCHED UP ON SITE.
ALL STEELWORK SURFACES EXPOSED TO CAVITIES AND/OR BUILT INTO INNER SKIN OF EXTERNAL CAVITY WALL TO BE PAINTED WITH TWO COATS OF BITUMINOUS PAINT ON SITE (MIN D.F.T = 100 µm) IN ADDITION TO ABOVE PRIMER.
 - ALL STEELWORK SHOP DRGS. TO BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
 - CALCS / DETAILS FOR PROFILES STEEL ROOF DECKING TO BE SUBMITTED BY SPECIALIST SUPPLIER TO ENGINEER FOR APPROVAL.
 - CALCS / DETAILS FOR P.C.C. FLOOR UNITS TO BE SUBMITTED BY SPECIALIST SUPPLIER TO ENGINEER FOR APPROVAL.

REG. NO. 91/167

ISSUED FOR BYE-LAW APPROVAL

REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH PARTNERS
 CONSULTING ENGINEERS

Pinewood, Bishopstown, Cork. Phone (021) 45333 Telex 75410 HLEI

58 Great Charles St., Mountjoy Sq., Dublin 1. Phone (01) 728588

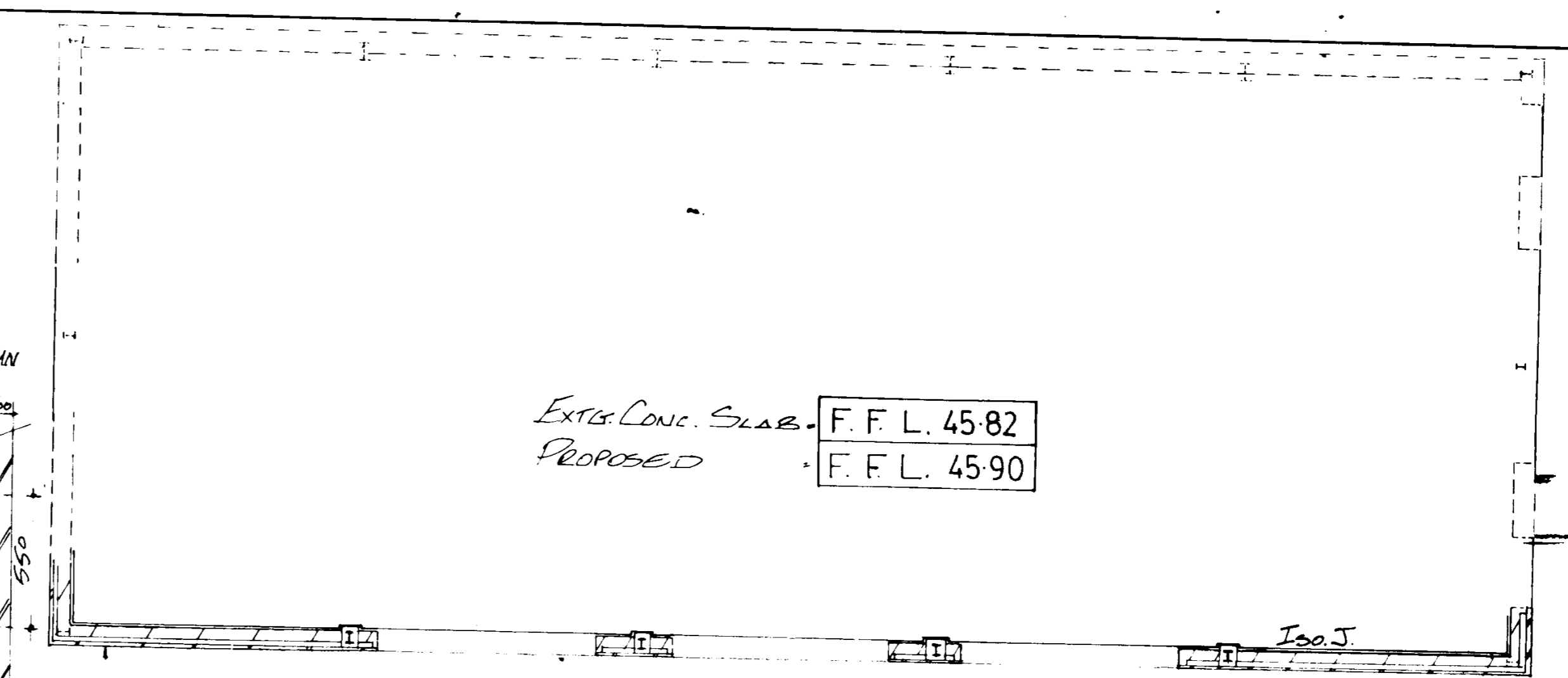
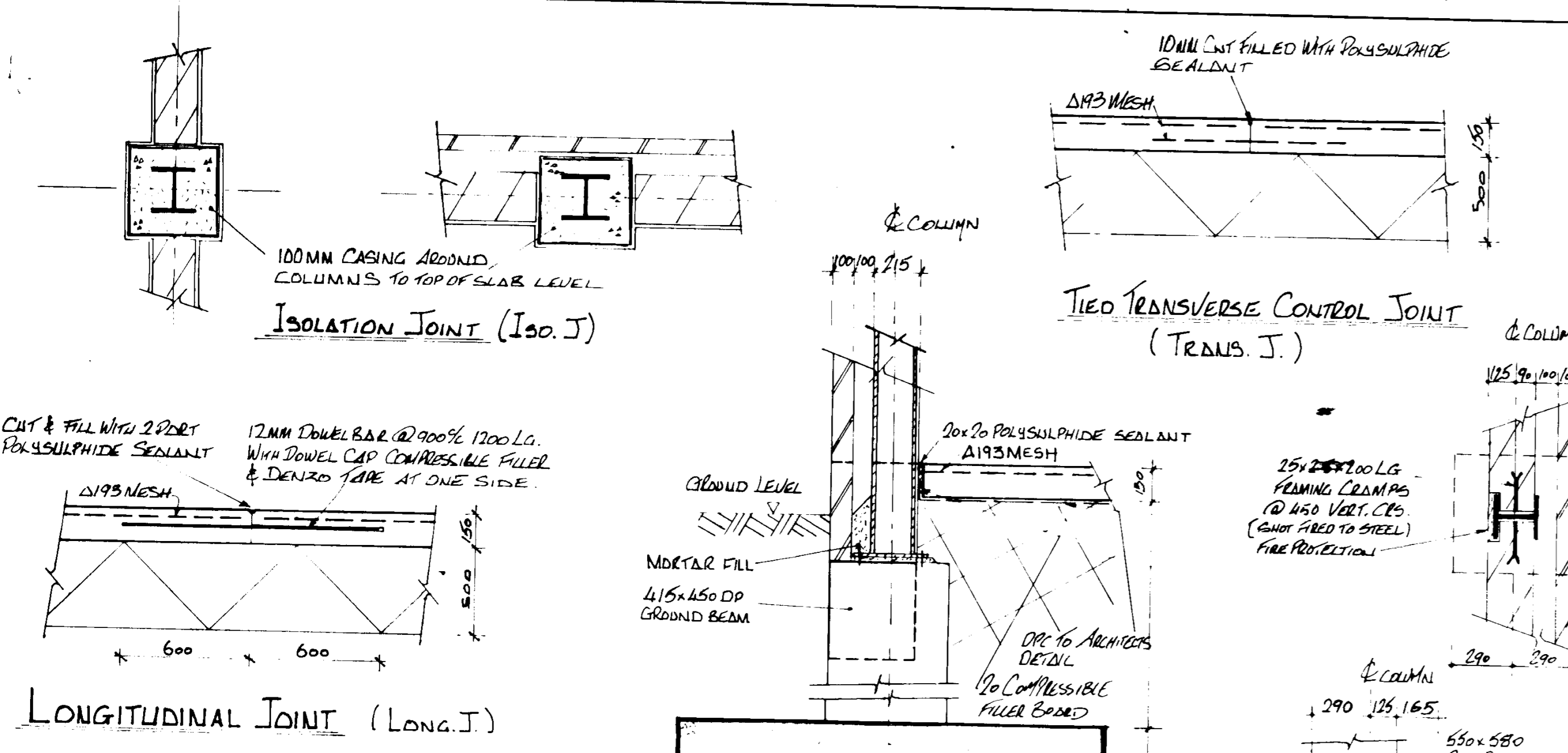
Louis Burke, Architect, Mantua Studio, Templeogue Bridge, Dublin 6W.

JOB TITLE
Palmerstown Retail Park.

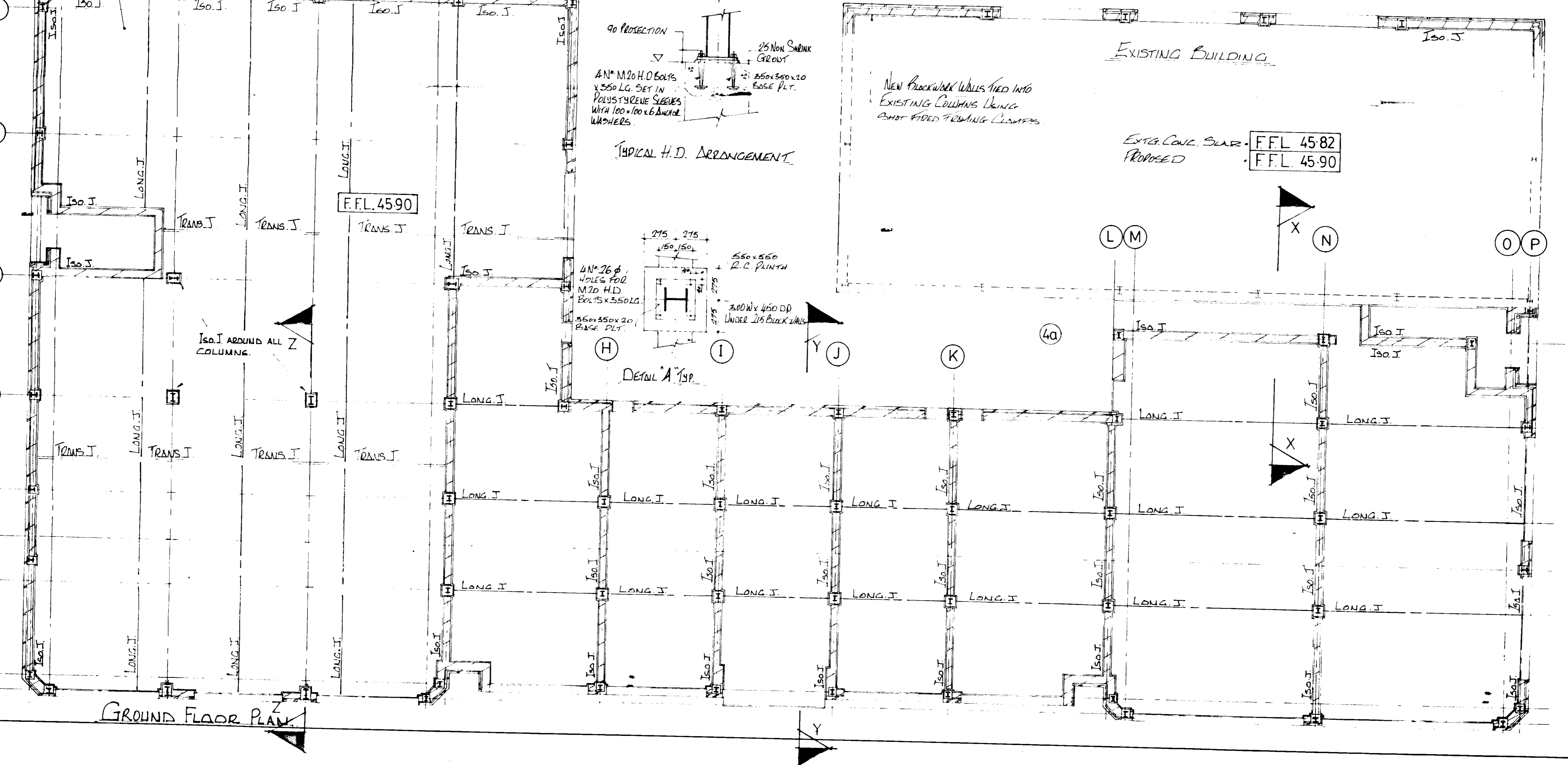
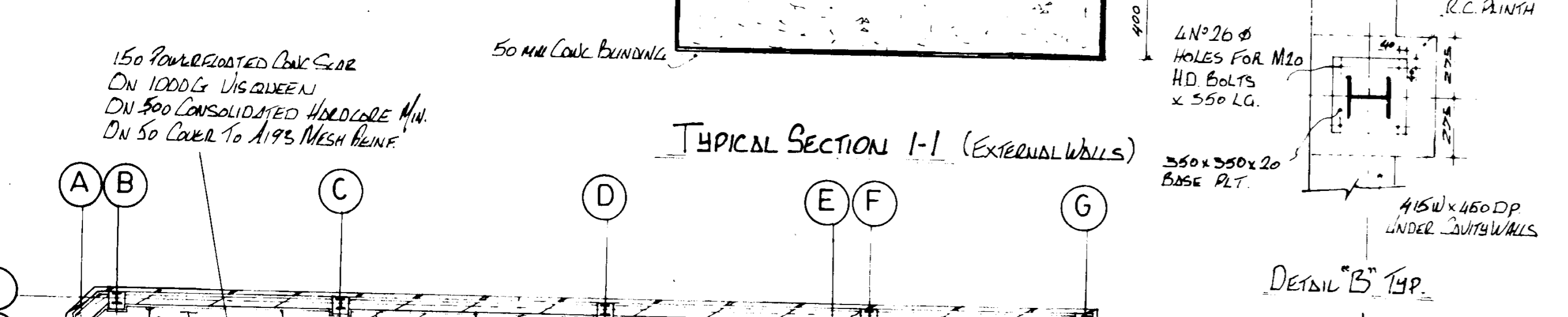
DRG. TITLE
First Floor G.A. Slab Layout.

Scales 1:100 1:20 Drawn A.R.
Date JUNE '91 Checked

DRAWING NUMBER BH/91/03 REV



- NOTES**
- THIS DRG IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - CONCRETE STRENGTHS:-
 a) PADS, PRINTS & GROUND BEAMS
 C 37.5/10 325 KG/M³ MIN. CEMENT WATER/CEMENT RATIO = 0.55
 b) GROUND FLOOR SLAB
 C 35/10 300 KG/M³ MIN. CEMENT WATER/CEMENT RATIO = 0.6
 c) STRUCTURAL TOPPING
 C 30/10 315 KG/M³ MIN. CEMENT WATER/CEMENT RATIO 0.65
 - COVER = 40 MM
 - ALL STEELWORK BELOW GROUND TO BE ENCASED IN 100MM MIN. CONC.
 - BLINDING TO BE 1:12 LEAN MIN.
 - SUB. BASE UNDER GROUND FLOOR SLAB TO BE MIN 500MM DF CLEAN GRADED GRANULAR FILL (TYPE B4) COMPACTED IN LAYERS NOT EXCEEDING 150MM.



REV	DATE	BY	DESCRIPTION
91			ISSUED FOR BIE-LWS APPROVAL

HORGAN, LYNCH PARTNERS
 CONSULTING ENGINEERS

Pinewood, Bishopstown, Cork. Phone (021) 453333 Telex 75410 HLEI

58 Great Charles St. Mountjoy Sq. Dublin 1. Phone (01) 728588

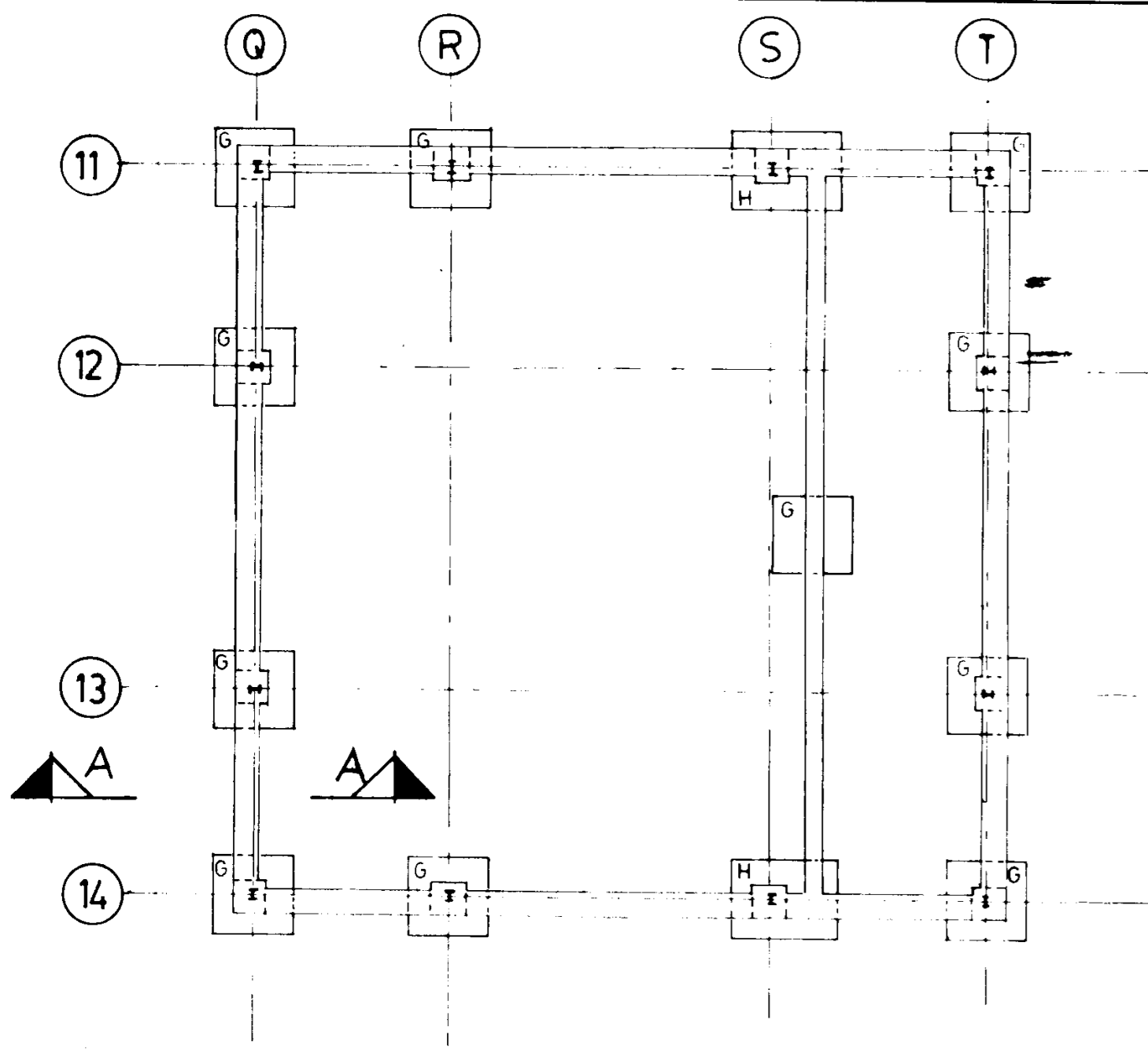
Louis Burke, Architect, Mantua Studio, Templeogue Bridge, Dublin 6W.

JOB TITLE: Palmerstown Retail Park.

DRG TITLE: Ground Floor G.A. Slab Layout.

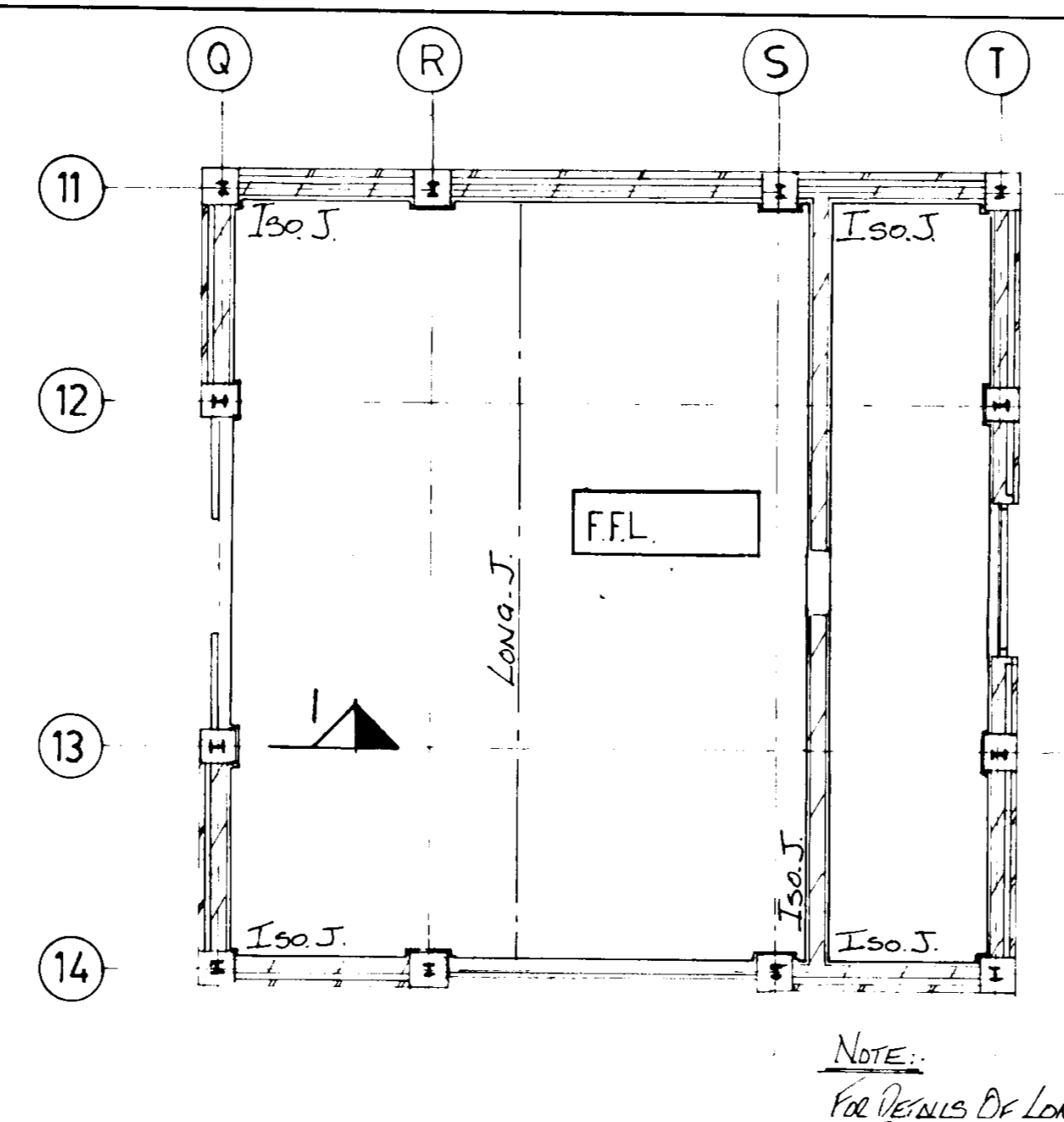
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DRAWING NUMBER: BH/91/02. REV: []



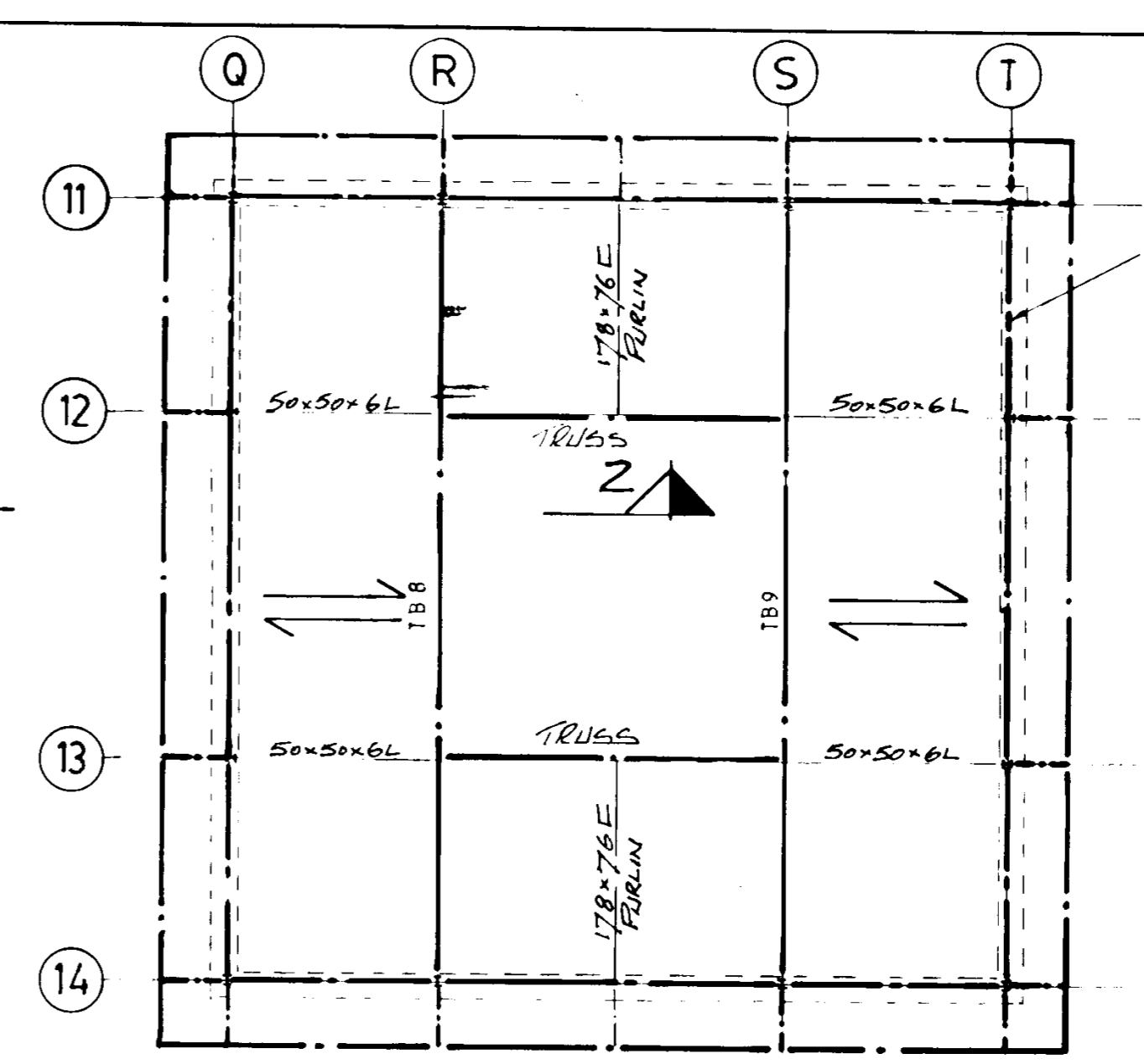
FOUNDATION PLAN

RC PADS.	
GRID TYPE	GRID SIZE
G	1500x1500x400 Dp
H	1500x1800x400 Dp

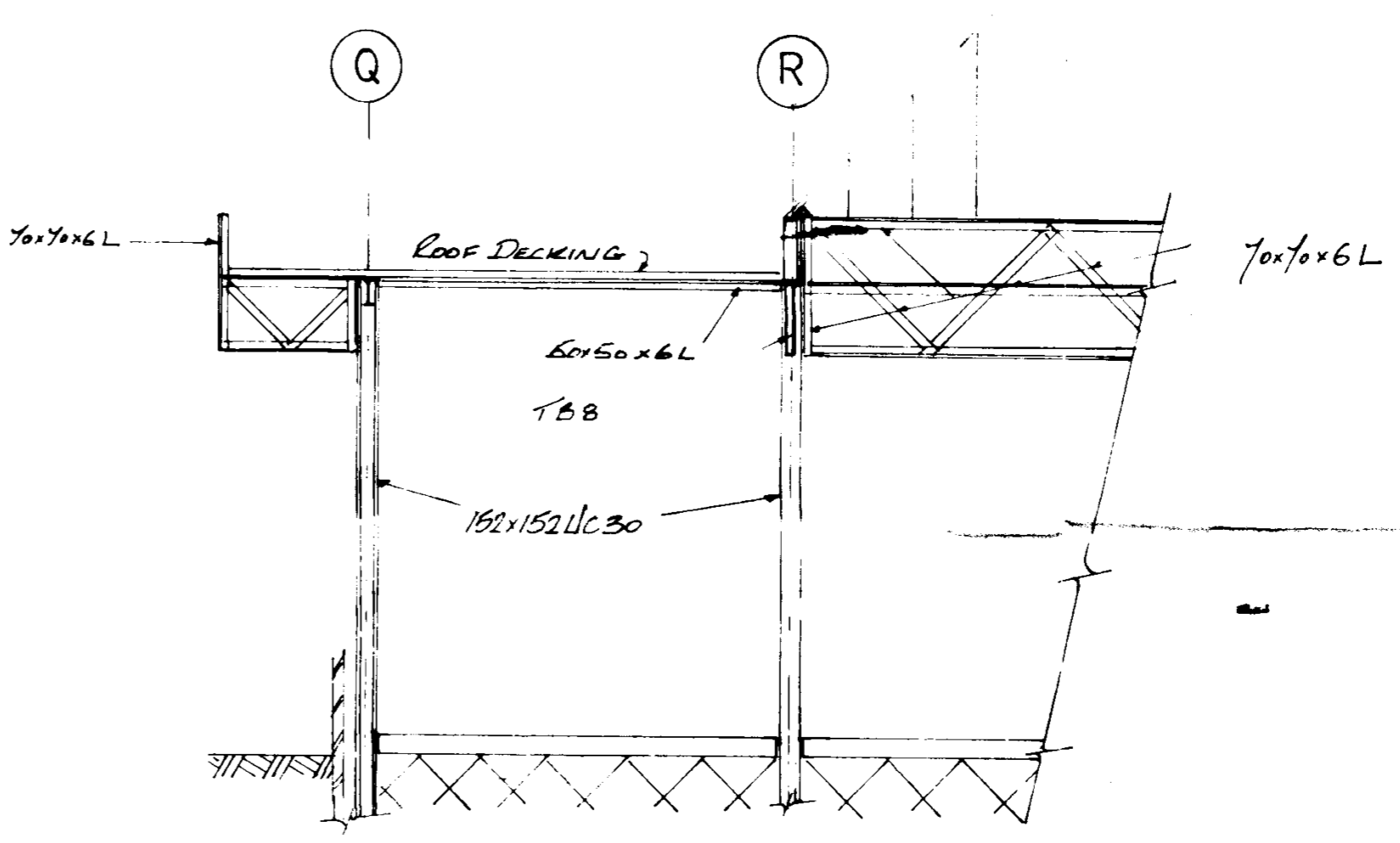


GROUND FLOOR SLAB

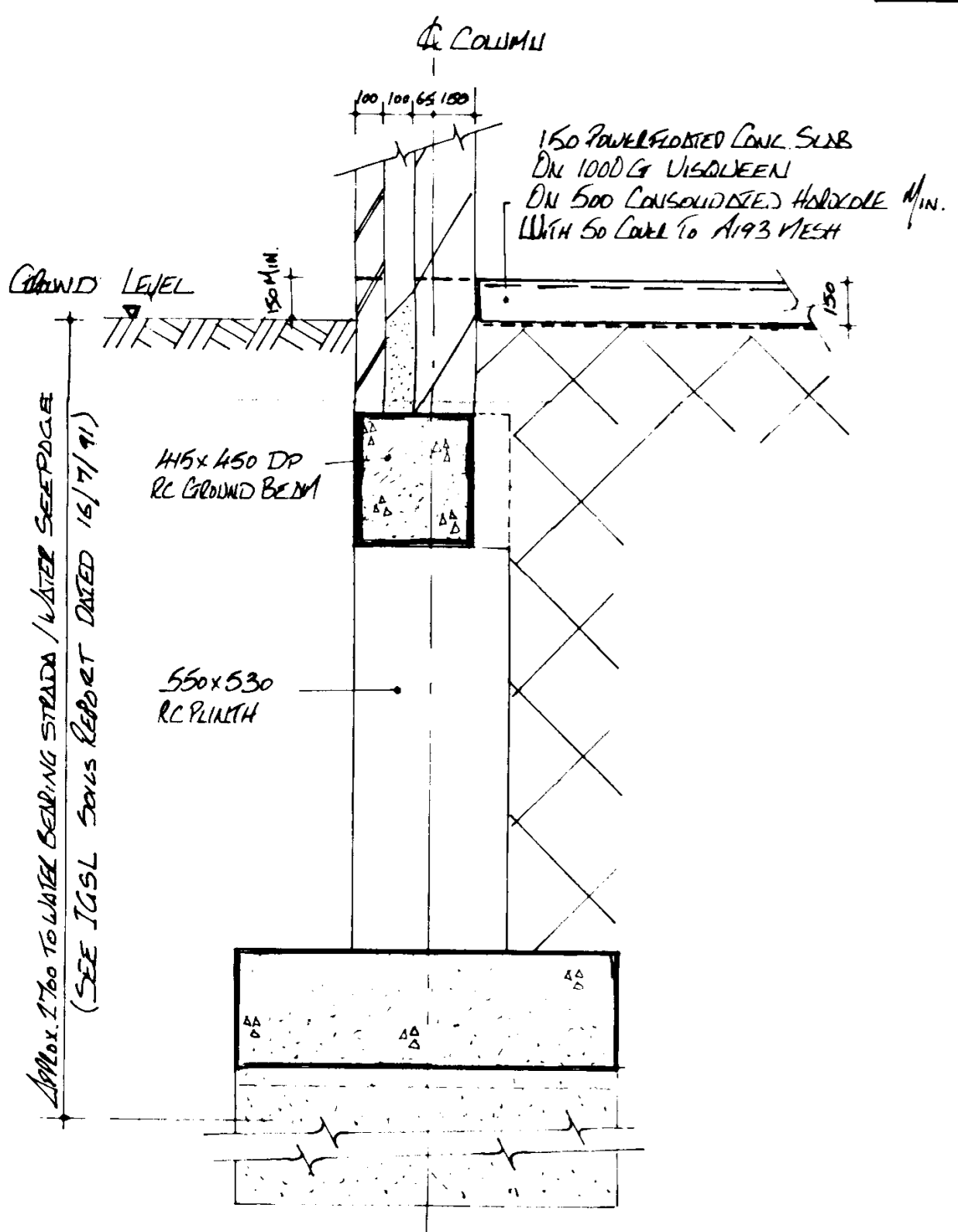
NOTE:
FOR DETAILS OF LONGITUDINAL
& ISOLATION JOINTS
SEE SPEC. NO. BH/91/02



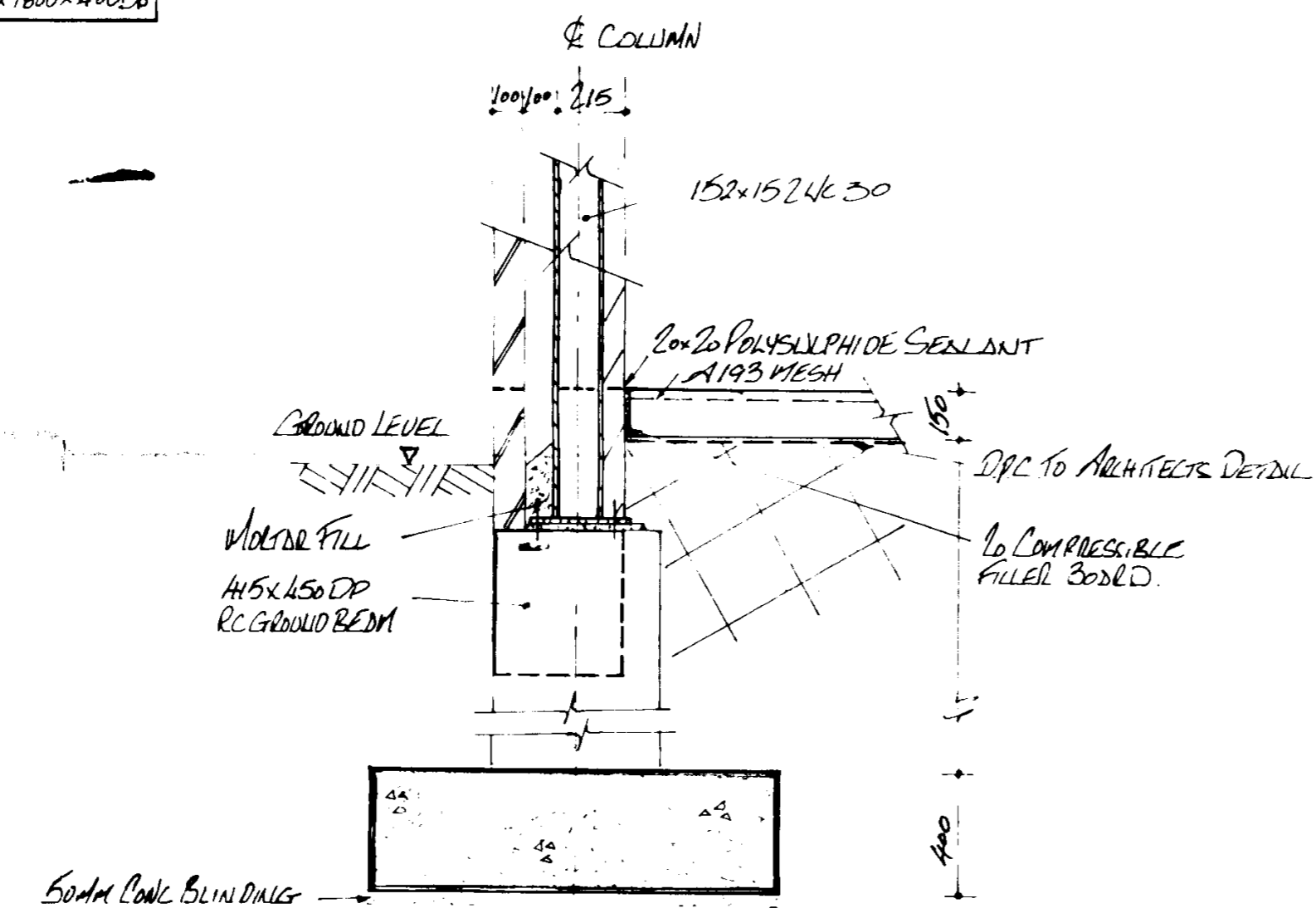
ROOF PLAN



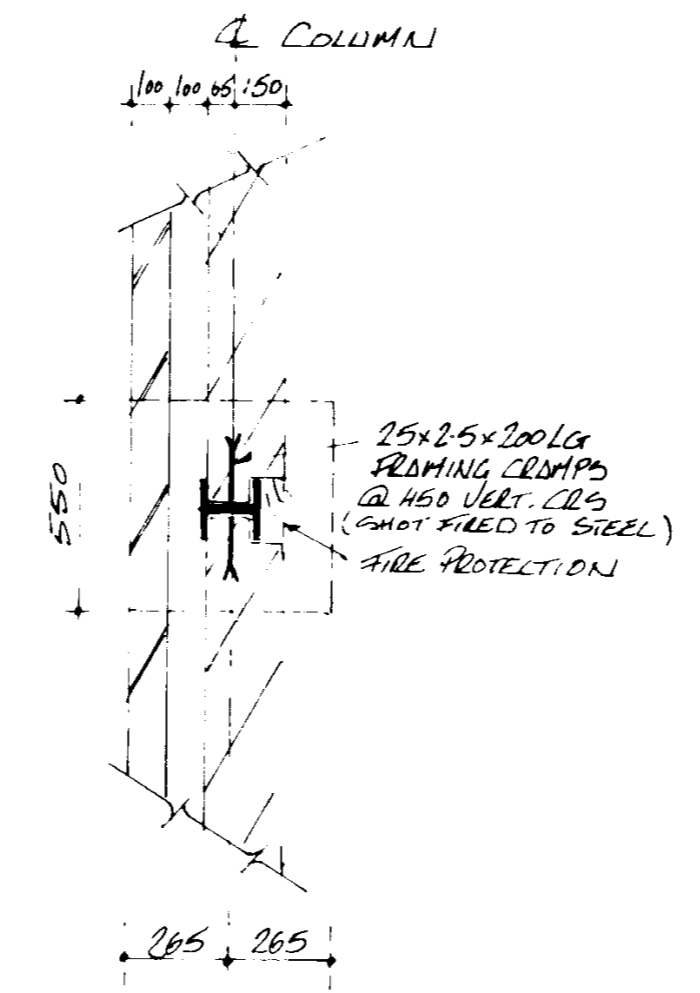
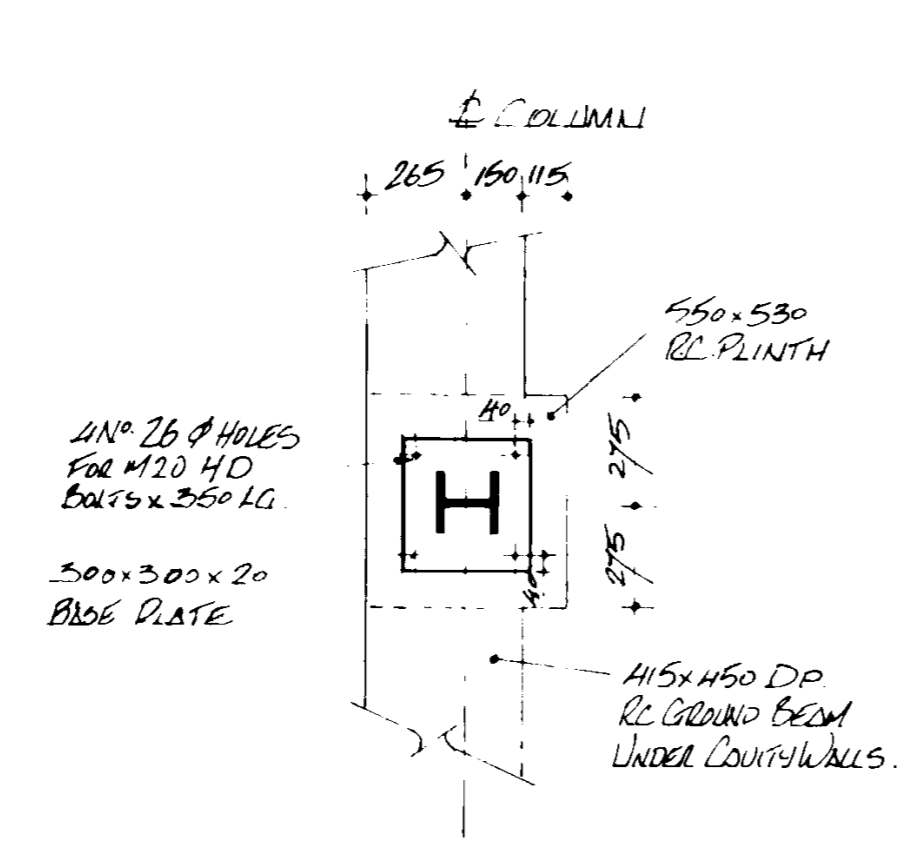
SECTION 2-2



TYPICAL SECTION A-A



TYPICAL SECTION 1-1



NOTES
1. THIS DRG IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.

DUBLIN CITY COUNCIL
PLANNING DEPT. REGISTRY SECTION
APPLICATION RECEIVED
11 OCT 1991
REG No. AW/517

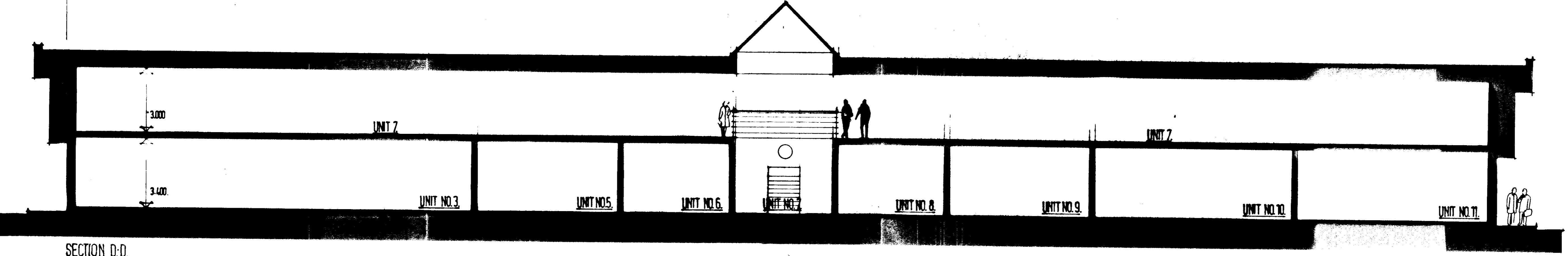
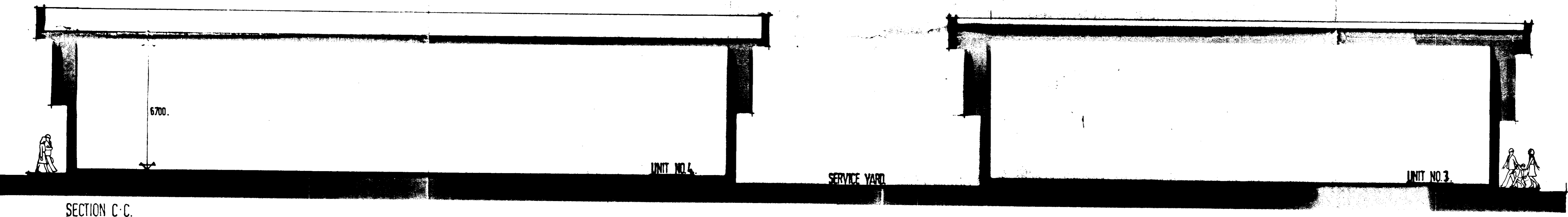
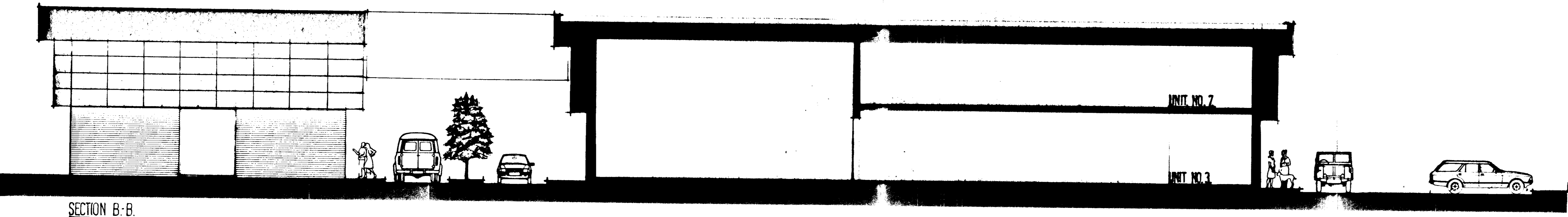
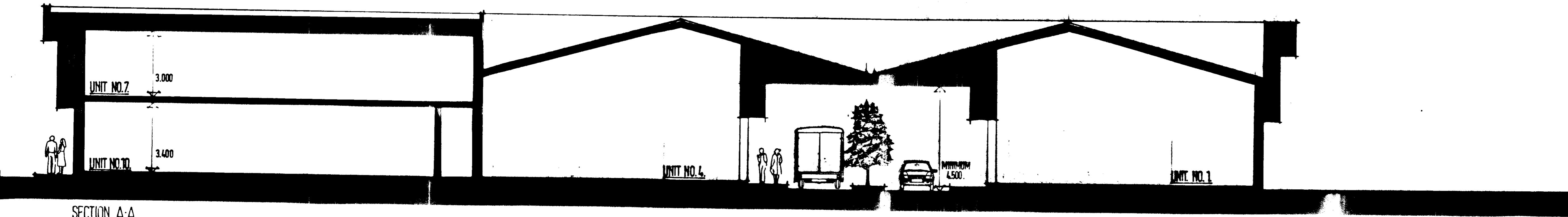
REV	DATE	BY	DESCRIPTION
91			ISSUED FOR BLUE-LINE APPROVAL

HORGAN, LYNCH+PARTNERS
CONSULTING ENGINEERS
Pinewood, Bishoptown, Cork. 58 Great Charles St.,
Phone (021) 453333 Mauntyry Sq.,
Dublin 1. Phone (01) 728588
Telex 75410 HLEI

Louis Burke
Architect
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

JOB TITLE
Palmerstown Retail Park
DRG. TITLE
Foundation Ground Floor & Roof Plan General Arrangement - Unit 2.

Scales 1:100 1:20	Drawn A.R.
Date SEPT. '91	Checked
DRAWING NUMBER BH/91/06	REV



MONTECARLO ORLO PAVILION JOURNAL '83

PALMERSTOWN RETAIL PARK

SECTIONS

SCALE	DATE	BY	CHKD
1:100	JANUARY 1991	90.28.74	n.

LOUISBURKE ARCHITECT
 dip arch - b arch sc - m r r a telephone 904832
 Mantua Studio Templeogue Bridge Dublin 6

DUBLIN COUNTY COUNCIL
 Planning Dept. Planning Section
 APPLICATION RECEIVED
 18 SEP 1991
 REG No. 91A/1517

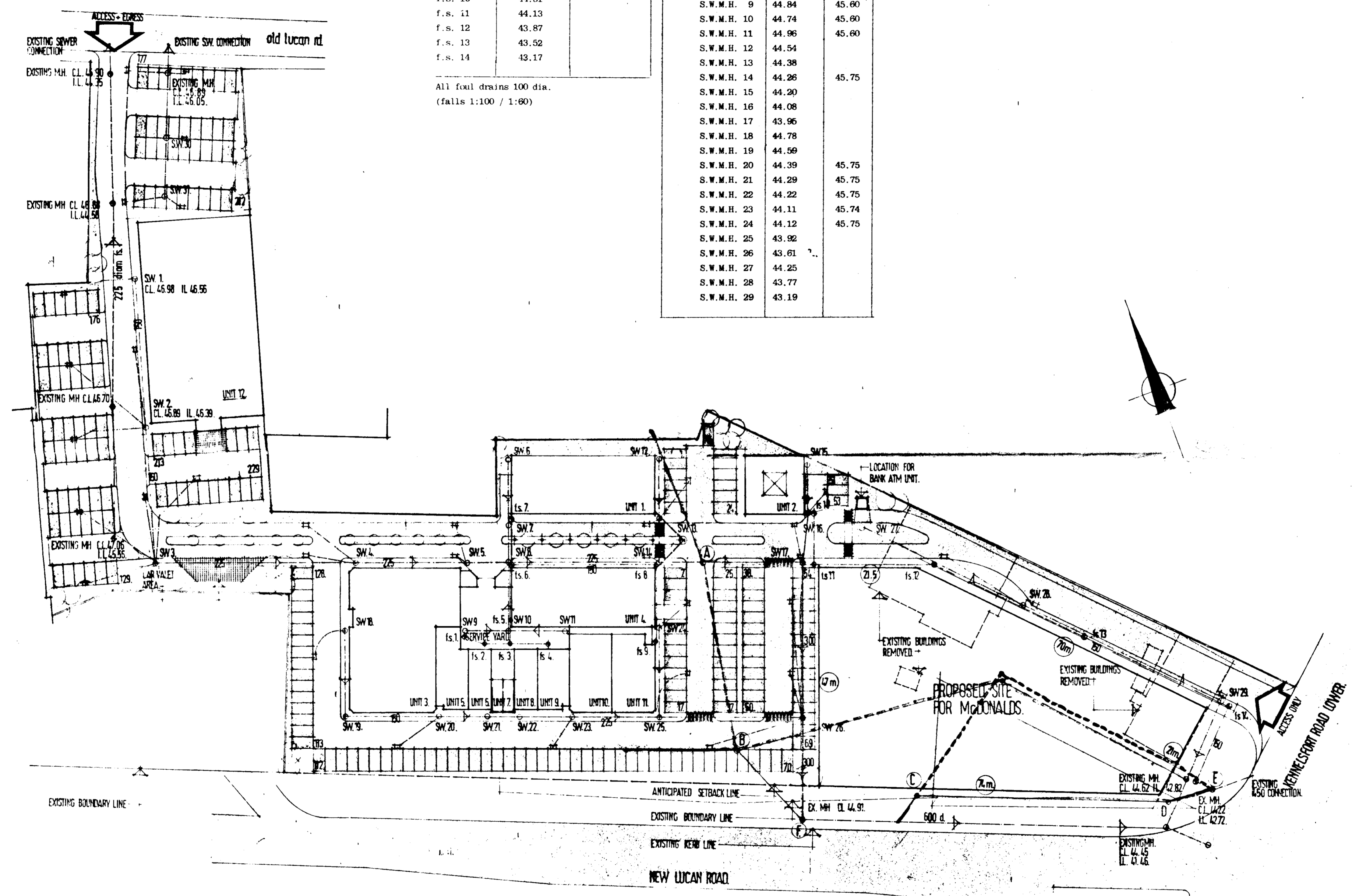
FOUL DRAINAGE LEVELS

M.H. NO.	I.L.	C.L.
f.s. 1	45.20	45.60
f.s. 2	45.12	45.60
f.s. 3	45.07	45.60
f.s. 4	45.20	45.60
f.s. 5	44.92	45.60
f.s. 6	44.79	45.67
f.s. 7	44.96	45.67
f.s. 8	44.47	45.67
f.s. 9	44.75	45.67
f.s. 10	44.31	
f.s. 11	44.13	
f.s. 12	43.87	
f.s. 13	43.52	
f.s. 14	43.17	

All foul drains 100 dia.
(falls 1:100 / 1:60)

SURFACE WATER DRAINAGE LEVELS

M.H. NO.	I.L.	C.L.
Extg. S.W.M.H. 1	46.98	45.56
Extg. S.W.M.H. 2	46.39	46.89
S.W.M.H. 3	45.64	
S.W.M.H. 4	44.92	45.75
S.W.M.H. 5	44.68	45.60
S.W.M.H. 6	44.87	
S.W.M.H. 7	44.69	
S.W.M.H. 8	44.59	45.60
S.W.M.H. 9	44.84	45.60
S.W.M.H. 10	44.74	45.60
S.W.M.H. 11	44.96	45.60
S.W.M.H. 12	44.54	
S.W.M.H. 13	44.38	
S.W.M.H. 14	44.26	45.75
S.W.M.H. 15	44.20	
S.W.M.H. 16	44.08	
S.W.M.H. 17	43.96	
S.W.M.H. 18	44.78	
S.W.M.H. 19	44.59	
S.W.M.H. 20	44.39	45.75
S.W.M.H. 21	44.29	45.75
S.W.M.H. 22	44.22	45.75
S.W.M.H. 23	44.11	45.74
S.W.M.H. 24	44.12	45.75
S.W.M.H. 25	43.92	
S.W.M.H. 26	43.61	
S.W.M.H. 27	44.25	
S.W.M.H. 28	43.77	
S.W.M.H. 29	43.19	



NOTES

Unit 1	:	360 sq.m.
Unit 2	:	144 sq.m.
Unit 3	:	605 sq.m.
Unit 4	:	360 sq.m.
Unit 5	:	97 sq.m.
Unit 6	:	58 sq.m.
Unit 7	:	1022 sq.m.
Unit 8	:	58 sq.m.
Unit 9	:	77 sq.m.
Unit 10	:	147 sq.m.
Unit 11	:	138 sq.m.

3066 sq.m.

Car parking requirement.

5 spaces per 100 sq.m.	=	153
Commerce at 1 per 557 sq.m	=	6
Existing unit No.12 1600 sq.m in office use 4 spaces per 100 sq.m	=	64
Operational requirement at 1 per 372 sq.m	=	4
Total number of spaces required for existing unit 12 and proposed development	=	227
Number of spaces provided	=	229

LEVELS ADDED	OCT. 1991	D
RE-DRAWN	JUNE 1991	C
ADM UNIT LOCATED	APRIL 1991	B

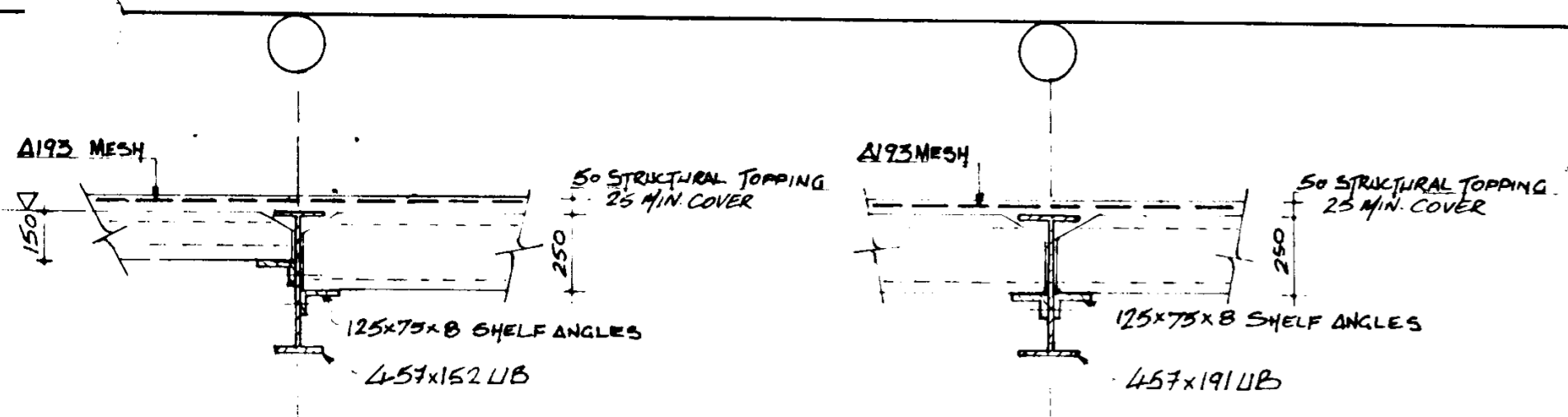
13 APR 1992
REG No. 311150

PALMERSTOWN RETAIL PARK

SITE BLOCK PLAN.

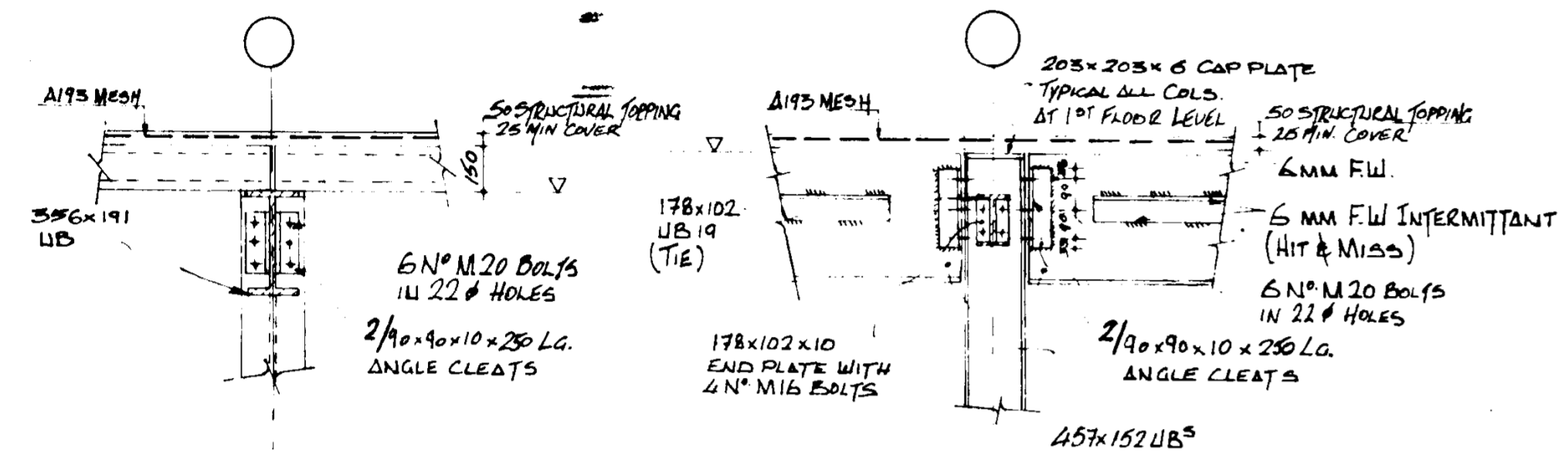
SCALE	DATE	NO.	REV.
1:500	JANUARY 1991	30	28/11

LOUISBURKE ARCHITECT
 dip arch. + d. arch. sc. m. r. o. telephone 3 29 24
 Mantua Studio Templeogue Bridge Dublin 6



TYPICAL SECTION 1-1

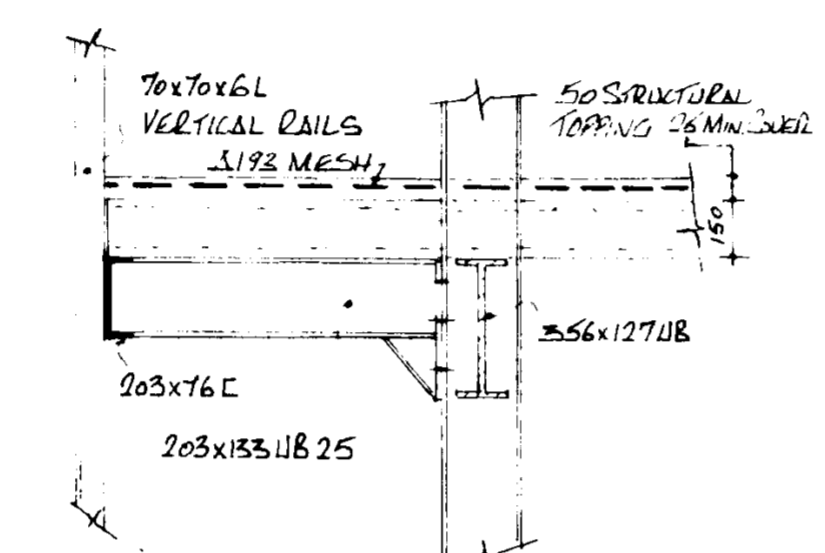
TYPICAL SECTION 2-2



TYPICAL SECTION 3-3

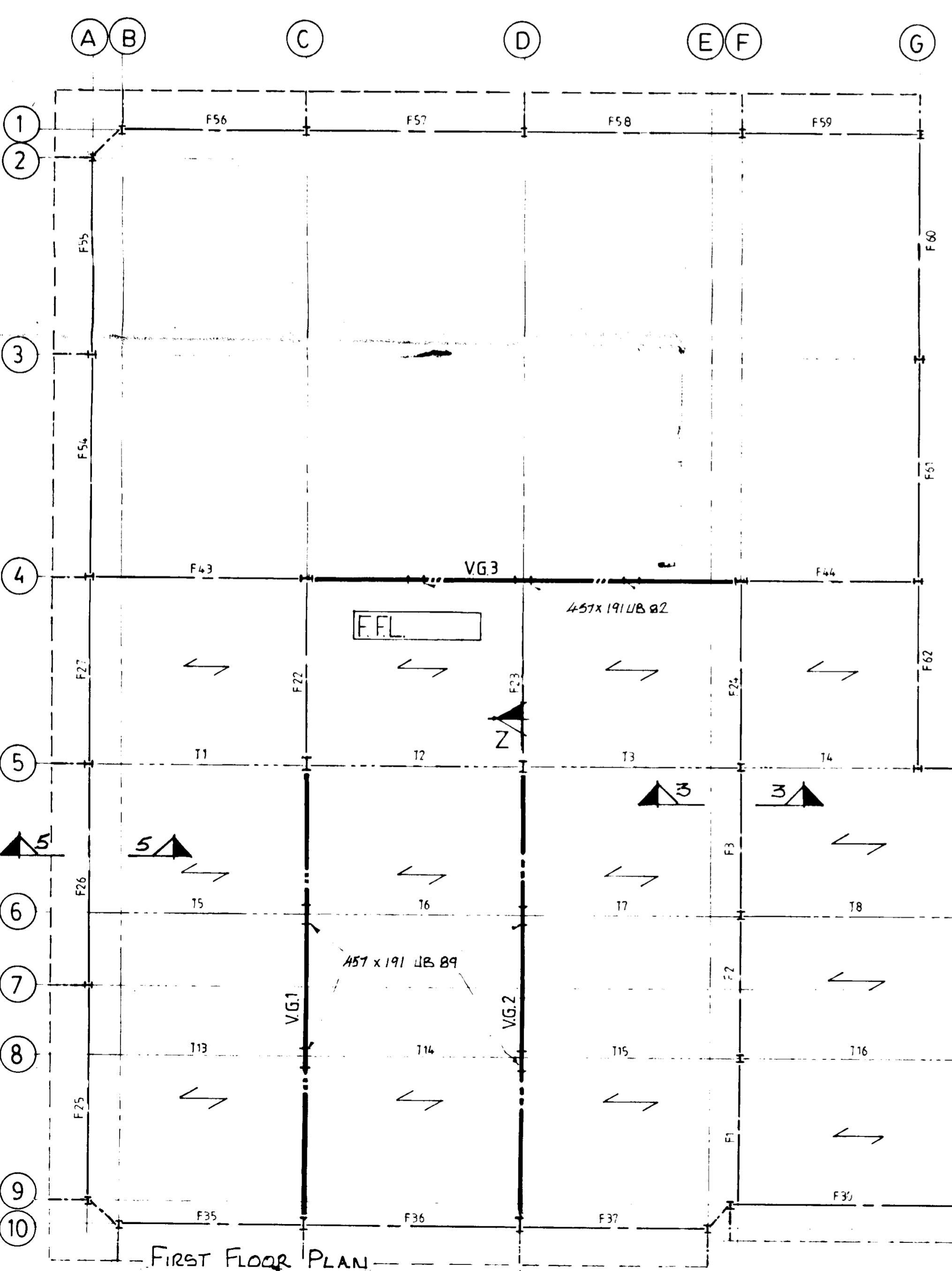
TYPICAL SECTION 4-4 (FOR ALL 356x171 DP BEAMS)

BEAM SCHEDULE	
BEAM SIZE	BEAM REF.
356x171 UB 45	F1 - F15, F17, F19, F21, F23, F24, F25, F27
457x152 UB 60	F16, F17, F18, F45
+ 2/125x75x8 L*	F19, F20, F21
457x191 UB 82	F22, F23, F24, F50, VG1, 5
+ 2/125x75x8 L*	
356x171 UB 67	
356x171 UB 51	F25 - F27
356x171 UB 45	F30 - F34
356x127 UB 35	F34 - F41, F35 - F44
457x152 UB 74	F28, F29, F45
356x368 UC 153	VG1 & VG2
152x89 UB 16	T1 - T20 (TIES)
178x102 UB 19	T21 - T25 (TIES)



TYPICAL SECTION 5-5

COLUMNS	
COL. SIZE	COL. REF.
306 x 306 UC 97	C5, C10, D5, D10
254 x 254 UC 75	C4, F4
203 x 203 UC 52	N10
203 x 203 UC 46	ALL OTHER COLUMNS
152 x 152 UC 37	F6, G6, H6, J6, J6, K6, L6, F8, G8, H8, I8, J8, K8



FIRST FLOOR PLAN

EXISTING BUILDING

- NOTES
- THIS DRG IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - ALL STEEL TO BE GRADE 43 TO BS 4360 OR APPROVED EQUIV.
 - ALL BOLTS TO BE GRADE 8.8 TO BS 716.
 - ALL STEELWORK TO BE SHOT BLAST CLEANED TO SA 2 1/2 & RECEIVE TWO COATS OF HIGH BUILD ZINC PHOSPHATE PRIMER AT WORKS (MIN D.F.T = 100 µm). ALL DAMAGED AREAS OF WORKS APPLIED PAINT TO BE TOUCHED UP ON SITE. ALL STEELWORK SURFACES EXPOSED TO CAVITIES AND/OR BUILT INTO INNER SKIN OF EXTERNAL CAVITY WALL TO BE PAINTED WITH TWO COATS OF BITUMINOUS PAINT ON SITE (MIN D.F.T = 100 µm) IN ADDITION TO ABOVE PRIMER.
 - ALL STEELWORK SHOP DRGS TO BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
 - CALCS / DETAILS FOR PROFILED STEEL ROOF DECKING TO BE SUBMITTED BY SPECIALIST SUPPLIER TO ENGINEER FOR APPROVAL.
 - CALCS / DETAILS FOR P.C.C. FLOOR UNITS TO BE SUBMITTED BY SPECIALIST SUPPLIER TO ENGINEER FOR APPROVAL.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/1517

REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH + PARTNERS
CONSULTING ENGINEERS

Pinewood, Bishopscourt, Cork. Phone (021) 45333. Telex 75410 HLEI.

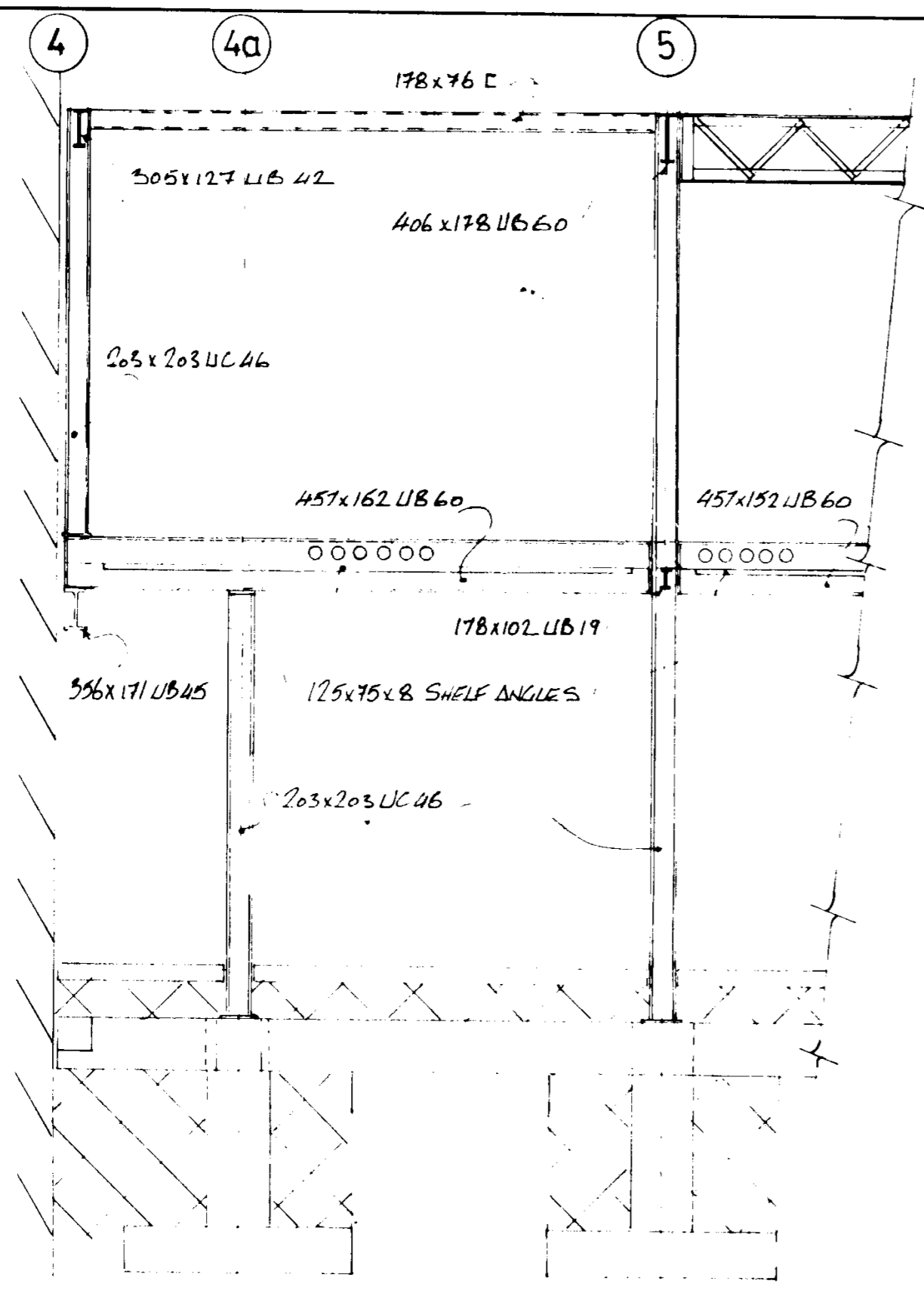
58 Great Charles St., Mountjoy Sq., Dublin 1. Phone (01) 728588.

Louis Burke, Architect, Mantua Studio, Templeogue Bridge, Dublin 6W.

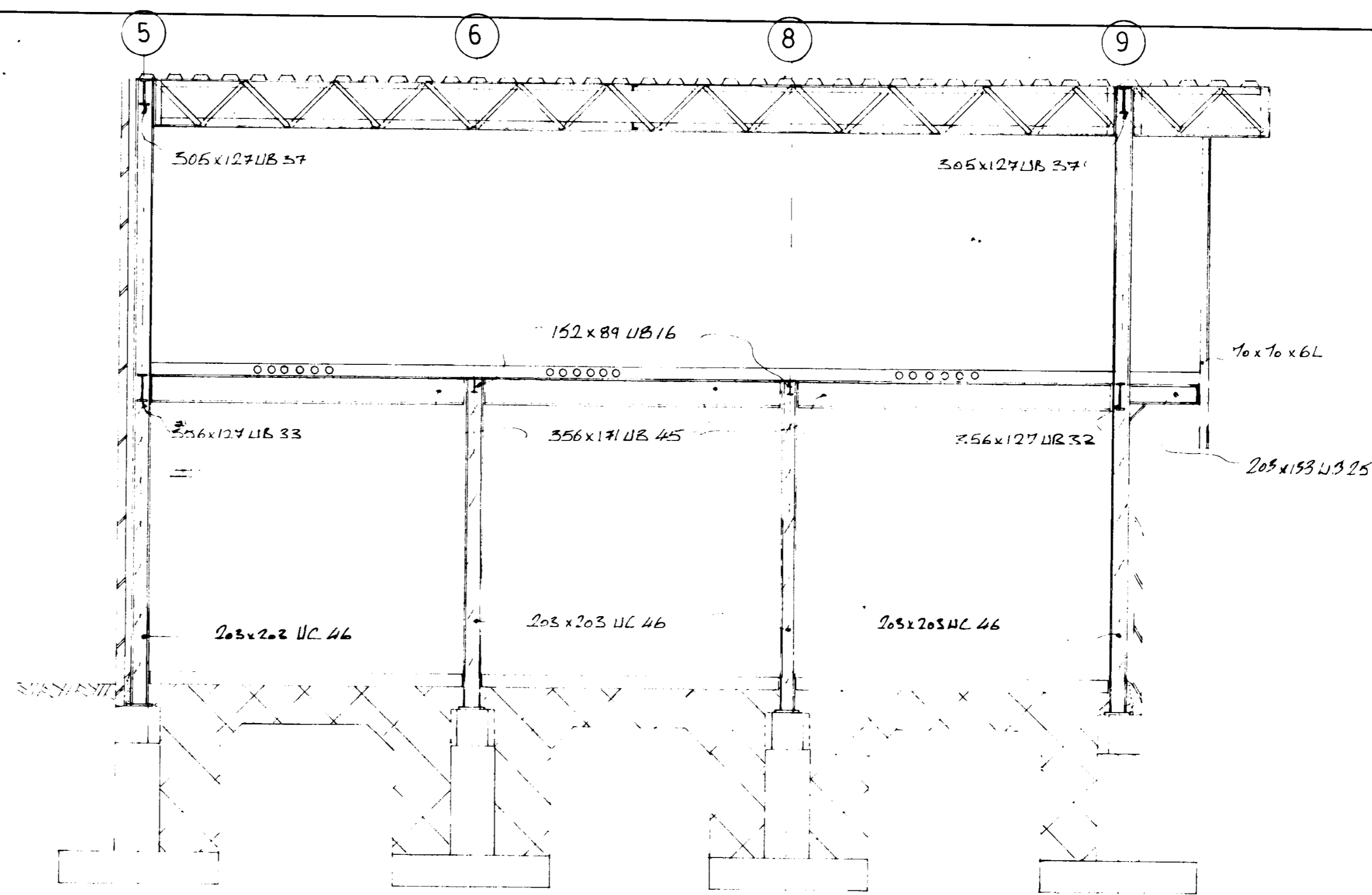
JOB TITLE
Palmerstown Retail Park.

DRG. TITLE
First Floor G.A. Slab Layout

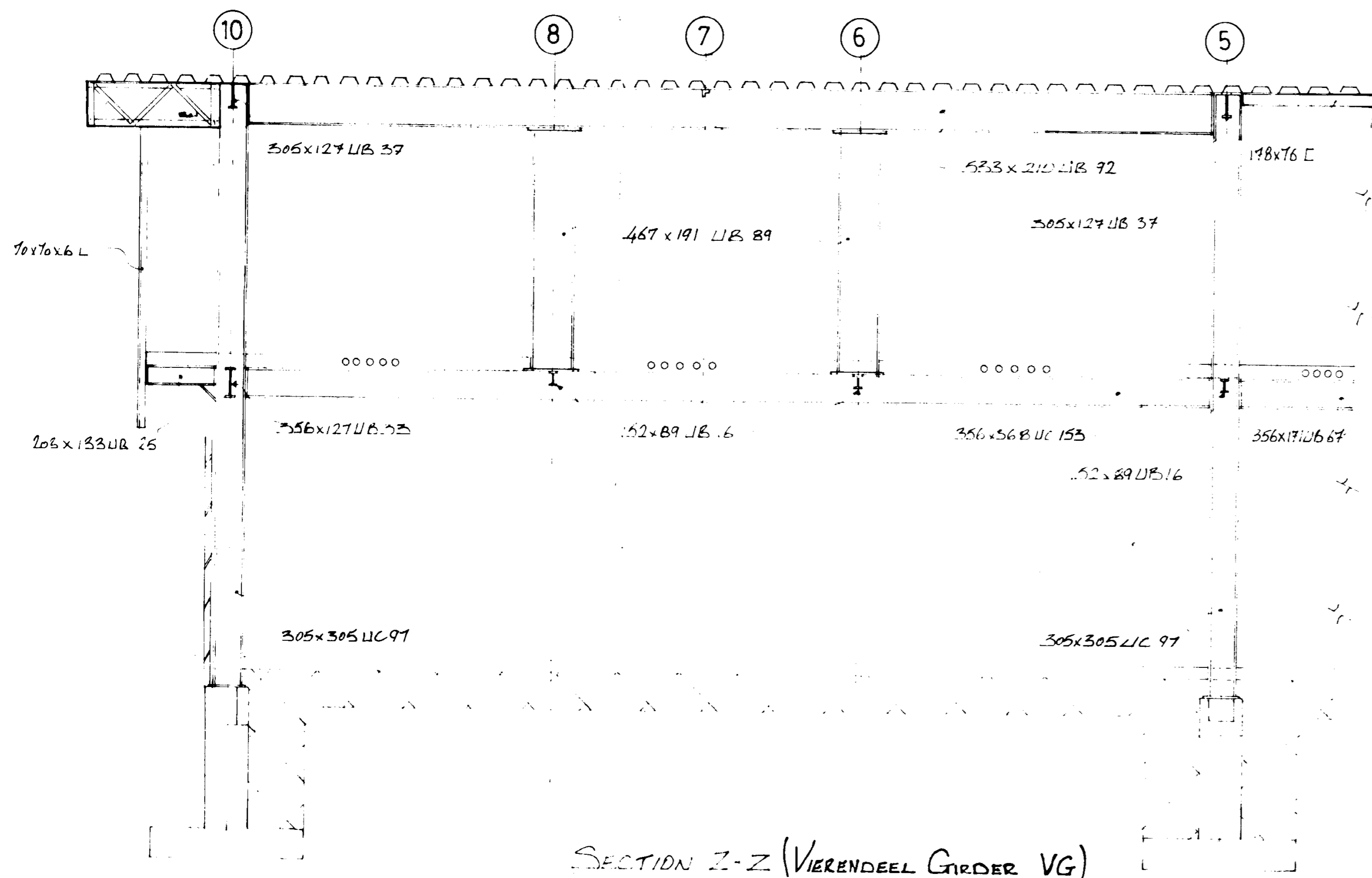
Scales	1:100 1:20	Drawn	AR
Date	JUNE '91	Checked	
DRAWING NUMBER	BH/91/03		



SECTION X-X



SECTION Y-Y



SECTION Z-Z (VERENDEEL GIRDER VG)

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 18 SEP 1991
 REG No. 91A/1517

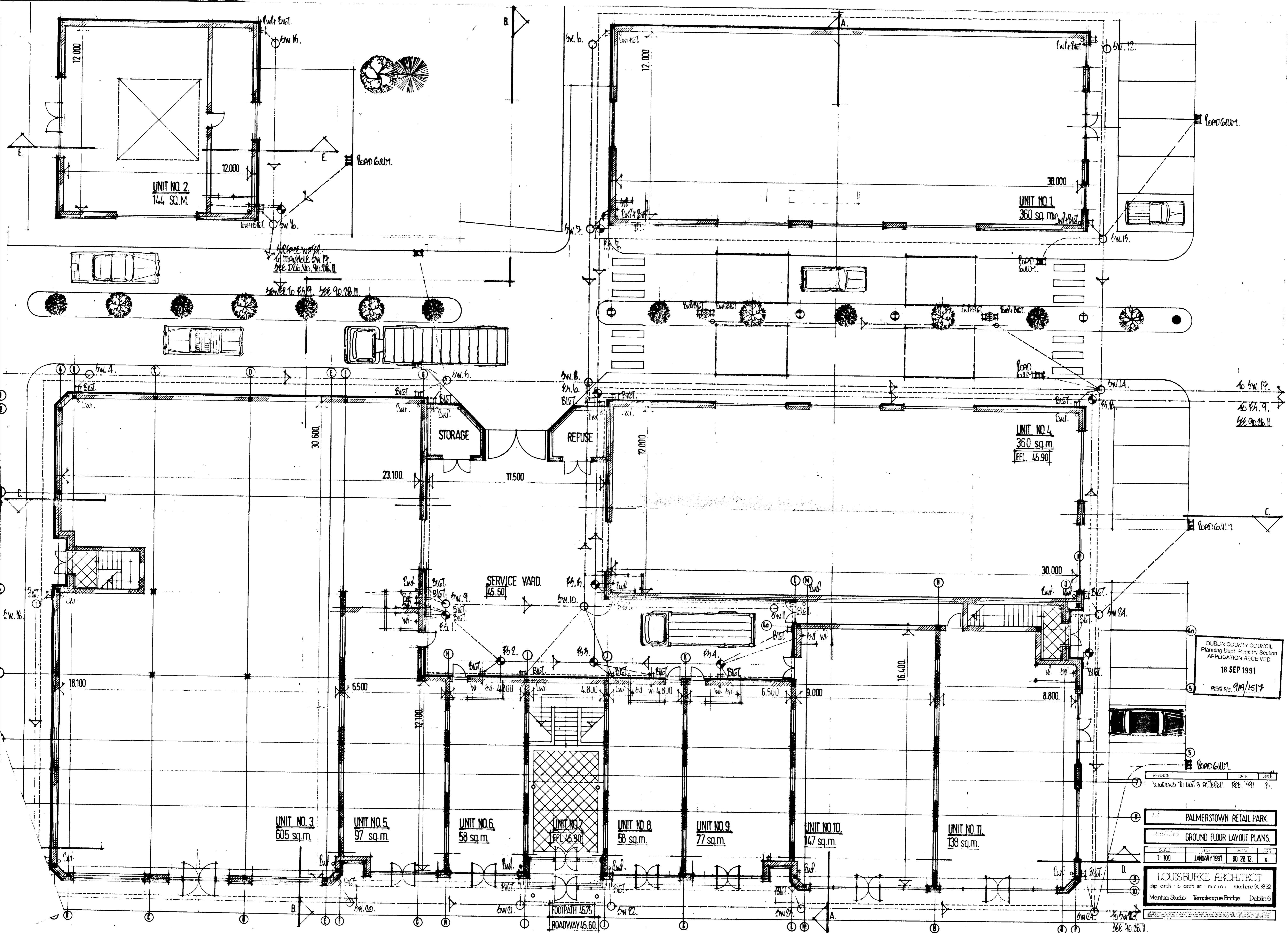
NOTES

REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH PARTNERS
 CONSULTING ENGINEERS
 Pinewood, Bishopstown, Cork. Phone: (021) 45333
 58 Great Charles St., Mountjoy Sq., Dublin 1. Telex: 75410 HLEI Phone: (01) 728588
 Louis Burke
 Architect
 Mantua Studio,
 Templeogue Bridge,
 Dublin 6W.

JOB TITLE
Palmerstown Retail Park
 DRG. TITLE
Cross Sections

Scales	1:50	Drawn	A.R.
Date	JUNE '91	Checked	
DRAWING NUMBER	BH/91/05		



UNIT NO. 2
144 sq.m.

UNIT NO. 1
360 sq.m.

UNIT NO. 4
360 sq.m.
FEL. 45.90

UNIT NO. 3
605 sq.m.

UNIT NO. 5
97 sq.m.

UNIT NO. 6
58 sq.m.

UNIT NO. 7
FEL. 45.90

UNIT NO. 8
58 sq.m.

UNIT NO. 9
77 sq.m.

UNIT NO. 10
147 sq.m.

UNIT NO. 11
138 sq.m.

STORAGE

REFUSE

SERVICE YARD
15.60

FOOTPATH 15.75
ROADWAY 15.60

DUBLIN COUNTY COUNCIL
Planning Dept. - Security Section
APPLICATION RECEIVED
18 SEP 1991
REG. NO. 91/1517

REVISION
NO. 1
DATE
18 SEP 1991

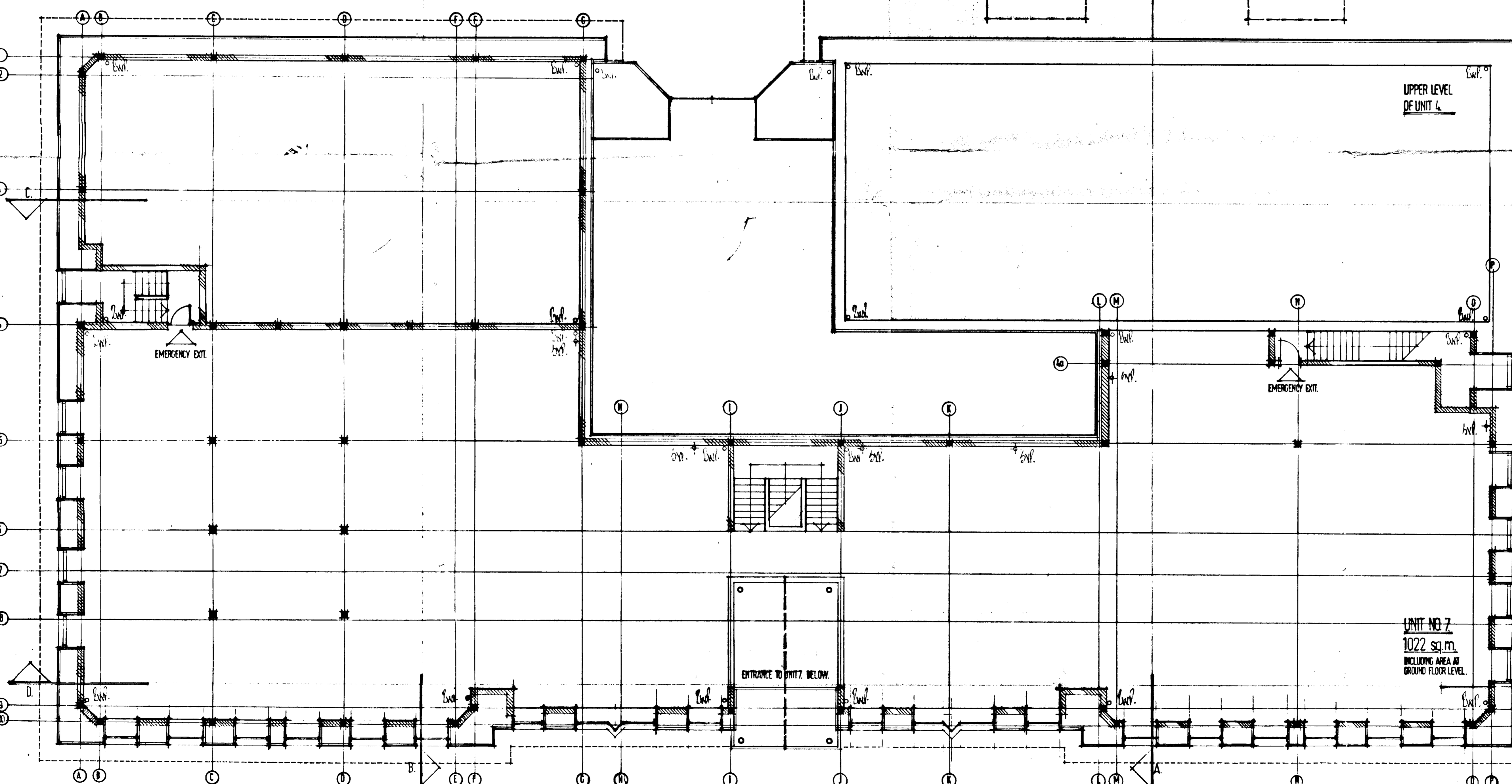
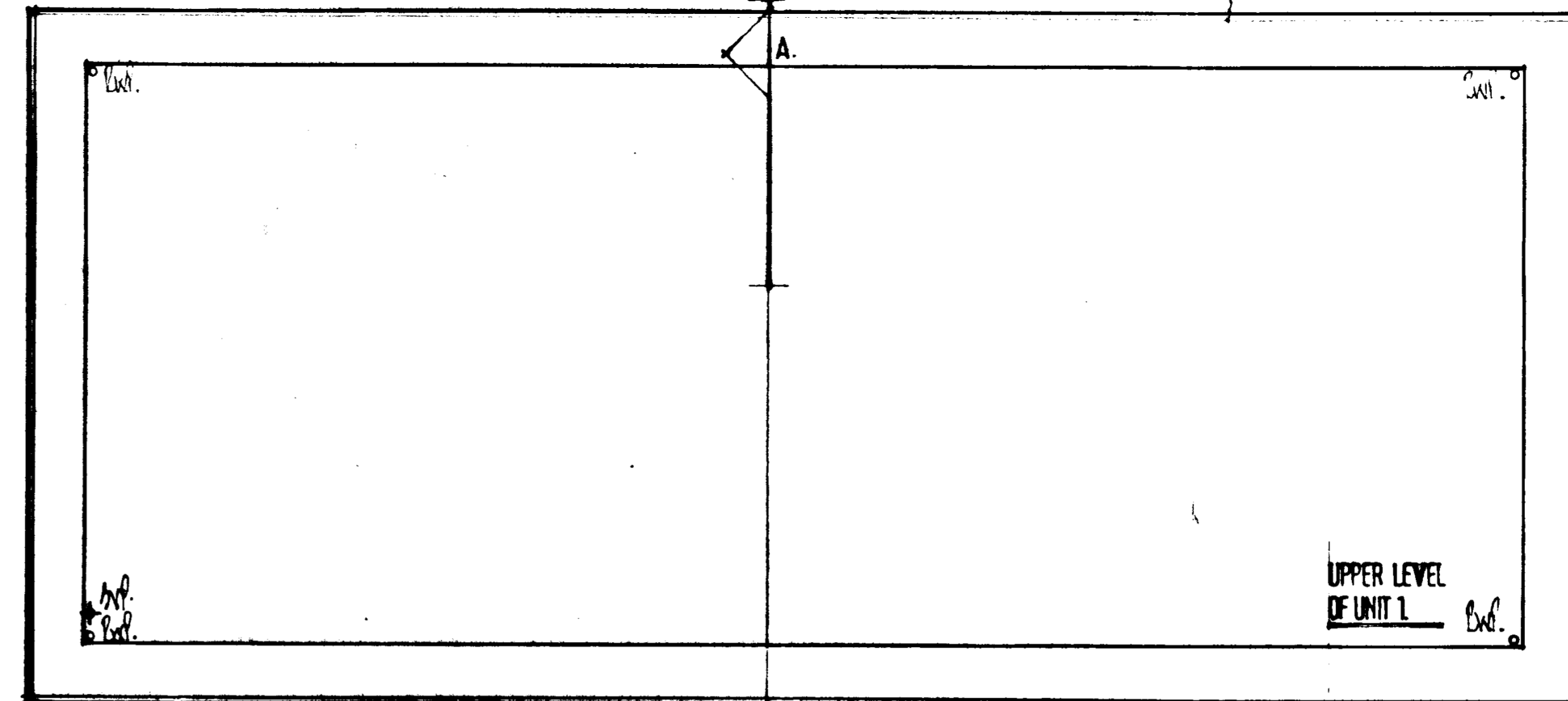
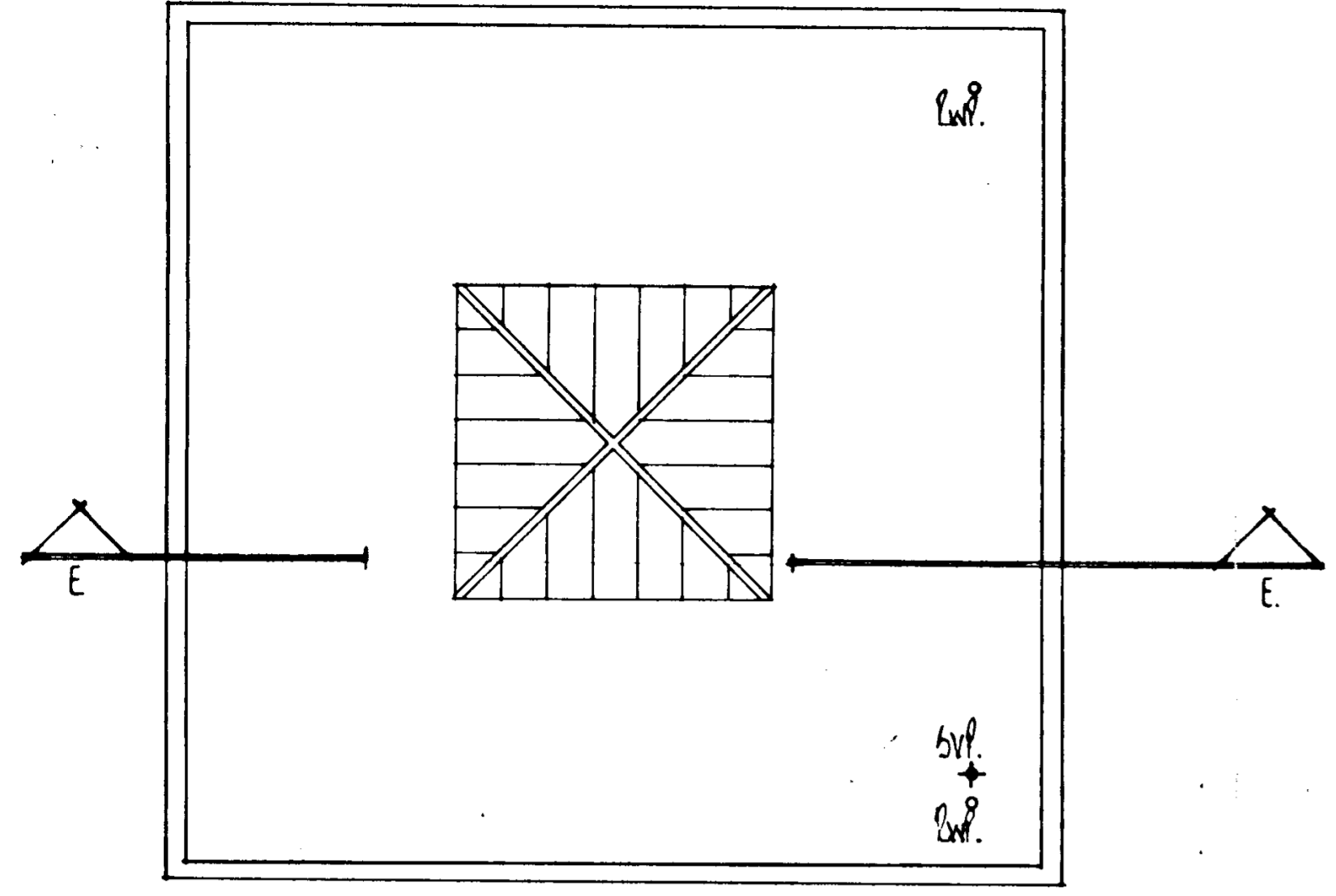
PROJECT
PALMERSTOWN RETAIL PARK

DESCRIPTION
GROUND FLOOR LAYOUT PLANS

SCALE
1:100

DATE
JANUARY 1991

LOUISBURKE ARCHITECT
dip arch. b arch sc. m r i o. telephone 904830
Mantua Studio Templeogue Bridge Dublin 6



DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 18 SEP 1991
 REG No. 91A/1517

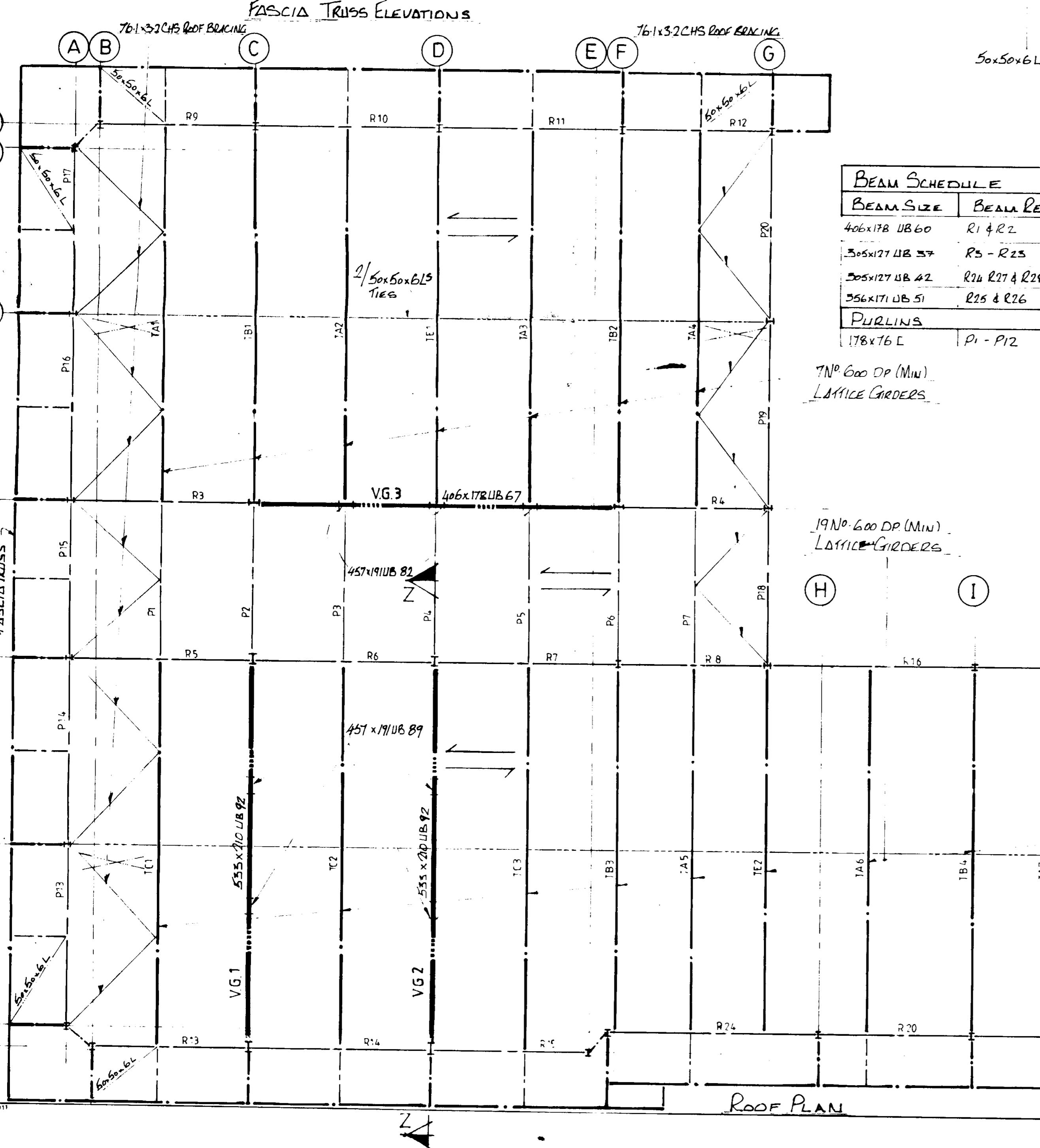
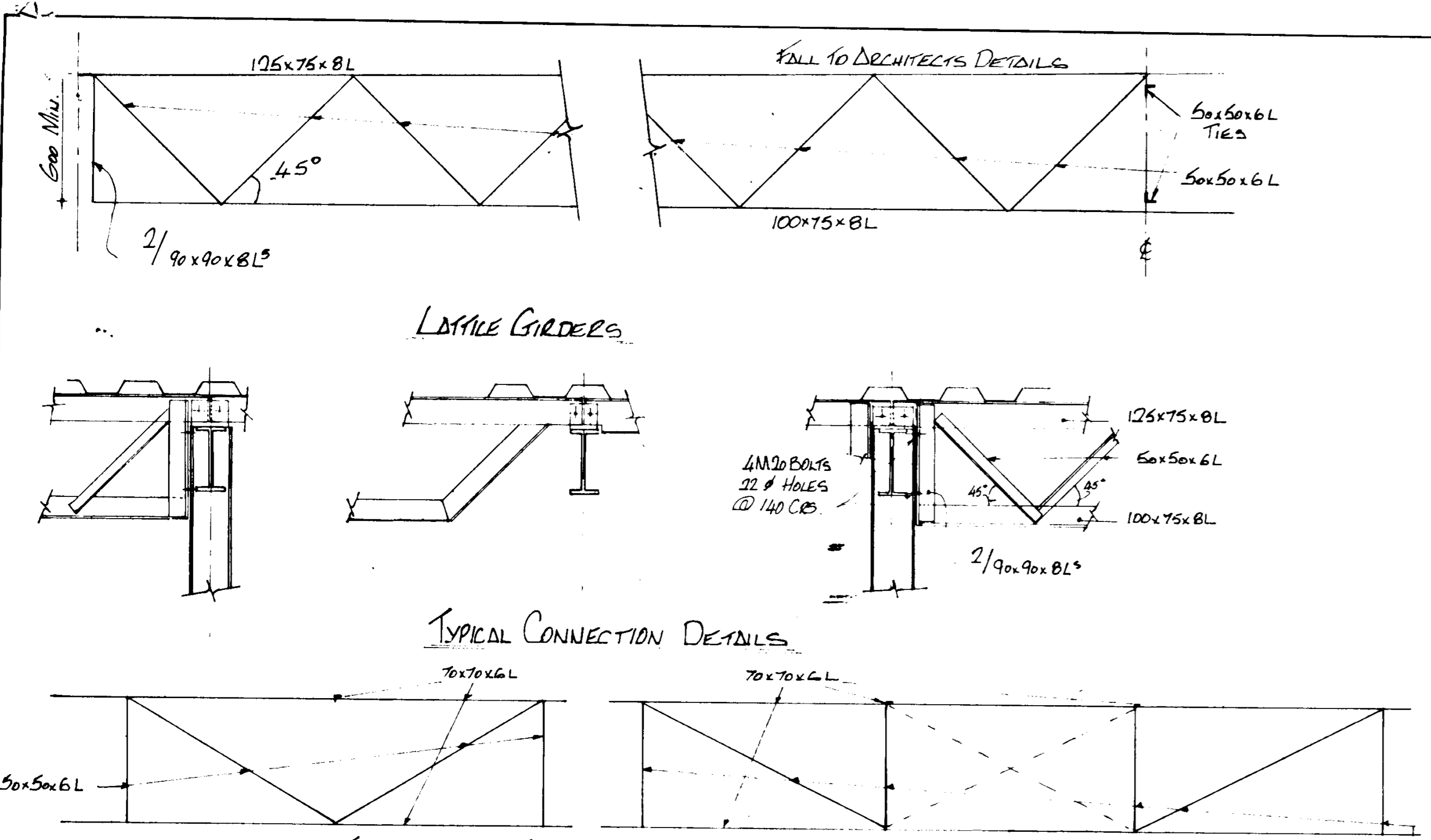
REVISION: DATE: 1991

PALMERSTOWN RETAIL PARK
 FIRST FLOOR LAYOUT PLAN
 SCALE: 1:100
 DATE: JANUARY 1991
 DRAWN BY: M.T. DATE: 90.28.13
 CHECKED BY: A.

LOUISBURKE ARCHITECT
 dip arch - d arch sc - m rta telephone 902832
 Mantua Studio Templeogue Bridge Dublin 6

UNIT NO. 7
 1022 sq.m.
 INCLUDING AREA AT
 GROUND FLOOR LEVEL.

ENTRANCE TO UNIT 7 BELOW.



BEAM SCHEDULE	
BEAM SIZE	BEAM REF.
406x178 UB 60	R1 & R2
305x177 UB 37	R5 - R25
305x177 UB 42	R24, R27 & R28
356x171 UB 51	R25 & R26
PURLINS	
178x76 L	P1 - P12

7N° 600 DP (MIN)
LATTICE GIRDERS

19N° 600 DP (MIN)
LATTICE GIRDERS

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/517...

- NOTES
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRAWS.
 - DENOTES 60x60x6 L CROSS BRACING

FASCIA BUILDING

REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH PARTNERS
CONSULTING ENGINEERS

Pinewood,
Bishopstown, Cork.
Phone (021) 45333
Telex 75410 HLEI

58 Great Charles St
Mountjoy Sq.
Dublin 1.
Phone (01) 728588

Louis Burke
Architect
Mantua Studio
Templeogue Bridge
Dublin 6W

JOB TITLE
Palmerstown Retail Park.

DRG. TITLE
Roof Truss Layout

Scales 1:100, 1:20, 1:50 Drawn A. R.
Date JUNE '91 Checked
DRAWING NUMBER BH/91/04

INDICATION OF
FLOOR SLAB
PROPOSED FOR
ROOF DESIGN
TO SPECIFIC
DESIGN & DETAILS

LAND ENGINEERING,
BUILDING AND
AERIAL
SURVEYORS



RATHFIEGH, TARA
CO. MEATH.
Tel: 041/25386
Fax: 041/25624

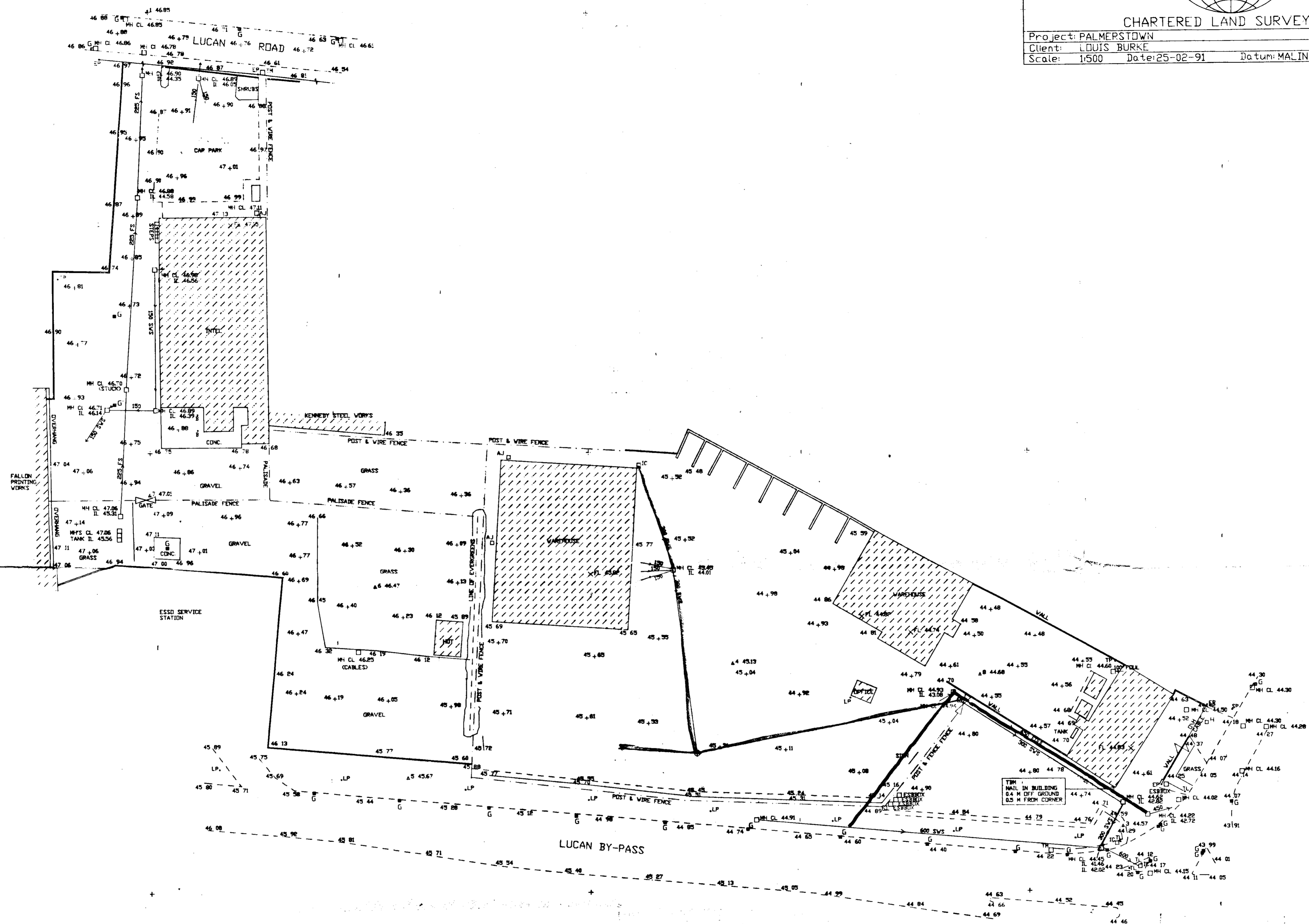
CHARTERED LAND SURVEYORS

Project: PALMERSTOWN
Client: LOUIS BURKE
Scale: 1:500 Date: 25-02-91 Datum: MALIN HD. Sheet: 01
Computed by: DM

1000mN

900mN

800mN



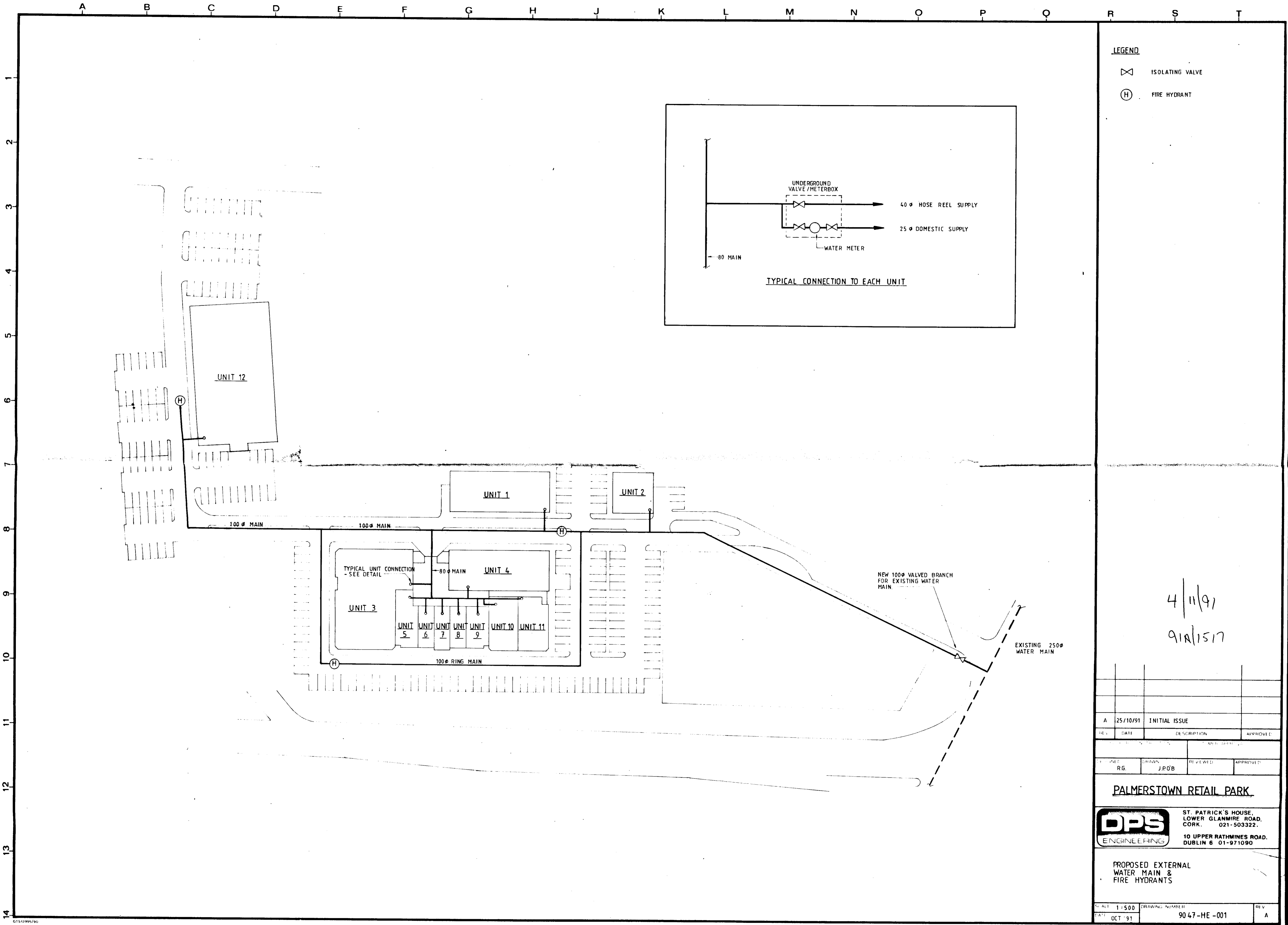
15 APR 1991
REG. NO. 911/510

LOUIS BURKE dip.arch.b.arch.sc.mriai.mdsi ARCHITECT
MANTUA STUDIO - TEMPLEBOGUE BRIDGE - DUBLIN 6W
TEL: 901832 / 904121 FAX: 901271

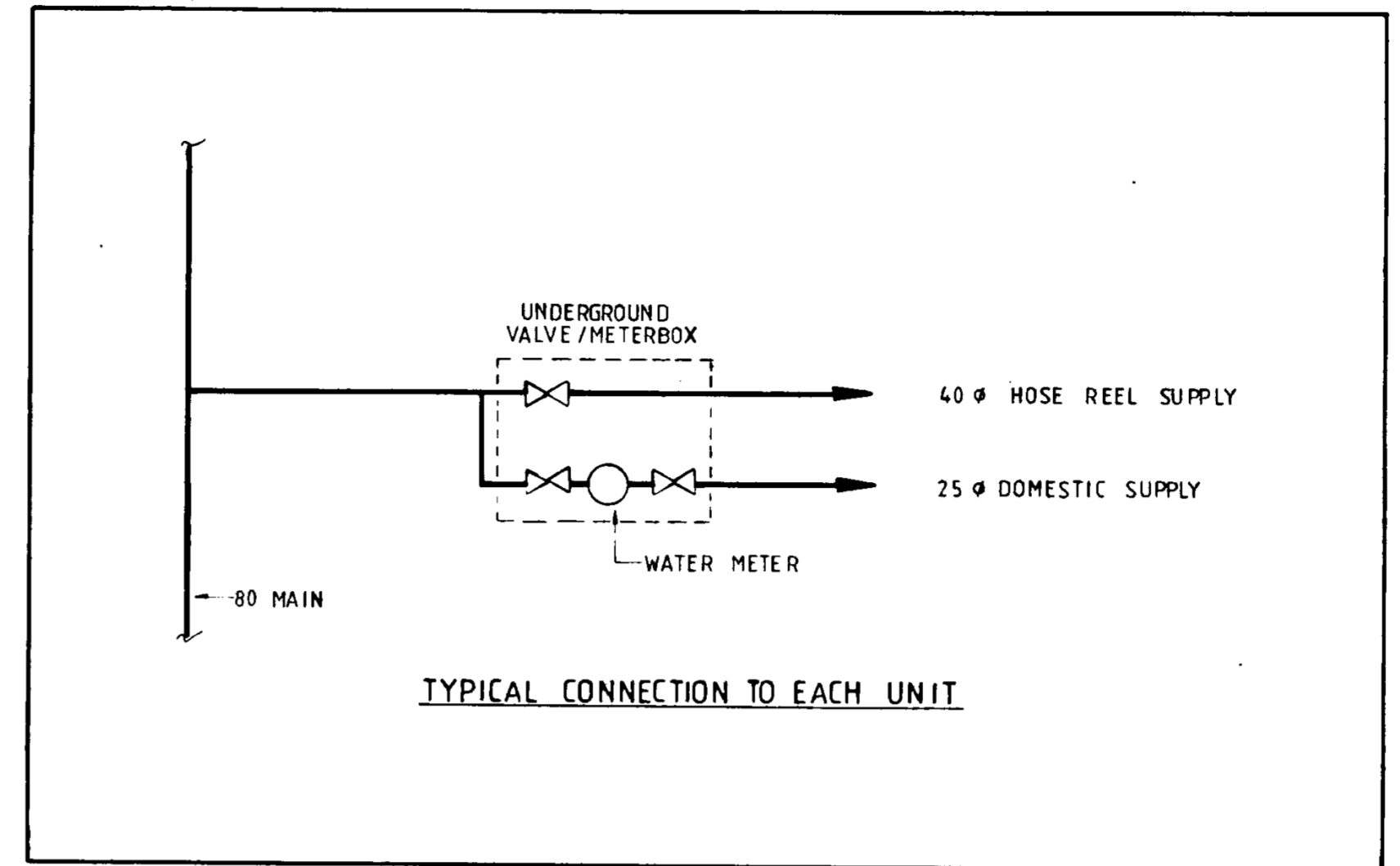
1000mE

1100mE

1200mE



- LEGEND**
- ⊗ ISOLATING VALVE
 - ⊙ FIRE HYDRANT



4/11/91
91A/1517

REV.	DATE	DESCRIPTION	APPROVED
A	25/10/91	INITIAL ISSUE	

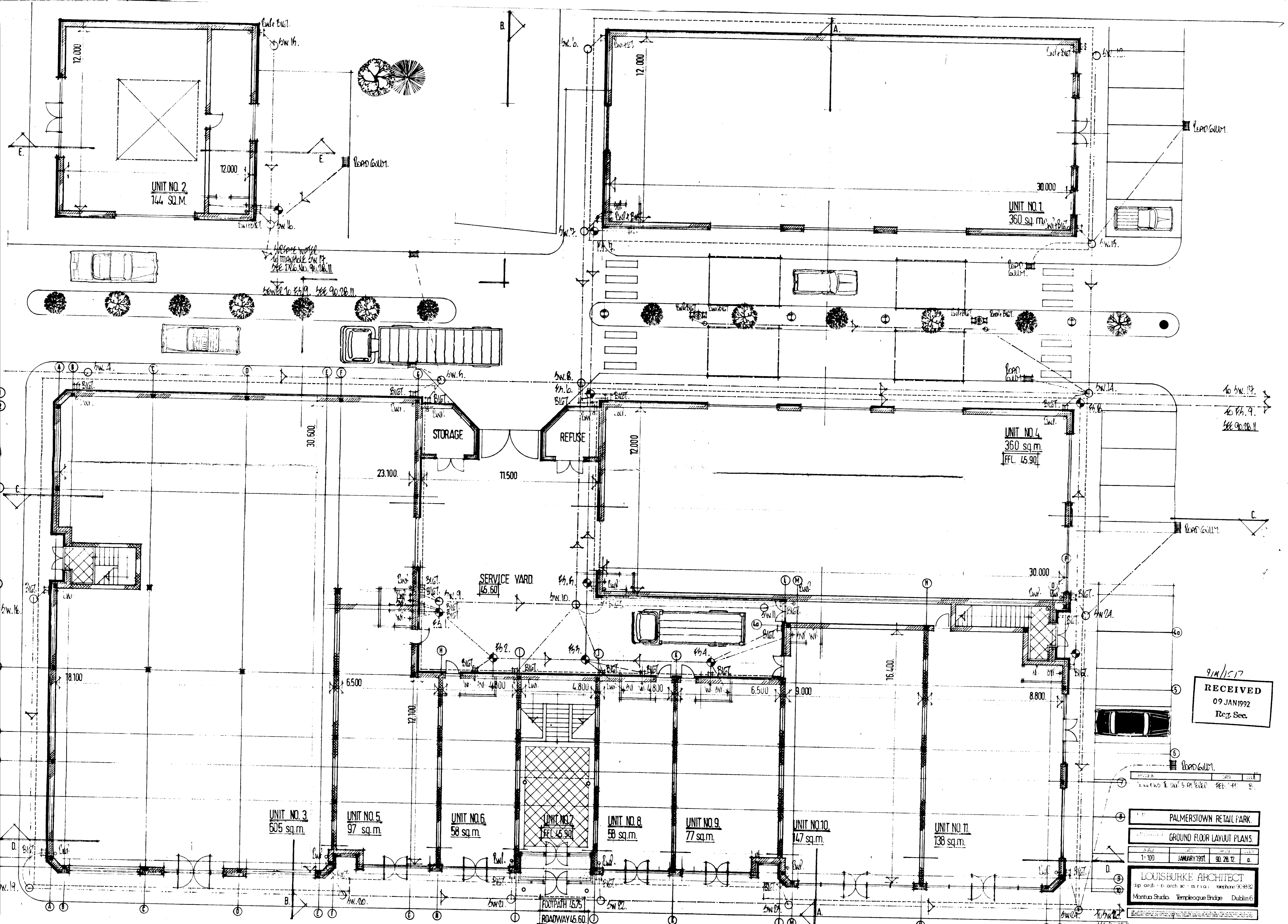
DESIGNED	DRAWN	REVIEWED	APPROVED
	R.G.	J.P.O.B.	

PALMERSTOWN RETAIL PARK

DPS ENGINEERING
 ST. PATRICK'S HOUSE,
 LOWER GLANMIRE ROAD,
 CORK. 021-503322.
 10 UPPER RATHMINES ROAD,
 DUBLIN 6 01-971090

PROPOSED EXTERNAL
 WATER MAIN &
 FIRE HYDRANTS

SCALE	1:500	DRAWING NUMBER	90 47-HE-001	REV	A
DATE	OCT '91				



UNIT NO. 2
144 sq.m.

UNIT NO. 1
360 sq.m.

UNIT NO. 4
360 sq.m.
FFL. 45.90

UNIT NO. 3
605 sq.m.

UNIT NO. 5
97 sq.m.

UNIT NO. 6
58 sq.m.

UNIT NO. 7
FFL. 45.90

UNIT NO. 8
58 sq.m.

UNIT NO. 9
77 sq.m.

UNIT NO. 10
147 sq.m.

UNIT NO. 11
138 sq.m.

SERVICE YARD
45.60

STORAGE

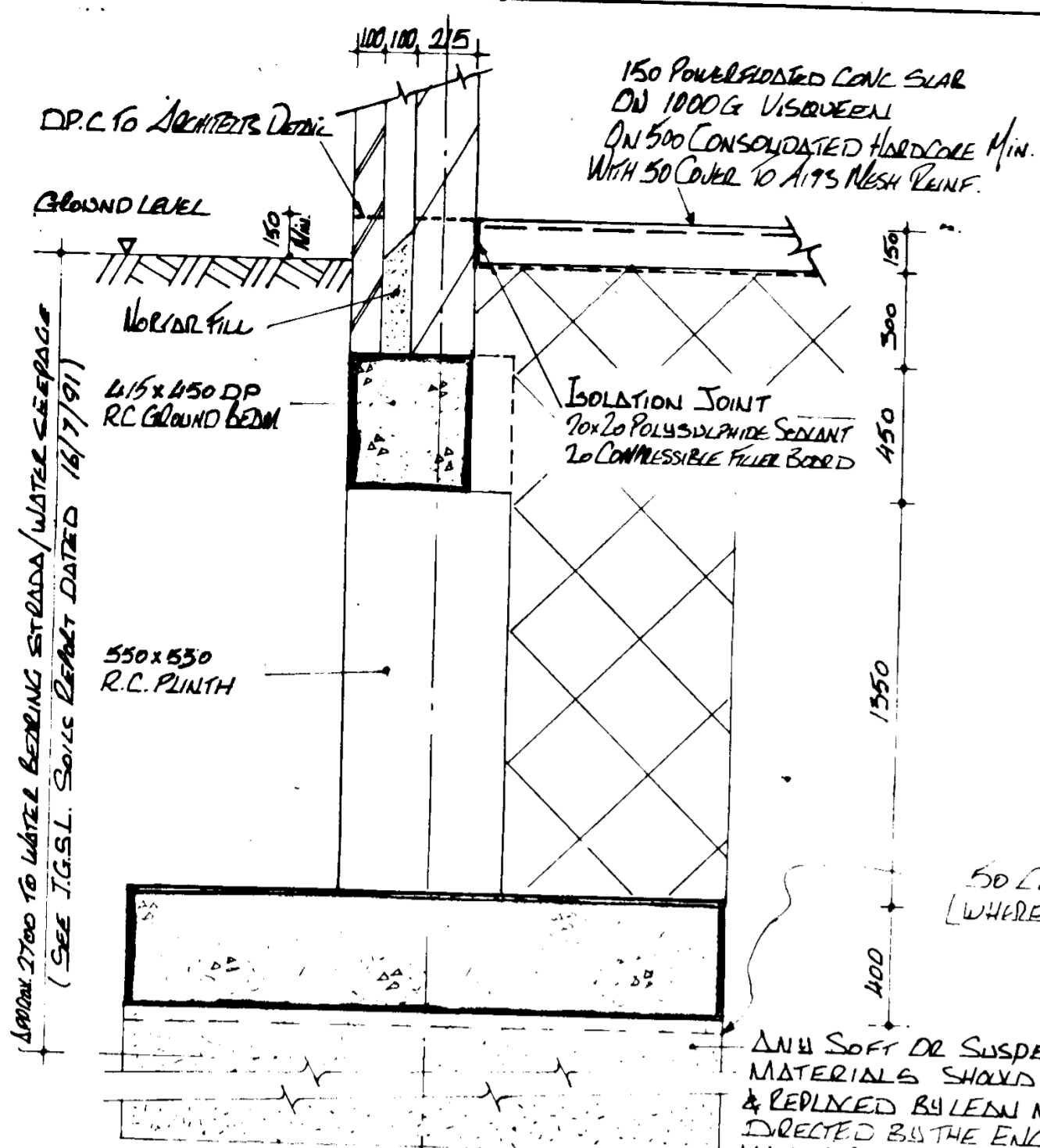
REFUSE

ROADWAY 45.60

FOOTPATH 75.75

9/11/17
RECEIVED
09 JAN 1992
Reg. Sec.

PALMERSTOWN RETAIL PARK
GROUND FLOOR LAYOUT PLANS
1:100 JANUARY 1991 90.28.12 a.
LOUISBURKE ARCHITECT
Architects & Planners Telephone 90.98.32
Mantua Studio Templeogue Bridge Dublin 6

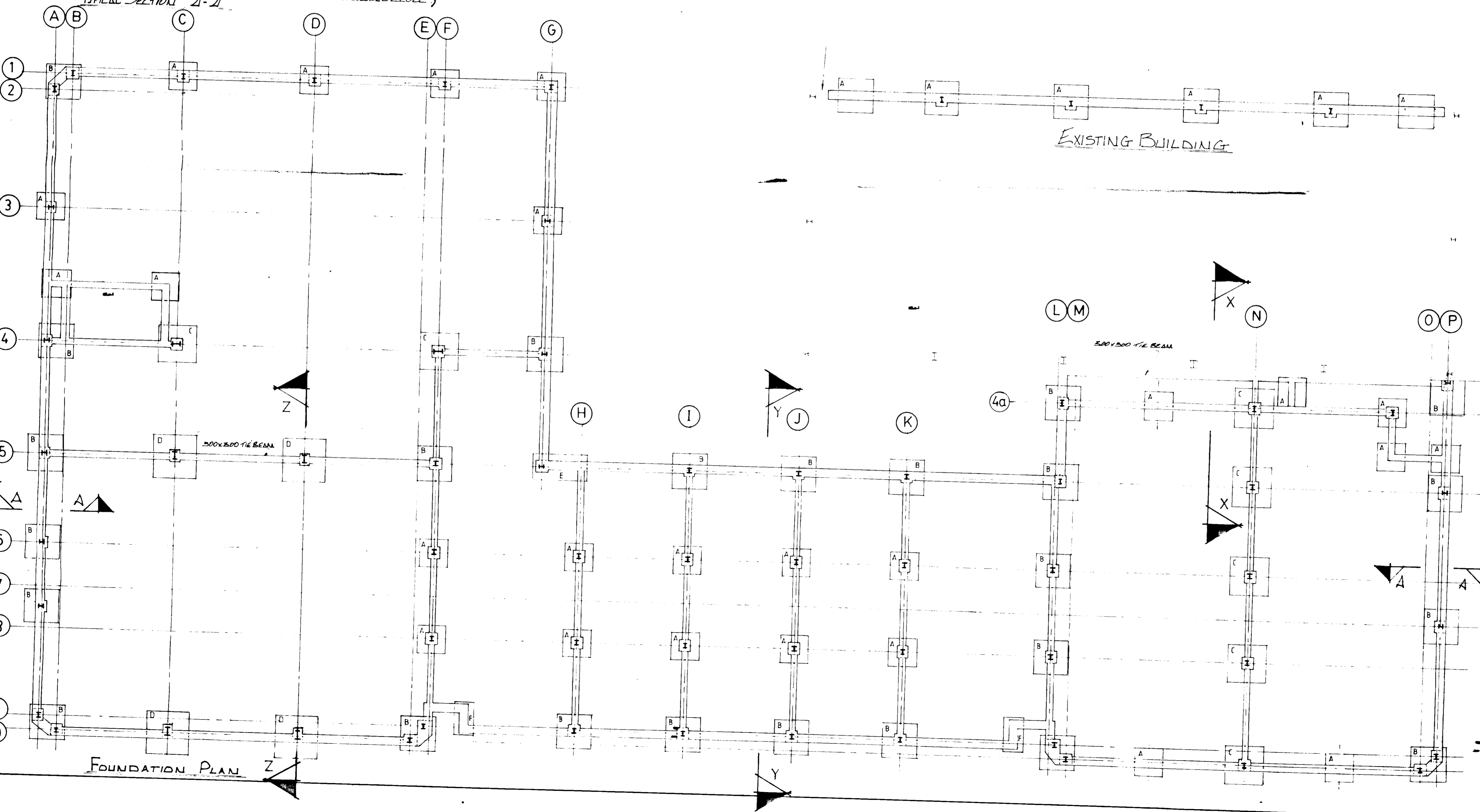


4. FOUNDATIONS WILL GENERALLY BE ON FIRM STIFF GREEN / BROWN SILTY STONY CLAY @ DEPTHS VARYING BETWEEN 2.5M & 3.5M BELOW EXTG. GROUND LEVEL (SEE IRISH GEOTECHNICAL SERVICES LTD (IGSL) SOILS REPORT DATED 16/7/91. ALL FOUNDATIONS TO BASEC. TO BE INSPECTED & APPROVED BY ENGINEER PRIOR TO POURING CONC. BUNDLING OR LEAN MIX.

50 CONC. BUNDLING (WHERE LEAN MIX IS NOT REQUIRED)

ANY SOFT OR SUSPECT MATERIALS SHOULD BE REMOVED & REPLACED BY LEAN MIX CONC AS DIRECTED BY THE ENGINEER. (DEPTH MAY VARY BETWEEN 2.5 & 3.5M BELOW EXTG. GROUND LEVEL)

TYPICAL SECTION A-A



FOUNDATION PLAN

- NOTES
- THIS DRG. IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - GROUND BEAMS**
 - UNDER CAVITY WALLS - 415 W x 450 DP
 - UNDER INTERNAL BLOCK WALLS - 300 W x 450 DP
 - TIES - 300 W x 300 DP
 - PADS**

PAD TYPE A: 1600 x 1600 x 400 DP.
 PAD TYPE B: 2000 x 2000 x 400 DP.
 PAD TYPE C: 2200 x 1200 x 400 DP.
 PAD TYPE D: 2500 x 2500 x 400 DP.
 PAD TYPE E: 1700 x 2500 x 400 DP.
 PAD TYPE F: 1600 x 900 x 400 DP.
 PAD TYPE G: 1800 x 1800 x 400 DP.
 PAD TYPE H: 1300 x 1800 x 400 DP.

PROJECT NO. 91/01 DATE 9/1/91 9/1/91			
ISSUED FOR BASE-LINE APPROVAL			
REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH PARTNERS
 CONSULTING ENGINEERS

Pinewood, Bishopstown, Cork. Phone (021) 45333 Telex 75410 HLEI

58 Great Charles St. Mountjoy Sq. Dublin 1. Phone (01) 728588

Louis Burke, Architect, Mantua Studio, Templeogue Bridge, Dublin 6W.

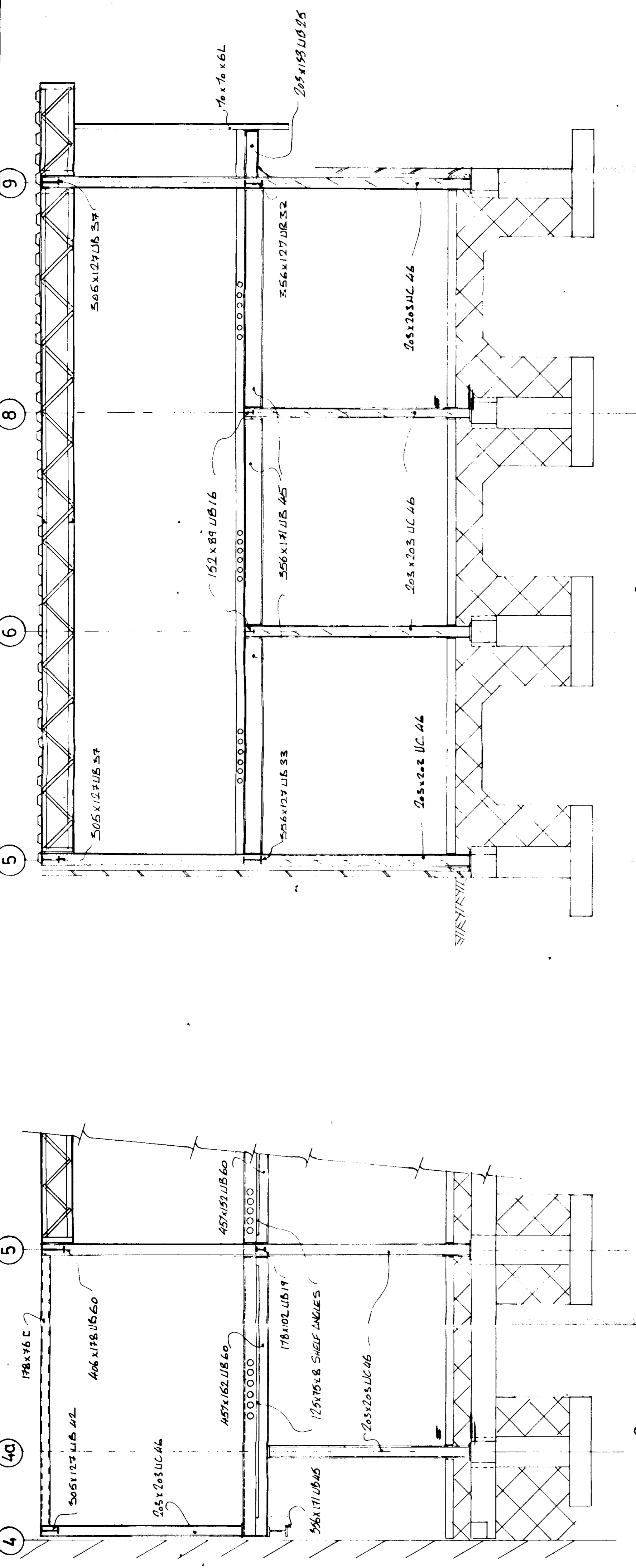
JOB TITLE
Palmerstown Retail Park

DRG. TITLE
Foundation Plan G.A. Of Ground Beams, Plinths & Pads.

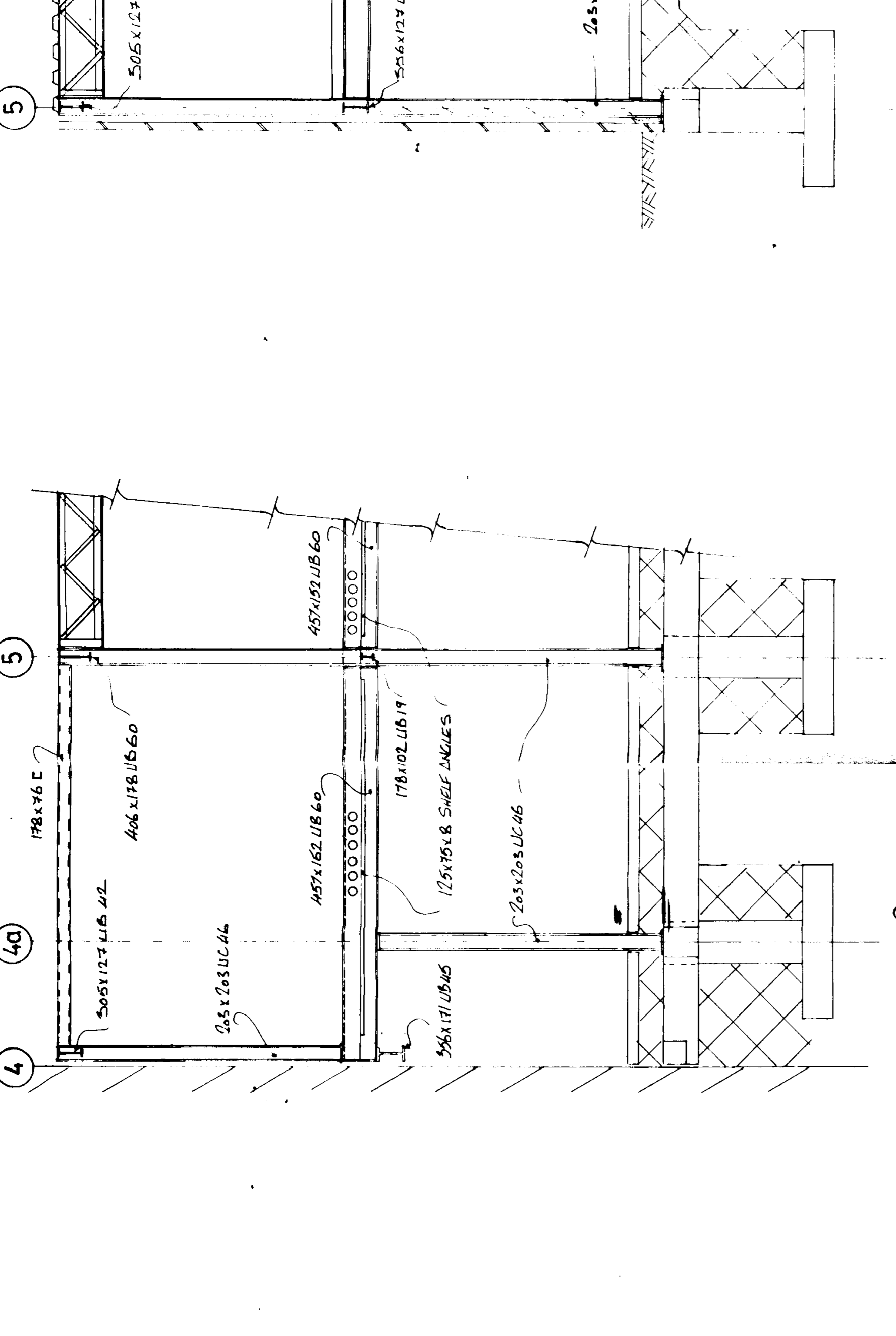
Scales 1:100 120 Drawn A.R.
 Date JUNE '91 Checked
 DRAWING NUMBER BH/91/01 REV

NOTES

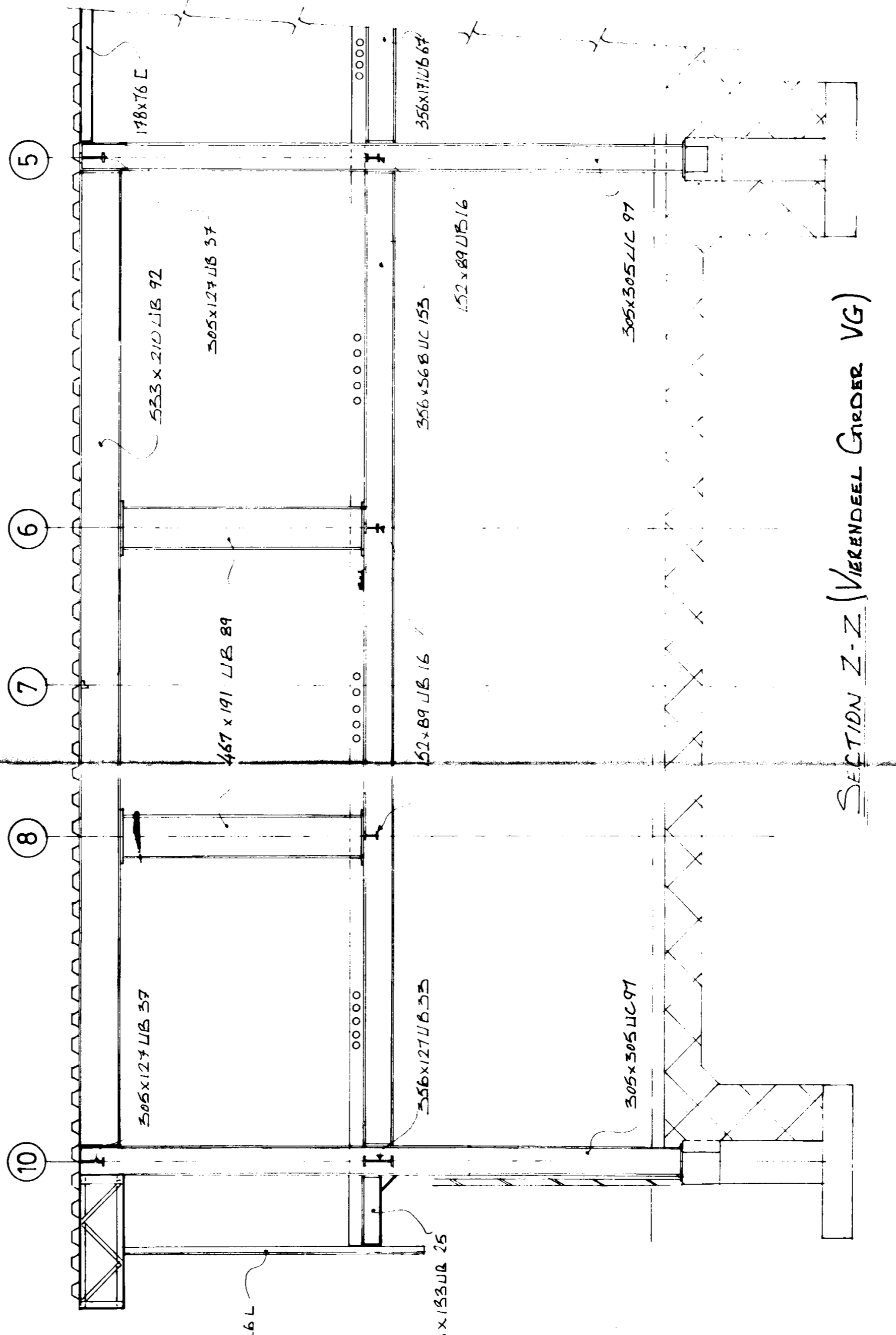
1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS & SPECIFICATIONS.



SECTION X-X



SECTION Y-Y



SECTION Z-Z (VERENDEEL GEDR. VG)

PHOTO COPY/SCANNED
BY: A. R. H. (A. R. H.)
DATE: 11/01/03
PROJ. NO.: 03/06/07

FORWARD FOR BLUE-LINE APPROVAL
DATE: 11/01/03
BY: A. R. H. (A. R. H.)

HORGAN, LYNCH+PARTNERS
CONSULTING ENGINEERS
Pinewood, Co. Wick
Phone: 0031 45333
Fax: 72410 1411

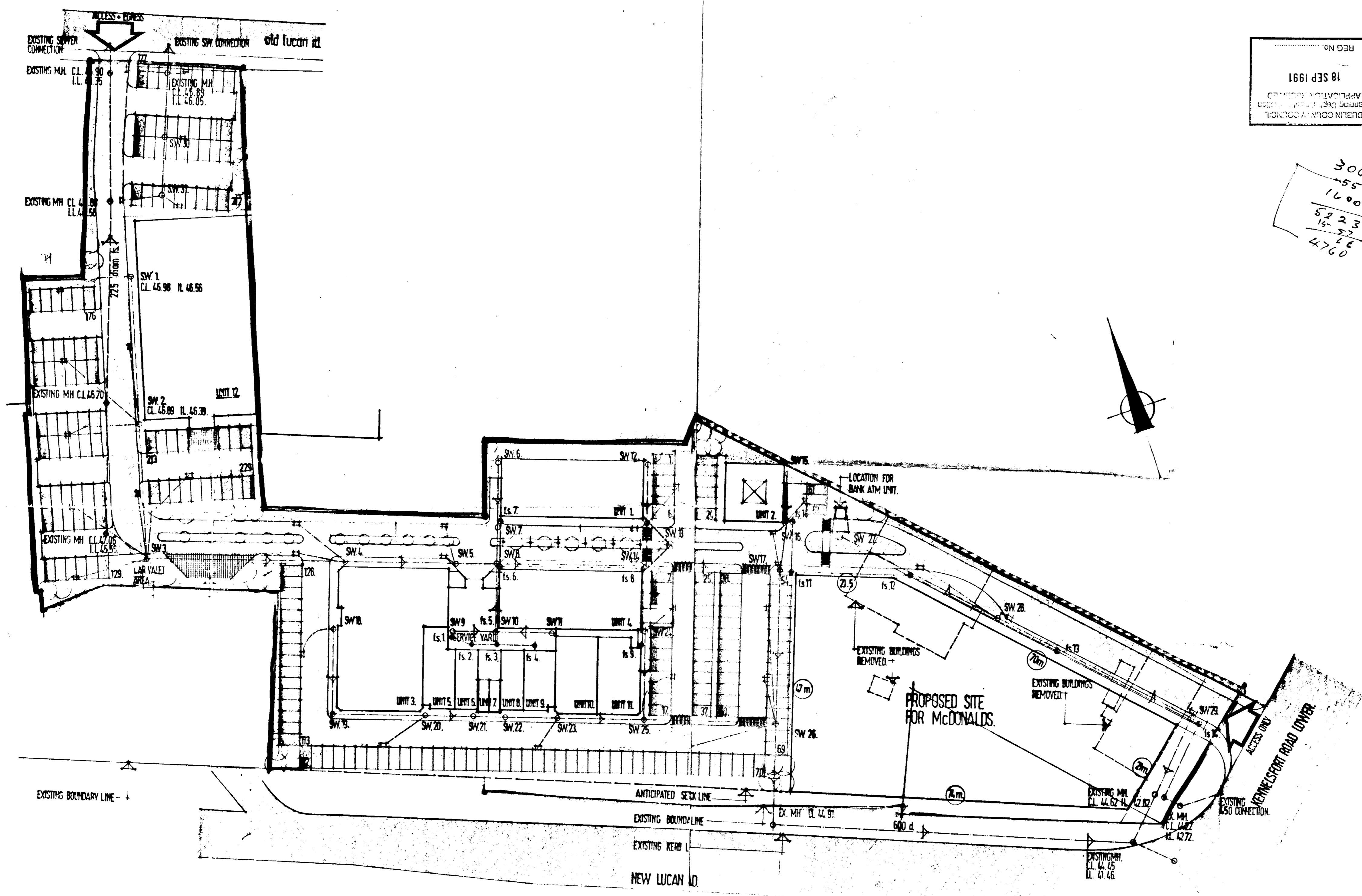
Louis Burke
Architect
Montua Studio,
Templeogue Bridge,
Dublin 6W.

JOB TITLE
Palmerstown Retail Park
ORG. TITLE
Cross Sections

Scale: 1:50
Date: JUNE '05
Drawn: A. R.
Checked: A. R.

REV.	DATE	DESCRIPTION

DRAWING NUMBER	BH/91/05
REV.	



NOTES

Unit 1	: 360 sq.m.
Unit 2	: 144 sq.m.
Unit 3	: 605 sq.m.
Unit 4	: 360 sq.m.
Unit 5	: 97 sq.m.
Unit 6	: 58 sq.m.
Unit 7	: 1022 sq.m.
Unit 8	: 58 sq.m.
Unit 9	: 77 sq.m.
Unit 10	: 147 sq.m.
Unit 11	: 138 sq.m.

3066 sq.m.

Car parking requirement.

5 spaces per 100 sq.m.	= 153
Commerce at 1 per 557 sq.m	= 6
Existing unit No.12 1600 sq.m in office use 4 spaces per 100 sq.m	= 64
Operational requirement at 1 per 372 sq.m	= 4
Total number of spaces required for existing unit 12 and proposed development	= 227
Number of spaces provided	= 229

REG No 1661 dS8 18 SEP 1991
DUBLIN COUNTY COUNCIL
PLANNING DEPT. REGISTRAR'S SECTION
APPLICATION RECEIVED

3066
-557
1600
5923 sq.m.
15-57
4760

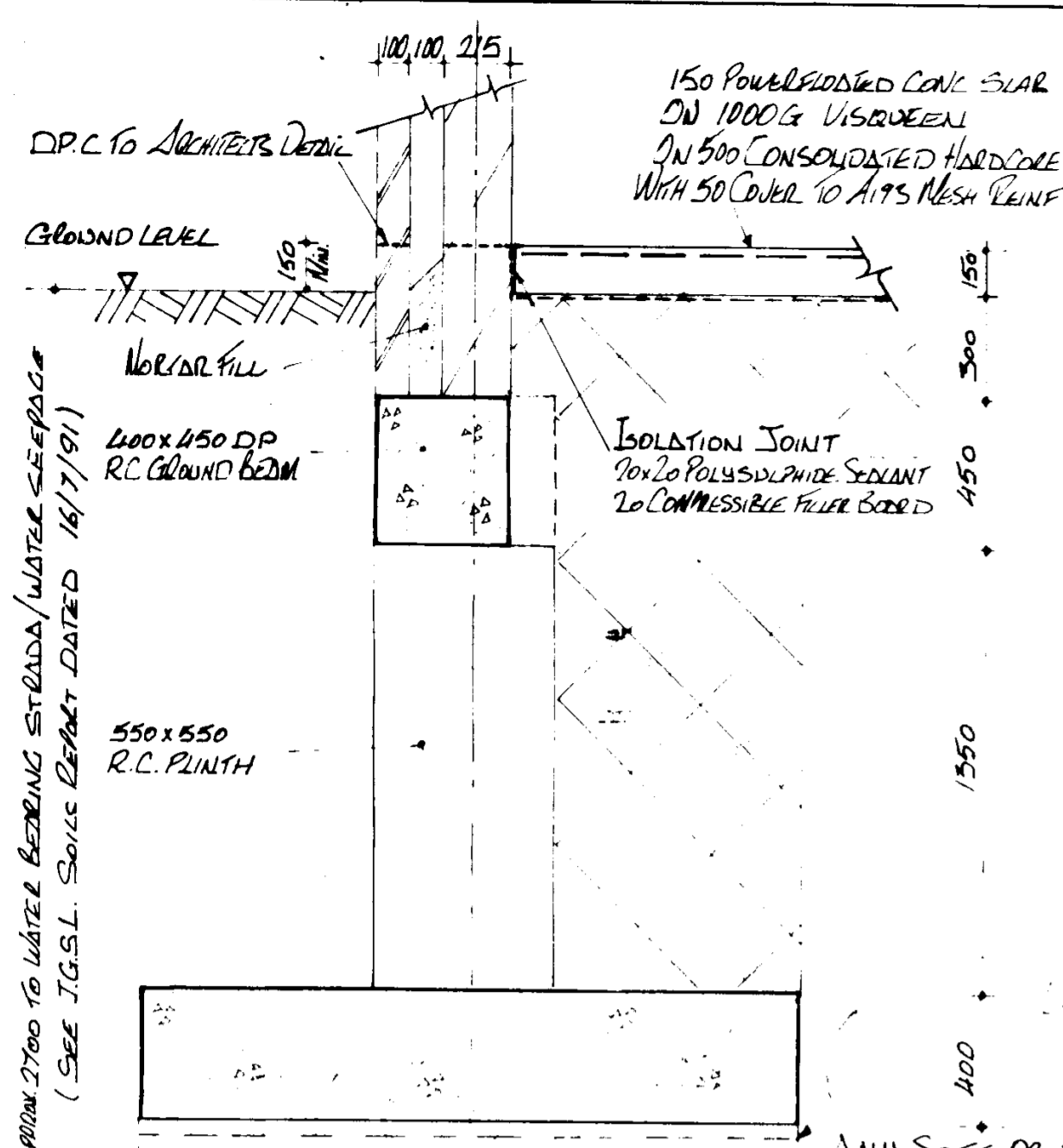
1400
8
11200
21600
11200

042
71667

DUBLIN COUNTY COUNCIL
Planning Dept. Registrar's Section
APPLICATION RECEIVED
18 SEP 1991
REG No 91A/1517

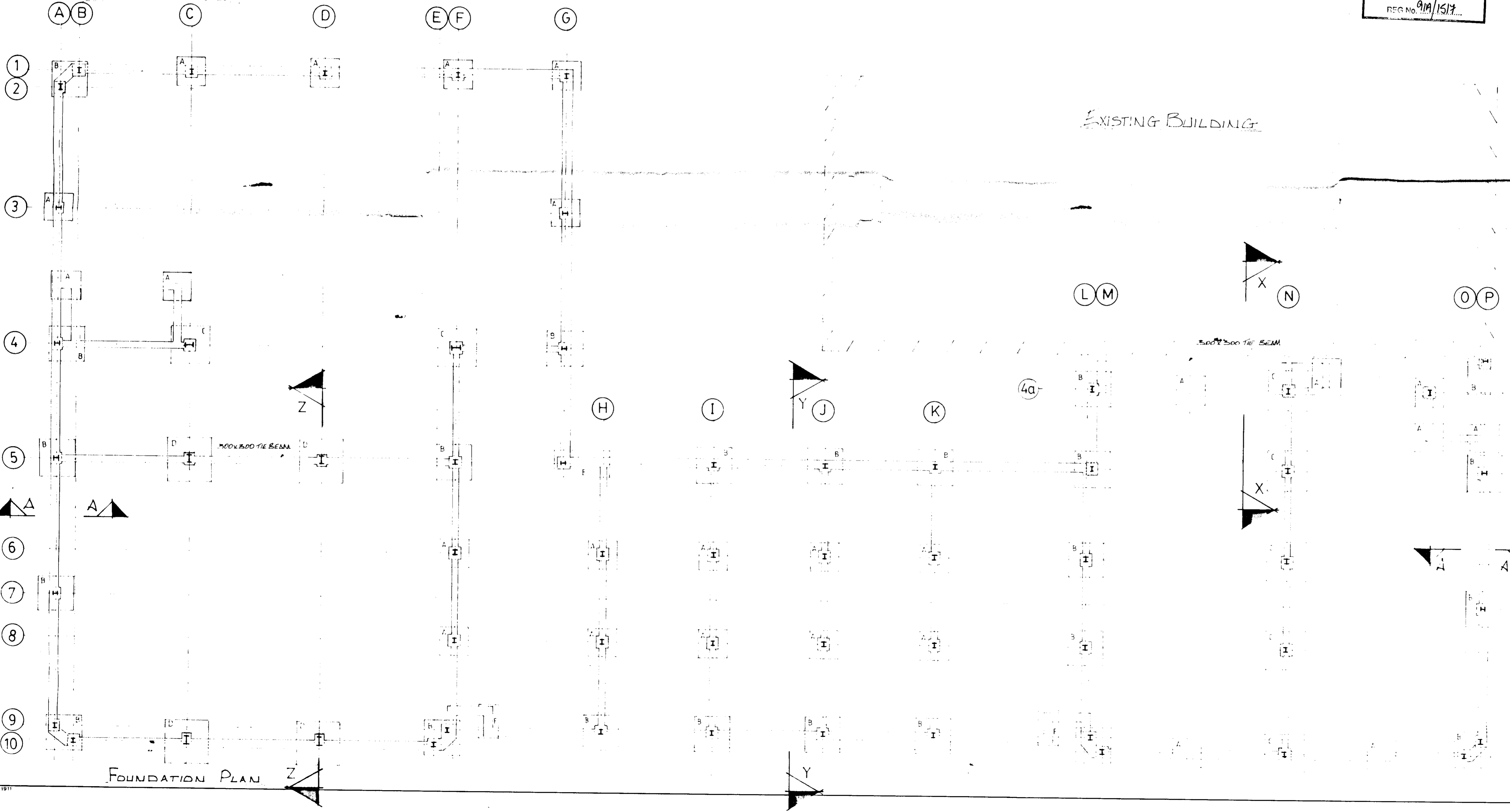
REDRAWN
JRM UNIT LOCATED
JUNE 1991
APRIL 1991
C.
D.

1:1 PALMERSTOWN RETAIL PARK
SITE BLOCK PLAN
SCALE: 1:500 DATE: JANUARY 1991 DRAWN BY: 90.28.11 CHECKED BY: A.
LOUISBURKE ARCHITECT
dip arch - b arch sc - m p r a telephone 304832
Mantua Studio Templeogue Bridge Dublin 6



IF ANY SOFT OR SUSPECT MATERIALS SHOULD BE REMOVED & REPLACED BY LEAN MIX CONC. AS ADVISED BY THE ENGINEER (JOINTS MAY VARY BETWEEN 25 & 50MM BELOW EXT. GROUND LEVEL)

TYPICAL SECTION A-A



- NOTES**
- THIS DRG. IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS & ARCHITECTS DRGS.
 - GROUND BEAMS**
 - UNDER CAVITY WALLS - 400W x 450D
 - UNDER INTERNAL BLOCK WALLS - 300W x 450D
 - TIES - 300W x 300D
 - PADS**
 - PAD TYPE A: 1600 x 1600 x 400 DP
 - PAD TYPE B: 2000 x 2000 x 400 DP
 - PAD TYPE C: 2200 x 1200 x 400 DP
 - PAD TYPE D: 2500 x 2500 x 400 DP
 - PAD TYPE E: 1700 x 2500 x 400 DP
 - PAD TYPE F: 1600 x 900 x 400 DP
 - FORMATION WILL GENERALLY BE ON FIRM STIFF CLAY / BROWN SILTY STONY CLAY. ST. DEPTHS VARYING BETWEEN 25M & 3.5M BELOW EXT. GROUND LEVEL (SEE I.R.M. GEOTECHNICAL SERVICES LTD (IGSL) SOILS REPORT DATED 16/7/91).
ALL FOUNDATIONS TO BASES TO BE INSPECTED & APPROVED BY ENGINEER PRIOR TO FIXING CONC. FINISHING OR LEAN MIX.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91M/1517...

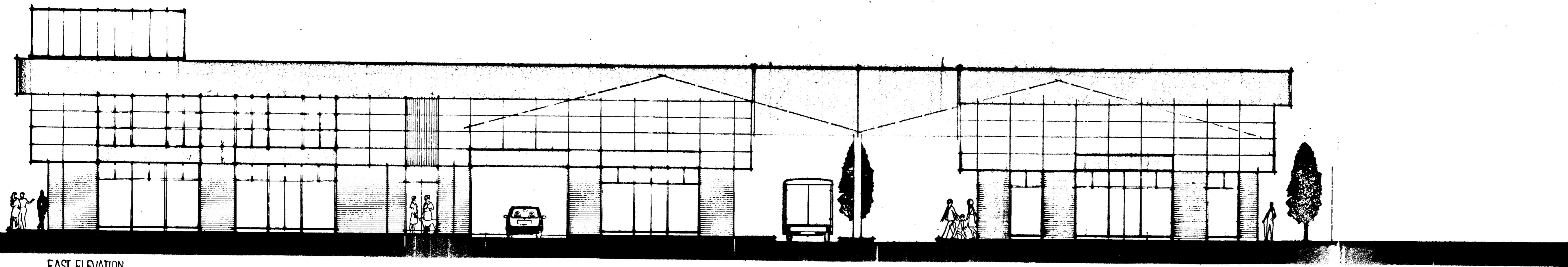
REV	DATE	BY	DESCRIPTION

HORGAN, LYNCH & PARTNERS
CONSULTING ENGINEERS
Pinewood, Bishopscourt, Cork
58 Great Charles St., Mountjoy Sq., Dublin 1
Phone (021) 45333
Telex 75410 HLEI
Phone (01) 728588

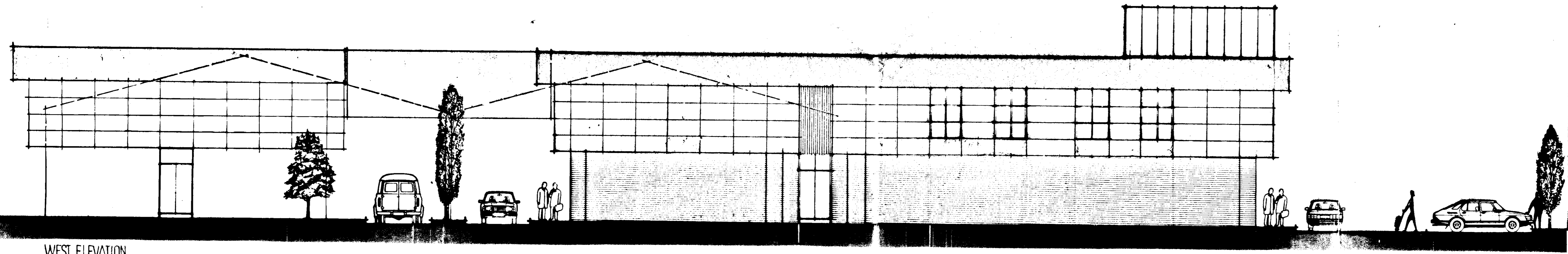
Louis Burke
Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W

JOB TITLE
Palmerstown Retail Park
DRG TITLE
Foundation Plan G.A. Of
Ground Beams, Plinths &
Pads.

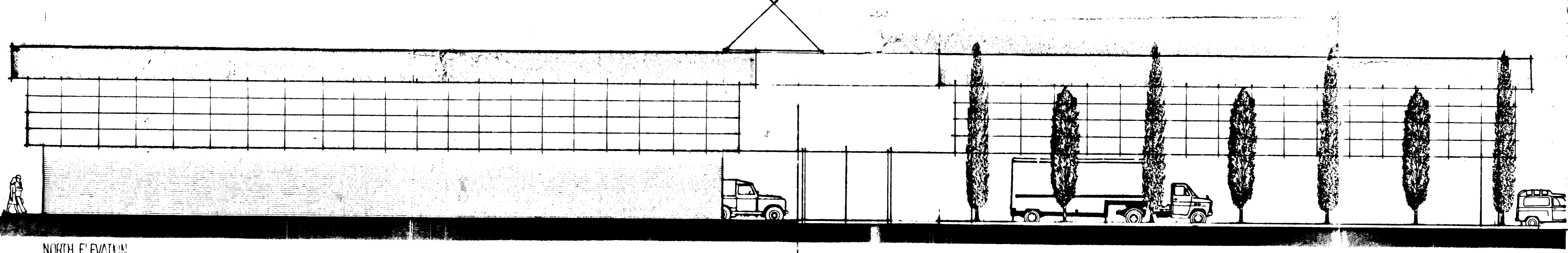
Scales	1:100 1:20	Drawn	A.R.
Date	JUNE '91	Checked	
DRAWING NUMBER	BH/91/01		



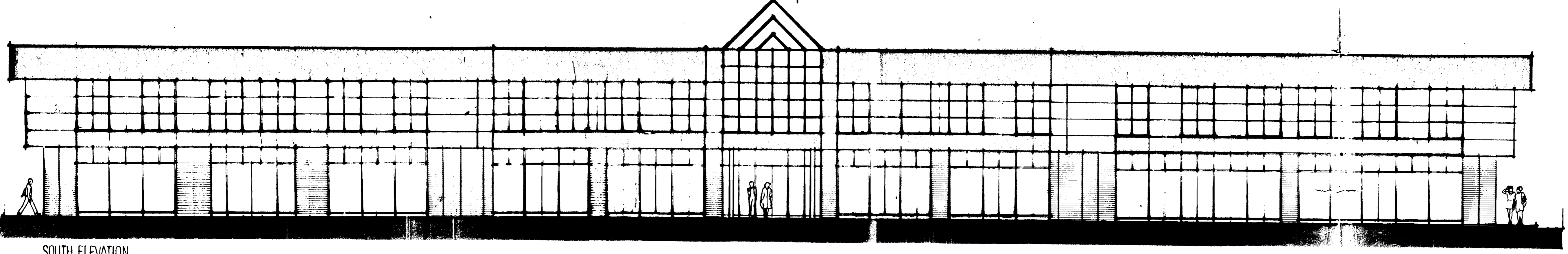
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

WINDOWS TO UNIT 5 DELETED 18/9/91
MANUFACTURING AREA DELETED 18/9/91
REVISED BY: [initials] DATE: 18/9/91

PALMERSTOWN RETAIL PARK

ELEVATIONS I

SCALE	DATE	BY	CHKD BY
1:100	JANUARY 1991	90.28.15	a.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/1517

LOUISBURKE ARCHITECT
dip arch · b arch ac · m rta · telephone 908832
Martha Studio, Templeogue Bridge, Dublin 6