

DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 91A 1516

1	ENTERED IN OBJECTORS REGISTER	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS REGISTER	✓
4	ENTERED IN PLANAPS: I.E.:	✓
	Appeal Decision:	✓
	Appeal Date:	✓
5	COPY OF DECISION FOR WEEK LIST (LAURA/MARY)	✓
6	DECISION CIRCULATED TO LISTED PERSONS	✓
6	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
7	TO L. DOYLE FOR NOTING	

CHANGE STATUS IN PLANAPS:

REFUSAL:.....55
 GRANT:.....62
 WITHDRAWN:.....54
 CONDITIONS:.....53



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1516

Date : 5th December 1991

Dear Sir/Madam,

Development : Change of use of 2 adjoining houses to nursing home
with lounge extension to rear and separate
service/laundry room

LOCATION : 38-40 Newlands Road, Dublin 22

Applicant : Catherine Murray

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

I wish to inform you that an appeal has been lodged with An Bord Pleanala against the Council's decision to GRANT PERMISSION .

All further correspondence in relation to this appeal should be addressed to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower Abbey Street, Dublin 1. (Tel.728011).

Please note that submissions or observations made to An Bord Pleanala by or on behalf of a person (other than the applicant) with regard to an appeal made by another person must be accompanied by a fee of £15.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Newlands Residents Assoc.,
Mr. R. Cotter,
6 Newlands Drive,
Clondalkin, Dublin 22.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
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regard to an appeal made by another person must be accompanied by a
fee of £15.

Yours faithfully,

L.D

for PRINCIPAL OFFICER

Mr. Dick Dunning,
31 Newlands Park,
Clondalkin,
Dublin 22.



Bloc 2, Ionad Bheatha hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1516

Date : 9th November 1991

Dear Sir/Madam,

Development : Change of use of 2 adjoining houses to nursing home
with lounge extension to rear and separate
service/laundry room

LOCATION : 38-40 Newlands Road, Dublin 22

Applicant : Catherine Murray

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

I wish to inform you that by order dated 07.11.91 it was decided
to GRANT PERMISSION for the above proposal.

This decision, together with the conditions/reasons attached thereto,
is recorded in the Planning Register kept at this office in accordance
with Section 8 of the Local Government (Planning and Development) Act 1963.
This register may be inspected during office hours [9.00a.m. - 12.30p.m.
2.15p.m. - 4.30p.m.] and interested party may obtain a certified copy of
an entry therein on payment of a fee of £5 in respect of each entry.

It should be noted that the proposer may appeal to An Bord Pleanala
against the decision or any conditions attached to the Council's decision
within one month beginning on the day of receipt by him of the Council's
decision. Any other person may appeal to An Bord Pleanala within three
weeks beginning on the date of decision. Interested parties are advised to
consult the Planning Authority or An Bord Pleanala to ascertain if an
appeal has been lodged by the applicant.

All appeals against decisions of the Planning Authority and all
correspondence in relation to new and existing appeals should be addressed
to The Secretary, An Bord Pleanala, Blocks 6 & 7 Irish Life Centre, Lower
Abbey Street, Dublin 1. (Tel. 728011). Any appeal made to An Bord Pleanala
will be invalid unless the correct fee is received by An Bord Pleanala
within the statutory appeal period. The fee in respect of an appeal by an
applicant for permission relating to commercial development is £100; any
other appeal is £50.

Submissions or observations made to An Bord Pleanala by or on behalf of
a person (other than the applicant) as regards an appeal made by another
person must be accompanied by a fee of £15.

Mr. Dick Dunning,
31 Newlands Park,
Clondalkin,
Dublin 22.



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Block 2, Irish Life Centre,
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Telephone. (01)724755
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Yours faithfully,

L. J.

.....
for PRINCIPAL OFFICER



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Newlands Residents Assoc.,
Mr. R. Cotter,
6 Newlands Drive,
Clondalkin, Dublin 22.



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Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1516

Date : 9th November 1991

Yours faithfully,

A handwritten signature, possibly 'L.D.', written in dark ink.

.....
for PRINCIPAL OFFICER

Lead. 18/9/91

PK - PK ~~WJ~~

91A/1516

1078

objection 91A/1516, lead 18/9/91.

October 29, 1991.

31 OCT 1991

31 Newlands Park,
Clondalkin,
Dublin 22.

Dublin County Council,
Planning Department,
Irish Life Centre,
Abbey Street,
Dublin 1.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
RECEIVED
30 OCT 1991

REF: Presentation to Dublin County Council Regarding-
Proposed Nursing Home at Nos: 38 & 40 Newlands Road.
File Ref. No. 91 A 1516

Dear Sirs:

I write on my own behalf and on the behalf of my neighbours regarding a proposal to change of use of the above residential houses.

I live at No. 31 Newlands Park backing onto this site and bought my house two years ago. Sites 38 & 40 were developed at the same time and were both sold to members of the same family.

It was understood locally that the two houses Nos. 38 & 40 were knocked into one but the occupants assured us that there was nothing sinister in this and that it was for normal residential use by an extended family.

We now understand that the occupants, now in the nursing profession had intended to start a business there.

I have set out the main points of our representation as follows:

1. This is a Residential estate and such a development is contrary to the proper planning and development of the area.

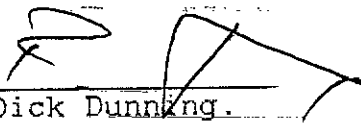
H

2. A Nursing Home/Retirement Home would generate a pattern of use and activity more akin to a small Hotel/Guesthouse than a residence, and would refuse the residential amenities of adjoining neighbours.
3. In a quiet residential area the nature of visitor, professional and service traffic would disimprove the present situation.
4. The site itself is small and not adequate for the use intended, particulary car parking and garden amenities.

Conclusion

Speculative Development.

Yours faithfully,


Dick Dunning.

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A1516

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P <u>31/10/91</u> <u> </u>	Noted by cler T. Ridge		

PK

07 OCT 91

Newlands Residents Association Ltd

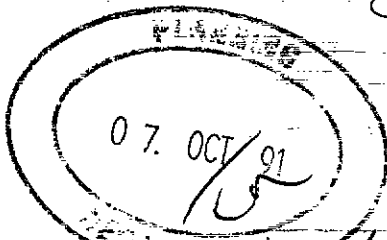
PLANNING DEPARTMENT
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

91A/1516

T810

6 NEWLANDS DRIVE
CLONDALKIN
DUBLIN 22

1-10/91
11/10



OBJECT

Re: PLANNING APPLICATION NO 91A/1516 - 38-40 NEWLANDS ROAD
DUBLIN 22 CATHARINE MURRAY -

Dear Sir / Madam,

Our Association would like to object to the above application on the following grounds

- 1/ The owners purchased these newly built town with the sole intention of operating them as a commercial entity.
- 2/ The proposed development is in a residential area and we wish to express our concern re. the use of the above property for matters other than domestic dwelling.
- 3/ The location for this proposed nursing home is too small for this development, as it only offers two small back gardens which would further diminish with proposed building of lounge extension and separate service laundry rooms.
- 4/ Based on the information given to a member of the association by the present applicant, the applicant expects that the dwelling will have up to 12 residents in what is ostensibly two 4 Bedroom Houses. We feel that this proposed development is too small to cater for the plans of the applicant.
- 5/ Parking facilities are inadequate for this proposed development i.e. for visitors and proprietor. At present there is normally 5 to 6 cars using the driveway and additional traffic to this proposed development could present hazardous conditions to residents.

CONT/D

Newlands Residents Association Ltd

- 6 This proposed development would create additional traffic such as Ambulance Service, Attendants of Doctors and Priests, Delivery Service, Repair Services, General Contractors Services and visitors which would further frustrate an already difficult traffic situation in the area.
- 7 This proposed development would create pressure on already inadequate sewerage and ancillary services in the area.
- 8 The proposed development i.e. ~~entirely~~ Nursing Home would necessitate the use and storage of Drugs, Medication, Syringes etc which would obviously attract drug addicts and increase the vulnerability to ~~resounding~~ properties of Break-ins.
- 9 The proposed development would increase nuisance noise levels such as proposed laundry and service facilities.
- 10 The proposed development does not comply with the original development plan for the area.
- 11 We feel that the proposed development could not comply with the current Health and Safety Regulations.
- 12 We feel that the proposed development could not comply with the current fire regulations.
- 13 We feel that the proposed development could not satisfy adequate Mortuary facilities.
- 14 * Previous correspondence (copies enclosed) relating to this development is self explanatory.

Yours faithfully
Roy Cotter
Secretary.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. R. Cotter,
6 Newlands Drive,
Clondalkin,
Dublin 22.

Our Ref. Enf. 7582

Your Ref.

Date 18th September, 1990

Re/ Lands at Newlands Park and Newlands Road, Clondalkin
(Reg. Ref. 89A/545)

Dear Sir,

I refer to previous correspondence concerning the above.

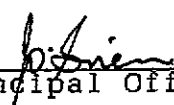
A recent inspection of the above site has revealed that Condition No. 8 of the above permission (Reg. Ref. 89A/545) has not been complied with in that no public lighting has been provided. Condition No. 17 has been complied with, in part, in that the verge and footpath have been provided. However, the required tree planting of the verge has not taken place.

The developer has now been requested to comply with the above conditions forthwith. Failure to do so may render him liable to legal proceedings.

With reference to Condition No. 11 which refers to water supply and drainage arrangements, the Council's Building Control and Sanitary Services Departments have been requested to indicate their requirements which will then be communicated to the developer.

An inspection has confirmed that two houses, site nos. 6 and 6a Newlands Road are in use as one unit. The internal works carried out can be considered to be exempted development. Accordingly, enforcement action is not warranted.

Yours faithfully,


for Principal Officer

MR/PC

Planning Clerk 724785

NEWLANDS RESIDENTS ASSOCIATION LTD

PLANNING DEPT

DUBLIN 2

TRESH LIFE CENTRE

LOVELL HOBBS ST

DUBLIN 2

6 Newlands Drive

Clonsilla

DUBLIN 22

23rd July 1970

Re: PLANNING APPLICATION Order No P/2089/67 - 25/15/67

REGISTERED REFERENCE No 89A - 545

Dear Sir/Madam,

I am writing to you on behalf of our Association regarding the above development which has been contracted by Mr Kevin Loughrane and Co Ltd.

Our Association is concerned that Mr Loughrane has not complied with the conditions for the development in particular conditions 8, 11, and 17 referring to lighting, drainage, footpath verge and tree planting respectively.

Concern has also been expressed about the structural alterations regarding the lanes of Newlands Road in this development.

I would be grateful if the planning dept would investigate these matters promptly and report back their findings by return post.

Yours faithfully
Ray Cotton
Secretary

REF. NO.: 910/1516 CERTIFICATE NO.: 16319B
 PROPOSAL: Change use of adjoining houses to nursing Home
 LOCATION: 38-40 Newlands Road, Clondalisc
 APPLICANT: Catherine Murray

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <u>49.50m</u>	@ £3.50 per M ² or £70	<u>175</u>	<u>132.50</u>	<u>42.50</u>		
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70			<u>£42.50 paid</u> <u>1/10/91, N 50257</u>		
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: D/HI Date: 23/9/91
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 23/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN 1.

G. Flynn,

72 Monalea Grove
Firhouse,
Dublin 24

24th September, 1991

REG. REF.: 91A/1516

RE: Change of use of adjoining houses to Nursing Home at 38-40 Newlands Road,
Glondalkin for Catherine Murray

Dear Sir/Madam,

I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 175.00.
Please quote the Register Reference No. stated above when submitting the fee.

Yours faithfully,



for PRINCIPAL OFFICER

* Amount submitted = £132.50
Amount due = £ 42.50

PLANNING APPLICATION FEES

Reg. Ref. 91A/1516 Cert. No. 26656
 PROPOSAL Dense use of adjoining houses to Nursing Home
 LOCATION 38-40 Newlands Road Clondalcan
 APPLICANT Catherine Murray

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>298.0m</u>	@£1.75 per m2 or £40	<u>£521.50</u>	<u>£521.50</u>	✓	
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: [Signature] Grade D/P Date 23/9/91
 Column 1 Endorsed: Signed: Grade Date
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade S.O Date 2/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade Date

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91M1516

CITY, REG.:

SERVICES INVOLVED: WATER POOL

AREA OF SITE:

LOOR AREA OF PRESENT PROPOSAL: 3208 sqm

MEASURED BY: J.Y. 28/9/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: BY
DATED

3208

ENTERED IN CONTRIBUTIONS REGISTER: 1000 @ 750

Por
2-6

= 2406

ENFORCEMENT CONTROL ASSISTANT

P/2115/92

AN BORD PLEANÁLA

FINANCIAL CONTRIBUTION IS	
AMOUNT €	2406
F	10

CN 9693

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990County DublinPlanning Register Reference Number: 91A/1516

CN-9692

APPEAL by Newlands Residents Association Limited care of Ray Cotter of 6 Newlands Drive, Clondalkin, County Dublin against the decision made on the 7th day of November, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Catherine Murray of 40 Newlands Road, Clondalkin, County Dublin for development comprising a change of use of two adjoining houses to a nursing home with lounge extension to rear and separate service/laundry room at 38-40 Newlands Road, Clondalkin, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would accord with the proper planning and development of the area.

SECOND SCHEDULE

1. The vehicular entrance to the site shall be relocated towards the western end of the frontage of the site to Newlands Road. Full details relating to the relocated entrance, the revised on-site car parking layout and the provision of a landscaped and planted strip of ground between the revised car parking and the boundary of the site with Newlands Road shall be submitted to and agreed with the planning authority prior to the commencement of the use hereby permitted.

Reason: In the interest of orderly development, traffic safety and the visual amenities of the area.

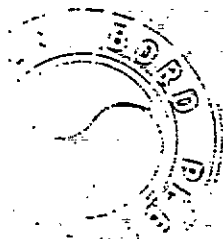
P/2115/92

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SECOND SCHEDULE (CONTD.)

- 2. The developer shall pay a sum of money to Dublin County Council as a contribution towards the expenditure that has been incurred by the said Council in the provision of water supplies and sewerage facilities that have facilitated the proposed development. The amount of the contribution and the arrangements for payment of the contribution shall be as agreed upon between the developer and the Council or, in default of agreement, shall be as determined by An Bord Pleanála.

Reason: It is considered reasonable that the developer should contribute towards the expenditure that has been incurred by the Council in the provision of services that have facilitated the proposed development.



John Dwyer

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 31st day of March 1992.

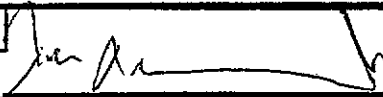
AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1516

With regard to Condition No. 2 the financial contribution towards the expenditure that has been incurred by the said Council in the provision of water supplies and sewerage facilities that have facilitated the proposed development is assessed at £2,406.00.

Order Noted: L.D.	
Dated: 7 th MAY 1992	ASST. COUNTY MANAGER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated 10 th day of FEBRUARY 1992	

COMHAIRLE CHONTAE ATHA CLIATH

D. Heals

TO: N.R. Prendergast

REG. REF. 91A-1516

RE: Change of use of 2 adjoining houses to nursing home
with lounge extension to Rear & separate
services/laundry room - 38-40 Newlands Rd. D22

I attach for your observations memo/letter dated 28/11/91
from An Bord Pleanála.

Please reply before: 22/12/91 S
for Principal Officer

DATED: 11-12-91

OBSERVATIONS:

No further comment at this time n

Signature of person
making observations: _____

Countersigned: *MA*
(S.E.D.C.)

DATE: _____

DATE: 12/12

P/50 95/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1516

Date Received : 18th September 1991

Correspondence : G. Flynn, + Catherine Murray
 Name and : 72 Monalea Grove, 40 Newlands Rd
 Address : Firhouse, Clonsilla
 Dublin 24 Dublin 22.

Development : Change of use of 2 adjoining houses to nursing home with lounge extension to rear and separate service/laundry room

Location : 38-40 Newlands Road, Dublin 22

Applicant : Catherine Murray

App. Type : Permission

Zoning :

Floor Area : Sq.metres

(NP/BB)

Report of Dublin Planning Officer dated 31st October, 1991.

This is an application for PERMISSION for change of use of a pair of semi detached houses to nursing home with a lounge extension at 38-40 Newlands Road, Dublin 22.

The proposed development consists of the provision of 12 bed spaces and ancillary facilities.

Roads Engineer Report noted.

Sanitary Services Engineer report not available *gy*

Environmental Health officer reports no objection subject to conditions. *cap*

The proposed development is consistent with provisions included in the Development Plan.

I recommend that a decision to GRANT PERMISSION be made under the Local

CONTRIBUTION:
Standards: 2406
Roads:
S. Sers:
Open Space:
Other:
SECURITY:
Bond/C.I.F.:
Cash:

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1516

Page No: 0002

Location: 38-40 Newlands Road, Dublin 22

Government (Planning and Development) Acts, 1963-1990 subject to the following
() conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development. *In this regard the number of land spaces to be as determined by the Supervising Environmental Health Officer*
REASON: In the interest of health.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.

06 That the vehicular entrance of the site to be located on the western side of the site and the car parking layout to be amended accordingly. An area of planting and landscaping to be provided between the car park and the road. Details of this revision to be submitted to and agreed by the Planning Authority prior to commencement of development.

IN WRITING
06 REASON: In the interest of the proper planning and development of the area.

07 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

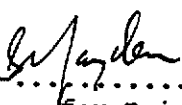
Reg.Ref: 91A/1516

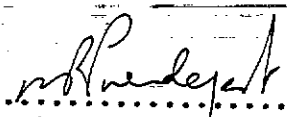
Page No: 0003

Location: 38-40 Newlands Road, Dublin 22

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

- 08 That a financial contribution in the sum of £2,406. be paid by the proposer to the Dublin county Council towards the cost of provision of public services in the area of the proposed development and which will facilitate this development; this contribution to be paid prior to the commencement of development on site.
- 08 REASON: In the interest of the proper planning and development of the area.

Endorsed: 
for Principal Officer


for Dublin Planning Officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the () conditions set out above is hereby made.

Dated : 7th NOVEMBER 1991


ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 6th November, 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 7.11.91
Time 3.40

Register Reference : 91A/1516

Date : 24th September 1991

.....
ENDORSED _____

DATE _____

Refer to chief fire officer. L.S
WATER SUPPLY. Water available for zoned use. 24 hour storage
to be provided. Non-Domestic use to be metered at
owners expense. L. J. Spear
18 Oct 91

WOSullivan
18/10/91

.....
ENDORSED _____

DATE _____

4/10/91

DUBLIN Co. COUNCIL
- 6 NOV 1991
W

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1516.

DEVELOPMENT: Change of use of 2 adjs. houses to nursing home with lounge extension to rear and separate service/laundry room.

LOCATION: 38-40 Newlands Road, Dublin 22.

APPLICANT: Catherine Murray.

DATE LODGED: 18.9.91.

This type of development tends to generate very little traffic and that which is, will normally be spread evenly over the normal working day.

There appears to be 12 bed spaces, which relates to Development Standards carparking space requirement of 4. Thus the five spaces shown should be adequate.

Roads Department would prefer if the entrance was on the west of the site. We would not approve of the new entrance at the east of the site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 17.10.91
 Time 12.30

TB/BMcC
16.10.91.

SIGNED: *C. R. [Signature]*
 DATE: 16/10/91

ENDORSED: _____
 DATE: _____

m.g.

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1516

Date : 19th September 1991

Development : Change of use of 2 adjoining houses to nursing home
with lounge extension to rear and separate
service/laundry room

LOCATION : 38-40 Newlands Road, Dublin 22

Applicant : Catherine Murray

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 18th September 1991

DUBLIN COUNTY COUNCIL
27 SEP 1991
E.H.O.

Attached is a copy of the application for the above development .Please
ensure that your report is received within 5 weeks from 18th September 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 8.10.91
Time 3.15
1

Yours faithfully,

.....
for PRINCIPAL OFFICER

I have no objections to this proposal
provided that

- 1 Permanent fresh air vents are provided
in external walls of all habitable rooms
- 2 Mechanical ventilation is provided in
all internal shower units
- 3 Access facilities for the disabled are
provided.
- 4 The premises must comply with the
Homes for Incapacitated Persons Regulations
1985.

for John O'Reilly SE HO 2/10/91

Joelle Kelly
EHO 3/10/91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1516.
DEVELOPMENT: Change of use of 2 adjs. houses to nursing home with lounge extension to rear and separate service/laundry room.
LOCATION: 38-40 Newlands Road, Dublin 22.
APPLICANT: Catherine Murray.
DATE LODGED: 18.9.91.

This type of development tends to generate very little traffic and that which is, will normally be spread evenly over the normal working day.

There appears to be 12 bed spaces, which relates to Development Standards carparking space requirement of 4. Thus the five spaces shown should be adequate.

Roads Department would prefer if the entrance was on the west of the site. We would not approve of the new entrance at the east of the site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 14.10.91
Time 3.00

TB/BMcC
16.10.91.

SIGNED: C. J. L. ENDORSED: _____
DATE: 16/10/91 DATE: _____

Our Ref: PL 6/5/87435
P.A. Reg. Ref: 91A/1516

EOH c J.C.

Secretary,
Dublin County Council,
Planning Section,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Date: 31 MAR 1992



Appeal re: Change of use of 2 adjoining houses to nursing home with lounge extension to rear and separate service/laundry room at 38-40 Newlands Road, Dublin.

Dear Sir,

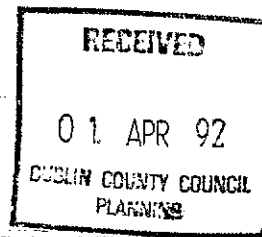
An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

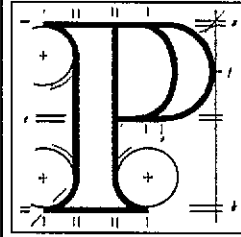
Norma O'Connor
Norma O'Connor

Encl.

BP 352



An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/1516

APPEAL by Newlands Residents Association Limited care of Ray Cotter of 6 Newlands Drive, Clondalkin, County Dublin against the decision made on the 7th day of November, 1991 by the Council of the County of Dublin to grant subject to conditions a permission to Catherine Murray of 40 Newlands Road, Clondalkin, County Dublin for development comprising a change of use of two adjoining houses to a nursing home with lounge extension to rear and separate service/laundry room at 38-40 Newlands Road, Clondalkin, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that, subject to compliance with the conditions set out in the Second Schedule hereto, the proposed development would accord with the proper planning and development of the area.

SECOND SCHEDULE

1. The vehicular entrance to the site shall be relocated towards the western end of the frontage of the site to Newlands Road. Full details relating to the relocated entrance, the revised on-site car parking layout and the provision of a landscaped and planted strip of ground between the revised car parking and the boundary of the site with Newlands Road shall be submitted to and agreed with the planning authority prior to the commencement of the use hereby permitted.

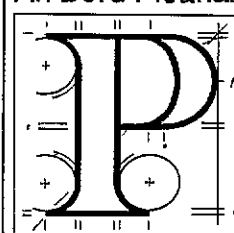
Reason: In the interest of orderly development, traffic safety and the visual amenities of the area.

Our Ref: PL 6/5/87435
P.A. Reg. Ref: 91A/1516

03 FEB 92

Handwritten initials and marks

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 31st January 1992.

Appeal re: Change of use of two adjoining houses to nursing home with lounge extension to rear and separate service/laundry room at 38/40 Newlands Road, Dublin 22.

Dear Sir/Madam,

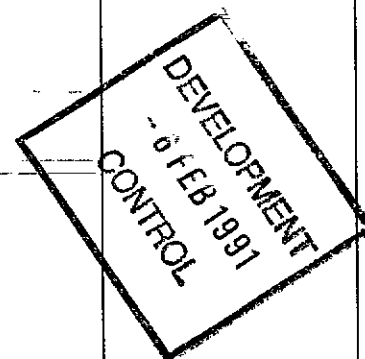
Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within fourteen days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours sincerely,

Suzanne Lacey
Suzanne Lacey

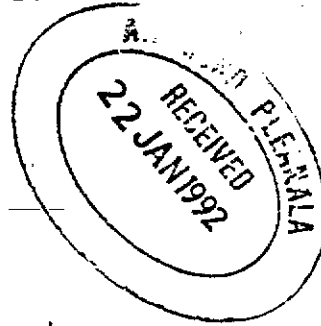
BP 553A



NEWLANDS RESIDENTS ASSOCIATION LTD.
6, Newlands Drive,
Clondalkin,
Dublin 22.

January 20, 1992.

An Bord Pleanála,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.



RE: Change of use to Nursing Home and extensions to
38-40 Newlands Rd., Clondalkin-Ref: PL 7/5/87435

6

Dear Sirs:

We refer to your letter of 7/01/92 and attached letter of representation from the applicant's architect.

We would like to add that this proposal is located at the furthest point into Newlands Estate. It is adjacent to a children's playground and on a "T" junction. Such a Nursing Home would generate a pattern of use and activity more akin to a small hotel/guesthouse.

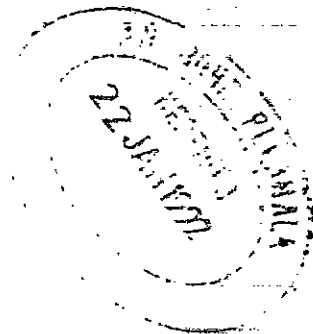
It is in this context that we make our objection particularly to the car parking provision given the normal visitor, professional and service traffic such an establishment would generate.

Notwithstanding the applicants's claim that their proposal does not contravene the Development Plan Zoning, we consider that this is an entirely inappropriate location for such a facility. It would create an increased traffic load right through the estate. It would generate increased roadside parking at a critical point in the estate. In a quiet and narrow estate road the pattern of visitor, professional toing and froing would disimprove the present amenity enjoyed by virtue of noise and nuisance.

We would ask that you uphold our appeal.

Yours faithfully,

PP Dieth Dunning
Ray Cotter.



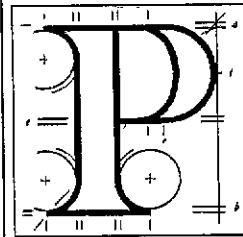
Our Ref: PL 6/5/87435
P.A. Reg. Ref: 91A/1516

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.



Real.
U/I.

pu
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 7th January 1992.

Appeal re: Change of use of two adjoining houses to nursing home with lounge extension to rear and separate service/laundry room at 38/40 Newlands Road, Dublin 22.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within fourteen days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours sincerely,

Suzanne Lacey
Suzanne Lacey

BP 553A

JAN 92

G Flynn, Architects
72 Monalea Grove
Firhouse
Dublin 24

Tel: 942868
Fax: 533668

20 December 1991

An Bord Pleanala
Irish Life Centre
Lower Abbey St
Dublin 1

Re: P.A. Reg. Ref. 91A/1516
PL 7/5/87435
Change of use of two adjoining houses to nursing home
with lounge extension to rear and separate service/
laundry room at 38-40 Newlands Road, Clondalkin

Dear Sir

I refer to your letter of 28th November '91 advising that an objection had been lodged with An Bord Pleanala against Dublin County Council's decision to grant planning permission for the above development.

We have examined the points raised by the objector and would like to submit the following comments:

1. Access for Fire and Emergency Services

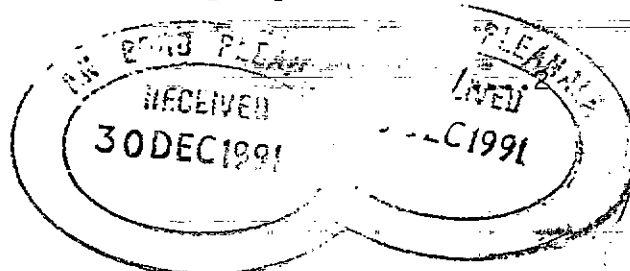
Access to Nos 38 - 40 will be no more difficult than for any other dwelling in the area. Our drawings and documentation have been discussed with the Fire Officer for the area and approval has been received from the chief fire officer under the Building Bye-Law Approval Notice dated 21st November '91, Order No. BBL/3437/91.

2. Parking Facilities

There are off-street parking facilities for 5 no. cars - this level of off-street parking has been approved by the Planning Officer and complies with the development plan for the area.

3. Fire Escape

The design and layout of escape routes has been discussed and agreed with the Fire Officer and comply with his requirements and the provisions of the Proposed Building Regulations.



4. 'The storage of drugs and medicine in the proposed development may attract undesirables.'

The Eastern Health Board will issue a licence for the nursing home on condition that drugs are stored in accordance with their strict regulations. However, controlled drugs, if being used, are ordered on a daily basis. As far as I can ascertain there have been no incidents of addicts forcing entry to any Nursing Home in Clondalkin or surrounding area.

5. Sewage System

The design of the soils and waste system is in accordance with Building Bye-Laws and complies with current British and Irish Standards and has been approved and passed by the Building Control Officer under the Building Bye-Law Approval Notice, Order No. BBL/3437/91.

6. Health and Safety Regulations

Prior to making the application numerous detailed discussions were held with the Environmental Health Officer for the area - all her requirements were incorporated into our application for which approval was received.

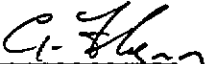
7. Noise Levels

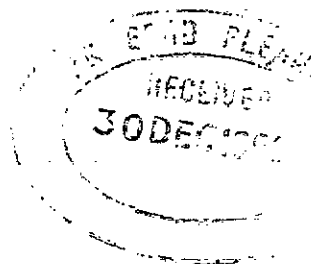
The proposed development will not lead to an increase in noise levels. One of the requirements of a Nursing Home is to provide a peaceful and quiet environment and as such noise levels will be kept to a minimum.

8. County Development Plan

Newlands Road is zoned 'A' in the County Development Plan. This allows for 'Health Care' facilities in the area. Our proposal does not contravene the Development Plan and this has been recognised by the Planning Authority.

Yours faithfully


Garry Flynn



COMHAIRLE CHONTAE ATHA CLIATH

Tel: 724755
Ex: 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PE6/5/87403

Our Ref.: NA/1516

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Change of use of 2 adjoining houses to nursing
home with lounge extension to rear & separate
service / kitchen room

Applicant: C. Murray

Dear Sir,

With reference to your letter dated 25/11/91 I enclose
herewith:-

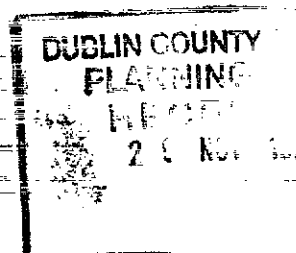
- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e.
Irish Press 12/9/91.
- (4) The plan(s) received from the applicant on 18/9/91.
- (6) & (7) A certified copy of Manager's Order P/5090/91,
DATED, 7/11/91 together with technical reports in
connection with the application.
- (8)

Yours faithfully,

R. Jewell
for Principal Officer.
Encls.

Our Ref: PL 6/5/87435
Your Ref: 91A/1516

The Secretary,
Dublin County Council,
Planning Section,
Block 2,
Irish Life Centre,
Dublin 1.



Date: 28th November 1991

Planning authority decision re: Change of use of two adjoining houses to nursing home with lounge extension to rear and separate service/laundry room at 38/40 Newlands Road, Dublin 22.

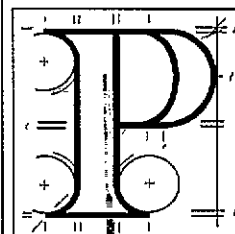
Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

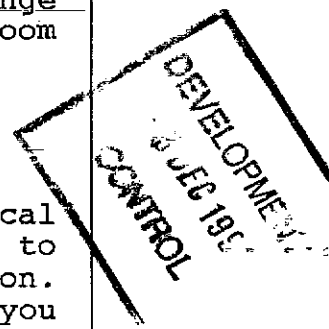
- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

pu

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



967

Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

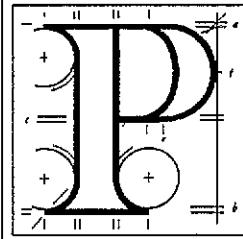
Yours faithfully,


Patricia Tobin

Encl.

BP 005

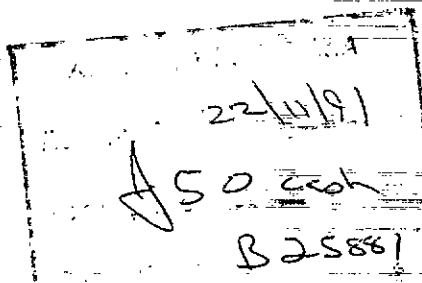
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Newlands Residents Association Ltd

AN BORD PLEANALA
IRISH LIFE CENTRE
LOUISE ASSEY ST
FLOOR 3 BLOCK 6+7



By HAND
HTG

6 NEWLANDS DRIVE
CLONDALKIN
DUBLIN 22
18th NOV 1991

Re Planning Application no 91A-1516 - 38/40 NEWLANDS ROAD
DUBLIN 22 CAROLINE MURPHY

Dear Sir/Madam,

Our association writes to object to the above application on the same grounds as it did initially. A copy of our objections are attached. You will note that

Dublin Co Council has not taken cognisance of any of our points, especially in relation to fire, Health and Safety, terms, granted permission.

Apart from the enclosed objections our association writes to express our grave concern over the following

1. Access is inadequate for fire Egress and other emergency services because of illegal parking on the roads.

2. Front Garden In relation to this, there is no specification for road parking in the plans is provided relevant to safe egress.

3. Parking outside the house would be conducive to an increase in car parking which would be adjacent to a road junction and a children's playground.

4. Adequate fire facelides could not be provided to give safe egress from all potential fire outbreaks in the building.

Car 7/10

Newlands Residents Association Ltd

- E The storing of drugs medicine in the proposed development may attract undesirable.
- F Children play close to the premises which would not be desirable for the proposed development.
- G The sewerage system is inadequate.

I enclose £50 to validate this objection

Yours faithfully

Ray Cotton
SECRETARY

22 NOV 1991

Newlands Residents Association Ltd

PLANNING DEPARTMENT,

IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

6 NEWLANDS DRIVE
CLONDALKIN
DUBLIN 22
1-10-91

RE: PLANNING APPLICATION NO 91A/1516 - 38-40 NEWLANDS ROAD
DUBLIN 22 CATHERINE MURRAY

Dear Sir / Madam,

Our Association would like to object to the above application
the following grounds

- 1/ The owners purchased these newly built houses with the sole intention of operating them as a commercial entity.
- 2/ The proposed development is in a residential area and we wish to express our concern re. the use of the above property for matters other than domestic dwelling.
The location for this proposed nursery home is too small for this development, as it only offers two small back gardens which would further diminish with proposed building of lavage extensions and separate service laundry rooms.
- 3/ Based on the information given to a member of the association by the present applicant, the applicant expects that the dwelling will have up to 12 residents in what is ostensibly two 4 Bedroom houses. We feel that this proposed development is too small to cater for the plans of the applicant.
- 4/ Parking facilities are inadequate for this proposed development i.e. for visitors and proprietor. At present there is normally 5 to 6 cars using the driveway and additional traffic to this proposed development could present hazardous conditions to residents.

CONT/D

Newlands Residents Association Ltd

6. This proposed development would create additional traffic such as Ambulance Service, Attendants of Doctors and Nurses, Delivery Service, Repair Services, General Contractors Services and visitors which would further frustrate an already difficult traffic situation in the area.
7. This proposed development would create pressure on already inadequate sewerage and ancillary services in the area.
8. The proposed development is ~~located~~ ^{located} in a Nursing Home would necessitate the use and storage of Drugs, Medication, Syringes etc which would obviously attract drug addicts and increase the vulnerability to surrounding properties of Break-ins.
9. The proposed development would increase nuisance noise levels such as proposed laundry and service facilities.
10. The proposed development does not comply with the original development plan for the area.
11. We feel that the proposed development could not comply with the current Health and Safety Regulations.
We feel that the proposed development could not comply with the current fire regulations.
12. We feel that the proposed development could not satisfy adequate Ventilation facilities.
13. Previous correspondence (copies enclosed) relating to the development is self explanatory.

Will bring copies on Monday

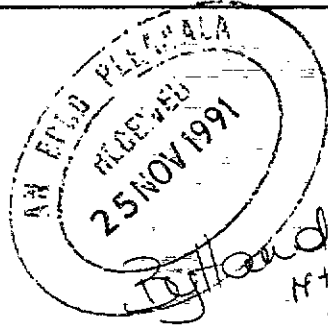
25/11/81

Yours faithfully
Roy Cotton
Secretary.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. R. Cotter,
6 Newlands Drive,
Clondalkin,
Dublin 22.



Our Ref. Enf. 7582

Your Ref.

Date 18th September, 1990

*Planning Application no 91A-1516 38/40 Newlands Road
Dublin 22 CATHERINE MURRAY*

Re/ Lands at Newlands Park and Newlands Road, Clondalkin
(Reg. Ref. 89A/545)

Dear Sir,

I refer to previous correspondence concerning the above.

A recent inspection of the above site has revealed that Condition No. 8 of the above permission (Reg. Ref. 89A/545) has not been complied with in that no public lighting has been provided. Condition No. 17 has been complied with, in part, in that the verge and footpath have been provided. However, the required tree planting of the verge has not taken place.

The developer has now been requested to comply with the above conditions forthwith. Failure to do so may render him liable to legal proceedings.

With reference to Condition No. 11 which refers to water supply and drainage arrangements, the Council's Building Control and Sanitary Services Departments have been requested to indicate their requirements which will then be communicated to the developer.

* An inspection has confirmed that two houses, site nos. 6 and 6a Newlands Road are in use as one unit. The internal works carried out can be considered to be exempted development. Accordingly, enforcement action is not warranted.

Yours faithfully,

[Signature]
for Principal Officer

MR/PC



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 5095 /91 Date of Decision : 7th November 1991

Register Reference : 91A/1516 Date Received : 18th September 1991

Applicant : Catherine Murray

Development : Change of use of 2 adjoining houses to nursing home
with lounge extension to rear and separate
service/laundry room

Location : 38-40 Newlands Road, Dublin 22

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

G. Flynn,
72 Monalea Grove,
Firhouse,
Dublin 24



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1516
Decision Order No. P/ 5095 /91
Page No: 0002

subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 8.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 11.11.91.....

Reg.Ref. 91A/1516
Decision Order No. P/ 5095 /91
Page No: 0003



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development. In this regard the number of bed spaces to be as determined by the Supervising Environmental Health Officer.

04 That the requirements of the Chief Fire officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.

06 That the vehicular entrance of the site to be located on the western side of the site and the car parking layout to be amended accordingly. An area of planting and landscaping to be provided between the car park and the road. Details of the revisions to be submitted to and agreed by the Planning Authority in writing prior to commencement of development.

06 REASON: In the interest of the proper planning and development of the area.

07 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1516
Decision Order No. P/ 5095 /91
Page No: 0004

08 That a financial contribution in the sum of £2,406 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which will facilitate this development; this contribution to be paid prior to the commencement of development on site.

08 REASON: In the interest of the proper planning and development of the area.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL

Balance

CASH 46/49 UPPER O'CONNELL STREET,
CHEQUE DUBLIN 1.

BYE LAW APPLICATION.

M.O.
B.L.
L.T.

REC. No. N 50257

£42.50

Received this 1st day of October 1991

from G. F. Flynn
72 Monalea Grove
Kirkhouse

the sum of forty two Pounds

of fee on 91A/1516 Pence, being Balance

Madeline Spauld
Cashier

S. CAREY
Principal Officer

G Flynn, Architect
72 Monalea Grove
Firhouse
Dublin 24

Reg. Ref. 91A/1516

27 September 1991


Dublin County Council
Planning Department
Irish Life Centre
Lower Abbey Street
Dublin 1

Re: Change of use of adjoining houses to Nursing Home at
38 - 40 Newlands Road, Clondalkin for Catherine Murray

Dear Sirs

With reference to the above Planning and Bye-Law application I enclose
herewith cheque in the amount of £42.50 being the amount outstanding on the
Bye-Law fee as noted in your letter of 24th September 1991.

Yours faithfully


Gerry Flynn

Enc (1)

30 SEPT 91

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1516

Date : 19th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Change of use of 2 adjoining houses to nursing home
with lounge extension to rear and separate
service/laundry room

LOCATION : 38-40 Newlands Road, Dublin 22

APPLICANT : Catherine Murray

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application
received on 18th September 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

G. Flynn,
72 Monalea Grove,
Firhouse,
Dublin 24



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building 38-40 NEWLANDS ROAD,
(If none, give description sufficient to identify) CLONDALKIN

3. Name of applicant (Principal not Agent) CATHERINE MURRAY
Address 40 NEWLANDS RD CLONDALKIN Tel. No. 591087

4. Name and address of G FLYNN, 72 MONALEA GROVE
person or firm responsible for preparation of drawings FIRHOUSE DUB. 24 Tel. No. 942868; 530594

5. Name and address to which G FLYNN, 72 MONALEA GROVE
notifications should be sent FIRHOUSE DUB. 24

6. Brief description of proposed development CHANGE OF USE OF 2 ADJOINING HOUSES TO NURSING HOME

7. Method of drainage PUBLIC SEWER 8. Source of Water Supply PUBLIC MAINS

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. DOMESTIC DWELLING HOUSE
(b) Proposed use of each floor NURSING HOME

DUBLIN COUNTY COUNCIL
permission sought for
change of use of 2 adjoining
houses to nursing home with
lounge extension to rear and
separate service/laundry
room at 38-40 Newlands
Road, Dublin 22. Signed
Catherine Murray

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? YES

Dist
Pres
12/9/91

11. (a) Area of Site 193 Sq. m.

(b) Floor area of proposed development 132.50 298 Sq. m.

(c) Floor area of buildings proposed to be retained within site 147.345 298 Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box. FREE PAID 521-50 DATE 18/9

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: GENERALLY N 50652

15. List of documents enclosed with application. NEWSPAPER ADVERTISEMENT, APPLICATION FORM; 4 COPIES OF DRAWINGS/SPECIFICATION STRUCTURAL ENGINEERS CALCULATIONS.

16. Gross floor space of proposed development (See back) 298 Sq. m.

No of dwellings proposed (if any) 4 Class(es) of Development 4

Fee Payable £ 654 Basis of Calculation 1521.5 PLANNING REG 503 BYE-LAW.

RECEIVED
18 SEP 1991
REG 503 BYE-LAW

Signature of Applicant (or his Agent) C. Flynn Date 17/9/91

Application Type P/B FOR OFFICE USE ONLY

Register Reference 91A/1516

Amount Received £ 214 2.16.0.4 18/9

Receipt No 214

Date

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 8:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/ Commercial Purposes	£30.00 each £3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining; deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00 Max. Fee £20,000
8.	Petrol Filling Station.	£100.00			
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIAITH

PAID BY **DUBLIN COUNTY COUNCIL**
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

CASH
CHEQUE
M.O.

N 50652

£521.50

18th day of September 1999

Received this

from **James + Catherine Murray**
40 Newlands road

the sum of **five hundred and twenty one** Pounds
fifty Pence, being **two** shillings

application at **23-40 Newlands road**

Class

Michael Cashier

S. CAREY
Principal Officer

COMHAIRLE CHONTAE ATHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

N 47345

£132.50

Received this 18th day of September 1961

from James Catherine Murray
402 Newlands road

the sum of one hundred and thirty two Pounds

being Pence being 60

application at 38-40 Newlands road

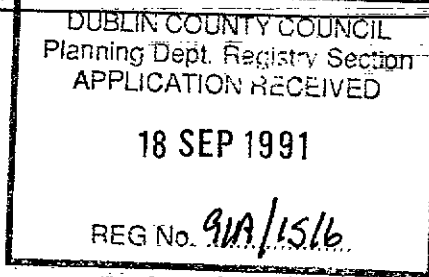
Michael Han *[Signature]* Cashier

S. CAREY *[Signature]*
Principal Officer

40, Newlands Rd.,
Blanchardstown,
Dublin 22.
15/9/91

29, Nursing Home at Newlands Rd.

The Planning officer
Dublin Co. Council.



Dear Sir,

With regard to the application for planning permission for the above - the plans for which are being submitted by Mrs. G. Flynn. I hope that you will approve the application, all the details of which are at your disposal. The premises & operation of same will of course be in accordance with the rules laid down by the Eastern Health Board & the officer, both of whom are aware of the application.

I have been engaged in the Nursing profession for over 30 years, the latter part devoted to the care of the elderly. The premises will therefore be personally supervised & staffed by personnel recruited locally.

I hope to hear favourably from you
Yours faithfully,
Catherine Murray.

DESIGN CERTIFICATE

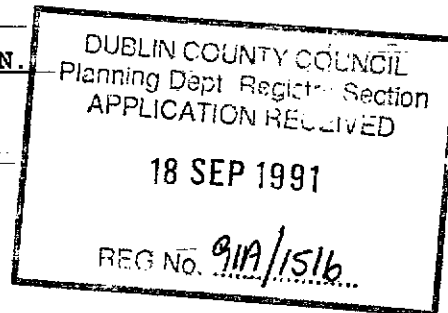
NURSING HOME

at

40 NEWLANDS ROAD,
CLONDALKIN, CO. DUBLIN.

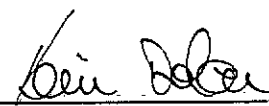
for

MR. J. MURRAY



This is to certify that the design, calculations and drawings for the loadbearing elements of the above construction and the preparation of the specification for the materials to be used have been executed by or under the direct supervision of the Chartered Engineer for the Project named above. These are in conformity with current engineering standards, in particular the relevant Standards or Codes of Practice prepared by the Institute for Industrial Research & Standards (Ireland), the Building Research Station (Great Britain), the British Standards Institution, the Institution of Civil Engineers and Structural Engineers (Great Britain).

Project Engineer : Kevin Dolan
Qualifications : B.E. C.Eng. M.I.E.I.

Signed : 
Kevin Dolan
18 McCabe Villas,
Booterstown,
CO. DUBLIN.

SEPTEMBER 1991

Calculation Sheet

Job No.	Sheet No.	Rev.
91/03	1 of 8.	
Member/Location	BEAM @ DINING ROOM.	
Drg. Ref.		
Made by	Date	Chd.
V. J. S. M.	2/9/	

Job Title

MUSING HOME
HO NEWLANDS RD

BEAM TO DINING ROOM / LOUNGE.
ie PERE ELEVATION.

* Cantilever Area of floor = $3.0/2 = 1.5 \text{ m/m}$.

L.L = 2.0 kN/m^2

D.L = Timber Floorings/S.W = $.15$
 CEILING = $.10$
 SKIRTS/ETC = $.10$

$.35 \text{ kN/m}^2$

$\Rightarrow \text{U.D.L} = (2.0 + .35) 1.5 = 3.525 \text{ kN/m}$

* Wall 215 Cavity block @ 22 kN/m^3

$2.6 \text{ m length} \times 215 \times 22 = 12.3 \text{ kN/m}$

* Self wt. Steelwork beam = 0.3 kN/m

* Roof: L.L = $\frac{\text{kN/m}^2}{0.75}$

D.L; TILES = 0.75
 S.WT = 0.20
 CEILING = 0.10
 Insulation = 0.10
 Skirtings = 0.15

2.05 kN/m

@ $8.6 \text{ m}/2 = 4.3 \text{ m}^2/\text{m} = 8.815 \text{ kN/m}$

* New rooflight/loof @ single storey @ 1.8 m

Flat roof: L.L = 1.5
 D.L = $.45$

$1.95 \times 1.8/2 = 1.755 \text{ kN/m}$

Calculation Sheet

Job No	Sheet No	Rev.
91/03	2 of 8.	
Member/Location <u>Beam; Dining Room</u>		
Drg. Ref.		
Job Title	Made by	Date
<u>HULSWICK HOME</u> <u>NO NEWLANDS RD</u>	<u>V. COLMAN</u>	<u>9/91.</u>

$$f = 26.7 \text{ kN/m}$$

$$\text{Span} = 2.9 \text{ m} \quad (\text{allowing for bearing})$$

$$\Rightarrow M = \frac{wL^2}{8} = \frac{26.7 \times 2.9^2}{8} = 28 \text{ kN.m.}$$

Tly $152 \times 152 \times 30 \text{ kg/m}$ u.c. f_y 43c. \leftarrow

$$f_{ly} = \frac{2900}{38.2} = 75.9.$$

$$D/T = \frac{157.5}{9.4} = 16.8.$$

$$\Rightarrow f_c = 165 \text{ N/mm}^2 \leftarrow$$

$$M/E = \frac{28 \times 10^6}{201.2 \times 10^3} = 139.2 \text{ N/mm}^2 \Rightarrow \text{OK.}$$

$$\text{Total } \Delta = \frac{5wL^3}{384EI} = \frac{5 \times (7743 \times 10^3) \times 2900^3}{384 \times 205000 \times 1742 \times 10^4} = 6.9 \text{ mm.}$$

$$d/360 = \frac{2900}{360} = 8 \text{ mm} \Rightarrow \text{Def. OK.}$$

Bearing:

$$W = 38.7 \text{ kN.}$$

$$\text{Bearing} \quad 200 \times 200 \quad \& \quad 200 \times 150. \\ = 9675 \text{ N/mm}^2 \quad \& \quad 1.29 \text{ N/mm}^2$$

\Rightarrow provide $215 \times 215 \times 215$ BEARING PAD TO
5/5 EACH END. MIN 200 BEARING.

Calculation Sheet

Job No	Sheet No.	Rev
9/03.	03 of 8.	
Member/Location	LELE ELEVATION	
Org. Ref		
Made by	Date	
K. DOLAN	9/91.	

Job Title

NURSING HOME
10 NEWLANDS RD.

LELE ELEVATION:



CONSIDER DOOR FRAME / SOB FRAME

AS 80 x 80 x 5 C.H.S. PROFILE.

⇒ TIMBER BEAM FROM RETURN
ON WALL ⇒ DOOR (ie over window).

SPAN = 2.4m

LOADING:

PITCHED ROOF:

L.L = 0.75 kN/m².

D.L	=	SLATES	0.5
		S. WT.	0.1
		INSULATION	0.1
		SHEETING	0.1
		SERVICES	0.5.

1.7 kN/m².

⇒ U.D.L = 1.7 x 1.5 = 2.55 kN/m

SPAN = 2.4

TRY 225 x 50 GR SEC 3

$Z = \frac{225^2 \times 50}{6} = 101,875 \text{ mm}^3$

⇒ $I = 1746,937.5 \text{ mm}^4$

$M = \frac{wL^2}{8} = \frac{2.55 \times 2.4^2}{8} = 1.836 \text{ kNm}$

$\frac{M}{Z} = \frac{1.836 \times 10^6}{101875} = 18.01 \text{ N/mm}^2 < 5.3$
⇒ OK.

Calculation Sheet

Job No.	Sheet No.	Page No.
9/1/03	A	8.
Member/Location	LEVE ELEVATION	
Org. Ref.		
Job Title	Made by	Date
NURSING HOME 10 NEWLANDS RD.	L. DOLAN	9/9/01

TOTAL Deflection

$$\Delta = \frac{5 \times (6120) \times 2400^3}{384 \times 8800 \times 114460937.5} = 2.7 \text{ mm.}$$

⇒ OK.

STANCHION / FRAME .. @ doob. (80 x 80 x 5 SHS.)

Holt LOAD SAT = 5%

$R @ \text{ doob} = 3.06 \text{ kN}$

⇒ 5% = 1.5 kN.

+ U.D.L over doob @ 1800 @ 1.9 kN

$\Sigma @ N = 1.9 + 3.06 = 4.96 \text{ kN.}$

say 5 kN.

Bending due to doob - say 1 kN @ 0.75 m.

⇒ $M = 0.75 \text{ kN.m.}$

$2 \times e / s_{yy} = \frac{2 \times 42}{30.5} = 1.57$ $\frac{M}{I} = \frac{80}{5} = 16$

⇒ $p_{bc} = 130 \text{ N/mm}^2$

$p_c = 37 \text{ N/mm}^2$

⇒ $\frac{M}{A} = \frac{5403}{1490} = 3.36 \text{ N/mm}^2$ $\frac{M}{Z} = \frac{0.75 \times 10^6}{317 \times 10^3} = 21.6$

$\frac{3.36}{37} + \frac{21.6}{130} = 0.26 < 1.0$ ⇒ OK.

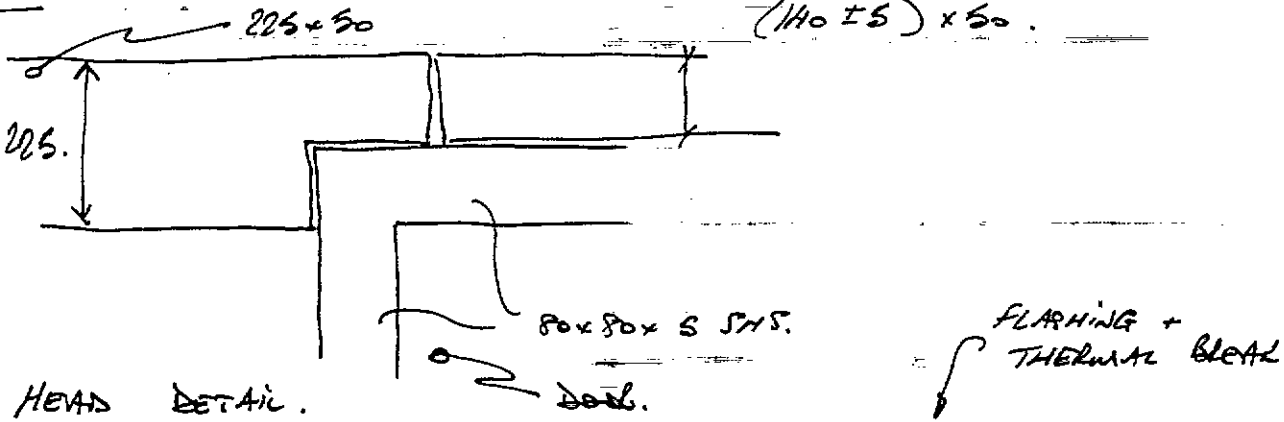
Calculation Sheet

Job No.	Sheet No.	Rev.
91/03	05 of 8.	
Member/Location.	DETAILS - LOSE ELEVATION	
Drg. Ref.		
Made By.	Date	Chd.
K. DOLAN	9/91.	

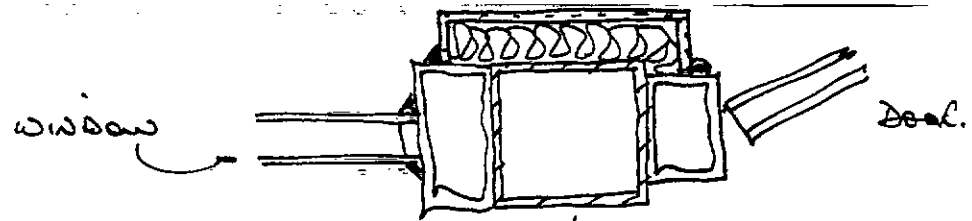
NURSING HOME

Job Title No NEWLAND RD.

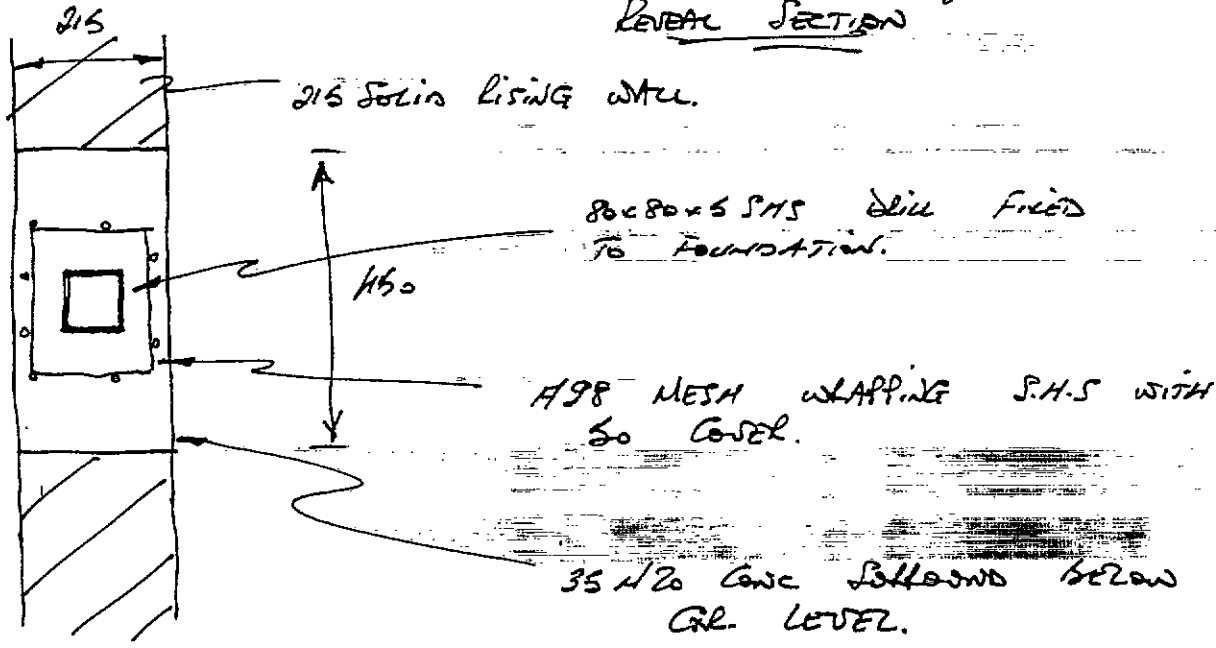
DETAILS:



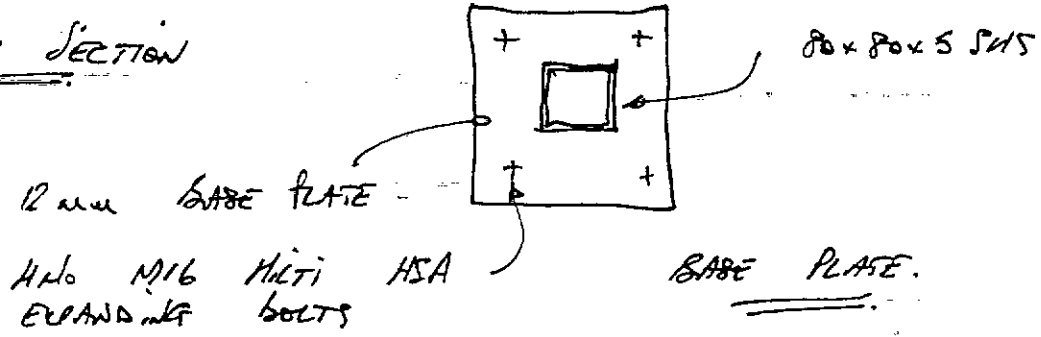
HEAD DETAIL.



REVEAL SECTION



FOUNDATION SECTION



Calculation Sheet

Job No	Sheet No.	Rev.
21/03	06. of 8.	
Member/Location	PRINCIPAL RAFTERS / FOUNDATIONS	
Org. Ref.		
Job Title	Made by	Date
NURSING HOME HO NEWLANDS RD	V. DOLAN	9/91

Roof RAFTERS.

3000 SPAN.

Ty 175 x 38 @ 100% c/c lft. S.C.B.

allow for insulation (+25mm) + 50 gap.

Load as before = 1.7 kN/m².

⇒ 0.68 kN/m² @ 100% c/c.

$$M = \frac{wL^2}{8} = 0.765 \text{ kN.m.}$$

$$\frac{M}{Z} = 133,958$$

$$M/Z = 3.94 \text{ N/mm}^2$$

⇒ OK.

⇒ DOUBLE RAFTERS TLIN ROOFLIGHTS.

FOUNDATIONS & EXTENSION.

$$3 \times 215 \times 22 = 14.2 \text{ kN/m}$$

+ 3.06 @ end bearing

$$\approx 26 \text{ kN/m.}$$

⇒ 75 x 300 deep with A42 mesh (50 covk)
bearing ≈ 26 kN/m².

Calculation Sheet

Job No.	Sheet No.	Rev.
91/03.	07 of 8.	
Member/Location	DETAILS / DESIGN	
Org. Ref.	FLAT ROOF / PITCHED ROOF.	
Made by	Date	Chd.
K. D. S. L. N.	9/91.	

Job Title

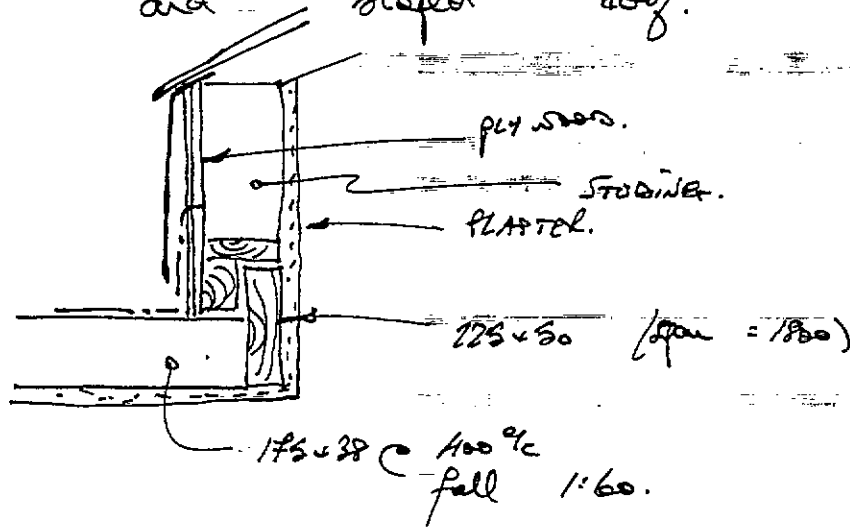
NURSING HOME
No NEWLANDS RD.

CONSIDER DETAILS @

LOUNGE / DINING ROOM GLAZED SCREEN
SUPPORT AS PER LATE ELEVATION
AS PER PREVIOUS PAGES.

⇒ 80x80x5 S/S stanchion @ 1.8m c/c
between every 2nd panel of glass.

⇒ 225x50 Spars @ head + stud out
with skill fixed plywood externally
taking weathering details etc.
and sloped roof.

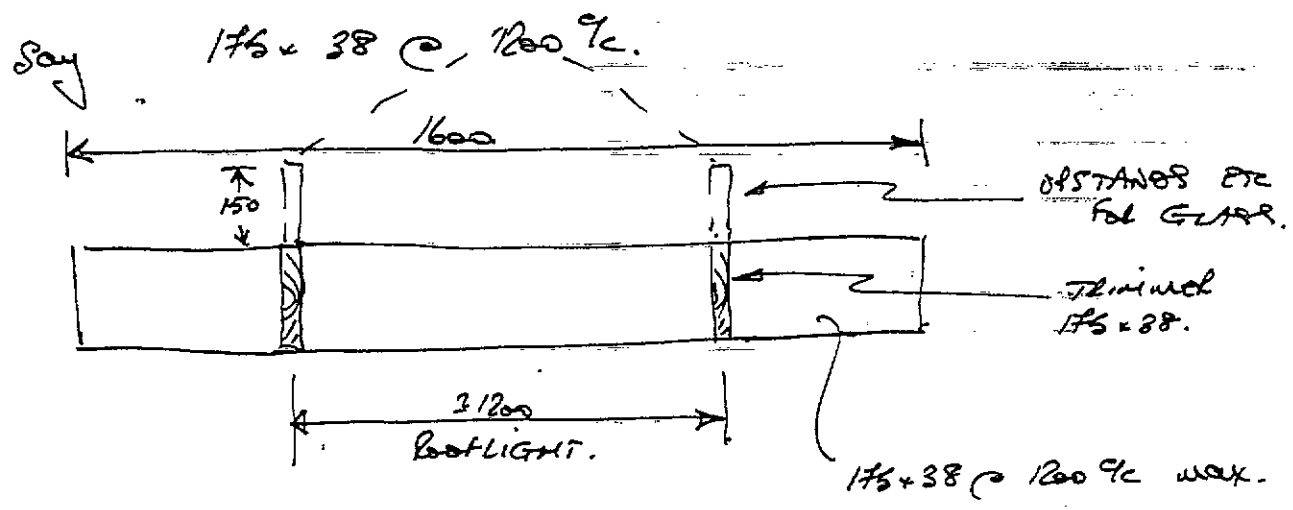


Calculation Sheet

Job No.	91/03.	Sheet No.	08 of 8.
Member Location	TIMBER JOISTS		
Org. Ref.	FLAT ROOF ROOFLIGHT		
Made by	K. DOLAN	Date	9/91.

100 i. tie
NURSING HOME
10 NEWLANDS RD

Rooflight @ Lounge / Dining Area &
flat roof.



U.D.L = 1.95 kN/m²

Span = 1.6 m.

⇒ 1.95 × 1.2 = 2.34 kN/m.

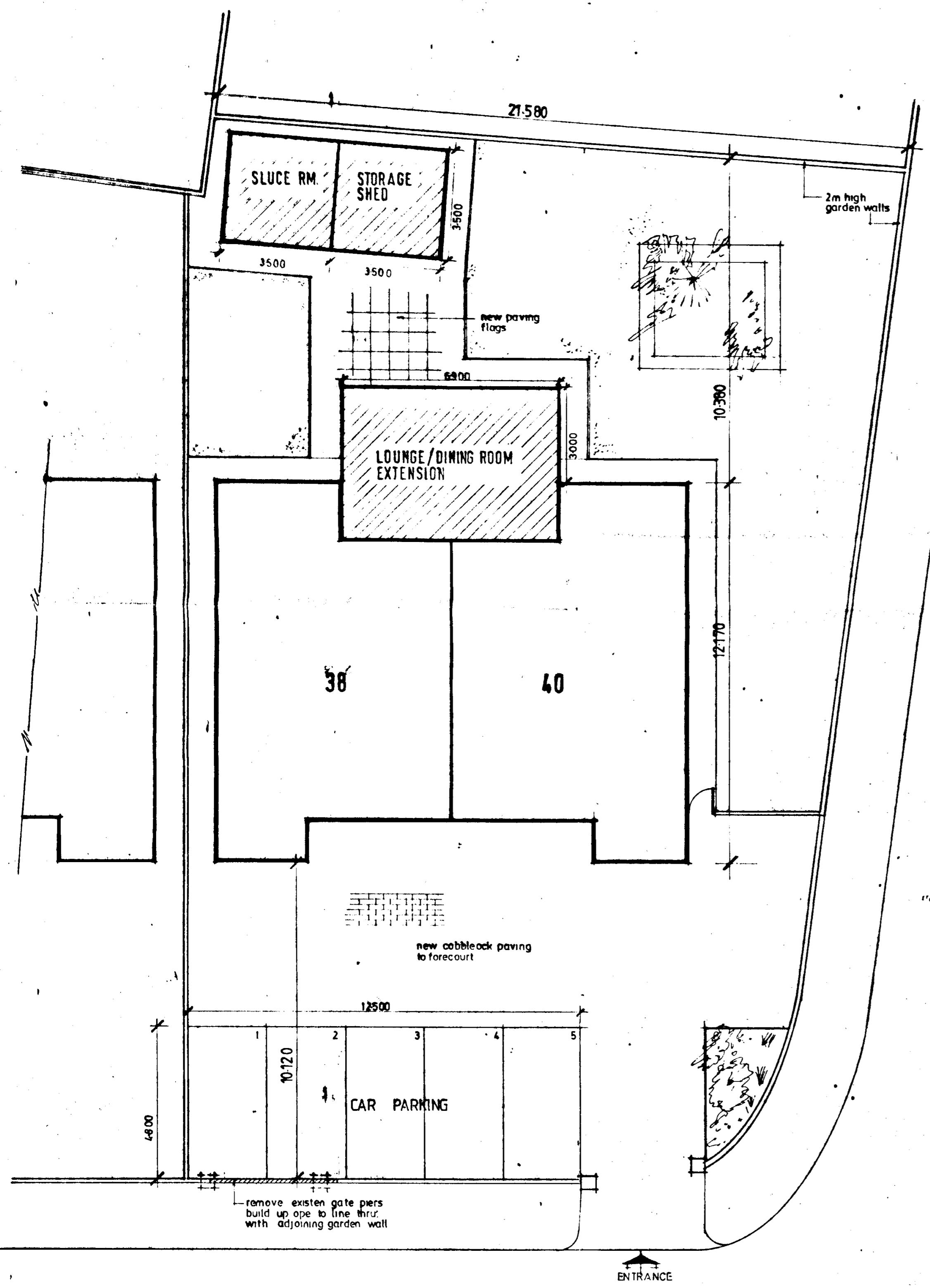
M = $\frac{wL^2}{8} = 0.75 \text{ kNm.}$

$M/q = \frac{.75 \times 10^6}{193,958} = 3.87 \text{ mm}^2..$

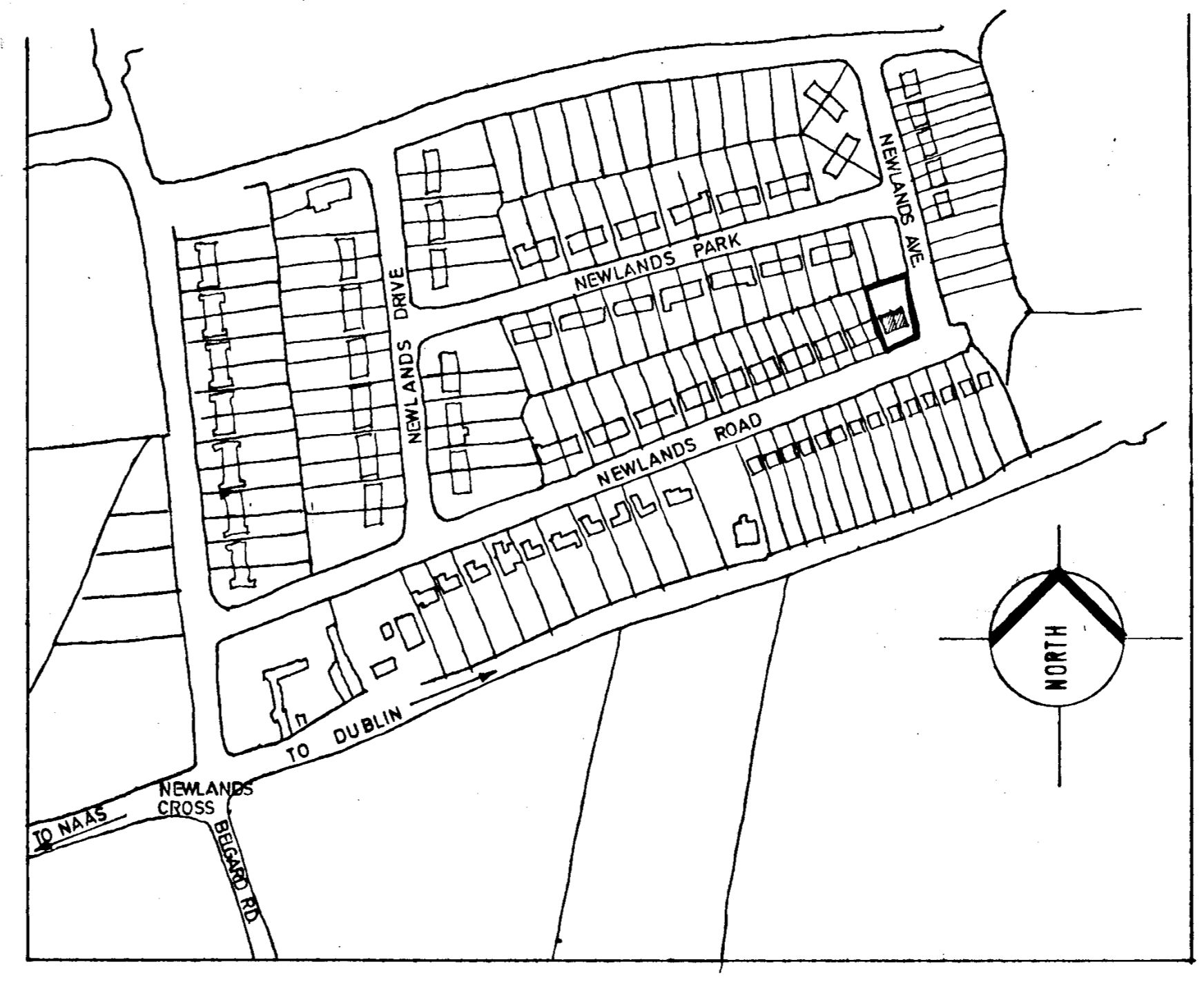
⇒ 175 x 38 @ 1200 c/c.

i.e every 2nd set of panels max.

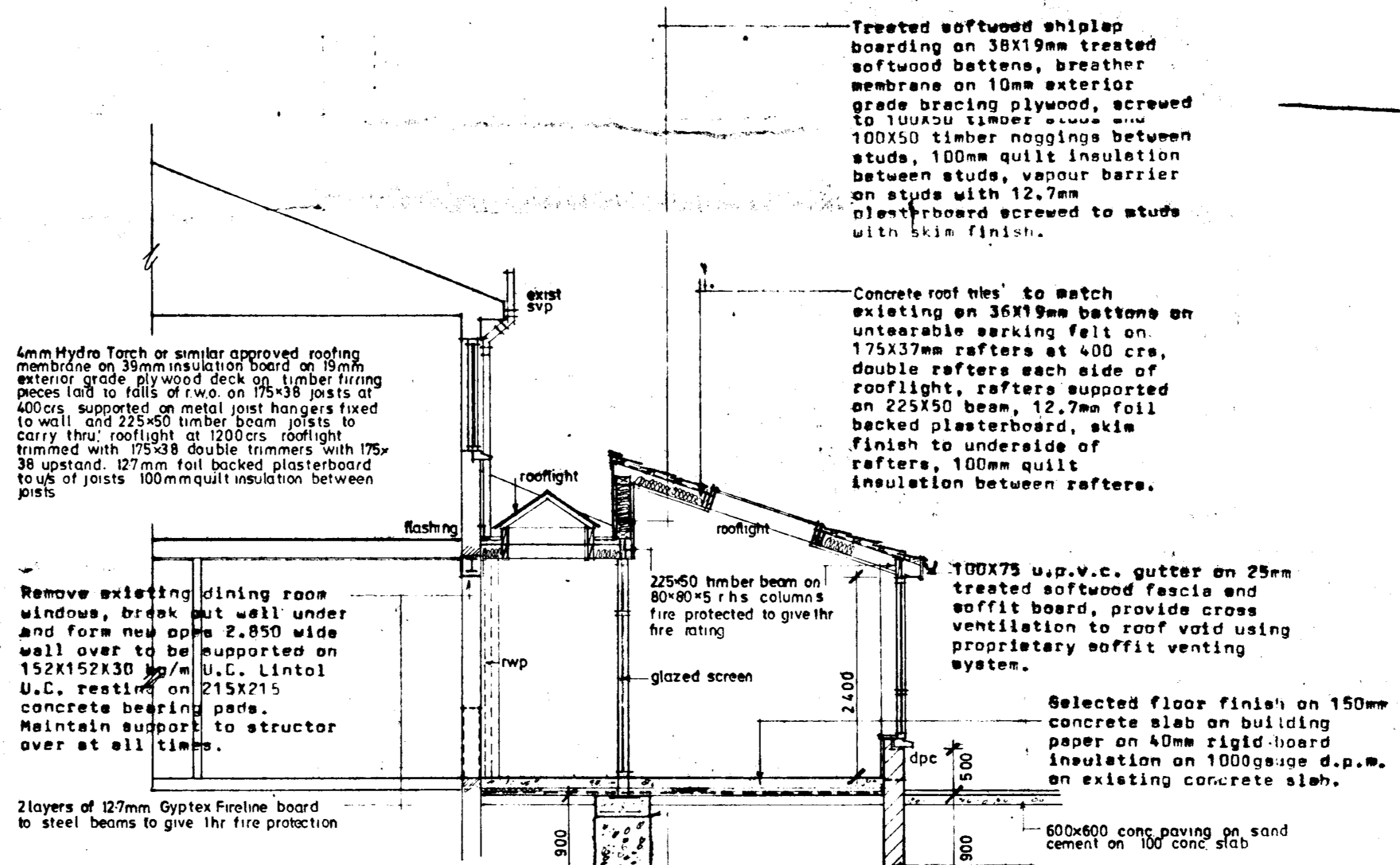
Notes
Do not scale. Use figured dimensions only.



SITE PLAN SCALE 1:100



LOCATION MAP SCALE 1:2500



SECTION AA

WALLS
215 hollow, 215 solid, and 100mm concrete block walls. Block walls plastered in 2 coats sand and cement waterproof finish to match existing; internally foil backed 12.7mm plasterboard on proprietary fixing brackets, insulation between battens, skim finish to plasterboard. All walls on d.p.c. min. 150mm above external ground level.

FOUNDATIONS
Excavate to min. 900mm below ground level and form r.c. strip foundations as shown with 1no. layer each A393 form rising walls of 215 solid block.

DUBLIN COUNTY COUNCIL
Planning Dept. (R&M) Section
APPLICATION RECEIVED
18 SEP 1991
REG No. 91A/1516

Revision _____ Date _____

G. FLYNN MIAAT
ARCHITECTS
72 MONALEA GROVE 'FIRHOUSE' DUB 24
PHONE 942868 530594

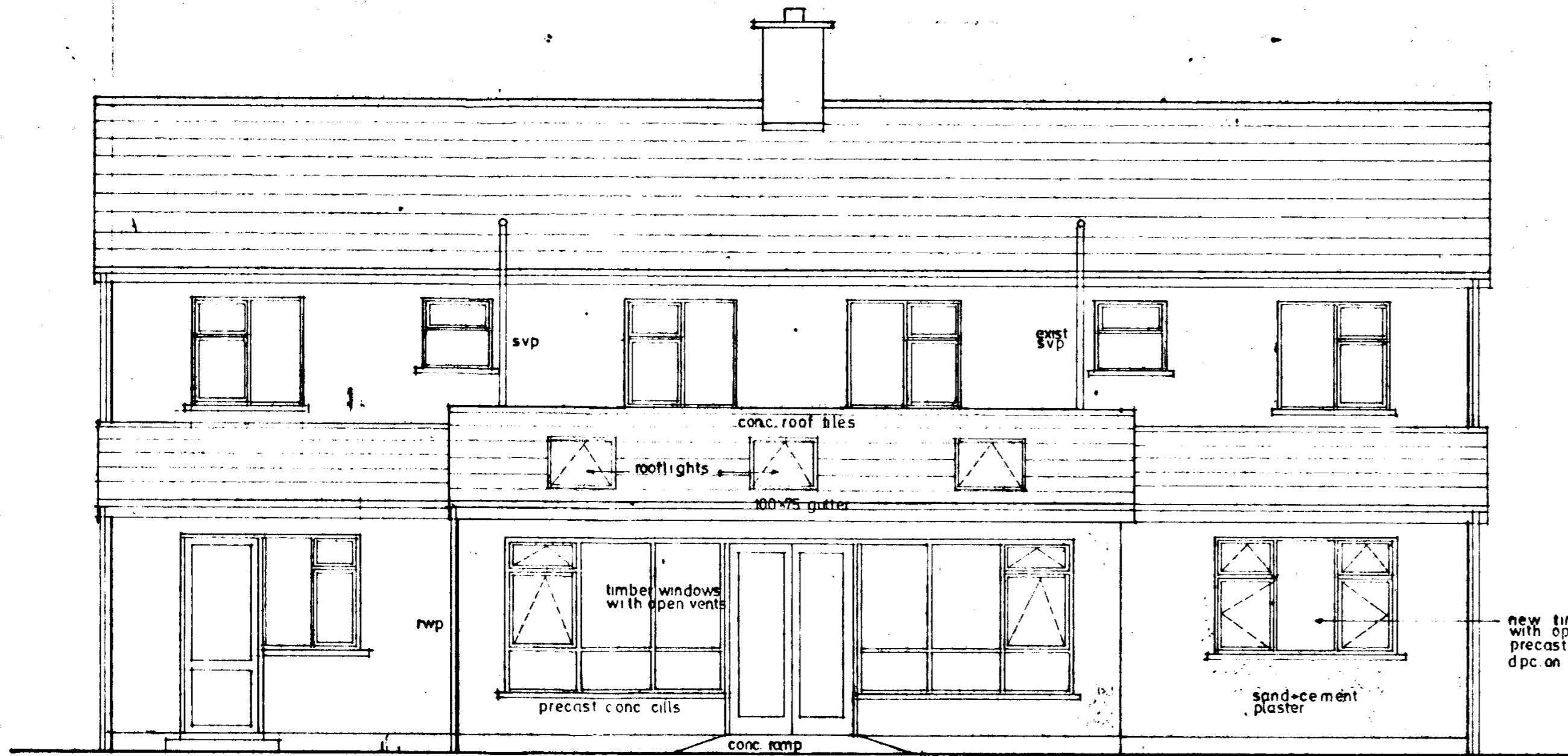
NURSING HOME - Mrs C. MURRAY 38
40 NEWLANDS RD. CLONDALKIN

Drawing No. _____
**SITE MAP
LOCATION PLAN
SECTION AA**

Scale: 1:100 Date: 22-8-91
1:2500: 1:50 Drawn By: _____

Drawing No. _____
91-07 002

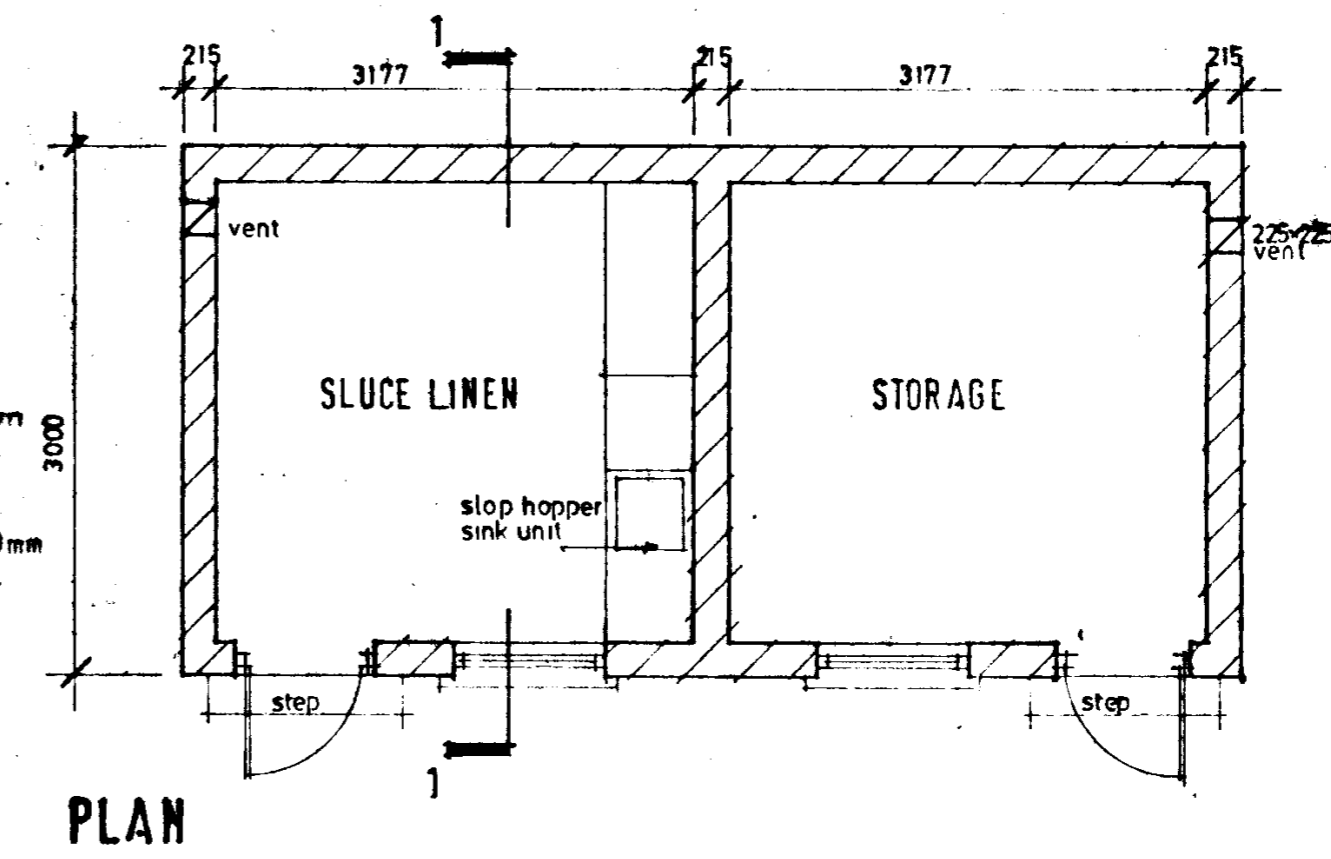
Notes
Do not scale. Use figured dimensions only.



REAR ELEVATION

WALLS

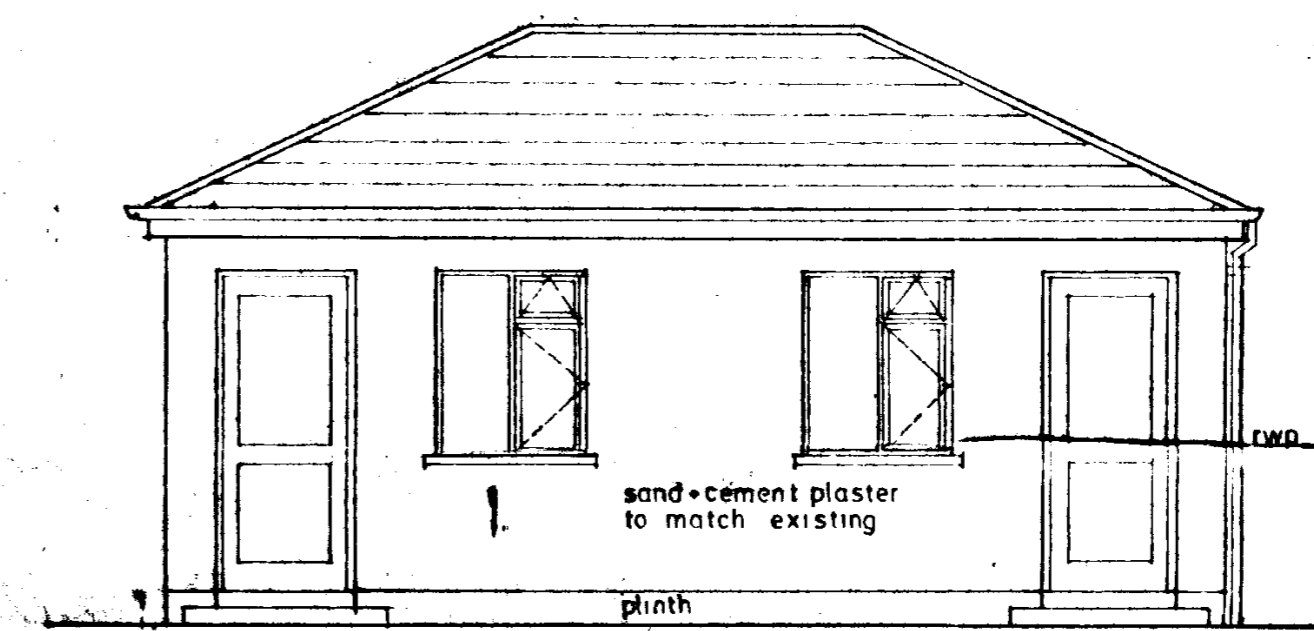
215 hollow, 215 solid, and 100mm concrete block walls. Block walls plastered in 2 coats sand and cement waterproof finish to match existing; internally foil backed 12.7mm plasterboard on proprietary fixing brackets, insulation between battens, skim finish to plasterboard. All walls on d.p.c. min. 150mm above external ground level.



PLAN

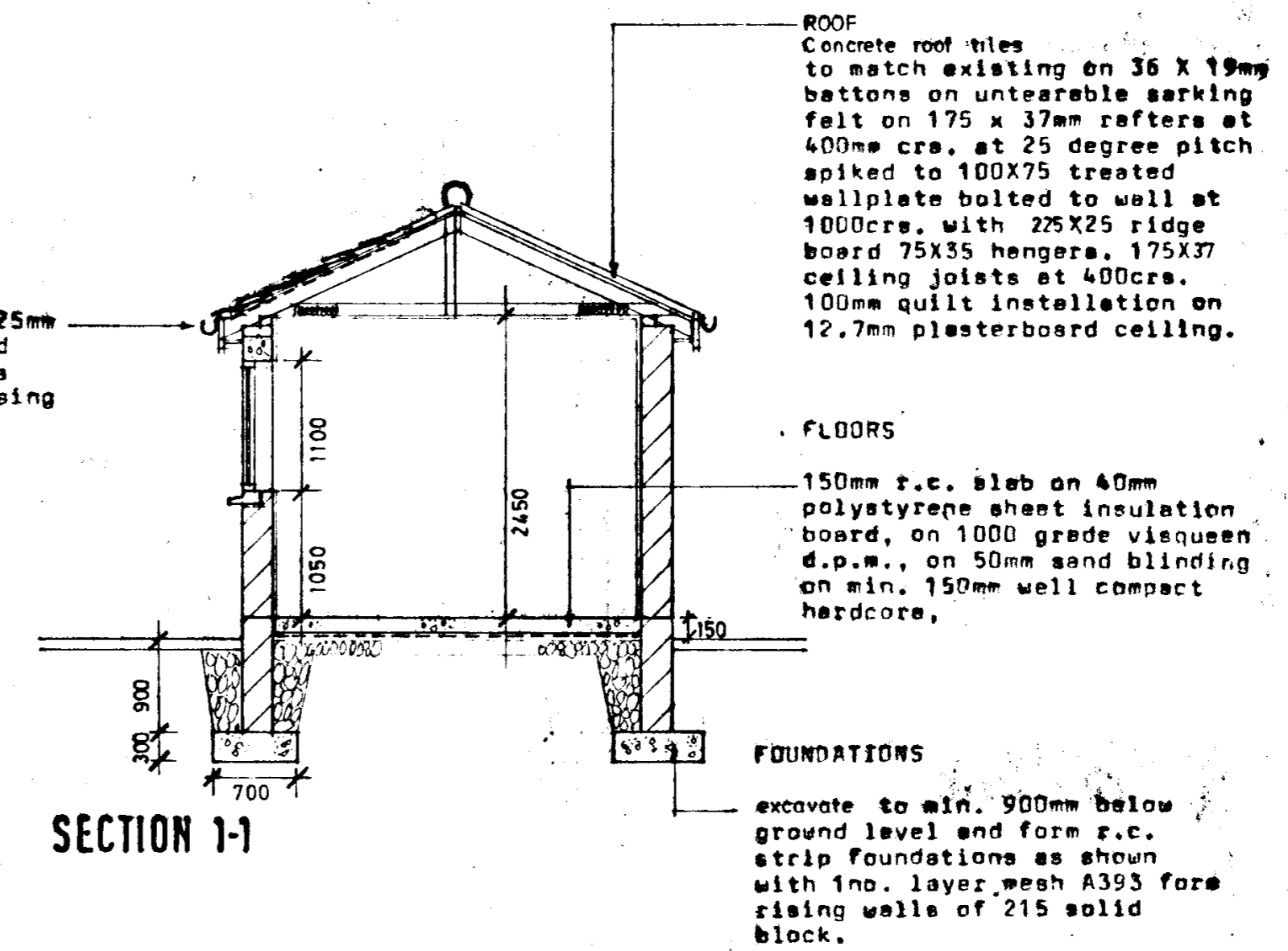


FRONT ELEVATION



FRONT ELEVATION

100x75 s.p.v.e. gutter on 25mm treated softwood fascia and soffit board, provide cross ventilation to roof void using proprietary soffit venting system.



SECTION 1-1

DUBLIN COUNTY COUNCIL
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Revision Date

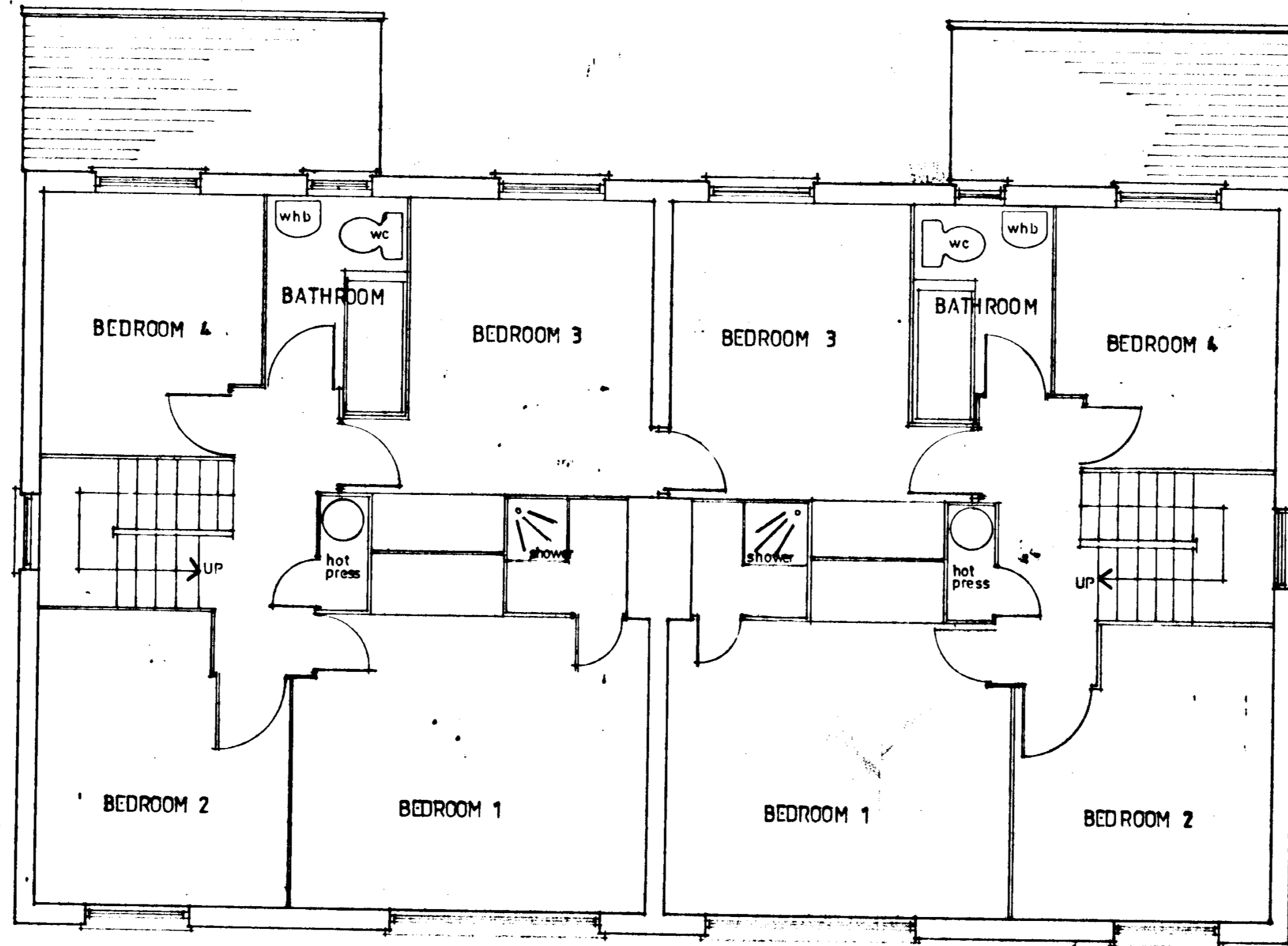
G. FLYNN MIAAT ARCHITECTS

72 MONALEA GROVE FIRRHOUSE DUB 24
PHONE 530594 947868

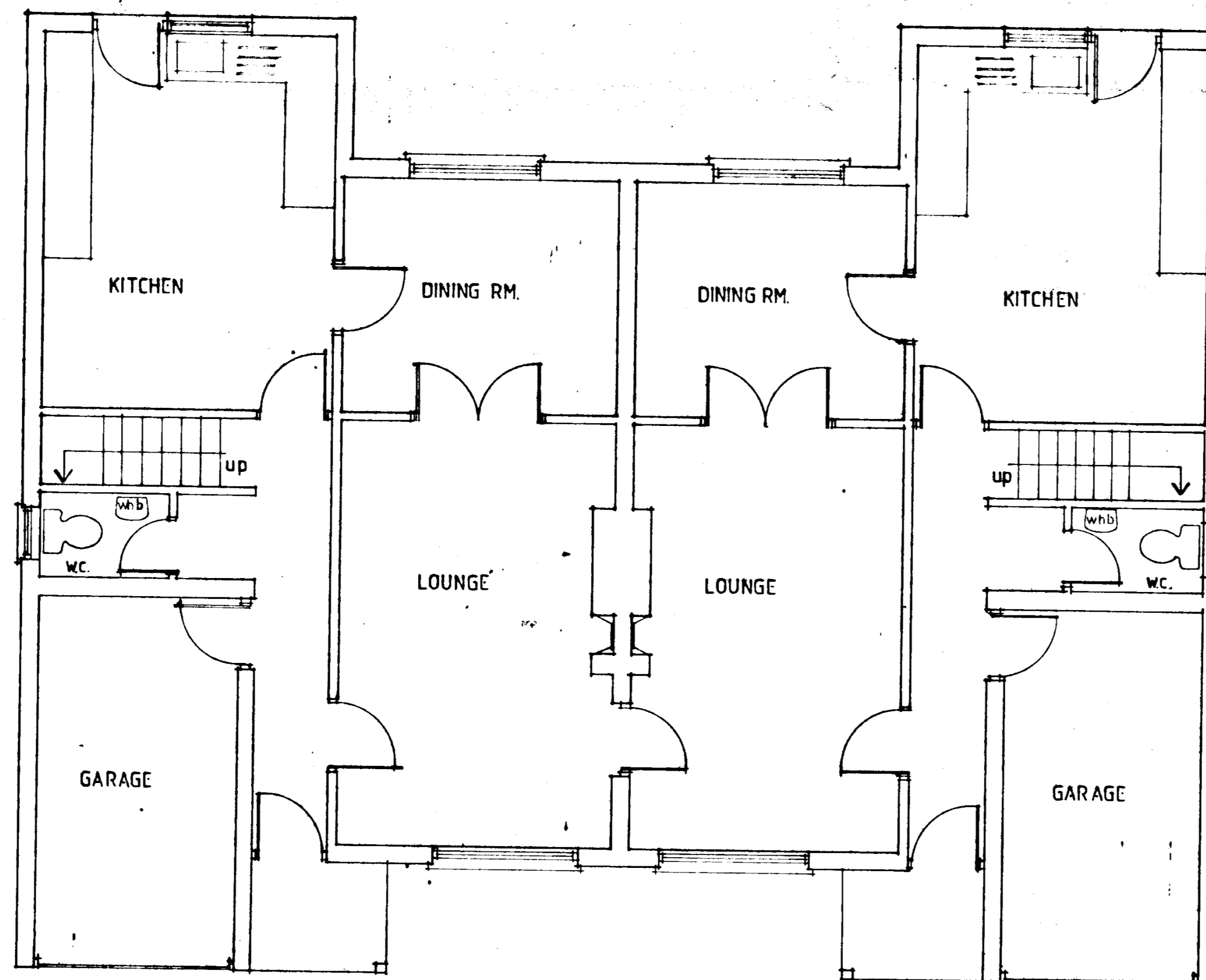
NURSING HOME Mrs C. MURRAY 38
40 NEWLANDS ROAD CLONDALKIN

PROPOSED ELEVATIONS
SLUCE ROOM STORAGE
PLAN SECTION

Scale: 1:50 Date: 9-9-91
Drawing No. 91-07 004



FIRST FLOOR PLAN



GROUND FLOOR PLAN

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 18 SEP 1991
 REG No. 91A/151b

Notes	
Do not scale. Use figured dimensions only.	
Revision	Date

G. FLYNN M.L.A.A.T.
 ARCHITECTS

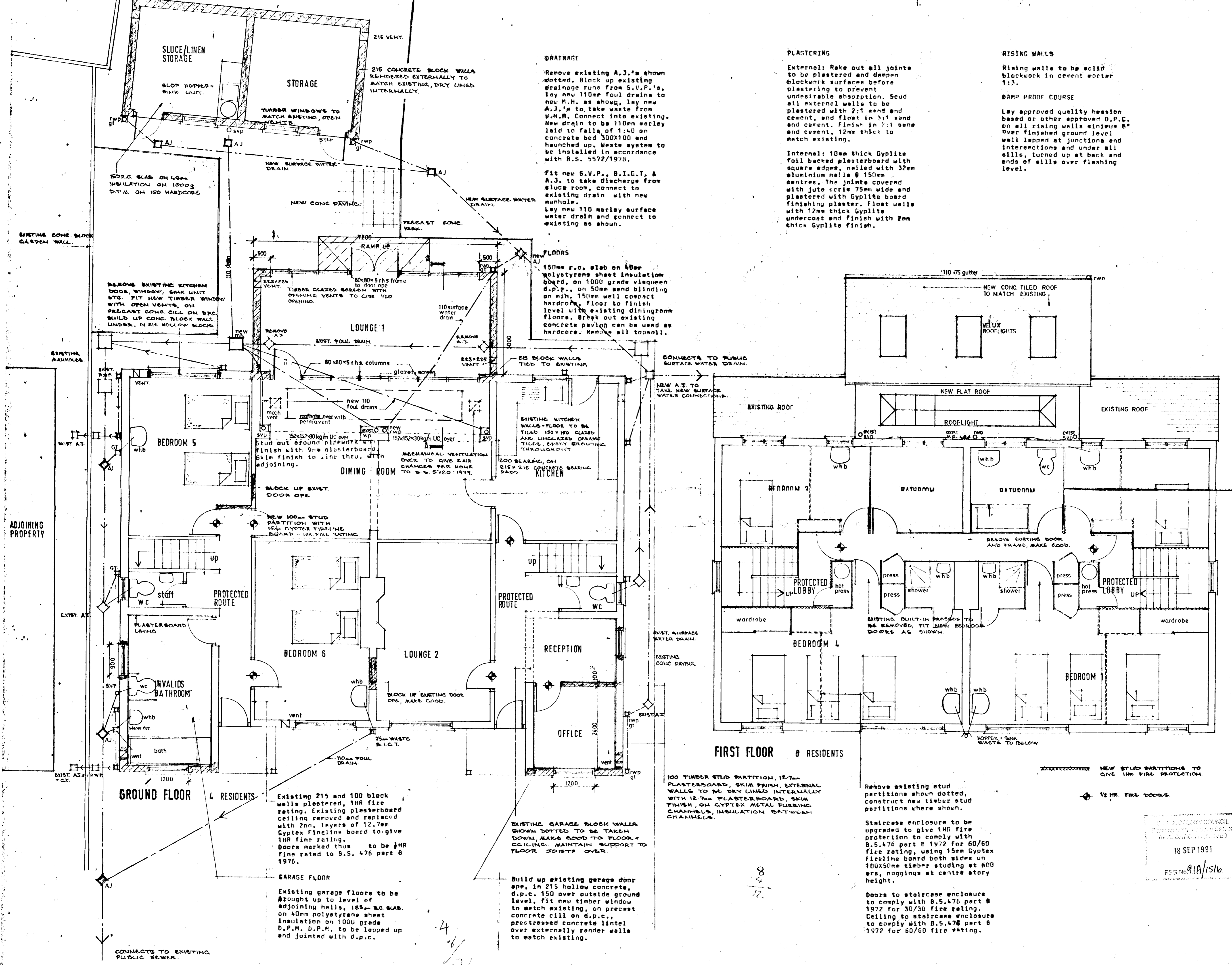
72 MONALEA GROVE FIRRHOUSE DUB 24
 PHONE 530594 942868

NURSING HOME Mrs C. MURRAY 38
 40 NEWLANDS ROAD CLONDALKIN

EXISTING GROUND AND
 FIRST FLOOR LAYOUTS

Scale 1:50 Date 20-8-91
 Drawn By

Drawing No. 91-07 001



Notes
Do not scale. Use figured dimensions only.

DRAINAGE

Remove existing A.J.'s shown dotted. Block up existing drainage runs from S.V.P.'s, lay new 110mm foul drains to new M.H. as shown, lay new A.J.'s to take waste from V.N.B. Connect into existing. New drain to be 110mm marley laid to falls of 1:40 on concrete bed 300x100 and haunched up. Waste system to be installed in accordance with B.S. 5572/1978.

Fit new S.V.P., B.I.G.T. & A.J. to take discharge from sluce room, connect to existing drain with new manhole. Lay new 110 marley surface water drain and connect to existing as shown.

PLASTERING

External: Rake out all joints to be plastered and dampen blockwork surfaces before plastering to prevent undesirable absorption. Scud all external walls to be plastered with 2:1 sand and cement, and float in 1:1 sand and cement, 12mm thick to match existing.

Internal: 10mm thick Gyplite foil backed plasterboard with square edges, nailed with 32mm aluminium nails @ 150mm centres. The joints covered with jute scrim 75mm wide and plastered with Gyplite board finishing plaster. Float walls with 12mm thick Gyplite undercoat and finish with 2mm thick Gyplite finish.

RISEING WALLS

Rising walls to be solid blockwork in cement mortar 1:3.

DAMP PROOF COURSE

Lay approved quality heasion based or other approved D.P.C. on all rising walls minimum 6" over finished ground level well lapped at junctions and intersections and under all sills, turned up at back and ends of sills over flashing level.

"The Contractor shall comply with B.S.1. Standards and Code of Practice and shall produce sound work fit for purpose."

LEGEND

BEDROOM SIZES

- Bedroom 1 - 23.43 sq. mts
- Bedroom 2 - 11.15 sq. mts
- Bedroom 3 - 11.15 sq. mts
- Bedroom 4 - 23.43 sq. mts
- Bedroom 5 - 16.74 sq. mts
- Bedroom 6 - 17.85 sq. mts

Provide emergency lighting to comply with I.S. 3217: 1989 Code of Practice for Emergency Lighting".

extinguishers conforming to I.S. 290: 1986 and installed to I.S. 291: 1986.

All fire doors to be capable of meeting the performance criteria for the specified period outlined in B.S. 476: Part 8.

Revision Date

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72 MONALEA GROVE FIRHOUSE DUB 24
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NURSING HOME - Mrs C. MURRAY 38
40 NEWLANDS RD. CLONDALKIN

DUBLIN COUNTY COUNCIL
PLANNING DEPARTMENT
APPROVAL RECEIVED
18 SEP 1991
REG No 91A/1516

PROPOSED GROUND AND FIRST FLOOR PLANS

Scale: 1:50
Date: 25.8.91

Drawing No: 91-07 003