

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

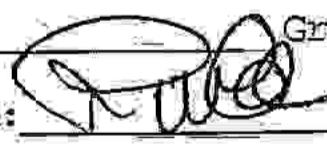
FILE REF: 91A 1483

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H + P 31-10-91 == ==	Permission Rec. by CW Hanner Applicant is long time Resident of area and owns in area.		

REF. NO.: 91A/1483 CERTIFICATE NO.: 16276 B
 PROPOSAL: Bungalow + Septic tank
 LOCATION: Cotterelly Tallaght
 APPLICANT: Mr & Mrs T. Mahon

log 10/9/91

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	£55	£55	—		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed:  Grade: S.O Date: 12/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin for Mr. T. Mahon.

Deegan Architects,
155 Monalea Grove,
Firhouse,
Dublin 24.

Reg. Ref. 91A/1483
App. Recd: 10.09.91
Floor Area: 1550 sq.ft.
Site Area: 0.74 acre
Zoning: 'G'
TIME ~~Est~~: *up to incl 15/11/91*

Report of the Dublin Planning Officer, dated 7 November 1991 *15/12/91*

This is an application for PERMISSION for the construction of a bungalow of 1550 sq.ft. stated area and septic tank on a site of 0.74 acres (stated) at Castlekelly for Mr. & Mrs. T. Mahon. Applicant's address is Castlekelly, Tallaght.

ZONING

The site of the proposed development is located in an area zoned "to protect and improve high amenity areas" in the Development Plan. It is the policy of the County Council as set out in Paragraph 2.2.6.4 of the Development Plan that development not related directly to the areas' amenity potential or its' use for agriculture, mountain or hill farming shall be prohibited.

The site is also within an area (The Glenasmole Valley) which is designated as an Area of Scientific Interest in the 1983 Development Plan.

The site, which is fairly flat for the most part, is served by a substandard rural road. A ridge line runs along the southwestern site boundary, which would be to the rear of the proposed house.

I spoke to the applicants, an elderly couple, who live in an old cottage adjacent to the site of the current application. They said that the house is for a married son who is employed as a fitter but who assists his parents with farm work. Applicants said that they own some 15 acres as well as mountain commonage. The son currently lives in a mobile home adjoining the parent's cottage.

HISTORY

There is no record of recent history for this or adjoining sites.

Reg. Ref. 87A/0555: Permission was granted by decision dated 01.07.87 for a bungalow and septic tank on a site at Cunard, 600m. approx north of site of the current application, subject to an undertaking that an existing dwelling be vacated and not used for human habitation once the family moved to proposed new dwelling (to ensure that there would be no increase in the pollution load to the reservoir).

REPORTS

Roads Engineer would be opposed to permission but recommends conditions in the event of a permission.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin for Mr. T. Mahon.

Sanitary Services Engineer recommends refusal because the site lies within the catchment area of Bohernabreena Reservoir. The engineer considers that the siting of such a development would give rise to the contamination of ground water and feeder streams resulting in conditions prejudicial to public health.

Supervising Environmental Health Officer reports that proposal is unacceptable for a number of reasons.

Dublin Corporation Waterworks Section (report dated 04.11.91) objects to the proposal on grounds of protecting the public water supply of Bohernabreena Reservoir from possible contamination. (I understand that the site is only 50m. approx. from a feeder stream, $\frac{1}{2}$ to east of site $\frac{1}{2}$ to the reservoir).

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 for the following (4) Reasons:-

1. The proposed development would be prejudicial to public health because of the risk of pollution by the development of the Bohernabreena Reservoir as the site is within the catchment area of the reservoir and is situated close to a feeder stream to the reservoir.
2. The proposed development is unacceptable to the Supervising Environmental Health Officer, for the following reasons:-
 - (a) Evidence to indicate suitability of soil for the treatment and disposal of septic tank effluent has not been provided.
 - (b) Contours of site not shown.
 - (c) Distance between proposed well and percolation area is unacceptable.
 - (d) Location of adjoining septic tank and percolation area not indicated.
 - (e) Evidence to indicate potability and adequacy of water supply not provided.
 - (f) Location of adjoining wells not shown.
 - (g) Area of site is inadequate to accommodate a well and septic tank drainage system in compliance with Dublin County Council distance requirements.

The proposal would be prejudicial to public health and thus would be contrary to the proper planning and development of the area.

Over

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin for Mr. T. Mahon.

3. The site of the proposed development is located in an area zoned "to protect and improve high amenity areas" in the Development Plan. It is the policy of the County Council, as set out in Paragraph 2.26.4, of the Development Plan ¹⁹⁸³ that development not related directly to the areas' amenity potential or its' use for agriculture, mountain or hill farming shall be prohibited. The applicant has not satisfactorily demonstrated that he is engaged directly in these activities, and it is considered that the proposed development would materially contravene this objective and not be in accordance with the proper planning and development of the area.

EC. (4) The access, as proposed, ^{would endanger public safety by reason of a} ~~constitutes~~ a traffic hazard.

ME
(CNI/AC)

Endorsed:- *T. Mahon*
for Principal Officer

Richard Cronin SEP
For Dublin Planning Officer
7/11/91

Order:- Pursuant to Section 26(1) to the Local Government (Planning and Development) Acts, 1963-1990 a decision to REFUSE PERMISSION for the above proposal is hereby made by the Council for the (4) reasons set out above and PERMISSION is REFUSED accordingly.

Dated: 7th October, 1991.
[Signature]
ASSISTANT COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated ~~6th November~~ 1991.
10th November.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Castlekelly,
Tallaght, Co. Dublin for Mr. T. Mahon.

Deegan Architects,
155 Monalea Grove,
Firhouse,
Dublin 24.

Reg. Ref. 91A/1483
Appl. Rec'd: 10.09.91
Fur. T. Ext. let. rec'd: 12.12.91
Fur. Ext. up to: 15.02.92

Report dated 12 December 1991

This is an application for the construction of a bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the further extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 15 February, 1992.

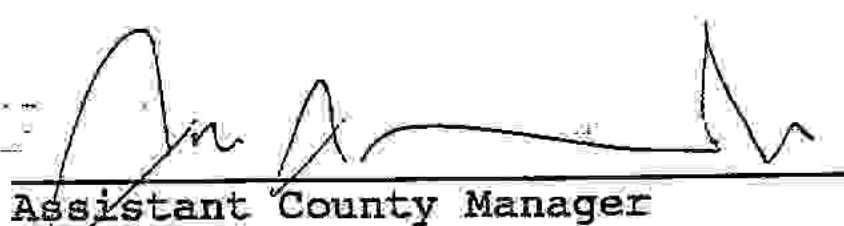
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 13th December, 1991.


Assistant County Manager

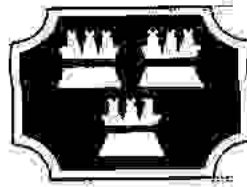
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

Geraldine Boothman.

Dublin Corporation
Bardas Átha Cliath



WATERWORKS,
68/70 MARROWBONE LANE,
DUBLIN 8.

ENGINEERING SERVICES

TELEPHONE 543444
FAX 534849

Our ref.: WD/MP/FB/GO'B1
File: Pl.App. fb11911

4th November, 1991.

Mr. Paul Tobin,
Dublin County Council,
Planning Dept.,
Block 2,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

Re: Planning Application at Castlekelly, Bohernabreena
Ref. 91A/1483

Dear Mr. Tobin,

The Draft Dublin County Development Plan 1991 Section 2.6.2.i states "It is the policy of the Council to protect the Bohernabreena Reservoir and catchment area in the interest of public health and to prohibit development in that part of the catchment area, the run-off from which is used as a water supply for domestic use and human consumption."

The above application (Ref. 91A/1483) is within the catchment area of Bohernabreena Reservoir and Dublin Corporation would accordingly object to the application on the grounds of protecting the public water supply from possible contamination.

Yours faithfully,

M. PHILIPS
ACTING DIVISIONAL ENGINEER



Geraldine Boothman.

NB

URGENT
F.A.O.

CHRISTINA NI EANAIGH

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

DUBLIN COUNTY COUNCIL
27 OCT 1991
ENVIRONMENTAL HEALTH
OFFICERS

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1483

Date : 11th September 1991

Development : Bungalow and septic tank

LOCATION : Castlekelly, Tallaght

Applicant : Mr T. Mahon

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 10th September 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 6.11.91
Time 1.00

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 10th September 1991.

Yours faithfully,

site inspected 30/10/91.

FOR PRINCIPAL OFFICER

These proposals are unacceptable to this section for the following reasons

1. Evidence to indicate suitability of soil for ~~the~~ this treatment & disposal of septic tank effluent has not been provided.
2. Contours of site not shown.
3. Distance between proposed well and percolation area is unacceptable.
4. Location of adjoining septic tank and percolation area not indicated.
5. Evidence to indicate suitability of water supply not provided.
6. Location of adjoining wells not shown.
7. Area of site is inadequate to accommodate a well and septic tank drainage system in compliance with Dublin Co. Council distance requirements

John O'Devine
for John O'Reilly SC40
31/10/91.

John Smyth SHO
31/10/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin for Mr. T. Mahon.

Deegan Architects,
155 Monalea Grove,
Firhouse,
Dublin 24.

Reg. Ref. 91A/1483
App. Recd: 10.09.91
Floor Area: 1550 sq.ft.
Site Area: 0.74 acre
T. X. Let. Rec'd: 08.11.1991
T. X. up to & incl.:

Report dated 8 November 1991

This is an application for Permission for bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including *15th November 1991.*


I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.

Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: *8th* November, 1991.


County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated *6th November 1991.*

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1483.
DEVELOPMENT: Bungalow and septic tank.
LOCATION: Castlekelly, Tallaght.
APPLICANT: T. Mahon.
DATE LODGED: 10.9.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	15.10.91
Time	10:00

This proposal constitutes undesirable ribbon development on a substandard rural road network, where vision is substandard and will lead to a demand for the uneconomic provision of services and would set an undesirable precedent for further similar developments in the area.

The proposed access location is hazardous because of very restricted sight distance northwards. In order to provide maximum sight distance the access would need to be moved southwards and set back on the bend with the boundary also set back along the vision splays. This would still not quite meet the required standards.

Roads would be opposed to the granting of permission at this location because of the substandard road network, the precedent which the development would set for similar development and the creation of traffic hazard by the access as proposed. If despite this permission is being contemplated Roads would require all the following conditions in order to avoid the creation of traffic hazard. In addition it should be noted that the relocation of the entrance would almost certainly require a relocation of the proposed house on the site.

1. Access to be located 25 metres south of the position shown on the lodged plans.
2. The boundary of the site shall be set back 3 metres from the edge of the existing carriageway. The strip between edge of carriageway and boundary to be levelled and grassed to County council Standards. This work to extend from the north end of the site to 28 metres south of the revised access location.
3. All stormwater shall be disposed of to soakpits or natural watercourse within the site and shall not discharge onto the public road.
4. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
5. Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.

6. A hard standing, measuring 10m x 3m, surface sealed to the satisfaction of the Area Engineer, Roads Maintenance shall be provided at the entrance to facilitate visiting vehicles.
7. Parking for two cars to be provided within the curtilage of the site with an adequate turning area.
8. All underground or overhead services and poles to be relocated, as may be necessary, to a suitable location adjacent to the new boundary at the developer's expense.
9. All of the above works to be carried out at the developer's expense and to the satisfaction of Dublin County Council prior to the house being occupied.
10. A financial contribution, in the sum of money equivalent to the value of £800.00 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 15.10.91.....
 Time 10.00.....

GC/BMcC
9.10.91.

SIGNED: Garrett Curran
 DATE: 9/10/91

ENDORSED: E. J. J. J. J.
 DATE: 9th Oct '91

URGENT

F.A.O. - CHRISTINA NI EAMAIGH

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

DUBLIN COUNTY COUNCIL
27 OCT 1991
ENVIRONMENTAL HEALTH OFFICERS

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1483

Date : 11th September 1991

Development : Bungalow and septic tank
LOCATION : Castlekelly, Tallaght
Applicant : Mr T. Mahon
App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL
Planning Officer :

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 31.10.91
Time 12.15
.....

Date recd. : 10th September 1991

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 10th September 1991.

Yours faithfully,

Site inspected 30/10/91.

.....
for PRINCIPAL OFFICER

These proposals are unacceptable to this section for the following reasons

1. Evidence to indicate suitability of soil for ~~the~~ ^{the} treatment & disposal of septic tank effluent has not been provided.
2. Contours of site not shown.
3. Distance between proposed well and percolation area is unacceptable.
4. Location of adjoining septic tank and percolation area not indicated.
5. Evidence to indicate suitability of water supply not provided.
6. Location of adjoining wells not shown.
7. Area of site is inadequate to accommodate a well and septic tank drainage system in compliance with Dublin Co. Council distance requirements

John O'Reilly S.E.H.O.
for John O'Reilly S.E.H.O.

John Smyth S.H.O.
31/10/91

Geraldine Boothman. SS + cms.

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

R.

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1483

Date : 11th September 1991

Development : Bungalow and septic tank

LOCATION : Castlekelly, Tallaght

Applicant : Mr T. Mahon

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 10th September 1991

Attached is a copy of the application for the above development report would be appreciated within the next 28 days.

Date received in Sanitary Services ... 20 SEP 1991

DUBLIN CO. COUNCIL
SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES
18 OCT 1991
Returned *gg*

FOUL SEWER

REFUSAL RECOMMENDED

The applicant proposes the use of a septic tank & percolation area. The site lies within the catchment area of Bohernabreena Lough. It is considered likely that the siting of such a development will give rise to the contamination of groundwater & feeder streams resulting in conditions prejudicial to public health.

SURFACE WATER

Leak pits proposed - refer to B.B.L. Dept.

J. Rice
16/10/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ... 23.10.91 ...
Time ... 9.00 ...

Register Reference : 91A/1483

Date : 11th September 1991

ENDORSED

DATE

WATER SUPPLY

No. Co. Council water main in this area.

Well Supply proposed. P. J. Spain A/Area Eng.

25 Sept '91

[Signature] A/SEE

25/9/91

ENDORSED

[Signature]

DATE

17/10/91

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 23.10.91
 Time 9.00

LOCALITY GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1967

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO. /
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

PLANNING APPLICATION FEES

Reg. Ref... 91A/1483 Cert. No. 26586
 PROPOSAL... Byelaw + Septic Tank
 LOCATION... Castlerock, Tollymore
 APPLICANT... MRP Mrs T. Malcom

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	<u>£32</u>	<u>£32</u>	/	
2	Domestic	@£16				
3	Agriculture	@50p per m ² in excess of 300m ² . Min. £40				
4	Metres	@£1.75 per m ² or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m ² or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade Date
 Column 1 Endorsed: Signed: Grade Date
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade Date 12/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade Date

Anthony F. Deegan & Associates

ARCHITECTS, PLANNING CONSULTANTS

155 MONALEA GROVE
FIRHOUSE
DUBLIN 24.

Your Ref: 91A/1483.

Our Ref:

Phones: ~~934675~~ 934675

Re Bungalow & Septic Tank at Castletelly
Tallaght Co. Dublin for Mr T. Mahon.

Dear Sir,

With reference to the above we
enclose revised site layout & sewage
disposal. We enclose two letters one
from the owner of the adjoining lands
and one from Mr. T. Mahon.

We hope this meets with your
approval and look forward to hearing
from you

91A/1483

3.4.0

Mrd A.1

yours faithfully

Marion Deegan



Dulkes Cross
Singlas
Dublin 11
5th Feb. 1992

To whom it concerns.

I Maura Kearney owner of land
at Kestle Kelly, Galleght, Co Dublin
hereby give permission to Thomas
Mahon (Jnr.) to put a septic tank
and seepage tank on my land
at Kestle Kelly.

Yours faithfully

Maura Kearney.



5th febr 92.

Castlekeel
Tallaght
Co Dublin

To whom it may concern

1 Thomas

Mahon have first option on
land at castlekeel owned by
Maureen Kearney if she ever
decided to sell.

Yours faithfully
Thomas Mahon.

11 FEB 92

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

NOTIFICATION OF A DECISION TO REFUSE:

~~PERMISSION~~ PERMISSION: ~~PERMISSION~~

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1983

To Deegan Architects, Register Reference No. 91A/1483
155. Monalea Grove, Planning Control No. _____
Firhouse, Application Received 10.09.91
Dublin 24. Additional Information Received T.X.'s to 15.02.92
Applicant Mr. T. Mahon.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order, P/ P/5632/91 P 642/92 dated 07.02.92 decided to refuse:

~~PERMISSION~~ PERMISSION ~~PERMISSION~~

For Proposed bungalow and septic tank at Castlekelly, Tallaght, Co. Dublin.

for the following reasons:

1. The proposed development would be prejudicial to public health because of the risk of pollution by the development of the Bohernabreena Reservoir as the site is within the catchment area of the reservoir and is situated close to a feeder stream to the reservoir.
2. The proposed development is unacceptable to the Supervising Environmental Health Officer, for the following reasons:-
 - (a) Evidence to indicate suitability of soil for the treatment and disposal of septic tank effluent has not been provided.
 - (b) Contours of site not shown.
 - (c) Distance between proposed well and percolation area is unacceptable.
 - (d) Location of adjoining septic tank and percolation area not indicated.

Signed on behalf of the Dublin County Council


for PRINCIPAL OFFICER

Date 10 February, 1992.

IMPORTANT:

NOTE: (1) An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. The appeal shall be in writing and shall state the subject matter of the appeal and grounds of appeal and should be addressed to An Bord Pleanala, Irish Life Centre, Lower Abbey Street, Dublin 1. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six pounds). (2) A party to an appeal making a request to An Bord Pleanala for an oral hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanala a fee of £36. (Thirty-six pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten pounds) to An Bord Pleanala in relation to an appeal. When an appeal has been duly made and has not been withdrawn, An Bord Pleanala will determine the application for permission as if it had been made to them in the first instance.

Deegan Architects,
155 Monalea Grove,
Firhouse,
Dublin 24.

91A/1483

16 December 1991

Re: Proposed bungalow and septic tank at Castlekelly, Tallaght, Co.
Dublin for Mr. T. Mahon.

Dear Sir,

With reference to your planning application received here on 10th September, 1991, (letter for further extension period received 12th December, 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been further extended up to and including 15th February, 1992.

Yours faithfully,



for Principal Officer.

PK

Anthony F. Deegan & Associates

ARCHITECTS, PLANNING CONSULTANTS

155 MONALEA CIR

~~12 Main Street,
Rathfarnham,
Dublin 14~~

Your Ref: 91A-1483

FIRHOUSE

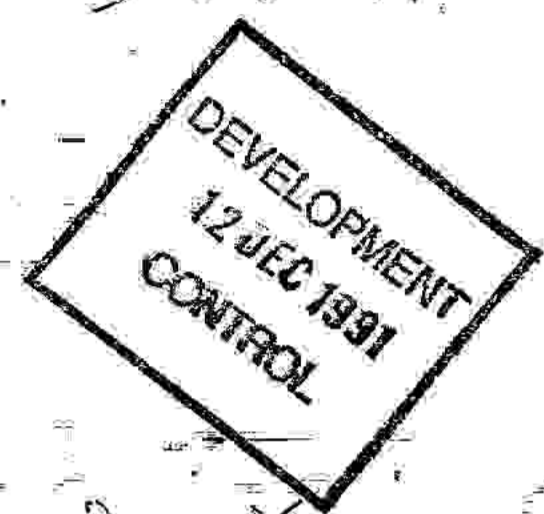
DUBLIN 24

Phones: ~~907701, 907704~~, 934675

Our Ref:

9.12.91

Re Bungalow & Septic Tank
Castlekelly
Tullaghan
co. Dublin



Dear Sir,

Re above planning application
We wish to apply for a further
time extension up to 15th Feb 1992

Yours faithfully

Maureen Deegan

Deegan Architects,
155, Monalea Grove,
Firhouse,
Dublin 24.

Reg. Ref. 91A-1483

11 November 1991

Re: Proposed bungalow and septic tank at Castlekelly, Tallaght,
Co. Dublin for Mr. T. Mahon.

Dear Sir/Madam,

With reference to your planning application received here on
10th September, 1991, (letter for extension period received 8th
November, 1991), in connection with the above, I wish to inform you
that:-

In accordance with Section 26(4A) of the Local Government (Planning
and Development) Act, 1963, as amended by Section 39(F) of the Local
Government (Planning and Development) Act, 1976, the period for
considering this application within the meaning of subsection (4A) of
Section 26 has been extended up to and including 15th December, 1991.

Yours faithfully,


for Principal Officer.

ANTHONY F. DEEGAN
ARCHITECTS
155 Monalea Grove,
Firhouse, Dublin 24.

To: Dublin Corporation

Fax: 724 896

Ref: 91A/1483

Mr. T. Mahon, Castlekelly, Tallaght, Dublin 24.

Re: Above Planning Application

We wish to apply for time extension up to the 15th December 1991.

M. Deegan

Marian Deegan

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1483

Date : 11th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Bungalow and septic tank

LOCATION : Castlekelly, Tallaght

APPLICANT : Mr T. Mahon

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 10th September 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Deegan Architects,
155 Monalea Grove,
Firhouse,
Dublin 24.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building CASTLEKELLY
(If none, give description sufficient to identify) TALLAHT CO. DUBLIN.

3. Name of applicant (Principal not Agent) MRS & MRS T MAHON

Address CASTLEKELLY TALLAHT CO. DUBLIN No.

4. Name and address of person or firm responsible for preparation of drawings DEEGAN ARCHITECTS
..... 155 MONALEA GROVE Tel. No. 934675

5. Name and address to which notifications should be sent FIRHOUSE
..... DUBLIN 24 BYE L

6. Brief description of proposed development BUNGALOW & SEPTIC TANK 55 N4727

7. Method of drainage SEPTIC TANK 8. Source of Water Supply WELL

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used.
(b) Proposed use of each floor 32 11/9 N4774

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site 740 ACRE Sq. m.
(b) Floor area of proposed development 1550 sq ft 10 SEPT 91 Sq. m.
(c) Floor area of buildings proposed to be retained within site Sq. m.

12. State applicant's legal interest or estate in site (i.e., freehold, leasehold, etc.) LEASEHOLD

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:

15. List of documents and application. TOTALY
4 COPIES OF DRAWINGS
OUTLINE SPECIFICATION
ENGINEERS CALCULATIONS

16. Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development

Fee Payable £ 87 Basis of Calculation 55 BYELAW + 32 PLANNING
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Marie Deegan Date 4/9/91

Application Type P/B FOR OFFICE USE ONLY

Register Reference 91A/1483

Amount Received £ 25/9 1.20.4.4

Receipt No

Date

Irish
Press
28/8/91

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgment that the fee
tendered is the prescribed application
fee.

CASH
CHEQUE
M.O.
B.L.
L.T.

N 47774

£32.00

Received this 11th day of September 1991

from Mrs Mrs T. Mahon
Castlekelly, Tallaght

the sum of thirty two Pounds

application at above Pence, being for planning

Michael O'Hara Cashier

S. CAREY
Principal Officer

Class 1
1/11/91

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY
CHEQUE
M.O.

N 47270

Received this

day of

September

1961

from

Mrs Mrs T Mahon
Castlekell, Tallaght

the sum of

Five

Pounds

Pence being

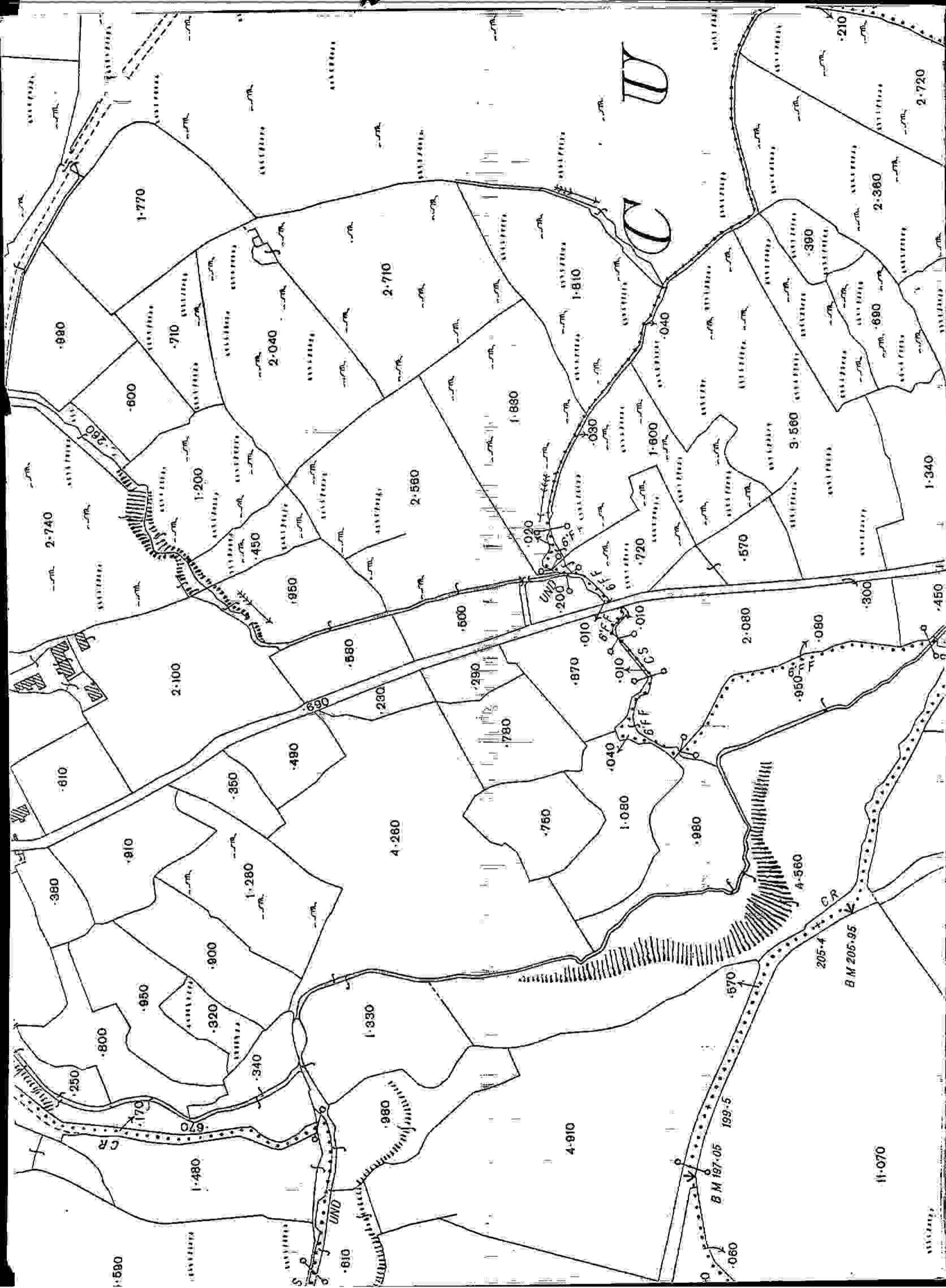
Application at above

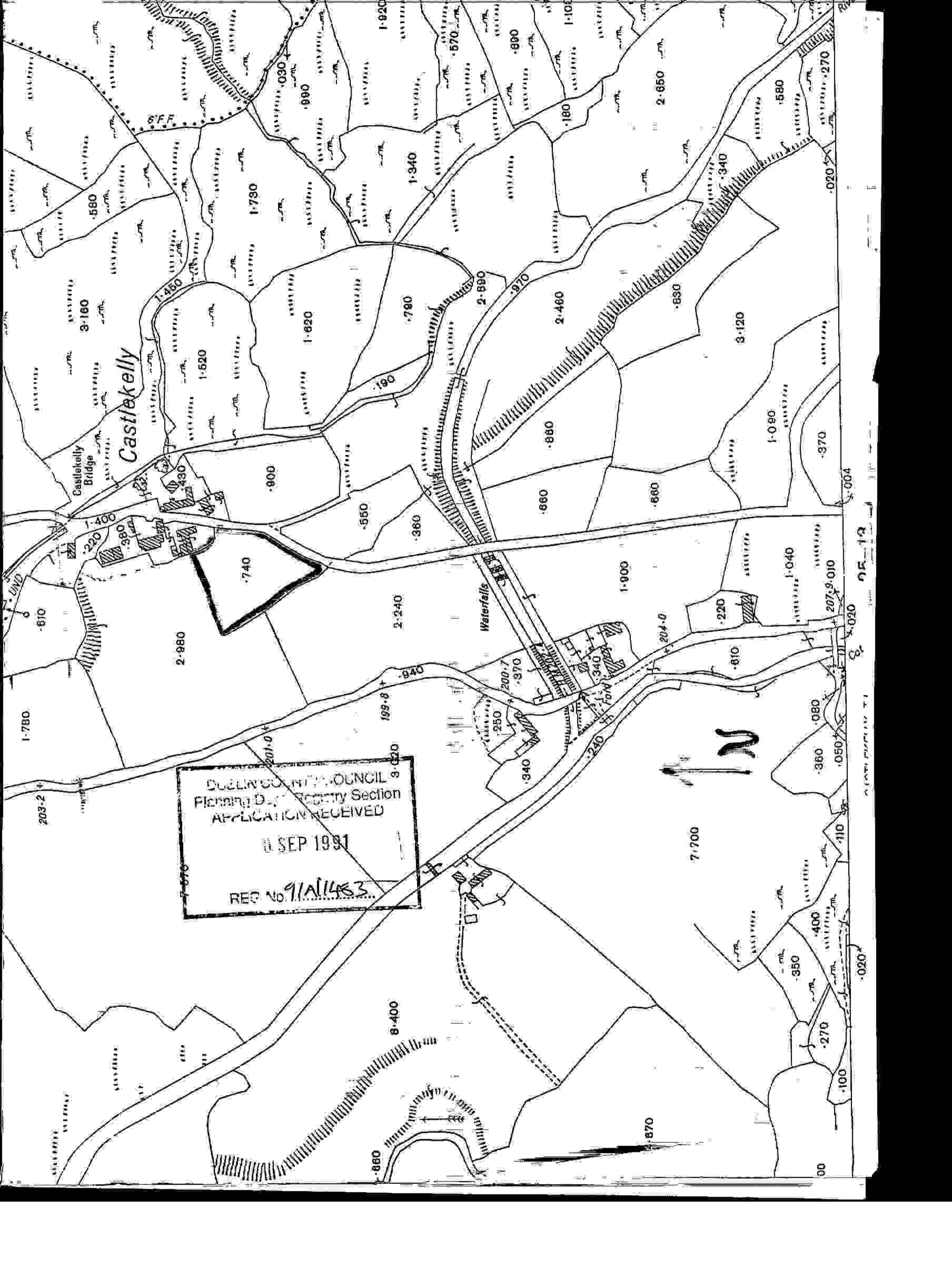
Michael O'Han

Cashier

CAREY

Principal Officer





Castlekelly

Castlekelly Bridge

Waterfalls

Fountain

DUBLIN COUNTY COUNCIL
Planning Department
APPLICATION RECEIVED
11 SEP 1981
REQ No. 91A/1483



PROPOSED BUNGALOW FOR MR. T. MAHON AT

CASTLEKELLY, COUNTY DUBLIN

STRUCTURAL CALCULATIONS



PATRICK JOYCE ASSOCIATES,

CONSULTING ENGINEERS,

4 BODEN WOOD,

RATHFARNHAM,

DUBLIN 14.

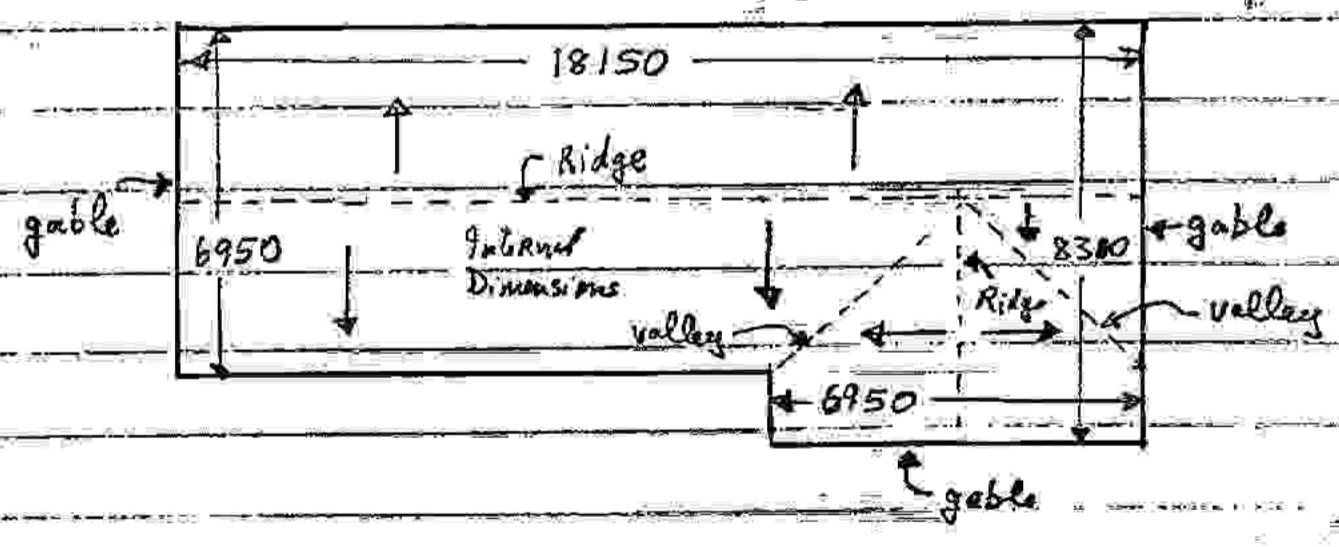
27TH AUGUST 1991

STRUCTURAL CALCULATIONS - BUNGALOW
AT CASTLEKELLY, CO. DUBLIN

1. LOADINGS:

Pitched Roof: Tiles on traditional cut timbers
Slope: 35°

Dead Load:	Roof:	0.75 kN/m ²
	Ceiling:	0.25 kN/m ²
Live Load:	Roof:	0.75 kN/m ²
	Ceiling:	0.25 kN/m ²
		<u>2.00 kN/m² on plan</u>



PLAN

2. ROOF :

Max Span of Roof : 6950 mm [22' - 9"]

From SR 11 : 1988

Timber : Strength Class A

Rafters with intermediate support [Table 7]

Span : 1740 mm

35 x 115 mm @ 400 mm centres adequate

Purlins : [Table 10]

Can use 75 x 175 mm purlins with supports @ centres not greater than 2240 mm [8' - 4"]

Alternatively 75 x 225 mm purlins with supports @ centres not greater than 2820 mm [9' - 3"]

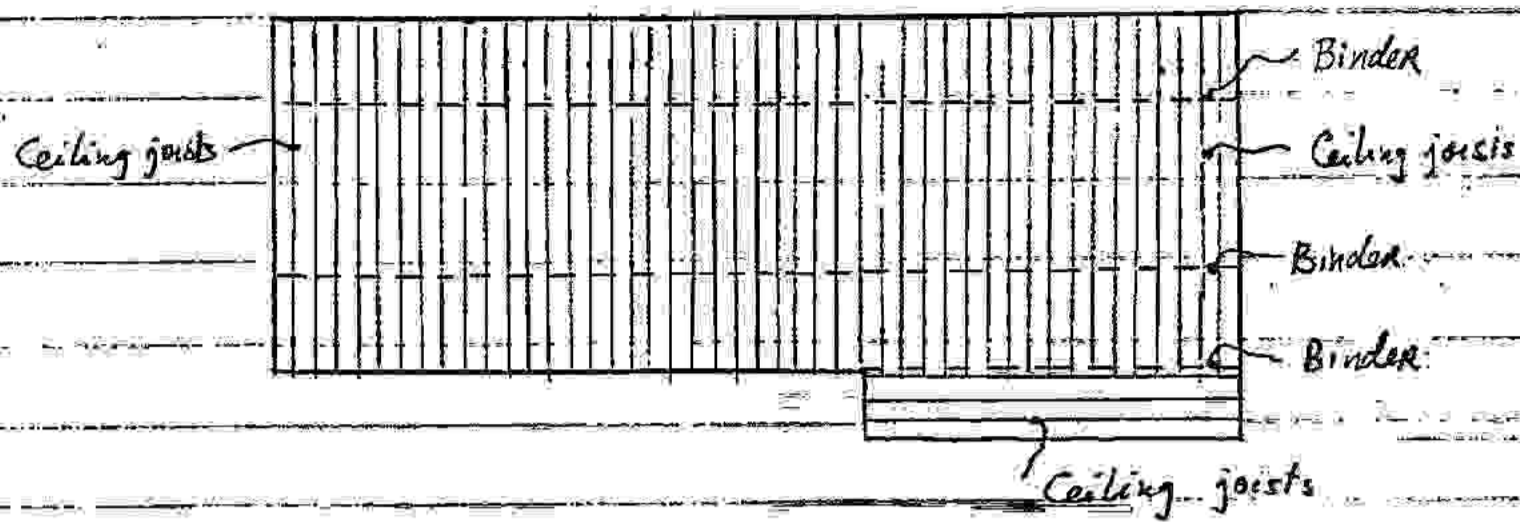
Ceiling joists [Table 6]

Supported from purlins with hangers + binders

Max span in Bedroom 1 and Living Room is between binders and wall \approx 2400 mm

\Rightarrow 35 x 150 mm @ 400 mm centres adequate

Provide additional hangers + binders over Lounge area to limit max span of ceiling joists to less than 2700 mm



Binders:

35 X 150 mm binders supported by 35 X 75 mm hangers @ centres not exceeding 1600 mm

Alternatively: 35 X 125 mm binders with hangers @ centres not exceeding 1200 mm

Roof Timbers: Summary

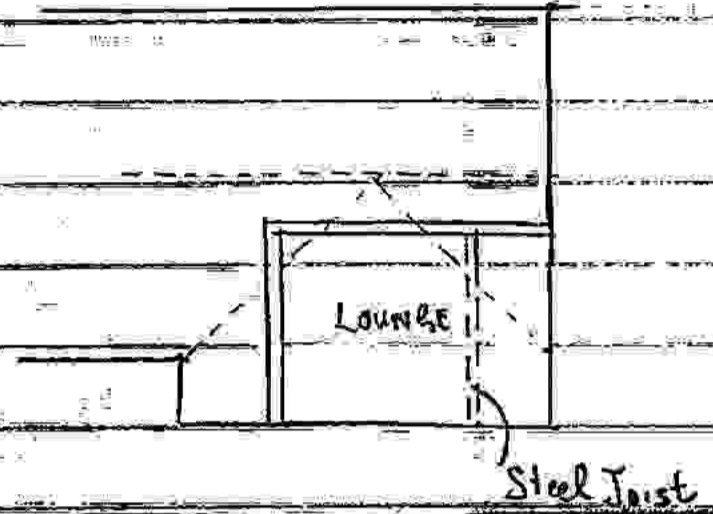
Rafters:	35 X 115 mm @ 400 mm centres
Purlins	75 X 175 mm
Struts (to Purlins)	75 X 100 mm @ centres n-e. 2240 mm
Ceiling joists	35 X 150 mm @ 400 mm centres
Binders	35 X 150 mm
Hangers	35 X 75 mm @ centres n-e. 1600 mm
Valley Rafters	44 X 225 mm
Wall plates	75 X 100 mm
Ridge Boards	32 X 175 mm
Thrust Pieces (between strut ends)	44 X 115 mm

3 STEEL JOIST

A steel joist will be required over the lounge to support
purlin strut

Clear Span : 3900 mm

Effective Span : 4200 mm



Loading:

$$2.0 \text{ kN/m}^2 \times 1.75 \times 3.9 \times \frac{1}{2} = 6.82 \text{ kN}$$

$$\text{Self wgt : } 0.2 \text{ kN/m}$$

$$\text{Max Moment : } 6.82 \times 3.9 / 4 + 0.2 \times (3.9)^2 / 8 = 7.0 \text{ kNm}$$

Try: 152 x 89 x 17.09 kg/m steel joist

$$r_y = 19.9 \quad l = 3900 \text{ mm}$$

$$\frac{l}{r_y} = \frac{3900}{19.9} = 196 \quad \frac{D}{T} = 18.4$$

From Table 3 of BS 449 $P_{bc} = 98 \text{ N/mm}^2$

$$\text{Modulus } Z = \frac{7.0 \times 10^6}{98 \times 10^3} = 71 \text{ cm}^3$$

From Handbook $Z_{xx} = 115.6 \text{ cm}^3 \Rightarrow \text{OK}$

Deflection: OK

Use Steel Joist 152 x 89 x 17.09 kg/m

Bearing: 200 mm each side

4 LINTELS

Use Catnic Steel Lintels or equivalent approved

Open Size		Lintel Type
6'-0" [1830 mm]	Windows	CN 14 A / 2250
3'-0" [915 mm]	Windows / Doors	CN 14 A / 1350

Use Catnic Semi-Circular Arch Lintels to front windows [3'-0" clear ope]

Patrick C. Joyce B.E

27/8/91

OUTLINE SPECIFICATION FOR
BUNGALOW AND SEPTIC TANK AT
CASTLEKELLY TALLAGHT CO. DUBLIN
FOR Mr. T. MAHON

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
16 SEP 1991
REG No. 91A/1483

GENERAL:

The whole of the works to comply with the rules and regulations of the Local Authority. Materials to be of Irish manufacture so far as it is possible, and workmanship to be of the best quality available.

FOUNDATION:

Excavate for foundations to depths and widths as shown or to such further depth as may be necessary to ensure a solid foundation.

Foundations to be of 1:2:4 concrete to the sizes shown. If considered necessary reinforced foundations with 6 lb. steel mesh fabric.

SITE CONCRETE:

The complete area beneath the house shall have 4" of site concrete (1:2:4) Mix on 6" min. hardcore. Hardcore if deeper to be laid in 6" layers.

WALLS:

External walls of the house to be 9" hollow concrete block as shown on drawings.

Internal walls to be to the thickness and dimensions as shown on the drawings built with solid concrete blocks where indicated on ground floor. External walls of garage to be built with 9" hollow concrete blocks. All blocks to be type A or B as appropriate in accordance with I.S.S. 20; 1971.

Rising walls to be bedded and jointed in cement mortar and over d.p.c. level walls to be bedded and jointed in gauged lime mortar.

External walls to be rendered in sand cement and painted. Internally walls to be generally finished with ½" plaster board dry lining.

D.P.C.

Damp-proof course shall be 3 ply heavy quality hessian with bitumen coating lapped min. of 6" at joints and corners and laid full width on wall.

Provide D.P.C. in rising walls at least 6" over finished ground level and under and behind all cills and vertically at all jambs in cavity walls. D.P.C. to be placed over all lintols in external walls and through all chimney stacks.

LINTOLS:

To be prestressed or precast concrete as indicated. Where precast the lintols shall be 9" deep by width of wall, and for opens up to 4'0" wide they shall be reinforced with ½" steel bars for every 4" of width; over 4" and up to 7'0" the bars shall be ¾" for every 4" of width. Precast lintols shall be "Spanlite" or other equal or approved.

FLUES:

Flues shall be lined with clay flue liners minimum diameter 8" and surround in weak concrete.

TIMBER:

Timber for carpentry work to be white deal while timber for joinery work shall be red deal or selected pine as may be indicated. All timber shall be treated with preservative. All rough timber where built into or in concrete with the structure shall be treated with Cuprionol green preservative. Joinery work shall be treated with Sadolin PX 65 clear timber preservative in accordance with manufacture's instructions.

FLOORS:

Ground floor to be 6" concrete on polythene on 6" hardcore or otherwise indicated on drawings.

Upper floors to 1" nominal t. & g. boarding on 7" x 2" joists at 16" centres with solid bridging at 6'0" maximum centres or otherwise indicated on drawings.

ROOFS:

Pitched roofs shall be generally at 33° pitch or as otherwise indicated and consist of 4½" x 1½" rafters at 14" centres on 7" x 2" purlins and 3" x 2" wall plate with 4½" x 1½" collars to every third rafter. Ceiling rafters shall be 4½" x 1½" centres. Hip rafters and valley rafters shall be 7" x 1½" and the ridge piece shall be 7½" x ½". Roofing tiles shall be selected concrete tiles on 2" x 1" battens. Ridge tiles shall match or as per drawings.

Flat roof to be covered with 3 layers roofing felt on 1" prefelted chipboard on furring with 1 in 80 fall on 7" x 1½". Solid bridging to be as for floors or otherwise indicated on drawings.

CEILINGS:

Ceiling to be slabbed with plasterboard and finished with aertex.

PARTITIONS:

Stud partitions to be 3" x 2" thick as indicated and formed with 2" studs at 16" centres on 2" cill piece and 2" head and having noggins at 3'0" intervals and staggered. Partitions to be slabbed with 3/8" plasterboard drylining.

STAIRCASE:

Staircase to be to detail.

WINDOWS:

To be timber framed G.W.I. type windows where indicated otherwise to be to detail.

DOORS

Main entrance door to be panelled door to detail. Other external doors to be glazed door or timber sheated as indicated.

Patio doors to be framed and glazed to detail.

Internal doors plus all locks and door furniture to be selected by Architect.

KITCHEN UNITS:

The Kitchen layout and units to be to specialist's detail.

CUPBOARDS ETC.

All built-in-units - cupboards etc. shall be to detail.

INSULATION:

House shall be insulated to conform with Local Government requirements. Storage tank and pipe work in roof space shall be insulated with preformed expanded polystyrene.

D.P.Cs

All flushings to chimneys flat roofs etc. to be lead, sheet aluminium or copper as selected.

VENTS:

Wall vents to be 9" x 9" louvred aluminium with selected P.V.C. louvres internally. Floor vents to be 9" x 4" louvred aluminium.

DRAINAGE:

Drainpipes, gullies and fittings shall be heavy duty P.V.C.

Surface water to be disposed of to separate surface water drain on site.

Foul drains to be connected to common foul drain and thence to public sewer.

Manholes shall be constructed with 9" concrete slab bottom (1:4 conc.) and have 9" solid blockwork walls rendered internally with 3:1 sand cement plaster and have 4" round channel with appropriate branches and be haunched up in sand cement on each side. Covers shall be galvanised cast iron with single seal.

RAINWATER PIPES:

Gutters to be 5" half round P.V.C. gutters with 3" downpipes fixed clear of wall face.

PIPING

Generally cold water service pipes shall be Wavin while hot water service pipes shall be half hard light gauge copper tubing to BS 2871 Part 1 with compressions joints.

Take $\frac{1}{2}$ " connection from water main crossing site and connect to rising main.

Rising main to be $\frac{1}{2}$ " (with stopcock above ground floor level) connected to 100 gallon galvanised cistern in roof space and servicing kitchen sink with $\frac{1}{2}$ " branch to cold tap. From tank $\frac{3}{4}$ " cold water service pipe connects to bath, and 30 gal. copper cylinder with $\frac{1}{2}$ " branches to w.c. and w.h.b. The last 6'0" of the connection to the cylinder shall be in copper. From cylinder take 2" expansion pipe to discharge over storage cistern with $\frac{3}{4}$ " feed to bath and $\frac{1}{2}$ " branches to w.h.b. and sink. Cistern to be $\frac{3}{4}$ " overflow pipe and cylinder to be heated with dual electric immersion.

Stopcock to be placed on all pipes serving bathroom and kitchen to allow isolation of either group of fittings.

Soil and waste drainage to be a two pipe system as shown on drawings. Pipes and fittings to be P.V.C. jointed and fixed in accordance with manufacturers instructions.

SANITARY WARE

Kitchen sink and drainer to be stainless steel with c.p. pillar cocks. W.C. suites and w.h.b.'s shall be vitreous china with c.p. fittings. Showers to be cabinet type with c.p. fittings. Baths to be vitreous enamel with c.p. fittings.

GLASS

Generally glass shall be clear sheet glass with selected obscure glass to bathrooms and toilets.

DECORATION:

External wall surfaces shall be painted with exterior grade emulsion paint.

Internally walls shall be wallpapered in living rooms and bedrooms with oil paint on walls of bathrooms and kitchens.

Doors and windows shall be painted inside and out with oil paint.

HEATING:

To be selected by Architect.

HEATING:

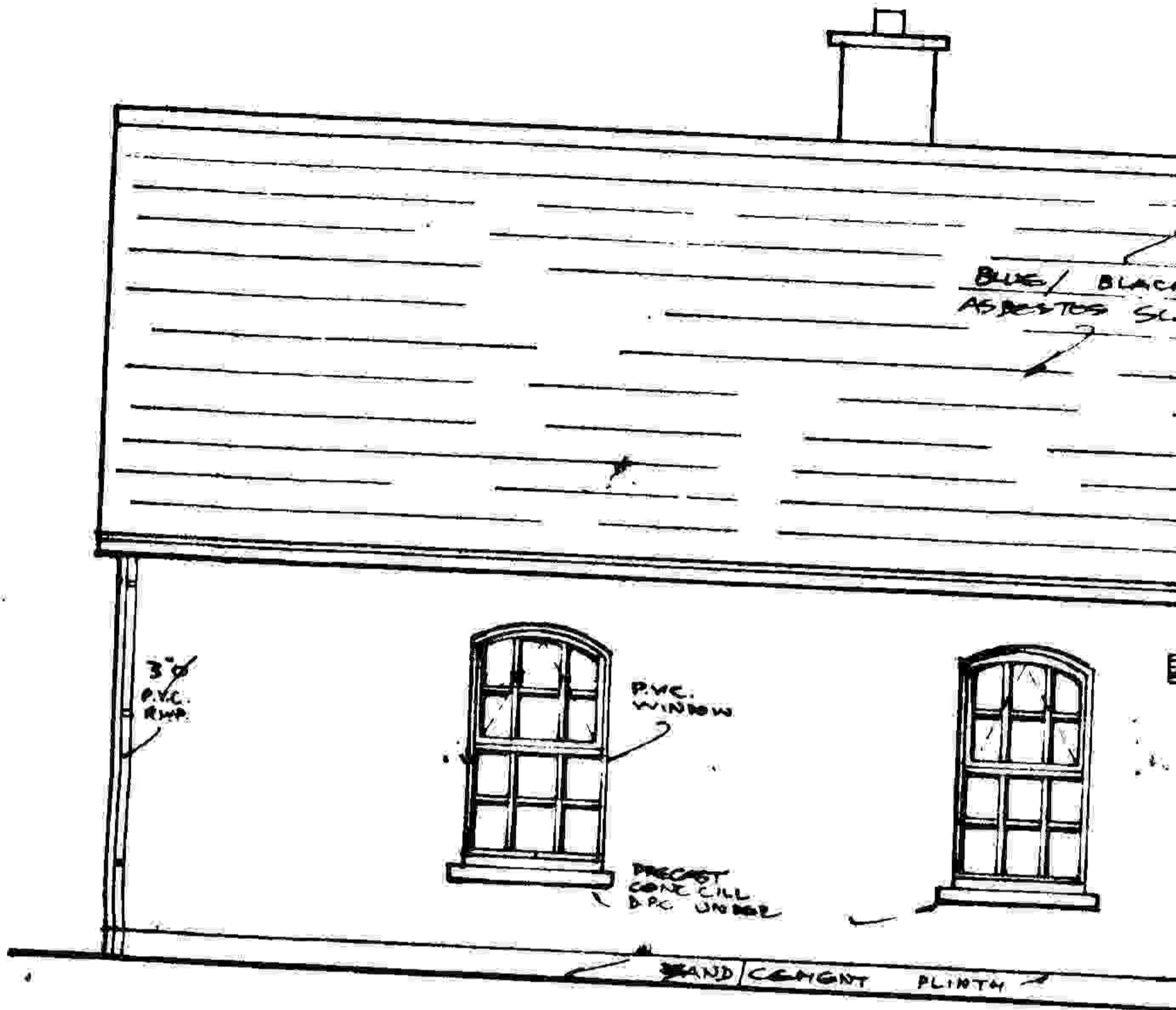
Oil fired low pressure hot water system of radiators and convectors.

ELECTRICITY

Installation to be in accordance with E.S.B. regulations and the I.E.E. Code of Practice.

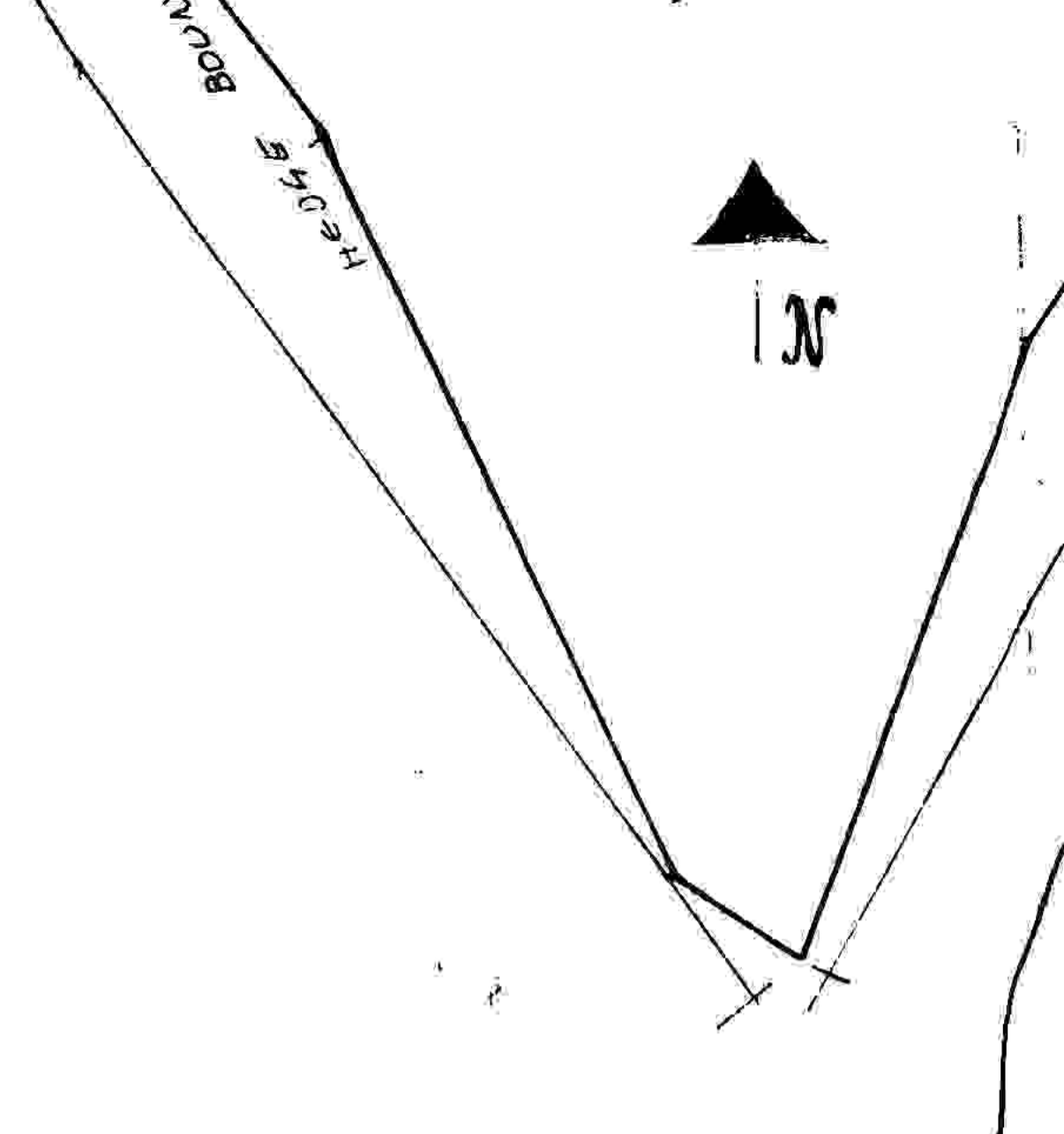
SITE WORKS:

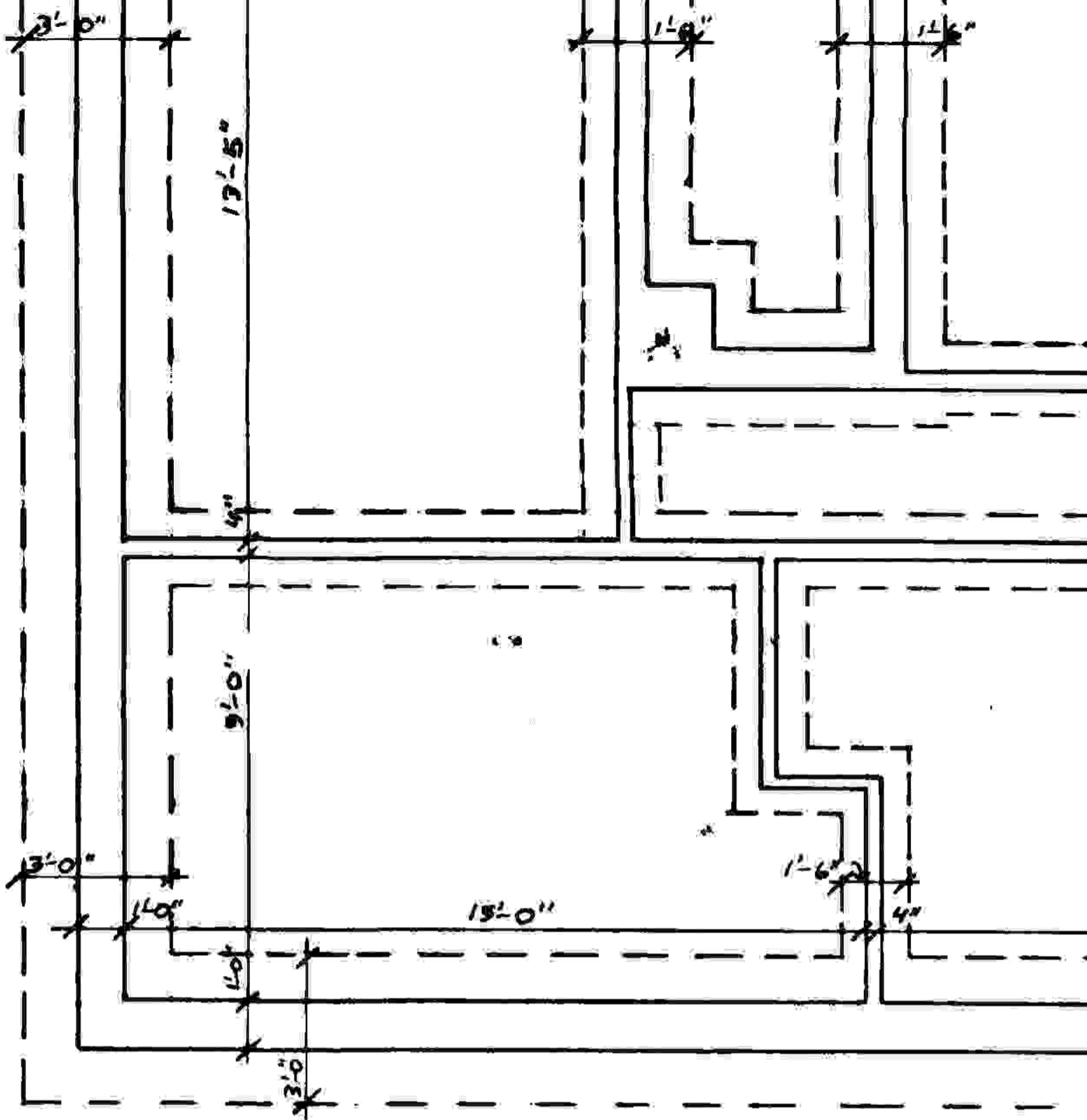
Driveway to be concrete. Paving to be precast concrete paving slabs. Existing trees to be retained. New planting to be as indicated on drawing.



FRONT ELEVATION

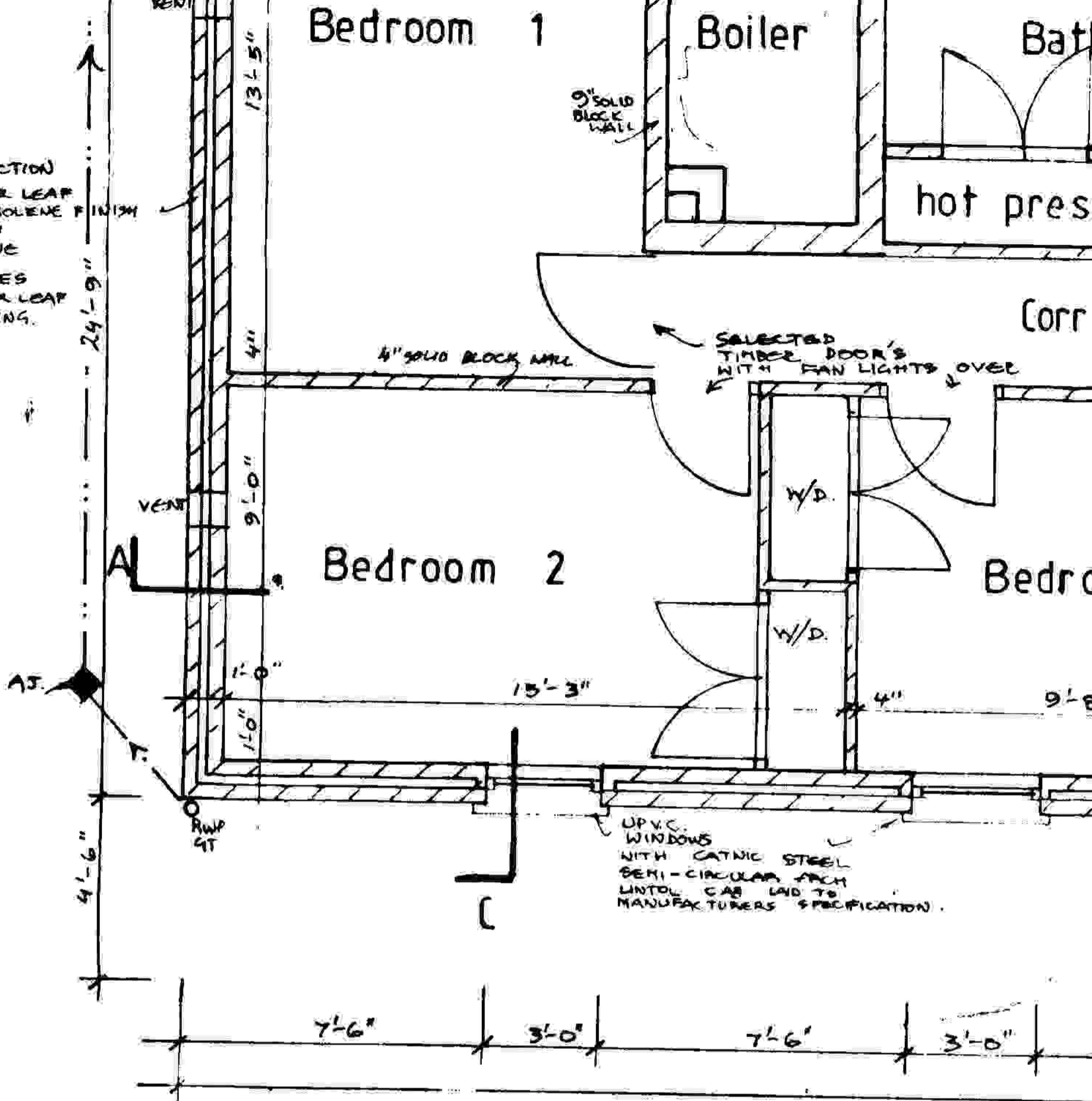
SITE PLAN





FOUNDATION PLAN

WALL CONSTRUCTION
 4" BLOCK OUTER LEAF
 WITH WHITE TYROLENE FINISH
 4" CAVITY WITH
 2" POLYSTYRENE
 INSULATION
 CAVITY WALL TIES
 4" BLOCK INNER LEAF
 WITH DRY LINING.



GROUND FLOOR PLAN