

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A/1478

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
Belgard 24/9/91	Class B Cars & J Hannon All that permission be granted		



Bloc 2, Ionad Bheatha na hEirinn,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1478

Date : 16th September 1991

Dear Sir/Madam,

Development : Retention of signage and of retail sales use on
enclosed area

LOCATION : East of Firhouse Shopping Centre, off Firhouse Road,
Dublin 24

Applicant : Aviette Limited

App. Type : PERMISSION

Date Recd : 10th September 1991

Your application in relation to the above was submitted with a fee of
274.50 .

On examination of the plans submitted it would appear that the
appropriate amount should be 384.50 .

I should be obliged if you would submit the balance of 110.00
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

A handwritten signature in cursive script, appearing to be 'G.W.' or similar, written over a dotted line.

FOR PRINCIPAL OFFICER

Wynnefield Design,
7 Wynnefield Road,
Rathmines,
Dublin 6.

PLANNING APPLICATION FEES

Reg. Ref. 91A/1478 Cert. No. 26581
 PROPOSAL Retention of Signage + Retail Use
 LOCATION East of Firhouse Shopping Centre, Firhouse Rd
 APPLICANT Avetta Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>134.0m</u>	@£1.75 per m2 or £40	<u>£234.50</u>	<u>£234.50</u>		
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres <u>14.30m</u>	@£10 per m2 or £40	<u>£150</u>	<u>£140</u>	<u>£110</u>	
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

£110 21/10/91
 N40936

A Roy P. Brennan
 on 18/10 @ 15

standing in balance of fee on Monday 21/10

Column 1 Certified: Signed: [Signature] Grade D/TC Date 13/9/91
 Column 1 Endorsed: Signed: [Signature] Grade See Date 12/9/91
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade See Date 12/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: [Signature] Grade See Date 12/9/91

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1958 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91A/1478

DATE RECEIVED

SERVICES INVOLVED: WATER, TOLL, SEWER, SURFACE WATER

NO. OF SITES

LAND AREA OF SUBJECT PROPERTIES: 14443 FT² J. M. 13/9/91

ASSESSED BY:

REVIEW BY:

PERIOD OF ASSESSMENT:

TOTAL ASSESSMENT:

ASSESSOR'S OFFICE NO.:

ENTERED IN CONTRIBUTIONS REGISTER:

EVALUATED BY: [illegible]

P/5107/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1478

Date Received : 10th September 1991

Correspondence : Wynnefield Design,
Name and : 7 Wynnefield Road,
Address Rathmines,
Dublin 6.

Development : Retention of signage and of retail sales use on enclosed area

Location : East of Firhouse Shopping Centre, off Firhouse Road, Dublin 24

Applicant : Aviette Limited

App. Type : Permission

Zoning : C1

Floor Area : 134 sq.metres

(GB/DK)

Report of the Dublin Planning Officer dated 4th November, 1991.

This is an application for PERMISSION for retention of signage and retain sales use at Firhouse Shopping Centre.

The site on which the development is proposed is the original water tank storage area for the existing Supermarket. It is located in the car park of the Shopping Centre.

The development is *mainly* enclosed by a high concrete wall.

The planning history of this site indicates that a number of applications have been received in the past regarding the shopping centre. Reg. Refs. 88A-0462 and 85A-1509 apply, but are not directly relevant.

However, Enforcement Action has also commenced with regard to the subject development, as well as to a separate development, i.e. renovations at the main building. Enforcement File 7352 refers.

The subject development is the retail sale of plants and flowers, and from a separate section, fuels. It is within the enclosed area, except for some display which is using 4-6 car parking spaces.

Normally the Planning Authority would not encourage this type of development. However, this proposal is very limited and as I understand it this centre is under utilised since the growth of other major centres in the Tallaght area.

I recommend that a decision to GRANT PERMISSION be made under the Local

EN 563 III

CONTRIBUTION:	
Standard:	<i>mb</i>
Roads:	<i>mb</i>
S. Sers:	<i>mb</i>
Open Space:	
Other:	<i>fall</i>
SECURITY:	
Bond/C.L.F.:	
Cash:	

[Handwritten signature]

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1478

Page No: 0002

Location: East of Firhouse Shopping Centre, off Firhouse Road, Dublin 24

Government (Planning and Development) Acts, 1963-1990 subject to the following
(
1) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That the structure shall be removed on or before 01.11.1994 unless before that date permission for its retention is granted by the Planning Authority or by An Bord Pleanála on appeal.

REASON: To enable the effect of the development on the amenities of the area to be reviewed, having regard to the conditions then obtaining.

03 That the requirements of the Sanitary Services Department be ascertained and adhered to in relation to the water tank.


03 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

7

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.




COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1478

Page No: 0003

Location: East of Firhouse Shopping Centre, off Firhouse Road, Dublin 24

Endorsed: 
for Principal Officer


for Dublin Planning Officer

SEP
7/11/91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (4) conditions set out above is hereby made.

Dated : 8th NOVEMBER 1991


ASSISTANT COUNTY MANAGER/~~APPROVED OFFICER~~

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 6th November 1991.

Marjorie O'Shea.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1478.

DEVELOPMENT: Retention of signage and of retail sales use on enclosed area.

LOCATION: East of Firhouse Shopping Centre.

APPLICANT: Aviette Ltd.

DATE LODGED: 10.9.91.

The proposal is for retention of a garden centre and fuel depot facility developed in association with the shopping centre and with access onto the shopping centre car park.

Six additional car parking spaces would be required to cater to Development Plan Standards. These could be provided to the rear of development by extending the car park (for layout refer application Reg. Ref: 88A/462). As this area is not shown on the site outlined in red it may be necessary to establish that the applicant can carry out this work by means of additional information.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 15.10.91...
Time 9.50

GC/BMCC
8.10.91.

SIGNED: Ganett Cur
DATE: 8/10/91

ENDORSED: E. Madde
DATE: 9th Oct 91

16



Blóc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Wynnefield Design,
7 Wynnefield Road,
Rathmines,
Dublin 6.

Reg. Ref. No. 91A/1478

8 November 1991

Re: Retention of signage and of retail sales use on enclosed
area east of Firhouse Shopping Centre, off Firhouse Road, Dublin
24 for Aviette Limited.

I, the undersigned, hereby acknowledge receipt of Notification
of Decision, dated 8 November 1991, in connection with the above.

Signed: _____

On behalf of:

(Name) _____

(Address) _____

I hereby certify that the above Notification, dated 8 November
1991, was handed by me to the above signed today.

SIGNED: _____

DATED: _____

Mary Murphy
8.11.91

*Hand
Posted as
nobody in.*

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
1R, ABBEY STREET,
DUBLIN 1.

Notification of Decision to Grant Permission/Approval

Local Government (Planning and Development) Acts, 1963-1983

To Wynnefield Design,
7 Wynnefield Road,
Rathmines,
Dublin 6.

Decision Order P/5107/91 08.11.91
Number and Date
Register Reference No. 91A/1478
Planning Control No.
Application Received on 10.09.91

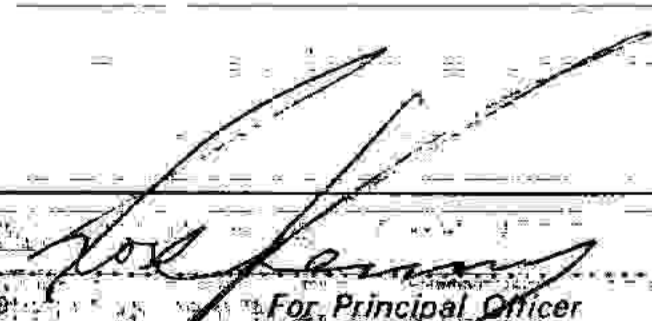
Applicant Aviette Ltd.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/Approval for -
retention of signage and of retail sales use on enclosed area east of Firhouse Shopping Centre, off Firhouse Road, Dublin 24.

SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That the structure shall be removed on or before 01.11.94 unless before that date permission for its retention is granted by the Planning Authority or by An Bord Pleanala on appeal.	2. To enable the effect of the development on the amenities of the area to be reviewed, having regard to the conditions then obtaining.
3. That the requirements of the Sanitary Services Department be ascertained and adhered to in relation to the water tank.	3. In order to comply with the Sanitary Services Acts, 1878-1964.
4. That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.	4. In the interest of safety and the avoidance of fire hazard.
NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.	

Signed on behalf of the Dublin County Council



For Principal Officer

8 November 1991

Date

IMPORTANT: Turn overleaf for further information

CONDITIONS

REASONS FOR CONDITIONS

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not a
acknowledgement that the fee
tendered is the prescribed application
fee. N 50936

€ 110.00

Received this 21st day of October 1991
from Kelly's Enterprises Ltd.

the sum of one hundred and ten Pounds
of fee on 9/11/78 Pence, being Balance

Meehan Dean Cashier
S. CAREY Principal Officer
Kerry J. P.O.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/1478

Date : 11th September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Retention of signage and of retail sales use on
enclosed area

LOCATION : East of Firhouse Shopping Centre, off Firhouse Road,
Dublin 24

APPLICANT : Aviette Limited

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 10th September 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Wynnefield Design,
7 Wynnefield Road,
Rathmines,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building ENCLOSED SITE EAST OF FIRHOUSE SHOPPING CENTRE
(If none, give description sufficient to identify) FIRHOUSE ROAD DUBLIN 24

3. Name of applicant (Principal not Agent) AVIETTE LTD.
Address 23 FITZWILLIAM SQUARE DUBLIN 2 Tel. No. _____

4. Name and address of WYNNEFIELD DESIGN 7 WYNNEFIELD ROAD RATHMINES DUBLIN 6
person or firm responsible for preparation of drawings Tel. No. 960187

5. Name and address to which WYNNEFIELD DESIGN 7 WYNNEFIELD ROAD RATHMINES
notifications should be sent DUBLIN 6

6. Brief description of proposed development RETENTION OF SIGNAGE + RETAIL USE

7. Method of drainage N/A 8. Source of Water Supply N/A

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used. RETAIL
(b) Proposed use of each floor RETAIL

*Instr
has
10/9/91*

274.50 10/9
N47763

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

11. (a) Area of Site _____ Sq. m.
(b) Floor area of proposed development _____ Sq. m.
(c) Floor area of buildings proposed to be retained within site 134 Sq. m.

RECEIVED
10 SEP 1991
Reg. Sec.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) OWNER

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
NOT APPLICABLE

15. List of documents enclosed with application 4 NO. COPIES OF PLANS, PLANNING FEE, NEWSPAPER PLANNING

DUBLIN Permission sought for retention of signage and of retail sales use on enclosed area to east of Firhouse Shopping Centre off Firhouse Road, Dublin 24. Aviette Limited.

16. Gross floor space of proposed development (See back) £ 1:75 x 134 + £ 40:00 Sq. m.

No of dwellings proposed (if any) _____ Class(es) of Development 4, 9,
Fee Payable £ 274.50 Basis of Calculation £ 1:75 x 134 m² + £ 40:00 = £ 274.50
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) P. Brown Date 10:9:91

Application Type P FOR OFFICE USE ONLY

Register Reference 91R/1478

Amount Received £ 1.4.0 10/9

Receipt No 22/9

Date _____

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension	
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£30.00 each (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00).			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
mentioned is the price of the application
fee
N 47763

PAID BY
CASH
CHEQUE
N.D.
P.R.I.
L.T.

E274 50

Received this

10th day of September 1991

from Aviella Trust Ltd
23 Fitzwilliam Square, Dublin 2

the sum of two hundred and seventy four Pounds

and fifty

Pence being to be in planning

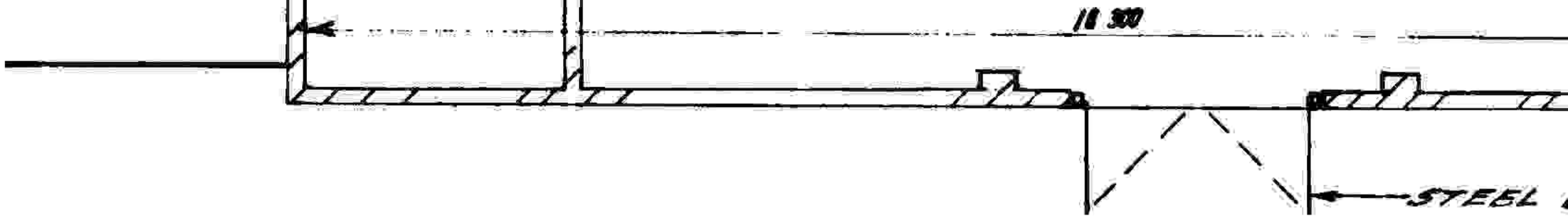
application on site East of Fichase stopping
centre Fichase road
Class

Michael O'Her Cashier

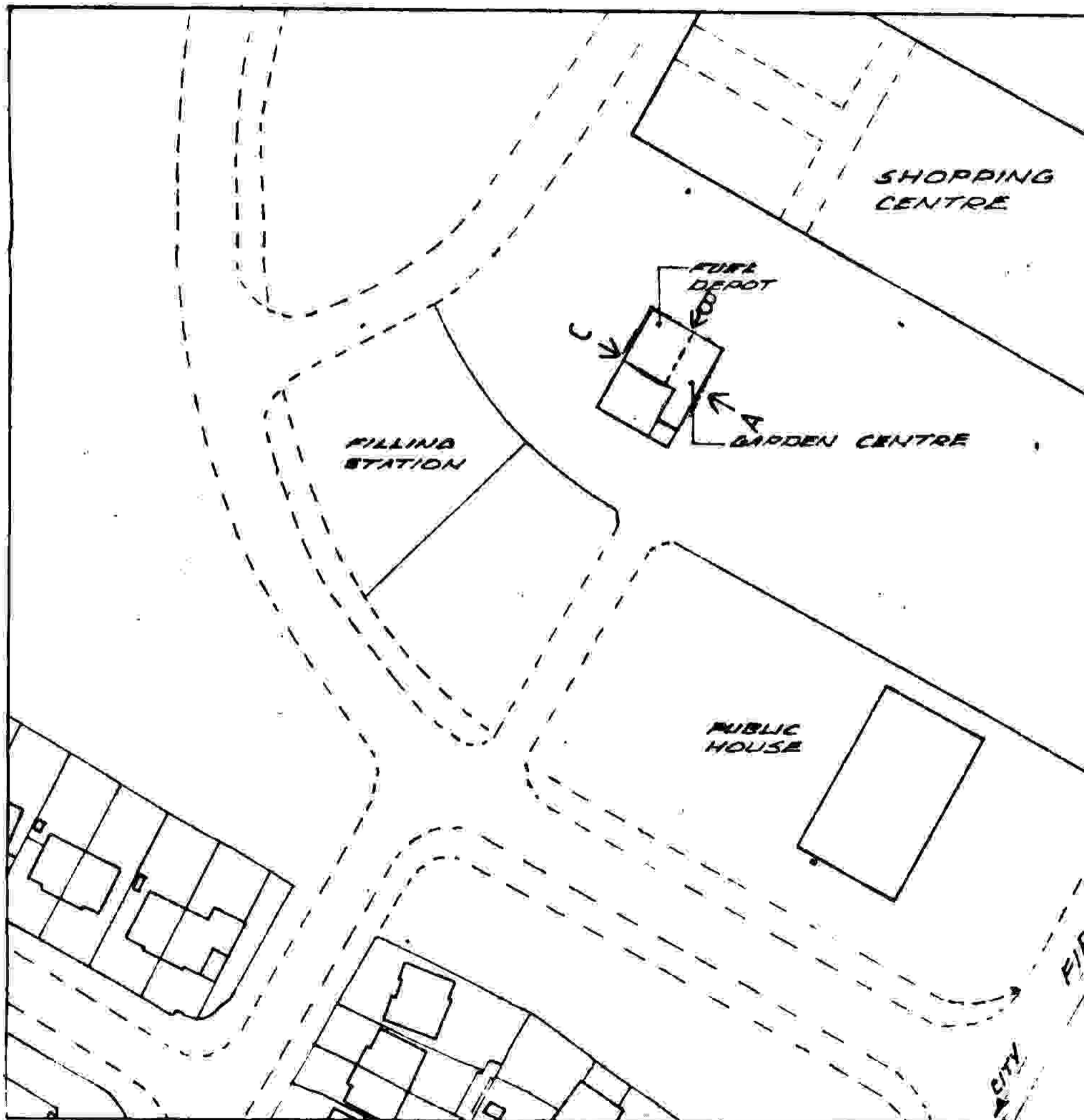


S. CAREY
Principal Officer

449



PLAN OF EXSTG BUILDING



SITE LOCATION MAP 1 : 1000