



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iach,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1425

Date : 7th November 1991

Dear Sir/Madam,

Development : Development of 80 two storey terraced, semi-detached
houses and bungalows, also shop and creche

LOCATION : off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : PERMISSION

With reference to the above, the applicant withdrew the application on
05.11.91 and particulars of this request have been entered in the
Planning Register. The Register is available for inspection at the
Planning Department, Irish Life Centre, Block 2, Dublin 1, during
office hours (9 a.m.-12.30 p.m. and 2.15 p.m.-4.30 p.m.)

A certified copy of an entry in the Register may be purchased on request
at the public counter at a cost of £5 per entry.

Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

Mr. P. Behan,
11 Oldcourt,
Tallaght,
Dublin 24.



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Yours faithfully,

.....
L.S.

for PRINCIPAL OFFICER

Mr. T. Hurley,
Tallaght Community Council,
Haarlem Court,
Oldcourt Road, Dublin 24.



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Yours faithfully,

L. D.
.....

for PRINCIPAL OFFICER

Mr. B. Hanlon,
7 Old Court,
Tallaght,
Dublin 24.



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Block 2, Irish Life Centre,
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Yours faithfully,

.....L.D.....

for PRINCIPAL OFFICER

Ms. M. Price Bolger,
Glencarrig Res. Assoc.,
22 The Green, Glencaraig,
Firhouse Road, Dublin 24.

PLANNING DEPARTMENT
APPLICATION RECEIVED
04 NOV 1991
REG No.
91A/103
103B

11 Oldcourt
TALLAGHT
DUBLIN 24

TO WHOM IT MAY CONCERN

I would like
to strongly object to any more bad
planning being allowed in my area
planning not being operative
in the first place. It seems
to me if you have money to
build planning seems to take
a back seat position and sub-
sequently areas suffer. Oldcourt
Road is the latest victim to bad
planning.

The scenic value of the area
is being obliterated by two
storey houses being crammed onto
as little land as possible rear house
back gardens being allowed to
front on to an existing main road
resulting in ugly walls with sheds

① P10

OUTHOUSES, ~~WATER~~ LEAN TOS
ETC ATTACHED TO SRA6.
EXAMPLES OF SAME ARE VISIBLE
ALL OVER TALLAGHT. I HAVE ON
SO CALLED PLANNERS.

PLANNING DEPARTMENT DID
NOT ENFORCE PLANNING
CONDITIONS ON NATIONAL
BUILDING AGENCY WHO WERE
RESPONSIBLE FOR BUILDING OF
BALLYCROGH. THEY LEFT LANDS
IN CLOSE PROXIMITY TO SITE IN
DEPLORABLE STATE WHICH LEADS
ONE TO WONDER WHY HAVE A
PLANNING DEPARTMENT IF IT
FAILS IN ITS BASIC DUTIES.

THE LATEST PLANNING APPLICATION
Q1A/1425 WILL ONLY ADD MORE
PROBLEMS TO AN ALREADY SAID
SITUATION. THE ROAD NETWORK IN
ITS PRESENT FORM WOULD NOT BE
SUITABLE FOR DEVELOPMENT OF

②

THIS KIND. THERE HAVE BEEN
MANY MINOR ACCIDENTS AT
THIS PLACE IN THE PAST FEW
YEARS. IF YOU WANT TO BE
RESPONSIBLE FOR LOSS OF LIMBS
AND LIFE IN THE FUTURE GIVE
THIS APPLICATION THE GO AHEAD
FUNERAL COMPANY'S WILL THANK
YOU. LOCAL RESIDENTS WANT

IF THE OLD COURT ROAD WAS
TO BE RE ROUTED TO ITS FORMER
POSITION IN A STRAIGHT LINE
TO THE ROUND ABOUT AND THE
CHICANE'S COULD BE COME PART
OF BUILDING SITE IT WOULD HELP
WITH THE SAFETY ASPECT OF SAID
DEVELOPMENT. THE ROUND ABOUT
SHOULD BE ENLARGED IN SIZE
TO ALLOW FOR SAFER APPROACHING
AND EXITING. PERHAPS AN
ORAL HEARING WOULD ALLOW ME
PUT OTHER CONSTRUCTIVE IDEAS

FORWARD, FOR THE BENEFIT
OF THE COMMUNITY AS A WHOLE
HAVING NOT JUST THE BUILDING
COMPANY

Yours sincerely

Peter Selver

Tallaght Community Council

Comhairle Phobail Thiamhlacta

Public Relations Officer
Tom Hurley

HAARLEM COURT
OLD COURT ROAD

91A/1425

1072 ✓

REG No.

To whom it may concern.

I would like to object in the strongest possible terms to the proposed building development on the Old Court Road

Planning Application No 91A/1425

Numerous problems will arise from this particular planning application
i.e. Road traffic congestion

Danger to motorists residents & school going children.

Destruction of entrance to Dublin & Wicklow mountains & such scenic sites as Altona Monument, Carthys Castle & Bell fire club.

If and when the motorway goes ahead this as a feeder road would be choc-a-bloc day & night.
Could the planners

P.T.O.

Not come out & speak to the people who live here and appreciate the gravity of their situation.

A traffic check at the moment from 8.00 AM to 10.00 AM would solve the problems at the ~~in~~ present time. What would they be like if this planning application gets the go-ahead.

Here are some of the suggestions that we the executive of Y.L.C. would make to alliviate long-term problems.

- No 1 Close down the "snake road" & re-open the Old Court Road as it was previously
 - No 2 Increase the size of the roundabout
 - No 3 Pedestrian lights across Old Court Rd to school & church.
 - No 4 Prefer T. junction into Old Court Road & to any other building development.
 - No 5 Prefer signs to indicate sites of interest to tourists etc.
 - No 6 Complete renovation of Allenton Tower & clad walls with granite etc & landscape all areas
- Gene & Audrey

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A 1425

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
<p>Belgard 24/4/94 31/10/91</p>	<p>Olts Hanner + Cons Rec. Refusal on this present proposal for the site.</p> <p>Problems with Road layout i.e. "Snake Rd" - Old Cart Rd should be straightened + used as Dist. Rd.</p> <p>Also <u>Shop</u> should be excluded:- Its proposed at a dangerous corner.</p> <p><u>Open space</u> - 1) is there enough 2) is it useful as is Does it consist of bits + Messes builders dont want 3) wants to</p> <p><u>Cons</u>:- Wants less houses in any future application to allow more</p> <p><u>Bungalows</u> → gardens back a to public Road No privacy from Road users & Residents of 2 storey H20</p>		

To: The Principal Officer
Planning Dept.
Dublin Co. Council
Irish Life Centre
Abbey St. Dub. I

L
91A/1425

1060

From: Y. Old Court
Sallaght
Dub. 27
2019191

Ref: 91A/1425

23 OCT '71

OBJEC

Dear Sir

We refer to the above application and wish to comment as follows:

(1) We are not against housing where necessary and do appreciate the need for same. This proposal, above, is purely a profit making venture. Bearing this in mind, we feel that should this application be approved, it should be done in the best interests of the local residents and also in the best way environmentally. Strict controls and conditions should be applied and adhered to.

(2) Environmentally, this project will in its present format, stall further damage, in fact, destroy what little wildlife is left and, just as importantly, the scenic amenities that remain in spite of previous bad planning in the area.

The area - Site A - as shown on the map will completely obliterate any views towards the Dublin mountains. In fact, the only view will be the back gardens and clothes-lines of the 21 proposed houses there. The few trees that are left in the Old Court Manor Estate will be blocked from view by the terrace of 8 houses at the southern end of site A. They will also serve to cut off Old Court from the Sallaght area completely. May we remind you, that Old Court is one of the oldest areas in Sallaght and boasts an 11th century tower, the remains of a medieval convent, we are told. But for the efforts of a few dedicated people this ancient monument

would surely have been destroyed if recent planning approval had been granted.

The Oldcourt Road, which was closed and partially removed, again, because of bad planning, was effectively the gateway to the Dublin Mountains. If this application is approved in its present form, then conclusively, the gateway will be locked shut! Why not re-open the Oldcourt Rd.? It is possible to do this by closing off the Snake road and moving Site A sideways. This will leave enough road area to cope with the traffic moving through. Although this is, in a way a contradiction of our earlier comments, it is still much safer than having to negotiate the dangerous bends on the Snake Road.

The second site - Site B - encroaches very closely on lands, which are the subject of possible designation as amenity areas, as per the Dublin County Draft Plan. We ask that you bear this in mind and act quickly to ensure that no further plans for development, other than amenity, are approved for this area. We refer here to lands facing Oldcourt cottages, land to the south of Fishhouse and also the football pitches and vacant fields in the area of Allenton and St. Annas football club.

There are inherent dangers in the plan also.
The Snake Road! -

It's hazardous and also dangerous. This has been borne out by the numerous accidents and mishaps which have occurred on it since its opening.

The proposed plan shows a creche, a shop and a parking area, opening onto the road at its most dangerous section. This has to be sheer madness!

Obviously, no studies, whatsoever, have been made on the traffic conditions in this area! Traffic at morning time in this area is chaotic.

Very often, you'll find traffic backed up to the roundabout (bus) at Oldcourt. This is happening even though the new motorway at Fallowfield was intended to alleviate this sort of problem in the Fallaght area. Now, add to this situation, the increase which will occur with 80 new houses in the ~~offing~~ area, but, most importantly, add in the children who use this road every day to school. Now you have a real recipe for disaster. We all know what school children are like and no amount of supervision or traffic wardens will prevent accidents. But accidents can be avoided by eliminating the potential danger spots.

We believe the proposed plan demonstrates a thorough disregard for the safety of our children.

The busiest section of the road is, or will be, the most built up section in the plan. We refer to the terrace of 8 houses, proposed, at the junction of Allenton Rd, Oldcourt Rd and the Snake road. The children from Ballycragh Est. cross at this junction when going to and coming from school.

The plan proposes a mix of two storey houses and bungalows.

Having seen the plans for the area we can only find two bungalows (Nos. 46 and 47) in Site B. although the specs. state 3 units under the heading of "Bungalows".

Are we seeing the old P.R. exercise again? "Houses and Bungalows" looks good to the public and planners. It softens the impact of a new estate being foisted on the public. If by using this ploy, the applicants would hope to get approval for their project easier or quicker, I would suggest that you bear this in mind, when making your decision.

To make this plan more acceptable, we would make the following suggestions.

Move Site A, in its entirety, over to Site B. There is ample space there. At the same time, re-site the creche/shop and parking area inside the Site B. area.

This way you eliminate the opening onto the dangerous section of the snake road.

In the event of moving Site A, the open space left in front of Ballycragh Estate could then be developed as a sort of "village green". All sections of the communities in the area could use it. The views towards the mountains would be preserved and the gateway to the mountains would remain open.

We would also ask that a condition be applied to approval of the project if granted, that all the roads in the area be kept free of dirt and debris, also that the roads be washed once a week (i.e. hosed clean) at least. This condition to be adhered to strictly.

To conclude, our fears and attitudes are not unfounded. Our suggestions are made in a genuine desire to see things done for the good of all - We hope you take our comments into consideration when making your decision.

We remain

Yours Truly,
 Bernard Hanlon
 June Hanlon
 Marian Smith
 Mary Smith
 Phillip Smith
 Brian Kennedy
 Antoinette Kennedy
 Owen Kennedy

FILE MEMO - REG. REF. NO.

9/A 1425

See Draft Report on this Application prepared
in Cabinet.

15/10/91

91A/1425

1051

GLENCARRIG RES. ASS.,
22, THE GREEN,
GLENCARRIG,
FIRHOUSE RD,
DUBLIN, 24.

PLANNING DEPARTMENT,
DUBLIN COUNTY COUNCIL,
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN, 1.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED

22 OCT 1991

REG No.

RE: PLANNING APPLICATION 91A/1425
=====

I AM WRITING TO YOU ON BEHALF OF GLENCARRIG RESIDENTS
ASSOCIATION TO OBJECT TO THE ABOVE PLANNING APPLICATION ON
THE FOLLOWING GROUNDS.

1) THE PROPOSED PLANS AS VIEWED BY US IN THE IRISH LIFE
CENTRE ENCRDACHES ON OUR GREEN SPACE TO THE EXTENT, THAT IT
INCLUDES NOT ONLY MORE OF THE GREEN SPACE, ORIGINALLY BOUGHT
BY DRUMLISH HOMES (1980) AND HANDED OVER TO THE COUNCIL IN
TRUST FOR THE RESIDENTS, BUT ALSO THE PROPOSED ROAD
RESERVATION SPACE (ROUTE 66).

2) IT WILL MEAN THE DESTRUCTION OF APPROXIAMATELY 20
EVERGREEN TREES WHICH HAVE BEEN IN PLACE FOR MORE THAN 30
YRS AND WHICH FORM THE BOUNDARY OF OUR ESTATE AT PRESENT.

3) THE BOUNDARY LINE BETWEEN OUR GREEN SPACE AND THIS
DEVELOPMENT IS NOT SPECIFIED. WE WOULD CONSIDER A CONCRETE
WALL UP TO 7FT. HIGH NECESSARY TO PRESERVE OUR SPACE FOR THE
BENEFIT OF OUR CHILDREN.

4) WE OBJECT TO THE PROVISION OF A SHOP AND CRECHE FACILITY
FOR THE FOLLOWING REASONS.

A) EARLIER APPLICATIONS FOR SHOP FACILITIES IN THE OLD
COURT AREA BEEN REFUSED ON THE GROUNDS THAT THE AREA COULD
NOT SUPPORT THIS VOLUME OF BUSINESS.


B) THE BUILDING OF THE SQUARE IN TALLAGHT HAS DEPRESSED THE MARKET IN THE AREA AS CAN BE SEEN BY THE NUMBER OF VACANT LOTS IN THE OLD BAWN SHOPPING CENTRE (OPPOSITE BRIDGET BURKES PUB).

C) THE PROPOSED ENTRY TO THIS SHOP AND CRECHE IS SITED NEXT TO A VERY DANGEROUS CORNER IN THE ROAD WHICH HAS ALREADY SEEN NUMEROUS ACCIDENTS.

D) INCREASED TRAFFIC FLOW THROUGH THE AREA WOULD ADD TO THE PROBLEMS OUTLINED IN C. —

IN PRINCIPLE WE HAVE NO OBJECTION TO THE PROVISION OF HOUSES ON THESE SITES, PERPHAPS A SLIGHTLY SMALLER DEVELOPMENT WOULD BE MORE SUITABLE TO EVERYBODY'S WISHES.

YOURS SINCERELY,



MARIE PRICE BOLGER,
CHAIRPERSON.

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF: 91A/1425

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
Belgard 24/9/91	relist for J Hannon to B Cars		

PLANNING APPLICATION FEES

Reg. Ref. 91A/1425 Cert. No. 26515
 PROPOSAL 80 houses, 8025 + Creche
 LOCATION Old lower off Old Crier Road, Firlane, Tullyc
 APPLICANT Cunningham Group

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	<u>£2560</u>	<u>£2560</u>	—	
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	Metres <u>206.0m</u>	@£1.75 per m2 or £40	<u>£360.50</u>	<u>£406.91</u>	<u>£16.41 overpay</u>	
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: J. G. [Signature] Grade J.H. Date 5/9/91
 Column 1 Endorsed: Signed: _____ Grade _____ Date _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade S.P. Date 5/9/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade _____ Date _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1953 TO 1992

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: *91A/1425*

INT. REF.:

SERVICES INVOLVED: WATER/FOOD SEWER/SURFACE WATER

REA OF SITE:

LOOR AREA OF PRESENT PROPOSAL: *2217 FT²*

ENSURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

AWARDER'S ORDERED NO: *PA/1425/91*
DATE

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADER

*J.Y.
5/9/91.*

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 17.10.91
 Time 3:00

DUBLIN COUNTY

REG. REF: 91A/1425.
 DEVELOPMENT: Development of 80 two storey terraced, semi-detached houses and bungalows, also shop and creche.
 LOCATION: Off Old Court Road, Firhouse, Tallaght.
 APPLICANT: Cunningham Group.
 DATE LODGED: 30.8.91.

This application is for full permission for 80 houses and bungalows at Tallaght.

Original permission was granted under ZA/800 (which was later amended by 85A/504). This report is not available for consultation.

The road network is already constructed bar footpaths etc. The cul-de-sac carriageway widths are standard together with the turning circles. However, the applicant indicates only one parking space per dwelling, one short of what is required by 1983 Development Plan Standards. The estate is serviced by newly constructed local distributor leading from the roundabout at the end of Oldbawn Road to Allerton road. By definition frontal access should be prohibited and as such Roads would object to proposed sites 8-15 inclusive.

Roads require additional information detailing:-

1. A revised layout with no frontal access onto the local distributor (i.e. eliminate sites 8-15 inclusive).
2. Parking for two cars to be provided on each site.
3. There ~~is~~^{is} a discrepancy between the site layout map & the site location map which places house nos 28 & 29, 62 & 63, 60 & 61, 78 & 79 and the creche & shop in the line of the future distributor road.
4. The proposal does not provide for access to that distributor route (the shop & creche are in the line)
5. Main spine route to be 4.3m wide with 1.5m path & 1.85m verge

SIGNED: Michael Arthur

ENDORSED: E. J. O'Connell

DATE: 10.10.91

DATE: 14th Oct 91



Bosca 174,
P. O. Box 174,
5 Rae Gardnar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01) 727777
Fax: (01) 725782

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.

Our Ref.

Your Ref.

Date

15.10.1991

RE: Housing at Old Court Road, Firhouse. Reg. Ref. 91A/1425.

With reference to this application, the Parks Department's comments are;

- 1) According to the lodged drawing No. 987.12 with the application, no public open space has been shown in association with this residential development of eighty houses, as per the requirements of the 1983 County Development Plan. In lieu of public open space provision, the applicants should be required to provide a financial contribution of £1,000 per site towards the development of public open space at Ballycragh.

The small areas of land incidental to the estate roads are only environmental open spaces and cannot be accepted as public open space in terms of the 1983 County Development Plan Standards.

- 2) A scheme of street tree planting to be submitted and agreed with the County Council prior to the commencement of development.
- 3) A landscape plan to be submitted with works specification, bill of quantities and detail of maintenance in relation to the small areas of environmental open space shown on the lodged drawings.
- 4) It is unclear what treatment is proposed along the northern site boundary and it will be essential that a 2m high wall, capped and rendered is constructed, defining the curtilage of the individual site and the adjoining land.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL
 Date 16.10.91.....
 Time 10.30.....

Margaret O'Shea.

P. 03

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 15.10.91
 Time 10.30

DUBLIN COUNTY

REG. REF: 91A/1425.

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Roads require additional information detailing:-

1. A revised layout with no frontal access onto the local distributor (i.e. eliminate sites 8-15 inclusive).
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3. There ~~is~~ a discrepancy between the site layout map of the site location map which places house nos 28 & 29, 62 & 63, 60 & 61, 78 & 79 and the creche & shop in the line of the future distributor road.

MA/BMOC 4a The proposal does not provide for access to that distributor route (the shop & creche are in the line)

5. Main spine route to be 4.3m wide with 1.5m path & 1.85m verge.

SIGNED: Michael Arthur

ENDORSED: J. O'Shea

DATE: 10.10.91

DATE: 14th Oct '91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for development of 80 two-storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Patrick Rooney Architects,
55 Merrion Square,
Dublin 2.

Reg. Ref. 91A-1425
Appl. Rec'd: 30.08.1991

Report dated 4 November 1991.

On 30th August, 1991, Patrick Rooney, Architects, submitted an application for permission for development of 80 two-storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght on behalf of Cunningham Group.

By letter dated 4th November, 1991 the applicant withdrew the application.

I recommend that no further consideration be given to this application in view of the withdrawal.

Endorsed: - [Signature]
for Principal Officer

[Signature]
For Dublin Planning Officer

Order:- NOTED.
Dated: 4 November, 1991

[Signature]
Assistant City & County Manager

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th November 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for development of 80 two storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Patrick Rooney Architects,
55 Merrion Square,
Dublin 5.

Reg. Ref. 91A/1425
Appl. Rec'd: 30.08.1991
Time Ext. let. rec'd: 24.10.1991
Time Ext. up to: 05.11.1991

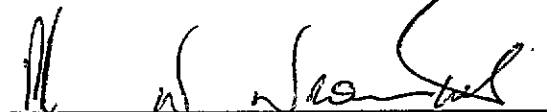
Report of the Dublin Planning Officer, dated 25 October 1991

This is an application for development of 80 two storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght for Cunningham Group.

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the applicant has furnished his consent in writing to the extension by the Council of the period for considering this application within the meaning of subsection (4A) of Section 26, up to and including 5th November, 1991.

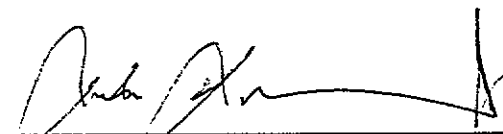
I recommend that the period to be extended accordingly.

Reason: To facilitate full consideration of the application.


for Principal Officer.


Order: A decision pursuant to Section 26(4A) to extend the period for considering the application as recommended is hereby made.

Dated: 25th October, 1991.


Assistant City & County Manager

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 23rd October, 1991.

NOTE: I have checked that the necessary entry has been made recording details of the period as extended.


SENIOR STAFF OFFICER.

①
Majorie O'Shea.
SS only

②

③

Register Reference : 91A/1425

Date : 9th September 1991

Development : Development of 80 two storey terraced, semi-detached houses and bungalows, also shop and creche

LOCATION : off Old Court Road, Firhouse, Tallaght

Applicant : Cunningham Group

App. Type : PERMISSION

Planning Officer : M.O'SHEE

Date Recd. : 30th August 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN CO. COUNCIL
12 SEP 1991
SAN SERVICES
DUBLIN CO. COUNCIL
FOR PRINCIPAL OFFICER
SANITARY SERVICES
30 SEP 1991
Returned [Signature]

Date received in sanitary services 12 SEP 1991

FOUL SEWER

Refusal recommended.

① Houses are situated within 5m of all prospective public sewer (No 8, 40, 59, 74, 77, 78, 163).

② The ~~proposed~~ ~~existing~~ sewer between F66 and F68, is non-existent the applicant would have to indicate how it is proposed to remedy this situation.

Note, The County Council have only partial records for this site the applicant must submit details of any, as constructed drains present SURFACE WATER and proposed sewers including long section.

Refusal recommended.

① Houses are situated within 5m of prospective public sewers. (62, 61, and 79)

② ~~By~~ The applicant has not indicated the highway drainage.

③ See note above.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

Note The applicant would have to submit an different layout to meet with the requirements of Engineering Service.

[Signature] J.A.
25.9.91 25/9/91

NFB32

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00

Register Reference : 91A/1485

Date : 9th September 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY

Available for 2 mod use 24 hours.
Storage to be provided. Applicant to connect
to sewerage w/ main layout with S.S.
Dept note: there was some of this site has
exists water main in part of the layout submitted.

ENDORSED

[Signature]

DATE

25/9/91

[Signature]
24/9/91

Patrick Rooney Architects,
55 Merrion Square,
Dublin 2.

Reg. Ref. 91A-1425

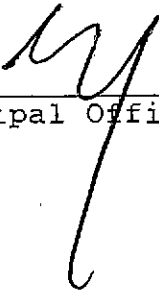
5 November 1991

Re: Permission for development of 80 two-storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Dear Sir,

I refer to your letter of 4th November, 1991, and note that you have withdrawn the above planning application, which was lodged in this Department on 30th August, 1991.

Yours faithfully,



for Principal Officer.



* 55 Merrion Square / Dublin 2 Telephone 818682, 818800 / Fax 810815.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61408.

Architects

our ref PR/986/DM

your ref

date 4th November 91

Attention of,
Mr Richard Crammins/Mr M. Kenny,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

RE: Planning Application for Old Court Road, Tallaght,
On behalf of Cunningham Group.
REF NO: 91A 1425

Dear Sir,

In view of certain problems related to this site proposal, I wish to withdraw my application for same at this stage. I would be grateful if I may come and see you in connection with a new application. Many thanks for your co-operation.

Yours sincerely,

DERVILLA MASTERSON
PATRICK ROONEY & ASSOCIATES.

Patrick Rooney Architects,
55 Merrion Square,
Dublin 2.

Reg. Ref. 91A/1425

25 October 1991

Re: Permission for development of 80 two-storey terraced, semi-detached houses and bungalows, also shop and creche off Old Court Road, Firhouse, Tallaght for Cunningham Group.

Dear Sir,

With reference to your planning application received here on 30 August 1991, (letter for extension period received 24 October 1991), in connection with the above, I wish to inform you that:-

In accordance with Section 26(4A) of the Local Government (Planning and Development) Act, 1963, as amended by Section 39(F) of the Local Government (Planning and Development) Act, 1976, the period for considering this application within the meaning of subsection (4A) of Section 26 has been extended up to and including 5 November 1991.

Yours faithfully,



for Principal Officer.



ARCHITECTS

55 Merrion Square/Dublin 2/Telephone 518662/600
Fax Number: 610615

TO:

Richard Cummins

ATTENTION OF:

FROM:

Patrick Rooney Architects

DATE:

24.10.91

NUMBER OF PAGES
TO FOLLOW

1

REMARKS:

Re: 31A 11435

IF THIS FAX MESSAGE IS NOT PROPERLY RECEIVED
PLEASE CALL
TELEPHONE NUMBER 01 718661



Architects

* 65 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615,
Flynn's Terrace / Sligo / Telephone (071) 82090 / Fax 81408.

<p>Mr. Richard Cremmins, Planning Dept. Irish Life Centre, Lower Abbey St. Dublin 1.</p>	<p>our ref</p> <p>your ref</p> <p>date 24.10.91.</p>
--	--

Re. Proposed housing at Old Court Rd., Tallaght,
For: Cunningham Group,
Ref: 91A 1425.

Dear Sir,

Further to my fax sent to Mr. Drumghla this morning, in which I withdrew my recent application re. the above I wish to amend same. Instead of withdrawing the application completely, I wish to apply for an extension of time of not more than two weeks from today to clarify the course of action to take. In the meantime, I would be grateful if you could see me to discuss the scheme.

Yours sincerely,

Patrick Rooney

*ty
wr B incl.
5/11/91*



P. Kenney

~~C.E.D.D.~~

* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610615.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

Architects

our ref

Mr. Dermot O'Riada,
Planning Department,
Irish Life Centre,
100A Abbey St.,

your ref

date 24.10.91.

Re. Planning Application for Old Court Road, Tallaght,

County Dublin

24/10/91

Dear Sir,

In view of certain problems related to this site proposal, I wish to withdraw my application for same at this stage. I would be grateful if I may come and see you in connection with a new application.

Thank you for your co-operation.

Yours Sincerely,

[Faint signature and stamp area]

Superseded by
time extension letter
Received by fax
on 24/10/91 at 5.35
PM

 Patrick Rooney
& Associates

Architects

* 55 Merrion Square / Dublin 2 / Telephone 618662, 618600 / Fax 610616.
Flynn's Terrace / Sligo / Telephone (071) 62090 / Fax 61409.

our ref

Mr Drum Greule,
Planning Department,
Irish Life Centre,
Lower Abbey St.,

your ref

date 24.10.91.

Re. Planning Application for Old Court Road, Talaght,
On behalf of Cunningham Group.
REF: 91A 1425.

Dear Sir,

In view of certain problems related to this site proposal, I wish to withdraw my application for same at this stage. I would be grateful if I may come and see you in connection with a new application.

Many thanks for your co-operation,

Your's Sincerely,



Dervilla Masterson,
PATRICK ROONEY & ASSOCIATES.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1425

Date : 3rd September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Development of 80 two storey terraced, semi-detached
houses and bungalows, also shop and creche

LOCATION : off Old Court Road, Firhouse, Tallaght

APPLICANT : Cunningham Group

APP. TYPE : PERMISSION

With reference to the above, I acknowledge receipt of your application
received on 30th August 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Patrick Rooney Architects,
55 Merrion Square,
Dublin 2



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building OLDCOURT HOUSING
 (If none, give description sufficient to identify) OFF OLD COURT ROAD SEE MAP ATTACHED

3. Name of applicant (Principal not Agent) GUNNINGHAM GROUP
 Address NO. 55 MERRION SQ DUBLIN 2 Tel. No. 610615

4. Name and address of person or firm responsible for preparation of drawings PATRICK ROONEY ARCHITECTS
55 MERRION SQ DUBLIN 2 Tel. No. 610615

5. Name and address to which notifications should be sent AS ABOVE

6. Brief description of proposed development DETACHED, SEMI DETACHED & TERRACED HOUSES AND BUNGALOW 80 TOTAL WITH LOCAL SHOP & CRECHE

7. Method of drainage MAINS 8. Source of Water Supply MAINS

9. In the case of any building or buildings to be retained on site, please state:-
 (a) Present use of each floor or use when last used. NO A

(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

Shirley
 28/8/91

2966 91 30/8
 147683

11.(a) Area of Site Sq. m.

(b) Floor area of proposed development Sq. m.

(c) Floor area of buildings proposed to be retained within site Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD - OWNER PURCHASER

13.Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place / in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
DULY ADHERED TO

15.List of documents enclosed with NEWSPAPER AD 28.08.91

DUBLIN CO. COUNCIL
 Planning permission required for development of 80 two storey terraced, semi-detached houses and bungalows, also shop and creche, off Old Court Road, Firhouse, Tallaght, For Cunningham Group.

4 COPIES. DRWG'S. 987 1/12 INCLUSIVE.

4 COPIES. SPECIFICATION. CHEQUE

16.Gross floor area of development (See back) 8865.78 HOUSING / SHOP / CRECHE Sq. m.

No of dwellings proposed (if any) 80 + 1 + 1 Class(es) of Development 80 X 1 + 2 X 4

Fee Payable £ 2919.00 Basis of Calculation 80 X 32 = £2560.00 + 205.50 X £1.75 = £2919.00

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Patrick Rooney Date Aug 30/91

Application Type P FOR OFFICE USE ONLY

Register Reference 91A/1425

Amount Received £ 2,484

Receipt No

Date 22/13

RECEIVED
 30 AUG 1991
 REG. SEC

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS			BUILDING BYE-LAW APPLICATIONS		
CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL

Issue of this receipt is not an

CASH 46/49 UPPER O'CONNELL STREET

CHEQUE DUBLIN 1.

tendered to the prescribed application

M.O. fee N 47683

B.L.

I.T.

£ 2966.91

Received this 20th day of August 1991

From Cunningham Builders Ltd,
55 Merrion Square,
D.2

the sum of Ten thousand nine hundred and sixty six Pounds
ninety one pence being

planning application at Old Court Road

Madeline Deane Cashier

S. CAREY Principal Officer

Architects

55 Merrion Square/Dublin 2/Telephone 618662/600/Fax 610615

Attention of, Planning Officer, Dublin County Council, Irish Life Centre, Lower Abbey Street, Dublin 1.	<p>30 AUG 1991 91A/1425 APPLICATION TYPE U/P/A/BD L O L D S</p>	our ref PR/987/JV
		your ref
		date 30th August 1991

RE: Housing Development of Sites A & B Old Court Road.

Dear Sir,

We apply on behalf of our Clients Cunningham Group for approval to develop 80 house units, 1 Shop unit, 1 Creche all in accordance with following drawings.

Layout Drawing 987/12

House type 987/1-9

Creche/Shop 987 10/11

Please note these sites were purchased we understand from the Dublin Corporation and main services have already being carried out to site drawings prepared by John B. Barry & Partners, drawing no 562/75/76.

We enclose herewith 4 copies of drawings:-

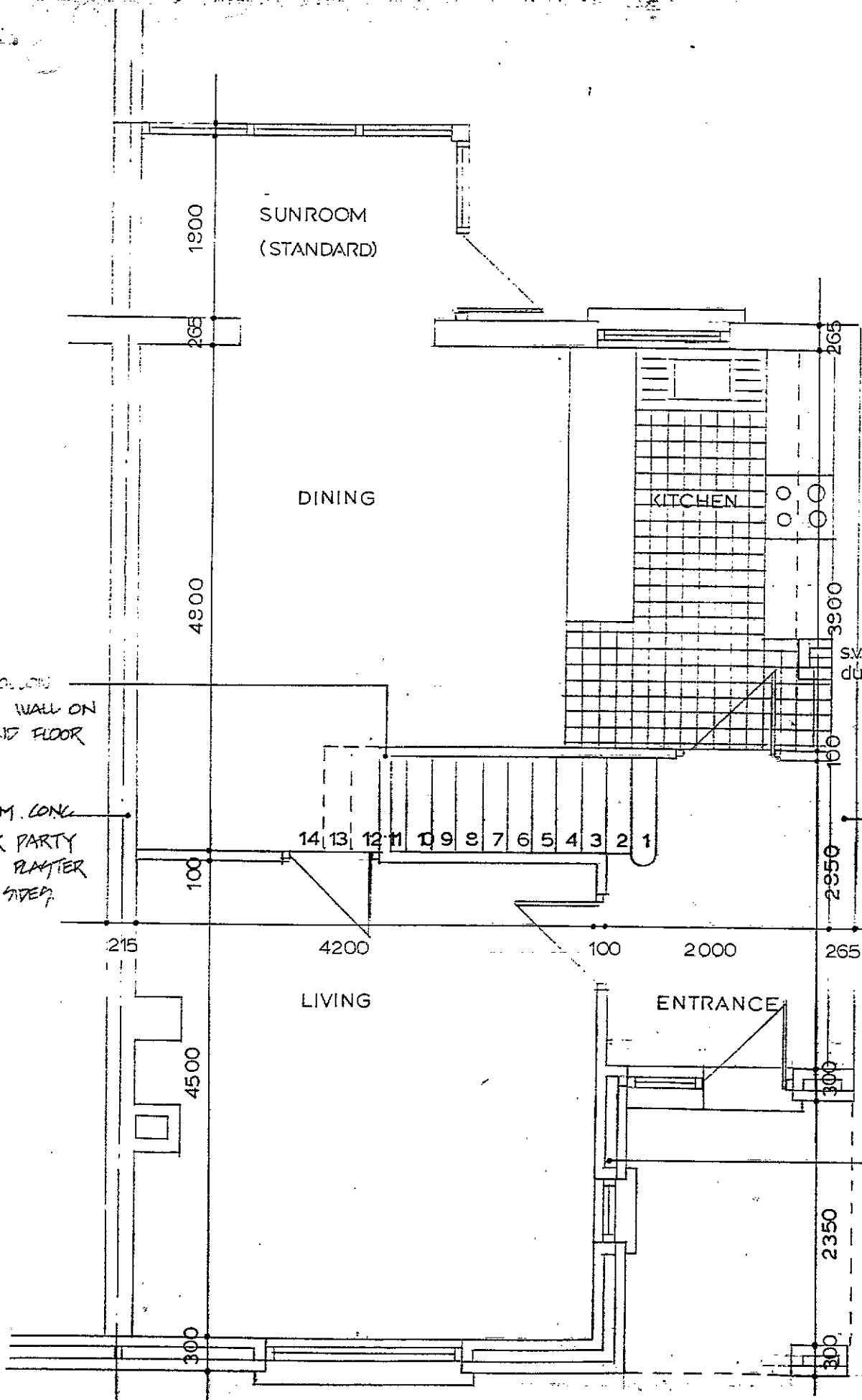
1. Drawing no 987/1 to 12 inclusive.
2. 4 copies of Outline Specification.
3. Completed Planning Application Form.
4. Cheque for £2,966.91. (Compiled as follows)
Planning fee 80 units x £32 = £2,560.00
Planning fee Creche/Shop @ £1.75 = £259.00

Please note the Clients cheque was inadvertently made out for £2,966.91, please repay balance of £47.00

Yours sincerely,

PATRICK ROONEY & ASSOCIATES.

Enc/.....



NB.
rooflight dotted
for terraced
house only.

SELECTED RED LANS
OR OTHER APPROVED
TILES TO ROOFS.

SMOOTH PLASTER
REVEAL TO WINDOWS
LONG LINT.

PERMAVENTS IN
ALL WINDOWS IN
ROOMS WITHOUT VEN.

265 DRY LINED WALL.
215 HOLLOW BLOCK
WALL, 50 DRYLINE
INNER LEAF. 19
PLASTER. EXTER WALL.

SELECTED HARDWOOD
DOORS & WINDOWS.

300 CAVITY WALL.
100 BRICK OUTER LEAF
100 BLOCK INNER LEAF
100 CAVITY WITH 50
INSULATION.

100 HOLLOW
BLOCK WALL ON
GROUND FLOOR

215 MM. CONC.
BLOCK PARTY
WALL, PLASTER
BOTH SIDES.

s.v.p.
duct.

14 13 12 11 10 9 8 7 6 5 4 3 2 1

215 4200 100 2000 265

4500 300 2350 300

Patrick Rooney & Associates

55 Merrion Square, Dublin 4
1 Flynn's Terrace, Dublin 3
3-04 Butlers Wharf Business Centre,
Curlew Street, London SE1 2ND

618600, 618662, 610615, Fax
62090, 61409
4036206

Archite

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Sec.
PLICATION RECEIVED

30 AUG 1991

91A 425



CL 7250

FFL 2800

D.P.C./FFL 150

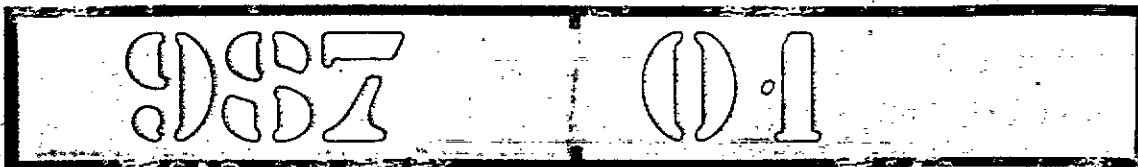
EGL. 000.

REAR ELEVATION

HO HOUSE FLOOR AREA:
119 sq. m - 1289 sq. ft.

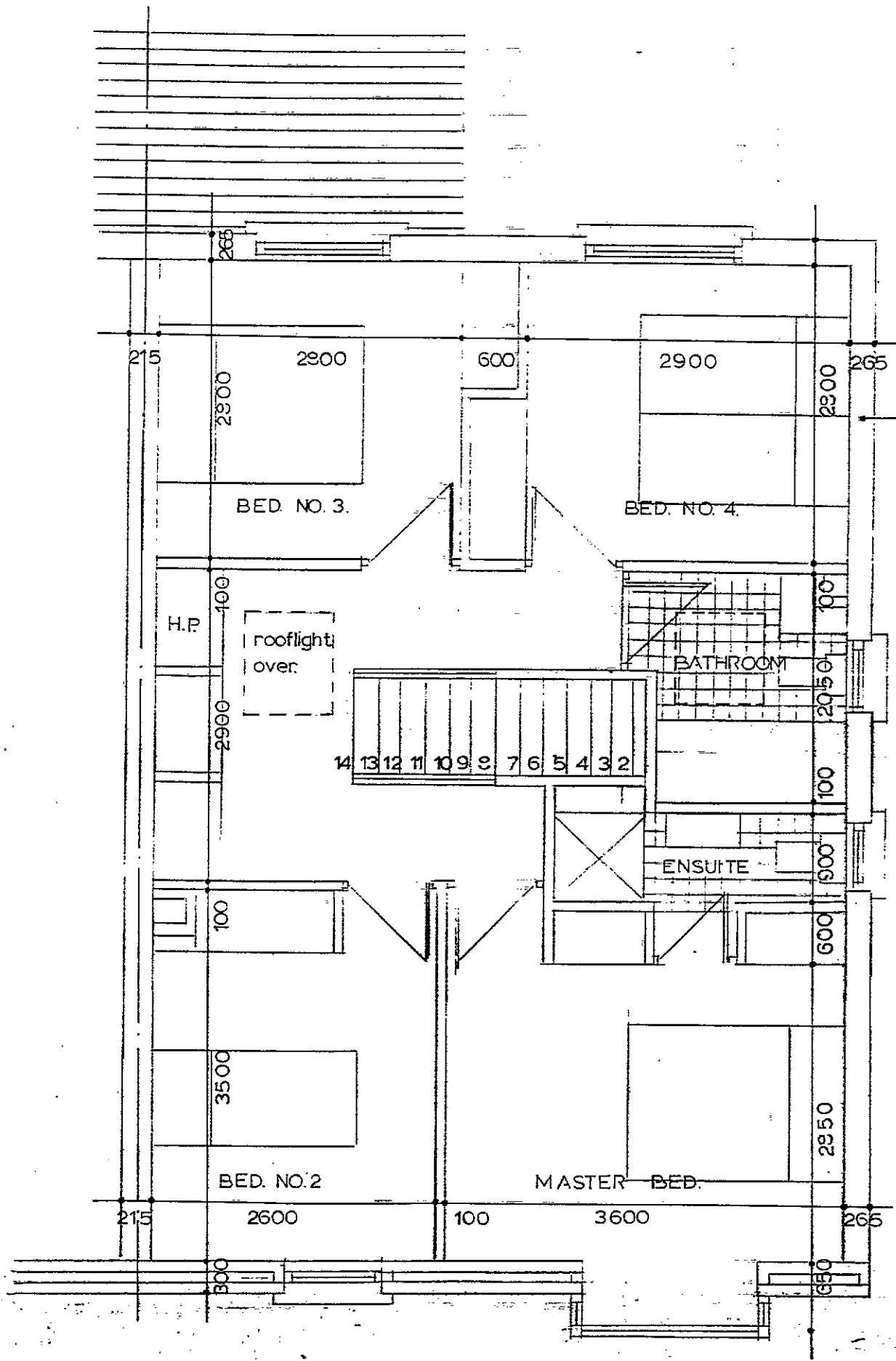
drawn _____ date 12-08-91.
check _____ scale 1:50

drawn _____
GROUND FLOOR PLAN, 4 BED REAR ELEVATION.



contract FIRHOUSE, TALLAGH

revisions



SELECTED BRICK
 SELECTED ROOF
 265 PLYLINED WALL
 SMOOTH PLASTER
 REVEAL.
 SELECTED HARDWOOD
 WINDOWS
 SELECTED P.V.C.
 NB. RAINWATER
 in terraced house
 type omit window
 and include appropriate
 rooflight as shown

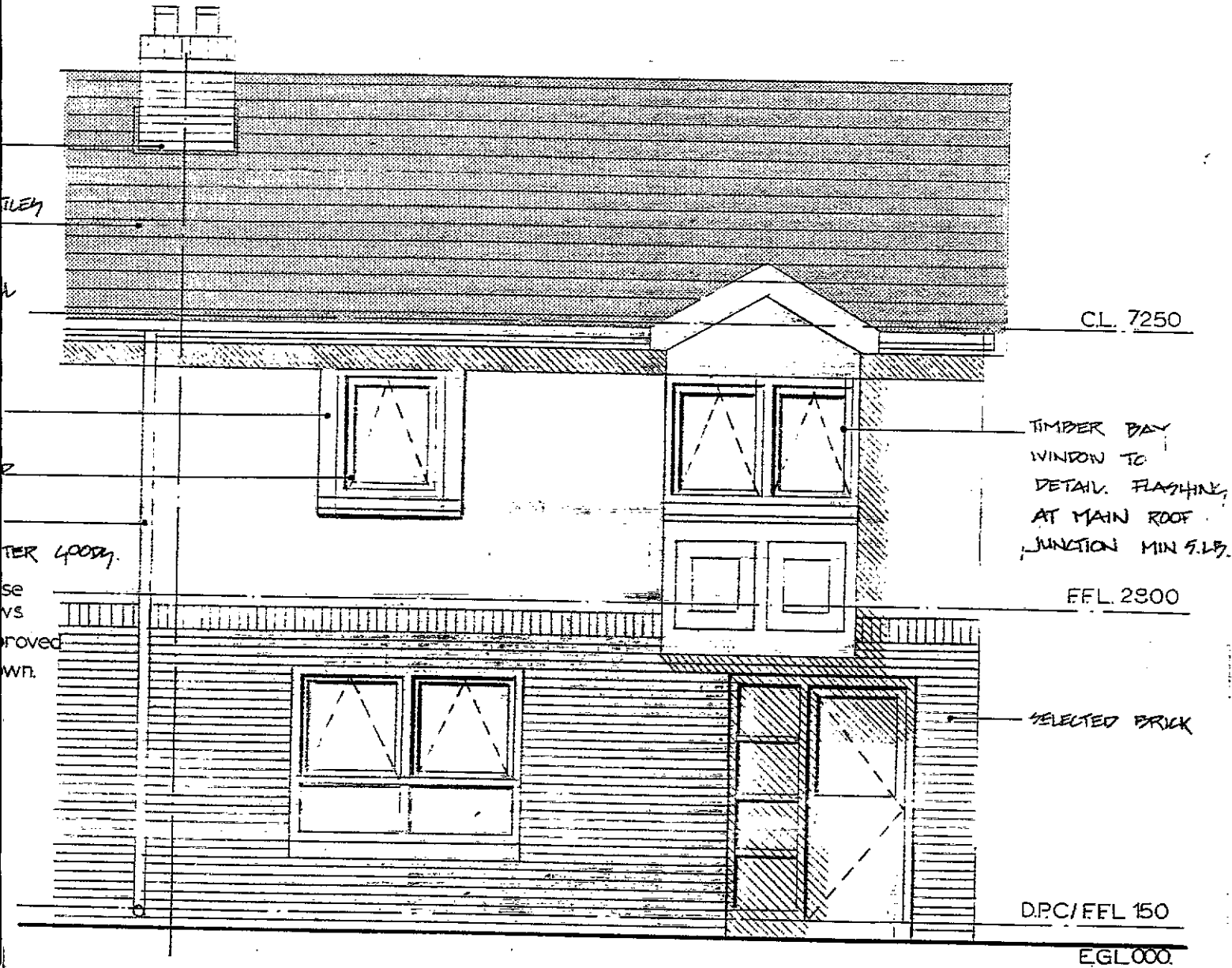
HOUSE FLOOR
 119sq.m. = 1299

Patrick Rooney & Associates

55 Merrion Square, Dublin 2.
 1 Flynn's Terrace, Galgo.
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2ND

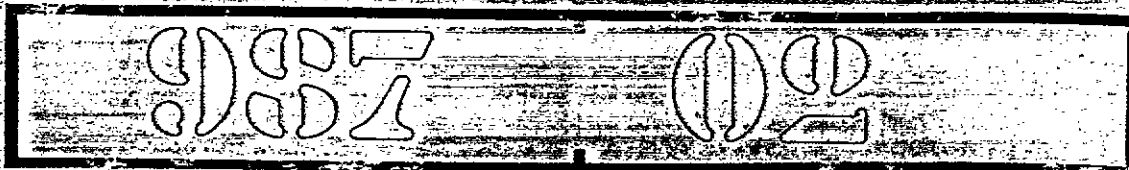
Architects

618600, 618662, 610615. Fax: 613815.
 62090, 61409
 4036206.

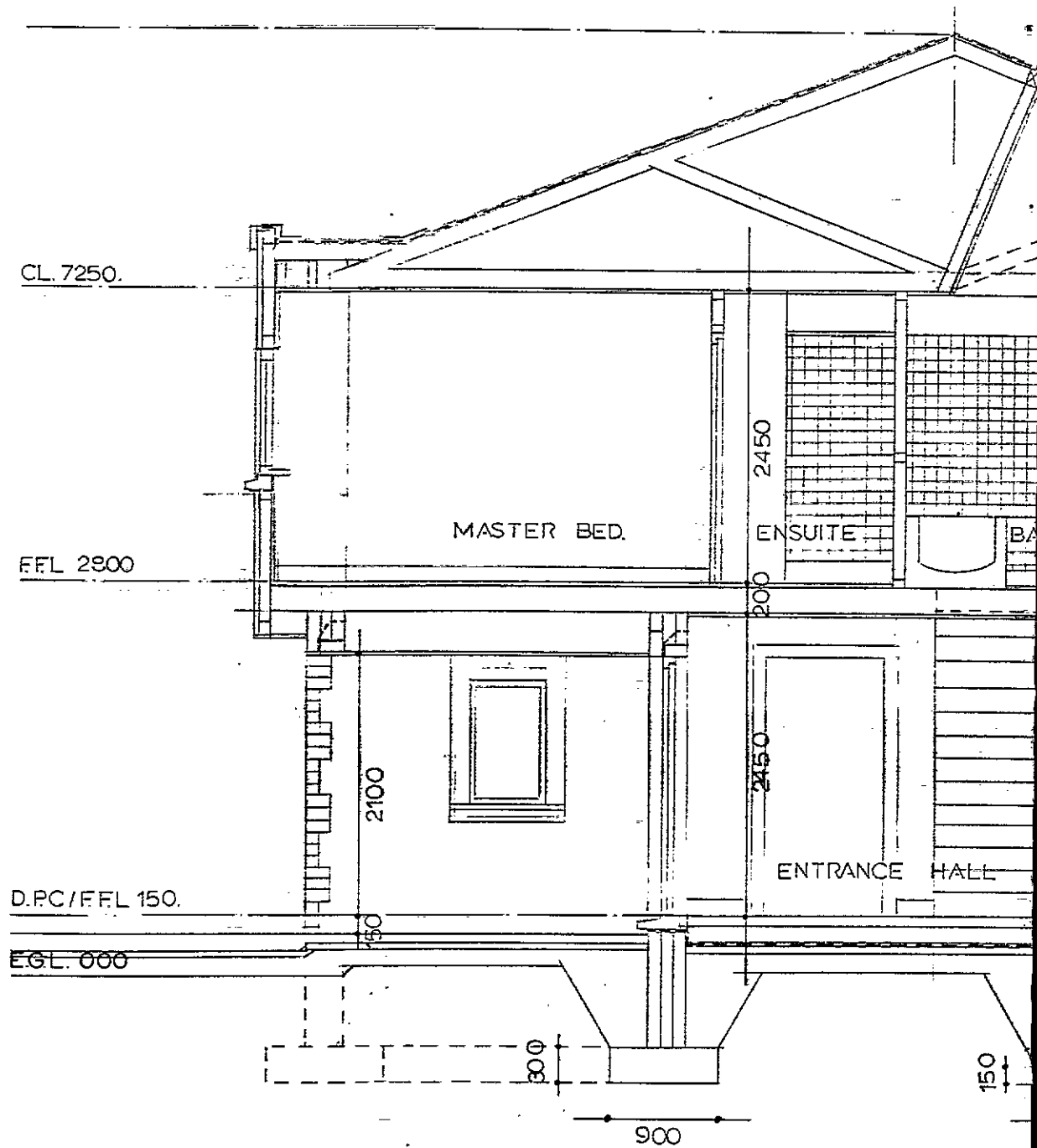


AREA:
 sq. ft.

drawn	date 12-09-91
check	scale 1:50
drawing UPPER FLOOR PLAN, 4 BED FRONT ELEVATION	



contract
 FIRHOUSE, TALLAGH



NB. D.P.C. MIN. 150 ABOVE G.L. TO ALL
 LOAD-BEARING WALLS.
 D.P.C. UNDER LILLS / THRESHOLDS TO
 ALL OPEN.
 D.P.C. OVER LINTOLS TO ALL OPEN.
 D.P.C. TO ALL LEAN TO / WALL JUNCTIONS
 WITH MIN. 50mm LEAD FLASHING AND
 LOWER FLASHING.

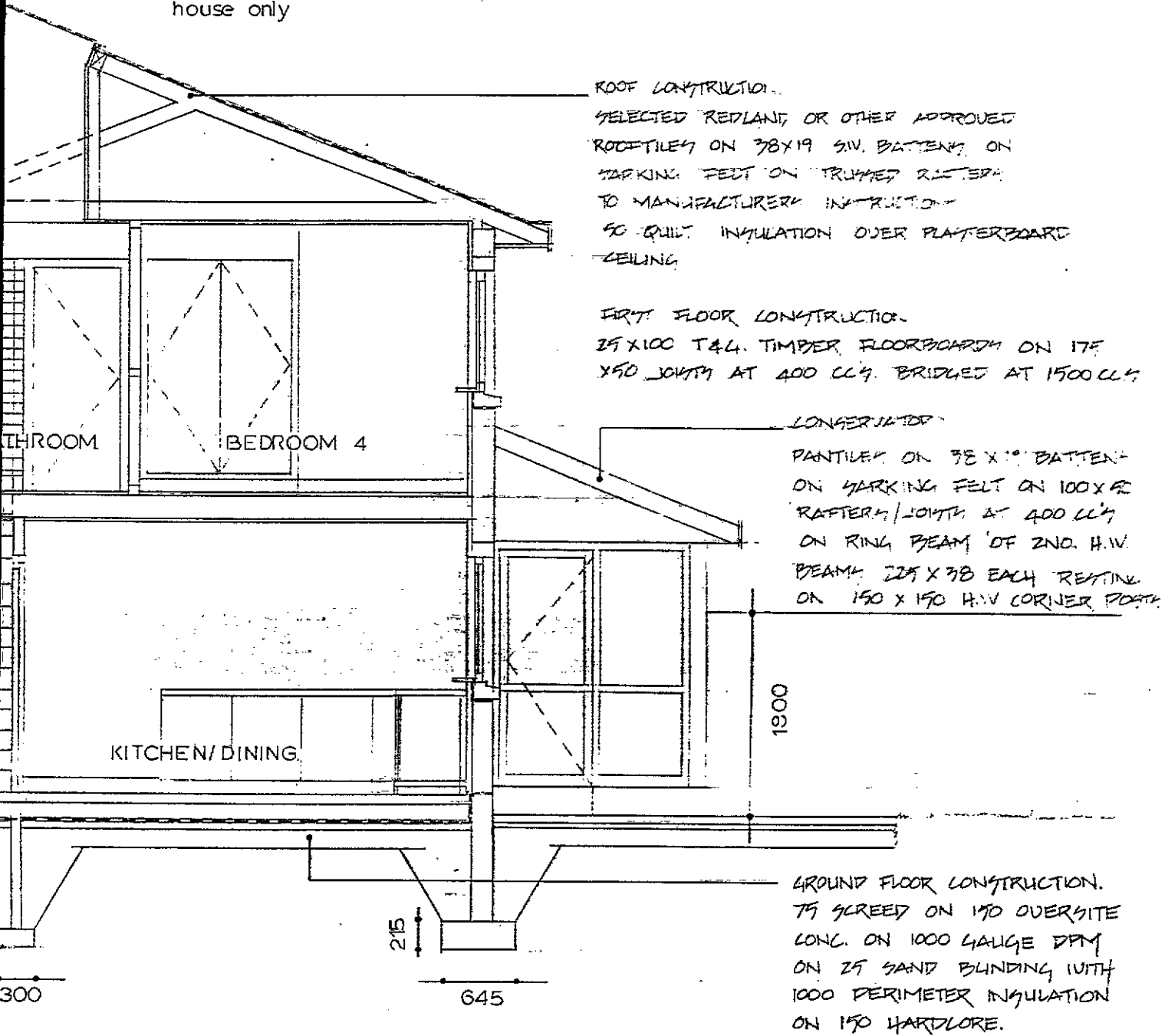
Patrick Rooney & Associates

55 Merrion Square, Dublin 2
 1 Flynn's Terrace, Sligo
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2NF

Architect

618600, 618662, 610615, Fax 610615
 62090, 61409
 4036206.

NB. rooflight on terraced house only



ROOF CONSTRUCTION.

SELECTED REDLAND, OR OTHER APPROVED
 ROOFTILES ON 38X19 SIV. BATTENS ON
 MARKING FELT ON TRIMMED RAFTERS
 TO MANUFACTURERS INSTRUCTIONS
 50-QUILT INSULATION OVER PLASTERBOARD
 CEILING

FIRST FLOOR CONSTRUCTION.

25X100 T&L TIMBER FLOORBOARDS ON 175
 X50 JOISTS AT 400 C/C. BRIDGED AT 1500 C/C.

PANTILES

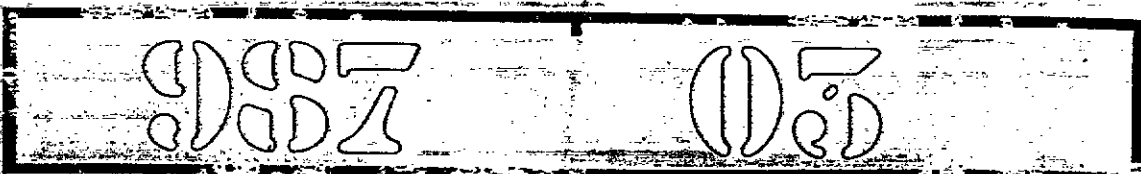
PANTILES ON 38 X 19 BATTENS
 ON MARKING FELT ON 100 X 50
 RAFTERS/JOISTS AT 400 C/C
 ON RING BEAM OF 2ND. H.IV.
 BEAMS 225 X 75 EACH RESTING
 ON 150 X 150 H.IV CORNER POSTS.

GROUND FLOOR CONSTRUCTION.

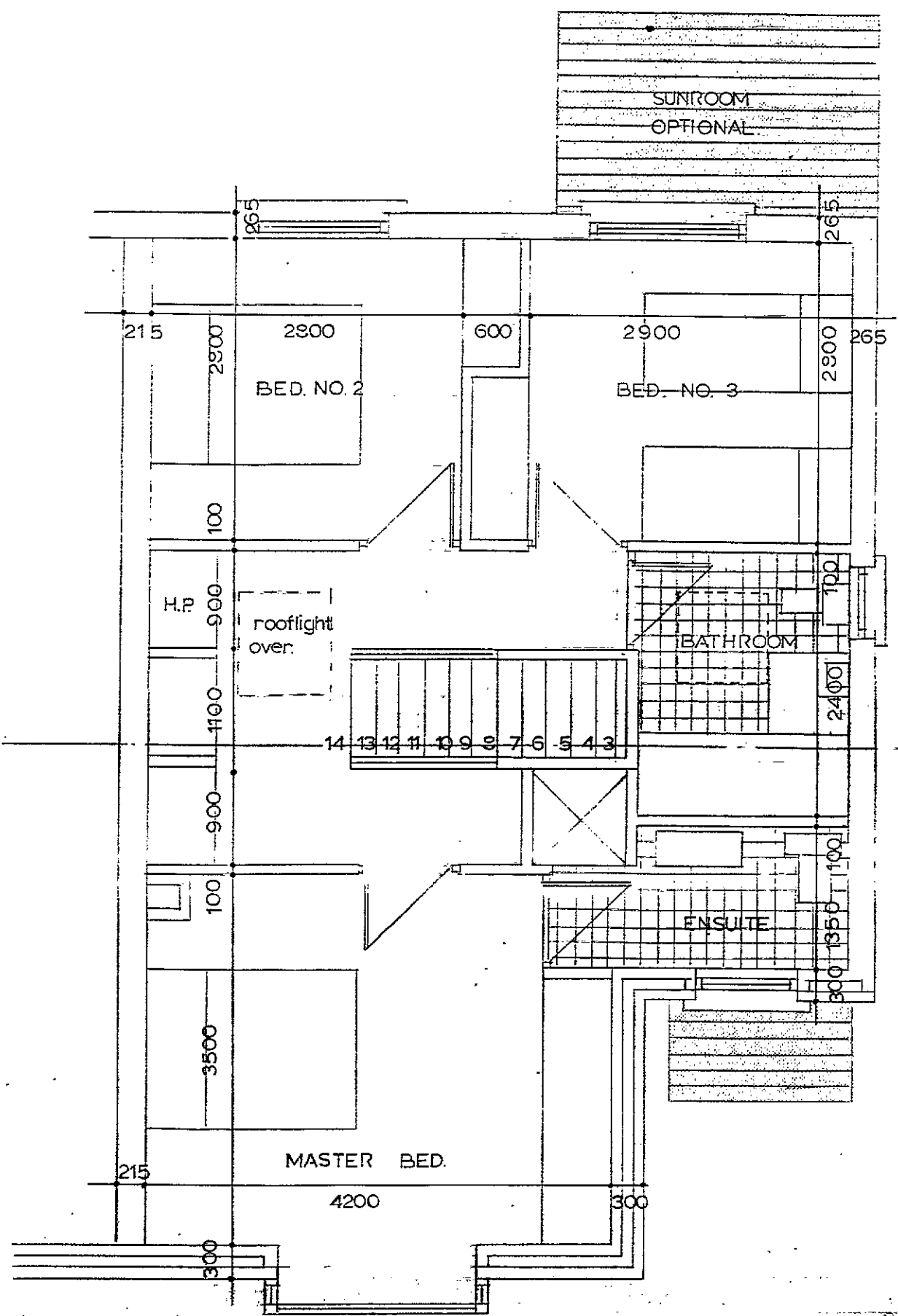
75 SCREED ON 150 OVERSITE
 CONC. ON 1000 GAUGE DPM
 ON 25 SAND BLINDING WITH
 100 PERIMETER INSULATION
 ON 150 HARDLORE.

drawn	date 14.08.91.
check	scale 1:50

drawing SECTION - 4 BED HOUSE



contract FERRIS HOUSE, TALLAGH



SELECTED BRICK

SELECTED ROOFTING

SELECTED P.V.C
R.W.P & GUTTER
TIMBER BAY
WINDOW TO DETAIL
FLASHING AT MAIN
ROOF JUNCTION

N.B.
in terraced house
type omit window
and include appurtenances
as shown dotted

HOUSE FLOOR
113sq.m. - 122

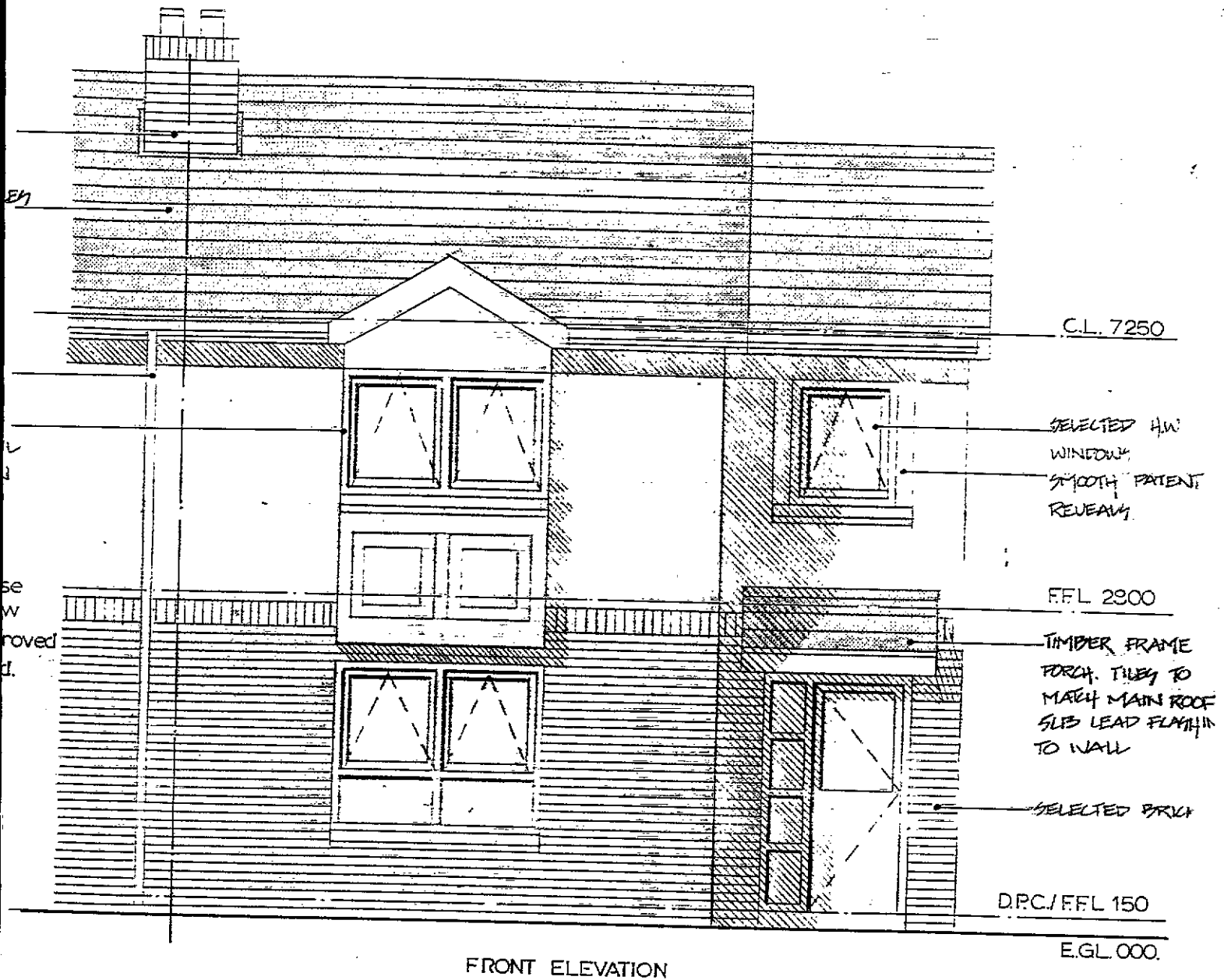
Patrick Rooney & Associates

55 Merrion Square, Dublin 2.
 1 Flynn's Terrace, Sligo.
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2ND

618600, 618662, 610811
 62090, 61409
 4036206.

Architects

Fax 610615



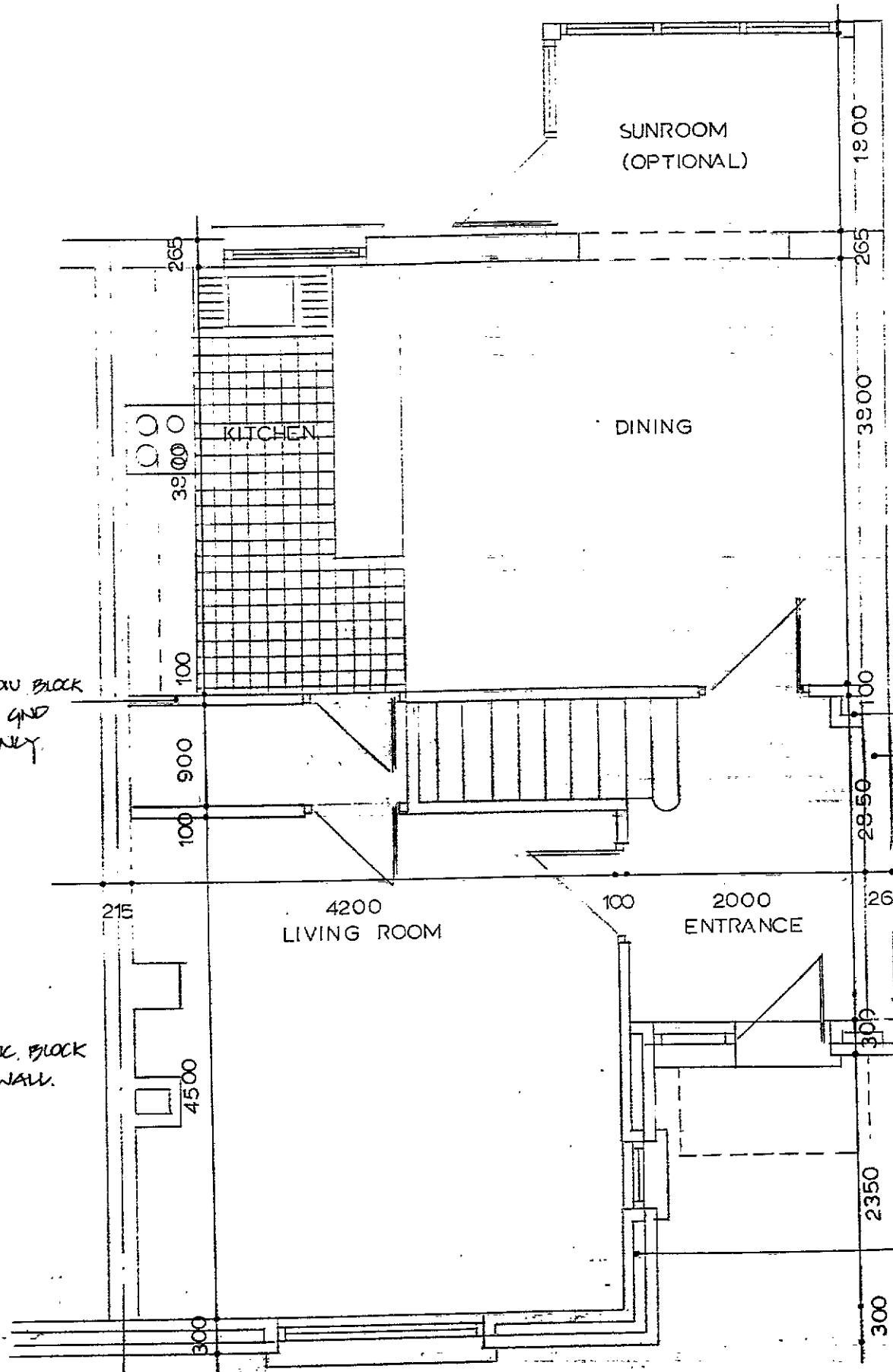
AREA:
 2 sq. ft. incl. optional conservatory

drawn: _____ date 12-08-91
 checked: _____ scale 1:50
 drawing: _____

UPPER FLOOR PLAN. 3 BED. FRONT ELEVATION.



contract
 FIRHOUSE, TALLAGH



NB
rooflight dot
for terrace
house only.

SELECTED RED
OR OTHER APPRO
PRIETIES TO ROOFS

SMOOTH PLASTER
REVEAL TO WIND
LONG. CILUS

PERMANENTS IN
ALL WINDOWS IN
ROOMS WITHOUT
ENCASED S.V.P.

265 DRY LINED WALL,
215 HOLLOW BLOCK
WALL, 50 DRY LINED
INNER LEAF, 19
PLASTER EXTERIOR

SELECTED HARDWARE
DOORS & WINDOWS

HOUSE FLOOR
113 sq.m. - 122

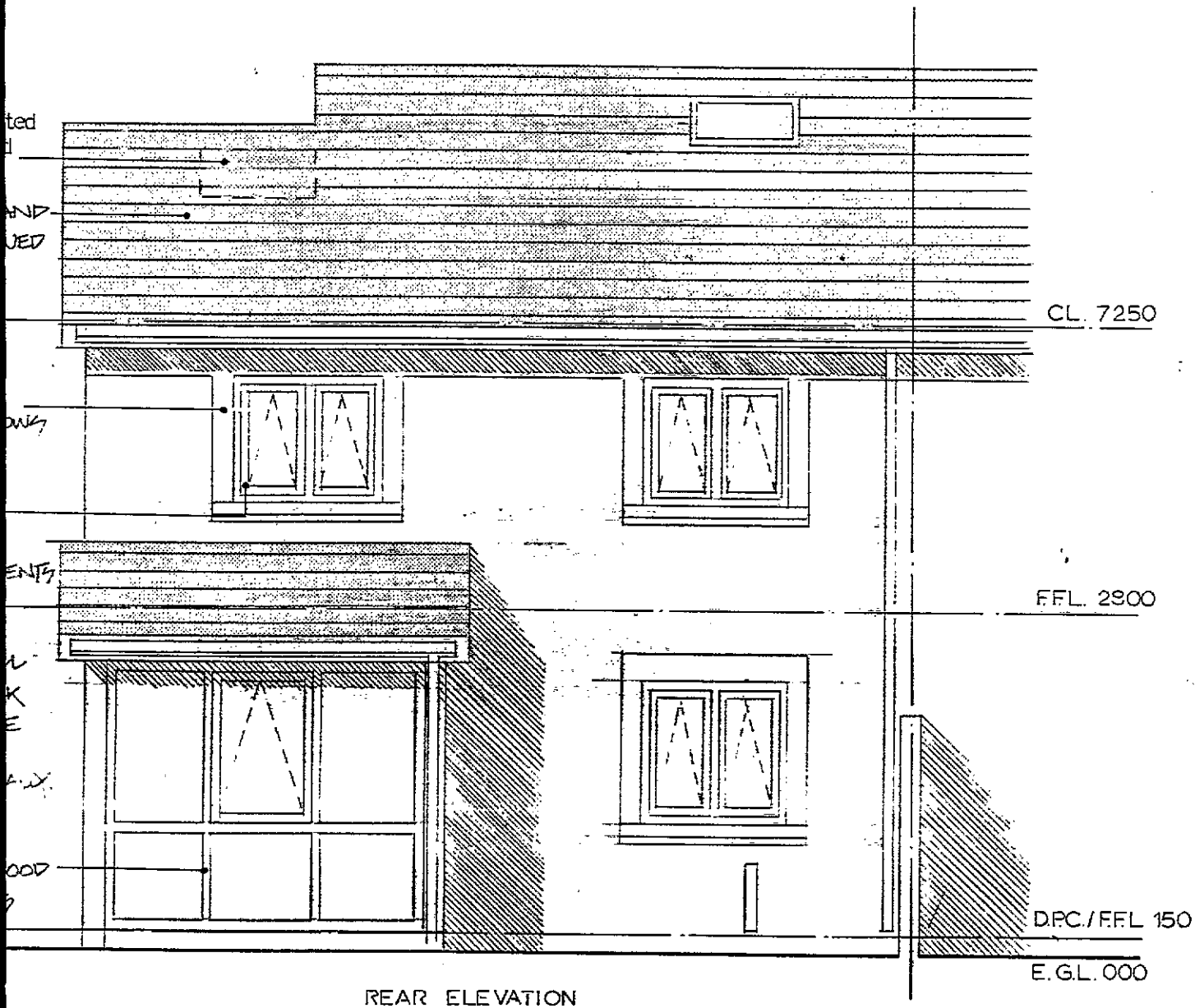
300 CAVITY WALL
100 BRICK OUTER LEAF
100 BLOCK INNER LEAF
50 INSULATION &
50 CLEAR CAVITY.

Patrick Rooney & Associates

65 Merrion Square, Dublin 2
 1 Flynn's Terrace, Sligo
 3-04 Butlers Wharf Business Centre,
 Curlew Street, London SE1 2ND

Architect

618662, 610615, Fax 610615
 61409, 61409
 4036206.

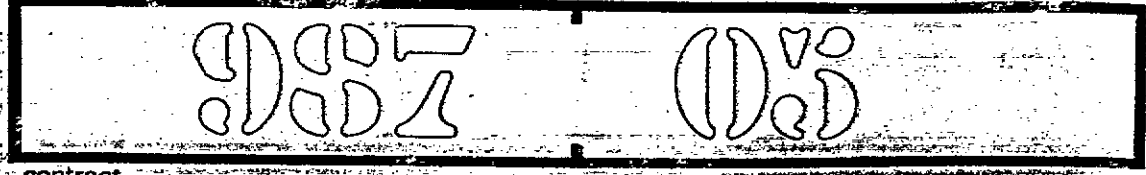


REAR ELEVATION

AREA
 2 sq.ft. incl. optional conservatory

drawn	date 12-08-91
check	scale 1:50

drawing GROUND FLOOR PLAN, 3. BED, REAR ELEVATION



contract FIRHOUSE TALLAGH

revision

MIN 5LB LEAD FLASHING
AT ROOF/JUNCTION.

C.L. 7250

FFL 2900.

DPC / FFL 150

E.G.L.

ENSUITE

ENTRANCE HALL

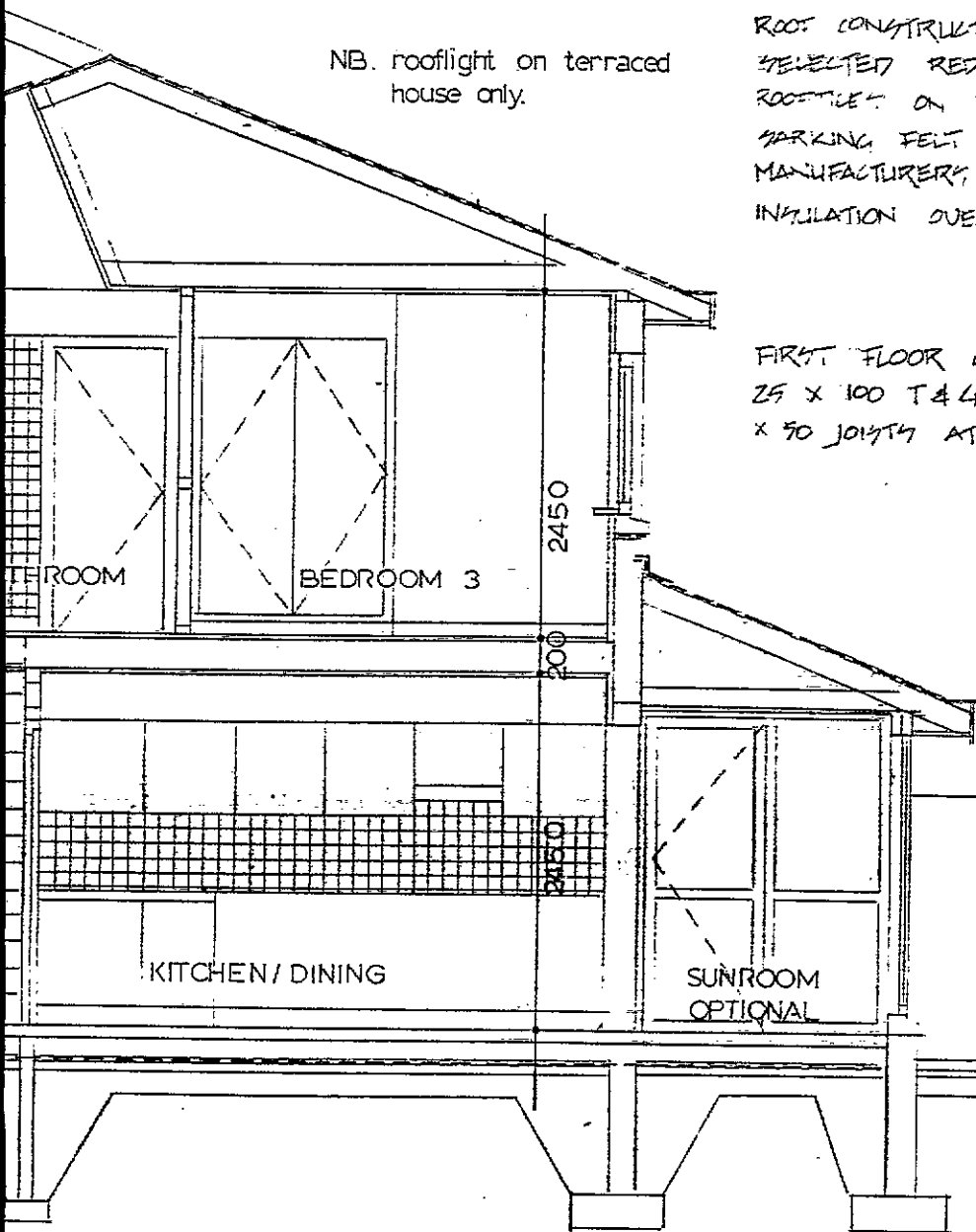
NB. DPC. MIN. 150 ABOVE G.L. TO ALL
LOADBEARING WALLS.
DPC. UNDER CIVIS / THRESHOLDS TO
ALL OPEN.
DPC. OVER UNIONS TO ALL OPEN.
DPC. TO ALL LEAN TO / WALL JUNCTIONS
WITH MIN 5LB LEAD FLASHING AND
LOWER FLASHING.

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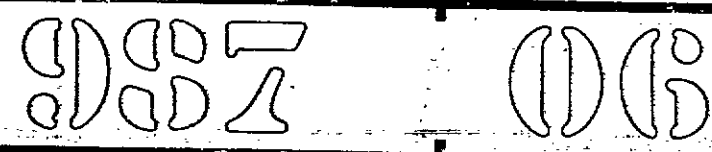
ROOF CONSTRUCTION.
 SELECTED REDLAND OR OTHER APPROVED
 ROOFING ON 78X19 GUV. BATTENS ON
 MARKING FELT ON TRIMMED RAFTERS TO
 MANUFACTURER'S INSTRUCTIONS. 50MM QUIET
 INSULATION OVER PLASTERBOARD CEILING.

FIRST FLOOR CONSTRUCTION.
 25 X 100 T&G, TIMBER FLOORBOARDS ON 175
 X 50 JOISTS AT 400 CLL BRIDGED AT 1900 CLL.

CONSERVATORY ROOF.
 PANTILES ON 78X19 BATTENS
 ON MARKING FELT ON 100X90
 RAFTERS JOISTS AT 400 CLL
 ON RING BEAM OF 2 NO. 4IN.
 BEAMS 225 X 78 EACH RESTING
 ON 150 X 150 CON. CORNER POSTS.

GROUND FLOOR CONSTRUCTION
 75 SCREED ON 150 OVERSITE
 CONC. ON 1000 GAUGE DPM
 ON 25 SAND BLINDING WITH
 1000 PERIMETER INSULATION
 ON 150 HARDLORE.

drawn _____ date 16-08-91
 check _____ scale 1:50
 drawing SECTION - 3 BED HOUSE.



contract FIRHOUSE, TALLAGH

revisions _____

SELECTED RED AND OR GREY
APPROVED ROOFTILES

C.L. 28.00

SMOOTH
PLASTER REVEAL

SELECTED 4/4
WOOD

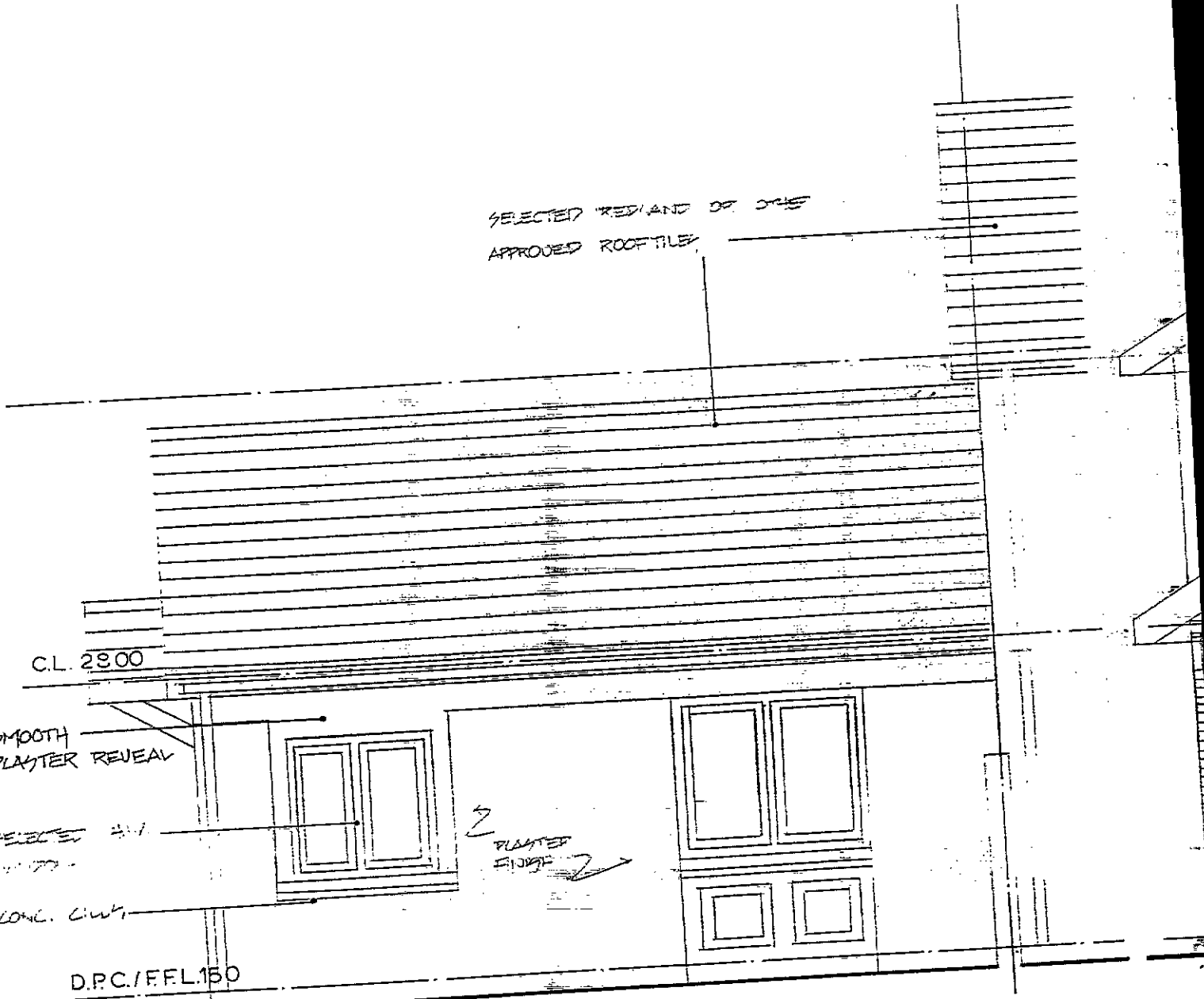
CONC. CILL

PLASTER
FINISH

D.P.C./F.F.L. 150

G.L. 000.

REAR ELEVATION



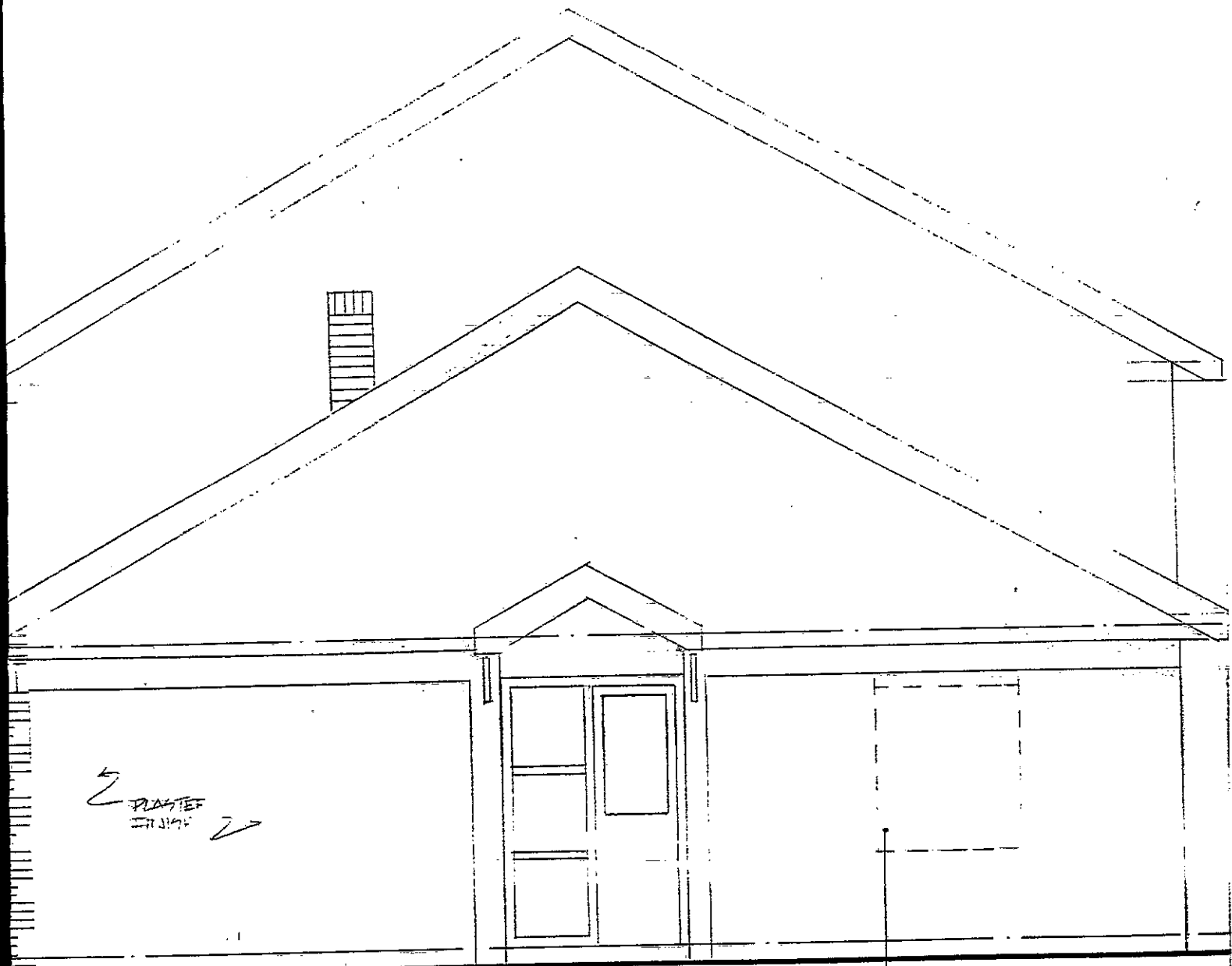
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Architects

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Fax 61409.
Fax 701-2694.



SIDE ELEVATION.

ALTERNATIVE WINDOW POSITION
FOR BED. NO. 2.

SELECTED BRICK FACING
TO FRONT FACADE.
ALTERNATIVELY 19MM PLASTER FINISH

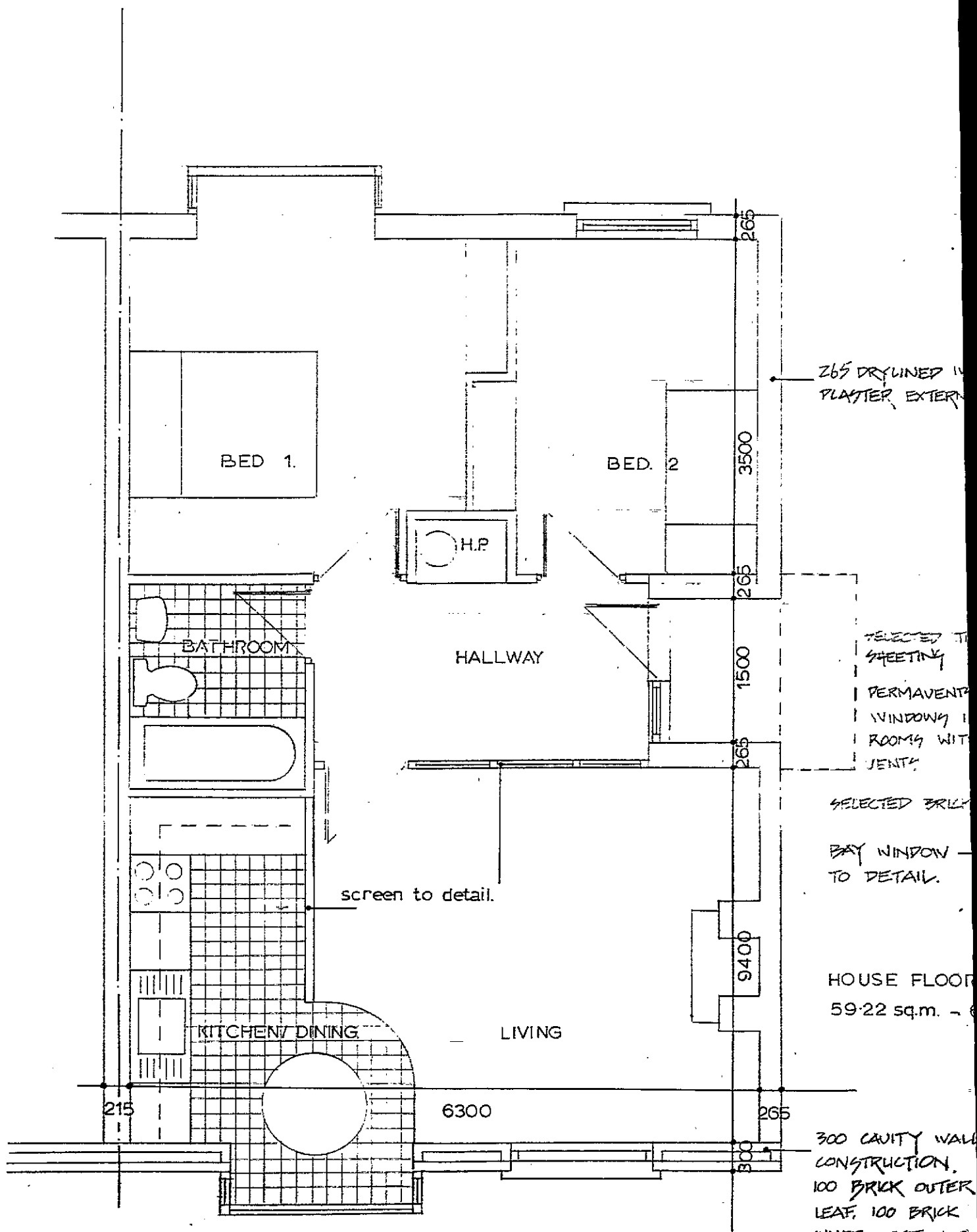
drawn	date 29-08-91.
check	scale 1:50

drawing BACK & SIDE ELEVATION TO BUNGALOW



contract FIRHOUSE, TALLAGH.

revisions



265 DRY LINED IN
PLASTER, EXTERN

SELECTED T
SHEETING
PERMAVENT
WINDOW
ROOMS WITH
VENTS

SELECTED BRICK
BAY WINDOW
TO DETAIL.

HOUSE FLOOR
59.22 sq.m. - 6

300 CAVITY WALL
CONSTRUCTION,
100 BRICK OUTER
LEAF, 100 BRICK
INNER LEAF, 100
CAVITY WITH 90
INSULATION.

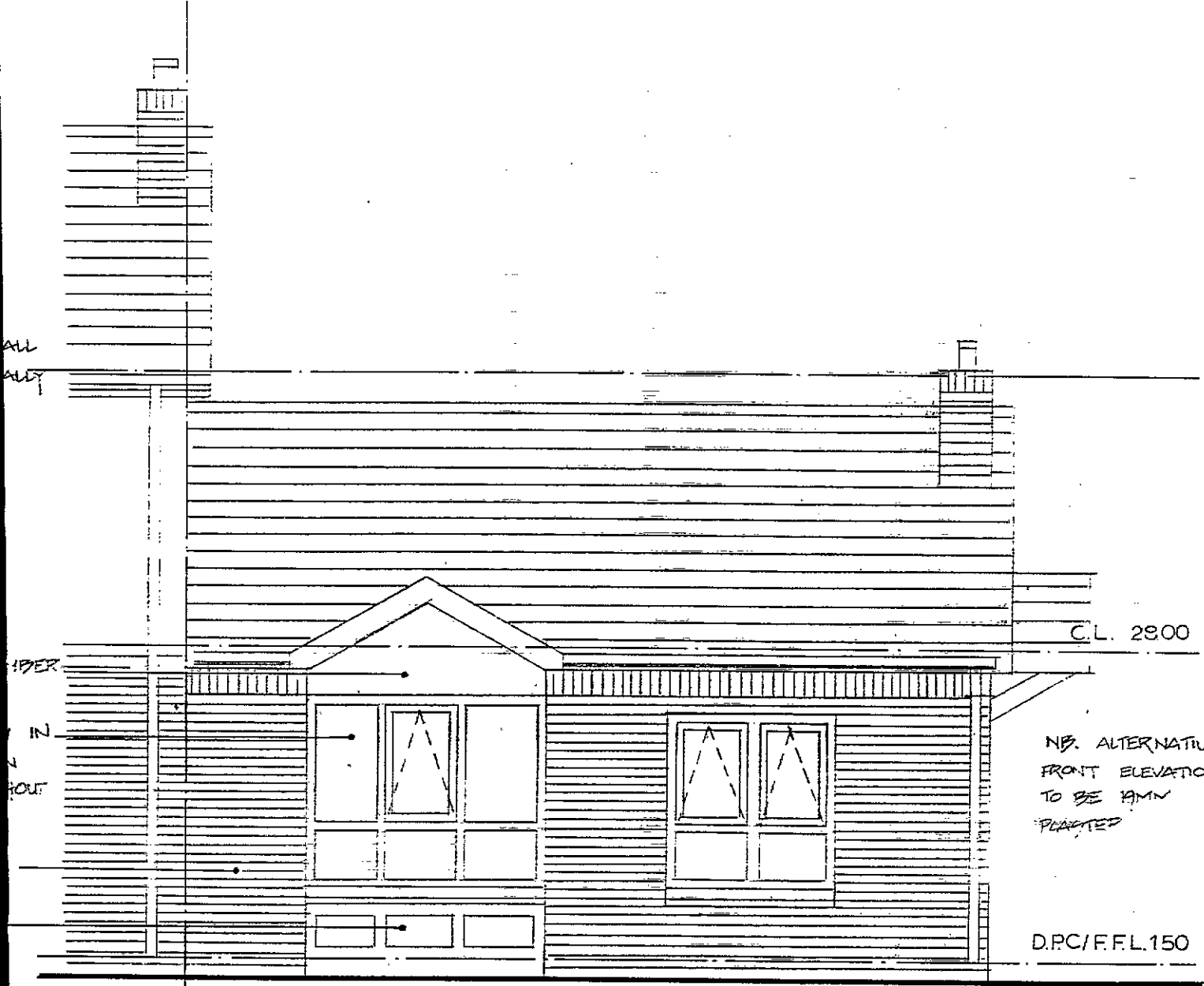
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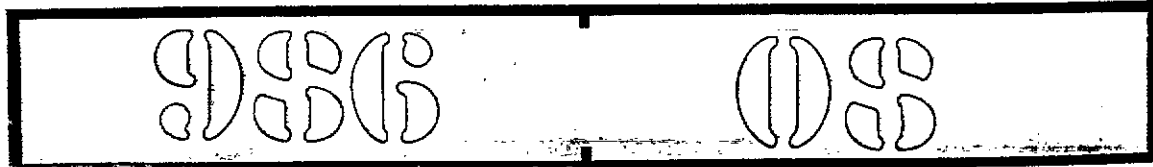
FRONT ELEVATION

E.G.L.000

AREA:
 540.76 sq.ft.

drawn	date 29-07-91.
check	scale 1:50

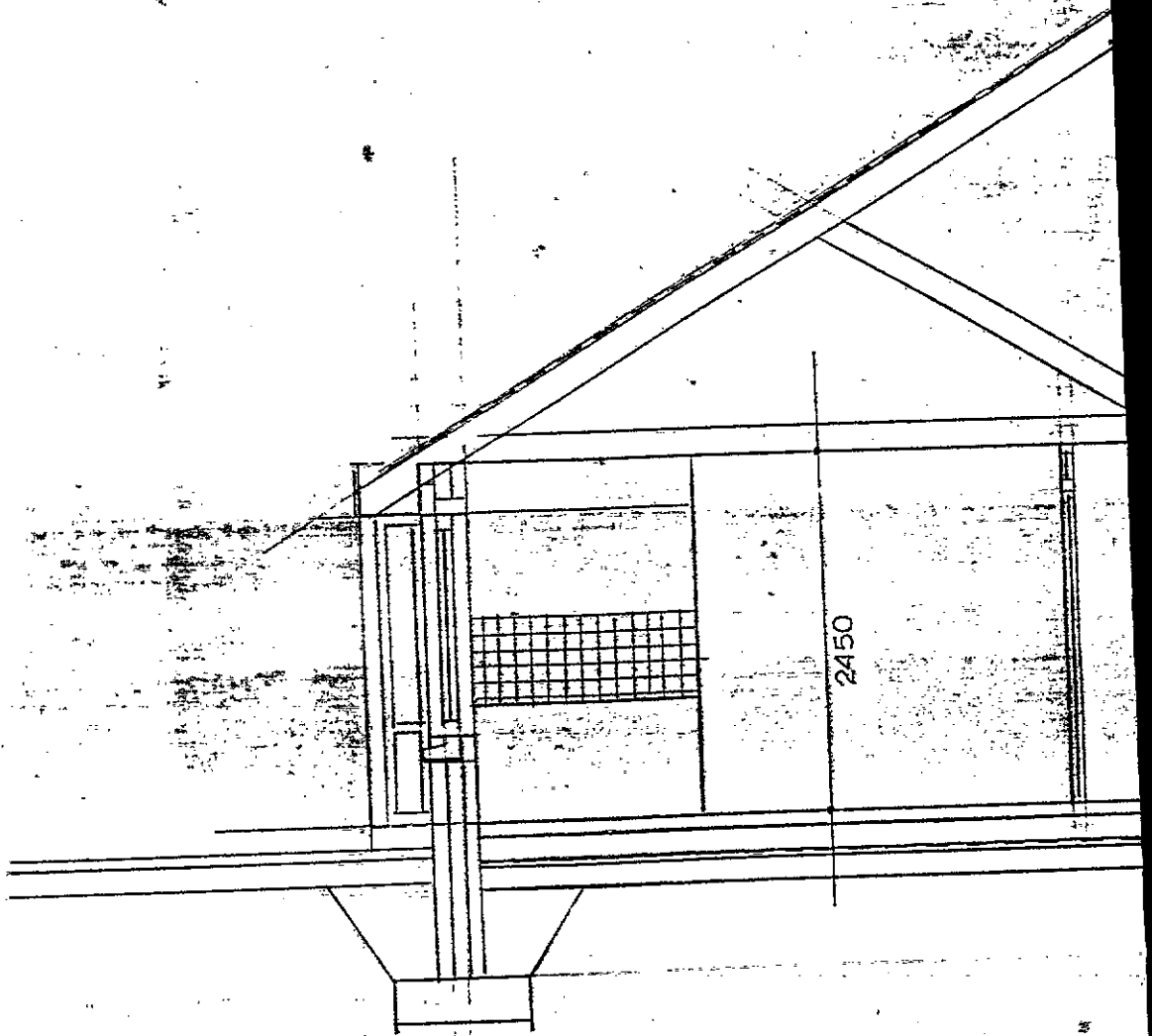
drawing BUNGALOW / PLAN, ELEVATION.



contract FIRHOUSE, TALLAGH

revisions

17000 JDH



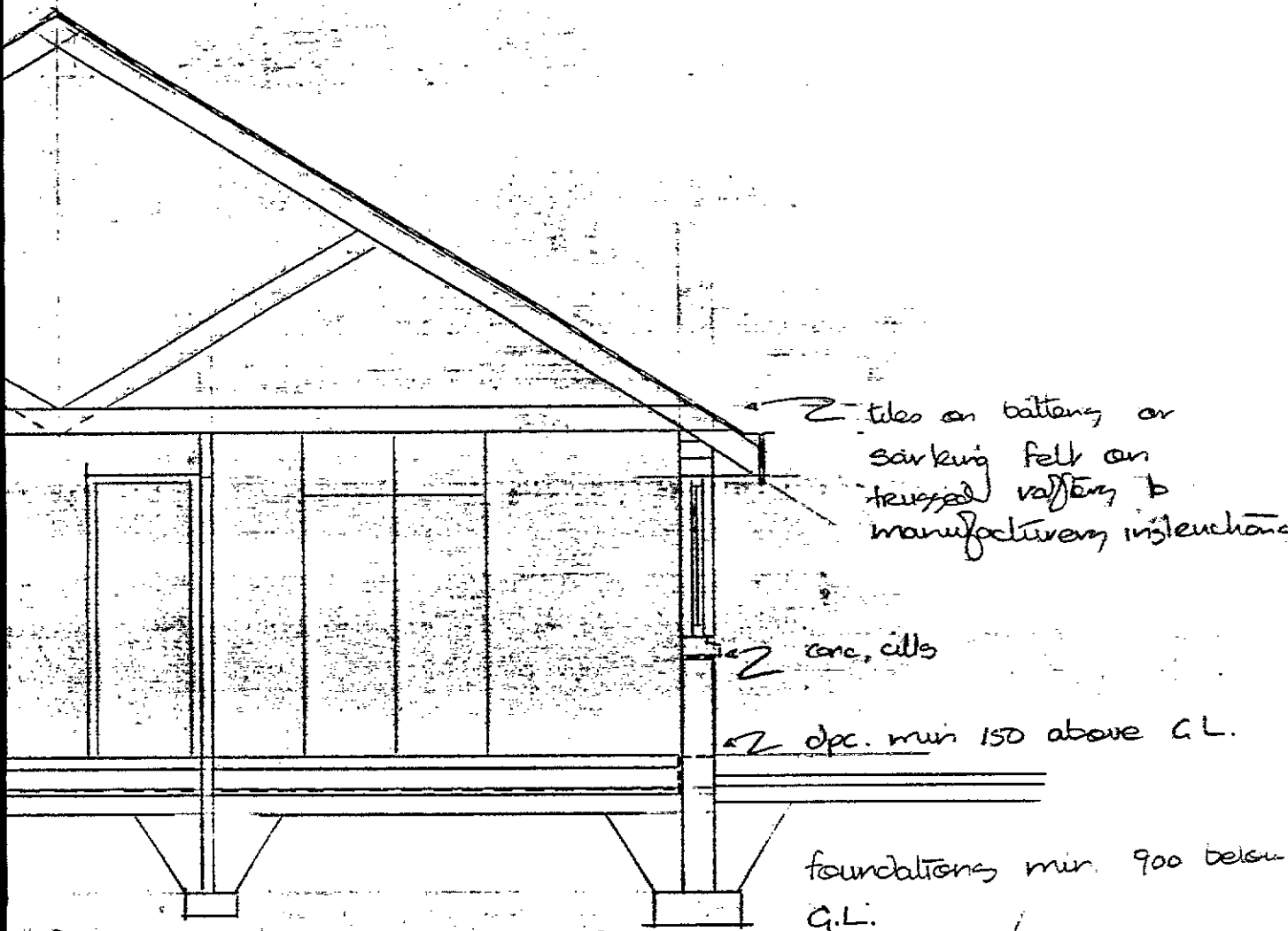
Patrick Rooney & Associates

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drawn *[initials]* date 30.08.91

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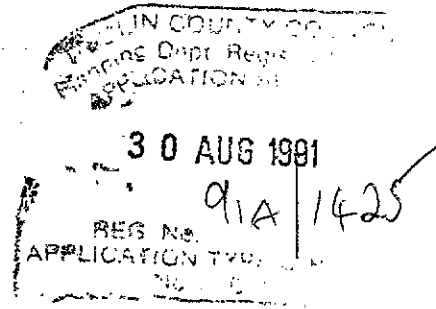
drawing BUNGALOW SECTION.



contract FIRHOUSE, TALLAGH.

revisions

OUTLINE SPECIFICATION FOR WORK TO BE DONE
AND MATERIALS TO BE USED IN CONNECTION
WITH CONSTRUCTION OF DEVELOPMENT OF
80 VARIED HOUSE TYPES/+ CRECHE/+ SHOP,
OLD COURT ROAD, FIRHOUSE, CO DUBLIN.



DATE: 28th AUGUST 1991.

DEVELOPER
CUNNINGHAM GROUP
82 SANDYMOUNT BUSINESS CENTRE
DUBLIN 4.

ARCHITECT
PATRICK ROONEY & ASSOCIATES
55 MERRION SQUARE
DUBLIN 2.

1. GENERAL

The Preliminaries to this specification shall be those set out in the RIAI standard form of contract. WORK CONSIST OF The housing development is to be carried out on sites A & B adjoining Old Court Road, Firhouse. Services and roads have already being carried out but Contractor must check existing works and ensure on completion all services/roads/~~SEWER~~ services/water supplies are brought up to standards required by Dublin County Council and any other statutory bodies E.S.B etc.

Engineers for original layout for roads etc., and services were Messrs John B. Barry & Partners and their basic information is indicated on drawings 562/75/77.

1.2 HOUSING

House units are generally two storey semi-detached/detached/terraced or single storey units, with 2/3/4 bedrooms per unit.

2.1 SITE A

	TYPE
No 8 pair semi detached units	No 2/3
3/4 bedroom type A/B	4/5
	6/7
	8/9
	14/15
	16/17
	18/19
	20/21
No 1 Terrace unit of 4	10
	11
	12
	13
No 1 Single unit	
TOTAL SITE A	= 21 Units.

2.2 SITE B

No 14 Pair semi-detached units	22/23
3/4 bedroom	24/25
	26/27
	28/29
	30/31
	32/37
	34/35

/.....

	40/41	
	42/43	
	44/45	
	60/61	
	62/63	
	64/65	
	78/79	28 Units.
No 7 Terrace of 4 houses	36/39 incl.,	
3/4 bedroom	48/51 incl.,	
	52/55 "	
	56/59 "	
	66/69 "	
	70/73 "	
	74/77	28 Units.
No 3 Bungalows (Two Bedroom)	46/47	3 Units
Site B		59 Units
Site A		<u>21</u> Units
		80 Units.
2.3	+ Creche to detail drawing.	
2.4	+ Small shop unit to detail drawing.	

PRELIMINARIES

- 1.1 Maintenance Period
The Contractor shall be held responsible for defects, shrinkage or other faults that are due to materials and workmanship which appear during the period of 12 months after the completion of the work.
A sum of not more than 5% of the total price for the work shall be retained by the Employer during the period of 12 months after completion of the work and shall be paid to the Contractor on the expiration of this period provided all defects which have been notified to the Contractor have been remedied.
- 1.2 Structural Guarantee
The Contractor shall be responsible for structural defects which reveal themselves during a period of 24 months after the completion of the work.
The Employer's right to require the Contractor to remedy structural defects under this clause are in addition to any similar right(s) he may have under Common Law.
- 1.3 Insurance
The Contractor shall, in the joint names of the Employer and the Contractor, insure the works to their full value against loss or damage by fire, storm or tempest from a period beginning at the commencement of the work and ending on the handing over of the completed house(s) to the Employer. The Contractor shall produce evidence of such insurance at the request of the Employer.
- 1.4 Statutory Requirements.
The Contractor must provide for paying all contributions required under the Social Welfare Acts and other statutes for the protection of workmen.
The Contractor must also comply with the Building (Safety, Health and Welfare) regulations, 1959.
- 1.5 Approved Materials
For the purpose of this Specification the term "approved materials" shall mean approved as suitable in all respects to the relevant Irish Standard Code of Practice.
- 1.6 Water
A proper supply of clean water shall be provided for the works by the Contractor who shall supply piping and all accessories and pay for main tapping, or provide necessary carting and storage or in the event of a private water supply, ensure that an

/.....

adequate water supply via well and pump is provided before commencement of building.

- 1.7 Notification The Contractor shall notify the Local Authority at the appropriate stages of the work and arrange for all inspections.

2. EXCAVATOR.

- 2.1 Site Clearance The entire area of the site to be cleared of all obstructions and left ready for the construction of the house: include for making site access ways. Remove top soil over entire area of proposed dwelling and pavings and leave aside for finished garden.

- 2.2 Excavations The area of site, foundations of walls, pipe trenches, surface underfloors and other work indicated on the drawings to be excavated to the lengths and widths shown, and to such depths as necessary to insure that the bottom of the trenches are sufficiently solid for a good foundation.

- 2.3 Level fill and ram. All trenches for foundations to be levelled and rammed, and all trenches for pipes and drains to be formed, graded and rammed. The trenches around and over pipes, to be filled in and rammed.

EXCAVATOR (continued)

- 2.4 Hardcore. Hardcore, where used is to consist of broken stone or bricks. Levels under floors, paths and pavings are to be made up with hardcore as shown on drawings. All filling is to be well wetted and consolidated.
- 2.5 Water at Excavations Keep all foundations and trenches free of water at all times.
- 2.6 Filling in Trenches, etc The Contractor shall not fill in over any work until it has been approved by the Architect or the Employer: or, in the case of foundations, etc., until it has been approved by the Local Authorities.

3. CONCRETOR

- 3.1 Cement Cement to be Portland Cement in accordance with I.S 1 (1971) delivered to site in properly sealed bags, clearly marked with the brand name and stored, clear of the floor, in a dry waterproof store and protected from damp.
- 3.2 Water Only clean fresh water free from impurities to be used.
- 3.3 Sand The sand is to be clean, sharp pit or river sand and must be washed free from loam, earth, clay or other foreign substance.
- 3.4 Lime The Lime for mortar shall be approved best quality greystone lime from approved kiln.
- 3.5 Lime Mortar Lime Mortar shall be gauged one of lime to three of sand and gauged with cement just before using. All mortar cement is to be used quite fresh and no mortar that has commenced to set shall be used.
- 3.6 Cement Mortar The Cement Mortar shall be composed of one part Portland cement as described to three parts sand and used fresh: none to be reworked once initial set has commenced.
- 3.7 Concrete The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of B.S. Code of Practice 114 (1957) in regard to all requirements not otherwise described in this Specification.

CONCRETOR (continued)

3.8 Aggregate

The aggregates shall comply with the standards laid down in Irish Standards 5:1949.

THE FINE AGGREGATE

The fine aggregate shall be a natural pit or river sand passing a 10 mm screen and shall be thoroughly washed in a mechanical washing plant. It shall be graded from the largest to the smallest particle sizes in approved proportions.

3.9 Aggregate

The Coarse Aggregate shall be retained on a 10 mm screen and shall be composed of clean washed gravel or crushed stone or a combination of both, of approved quality and grading free from laminated and flaky particles, dust and other impurities.

The fine and coarse aggregates shall be delivered to the site separately and shall be stock-piled on clean concrete, macadam or other approved surface.

3.10 Mixing

The concrete shall be mixed in power driven batch mixers of approved size and design and having a capacity not less than that required for on cwt batch.

3.11 Mixers

The weight of the fine and coarse aggregate used in each mix shall be adjusted so that the finished concrete has a cement content not less than set out in the following table. The cement content shall be increased at the Contractor's expense where necessary to produce a concrete having a strength not less than the specified value together with an approved surface finish. Concrete for roof slabs to be water-proofed with "Sika" used according to manufacturer's instructions.

Mix	Type Mix	Cu. fit of combined agg. per 112 lbs cement	NOMINAL PROPORTIONS		
			Max. size of agg.	Min. 28 day 6" cube strength	Cement content in lbs per cu. yd. of concrete
A	1:2:4	7.0	1½	3500	480
B	1:2:4	6.25	¾	3500	520

CONCRETOR (continued)

3.11 Mixers

The approval of aggregates, grading, water content, etc., shall not relieve the Contractor of responsibility in regard to the strength and finish of the concrete, and the Contractor shall remove and reconstruct at his own expense: any part of the work which the Architect deems to be below the proper standard. The mixes for the various sections of the works shall be as follows:-

MIX A

Reinforced foundations, paving, carriageways, floors.

MIX B

Reinforced concrete working roof slabs and roof beams and window and door heads.

3.12 Concrete
Blinding.

The surface of the ground under foundations and other concrete in contact with the ground shall be sealed with a thin layer of lean concrete mixed 1 cwt., cement to 12 cubic feet of coarse sand.

3.13 Transporting and
Placing Concrete

The concrete shall be transported from the mixer to the place of deposition as rapidly as possible and due precaution shall be taken to prevent segregation. Where necessary hoppers of adequate capacity shall be provided adjacent to the formwork so that the concrete is remixed before being placed in position. The concrete shall be evenly placed in its final position and shall not be worked or allowed to flow in a horizontal direction.

3.14 Transporting &
Placing
Concrete.

As far as possible all concrete in on unit of construction shall be placed in on continuous operation. The concrete shall be placed in its final position before setting has commenced, and shall not subsequently be disturbed. In no case shall the interval between adding the water to the dry mix and the placing of the mix in situ exceed 30 minutes. Concrete shall be thoroughly compacted in a manner approved by the Architect.

CONCRETOR (continued)

- 3.15 Jointing New Concrete Before depositing concrete against any temporarily stopped work or at approved joints, the procedure shall be as follows:
Before depositing concrete against previously hardened work the surface layer or laitance shall be hacked off and the exposed surface wire brushed and thoroughly cleaned with water. A 12 mm layer of mortar shall be placed against the existing concrete immediately before pouring the new concrete.
- 3.16 Construction Joints. All vertical construction joints shall be formed with well braced timber stop ends holed or slotted where necessary to allow the reinforcement to pass through the joints. The concrete shall be compacted against the stop ends for the full height of the lift. All construction joints shall be located in such positions as shall be approved by the Architect. The vertical joints shall be stepped and staggered in approved positions and such joints shall not be located at or adjacent to quoins.
The joints in suspended roof slab shall be formed parallel to the main reinforcement.
- 3.17 Frost Concreting work shall be suspended when the air temperature falls below 2°C, or when frost is expected. Frozen aggregate shall be thawed out before use. Concrete placed in cold weather shall be protected from damage by frost or other weather conditions shall be cut out and replaced by fresh concrete at the Contractor's expense. The Contractor shall provide a maximum and minimum thermometer of approved design for the purpose of measuring the shade temperature of the outside air.
- 3.18 Curing Horizontal and vertical slab and other large areas of concrete shall be kept continually moist and shall be covered with jute matting or an approved thickness of wet sand for a period of at least ten days after the concrete is placed.

CONCRETOR (continued)

Similar precautions shall be taken during the initial period of at least ten days to protect all other reinforced work from exposure to sun, wind or rain.

3.19 Plaster
Surface.

Where a rendered or plastered finish is specified the concrete surfaces shall be sparrow-pecked to provide an adequate key. Alternatively, the formwork may be coated with an approved retarding compound which shall be removed with water and wire brushes as soon as possible after concreting. Precautions shall be taken to ensure that the retarding compound does not come in contact with the reinforcement.

3.20 Traffic over
Concrete

No traffic of any kind will be allowed over any concrete, or formwork removed, or any load imposed on it until it has thoroughly hardened.

3.21 Formwork

The formwork shall be made up from purpose made mild steel units, from good quality planed seasoned timber, free from knots and other defects or from other approved materials.

The sheeting timber shall be wrought tongued and grooved and shall be suitably propped and braced to resist the weight and pressure to the concrete without distortion. The inner surface of the formwork shall be treated with an approved mould oil or retarding compound as appropriate, and the formwork shall be carefully cleaned before re-use. The formwork shall be close-jointed throughout prevent leakage of cement paste or fine aggregate. The formwork can be removed without disturbing the supports under the soffits. Suitable camber shall be provided in formwork for beams and floors to compensate for any subsequent deflections. The formwork to vertical sides of walls beams, etc shall be supported by means of suitable external braces, internal metal fasteners, or bolts. The use of internal timber spacers or wire ties will not be permitted. The formwork shall be thoroughly cleaned out before concreting and shall be provided with temporary opes to facilitate the removal of debris.

3. CONCRETOR (continued).

3.22 Holes & Chases in Concrete Holes, chases and other openings required for the passage of pipes, conduits, etc., shall be provided by inserting suitable sleeves, cores and sinkings before placing the concrete. The Sub-Contractors shall be required to furnish full informat in regard to the position and size of such opes and chases, and the position of bolts, clips and other fastenings. The cutting of chases, holes or other openings in the finished work shall not be permitted without the sanction of the Architect. Such holes and chases shall be made only in approved locations and shall be cut with the approved tools.

Gutters to be formed in slab as detailed.

3.23 Reinforcement Rolled mild steel bar, shall comply with the requirements of British Standard 785. The sizes and other dimensions of the reinforcement shall be checked against the drawings and site dimensions before the material is ordered. The reinforcement shall be cut, cold bent and hooked to the dimensions shown on the drawings and schedules or to such other dimensions as may be directed.

3.24 Alternative Bar Sizes No alteration or substitution shall be made in the lengths, sizes or arrangement of the reinforcement, without the prior written approval of the Architect.

3.25 Fixing Reinforcement. Reinforcement shall be maintained in its correct position by means of suitable clips, soft tying wire or welding, supplied by the Contractor at his own expense. The knots in the tying wire shall be located on the side remote from the surface and shall not project into the space between the reinforcement and the surface of the concrete.

The correct cover shall be maintained by means of suitable metal spacers or small concrete blocks or concrete washers, wired to the reinforcement. Such spacers shall be supplied at the Contractor's expense. The Contractor shall not commence concreting on ay section of the work until the formwork and reinforcement have been approved by the Architect.

3

CONCRETOR (continued)

Mesh and fabric reinforcement shall be supported in their correct position by small concrete blocks spaced not further apart than two feet in both. reinforcement shall be similarly supported at intervals of not more than 1500 mm apart.

3.26 Responsibility
of Contractor

The Contractor shall be responsible for any injury to work and any consequential damage caused by or arising from the removal and striking of formwork, centering and supports, and any advice, permission or approval given relative to their removal shall not relieve the Contractor from the responsibility here defined.

3.27 Equipment

All mixing machines, vessels, platforms tools and implements used for mixing, transporting or placing concrete shall be well maintained and shall be kept clean at all times.

3.28 Concrete
Lintels

Concrete lintels to window and door ope to be reinforced by a mild steel rod 12 mm diameter for openings up to 1200 mm and 18 mm diameters for openings above 1200 mm wide and one for every 100 mm in the thickness of the wall carried; to be 150 mm deep for all apertures up to 1200 mm in the clear width and 25 mm deeper for each 300 mm beyond 1200 mm. The lintels to bear 100 mm minimum on the walls at each end and to have the surface hacked to take plaster.

Alternatively, precast, prestressed concrete lintels conforming to B.S. 1239 (1956) and produced by an approved manufacturer may be used.

3.29 Reinforced
Concrete Beams.

Where indicated on drawings any reinforced concrete beams shall be detailed and reinforcement specified.

3.30 Concrete
Cills

To be finished fine and bear minimum 100 mm on wall each side of ope, to be rebated, weathered and throated. Cills to project 50 mm on finished face of wall and to be 65 mm thick at face edge. Cills to be reinforced with 3 number 12 mm bars or reinforcing mesh, or as indicated on drawings.

- 3 CONCRETOR (continued)
- 3.31 Concrete Steps. To be finished fine, mix as for external paving. Provide fall in steps away from house. Riser to be splayed back 25 mm from nosings.
- 3.32 Hearths To be brought up from sub-floors in mass concrete and finish fine in sand and cement screed for tiles. Hearth to extend minimum 300 mm on each side of opening and 600 mm from face of breast.
- 3.33 Solid Concrete Floors. To be 150 mm thick, mix as for sub-floor, lay with 1000 gauge polythene film. Before placing concrete hardcore filling to be blinded with stone dust before laying of polythene, and carry polythene up edge of concrete slab and under d.p.c at all walls.
- 3.34 Foundations All foundations to be not less than 300 mm thick and to widths as specified on drawings. Foundations under chimney breast to project 225 mm on wall face on all sides. Foundations are not finished in one operation, joints to be halved and lapped 50 mm on either side on resumption of paving. Unless foundations are reinforced 100 mm mild steel rods lapped and hooked and laid longitudinally at 100 mm centres to be used and placed 50 mm from undersides of foundation bottom. Where stepped foundations are necessary, concrete shall overlap at least 600 mm and steppings shall not exceed 250 mm in thickness.
- 3.35 Beam Filling The Contractor is to provide for beam filling at eaves and gables in 8:1 concrete.
- 4.
- 4.1 Blocks Solid concrete blocks to comply with L.S.20 (1971).
- 4.2 Rising Walls To be carried up in concrete blocks from foundations. Blocks to be bedded in sand and cement only. Where rising walls are specified as mass concrete this mix to be as for foundations. Walling to be 300 mm cavity - cavity to start at foundations or where site may be damp cavity will start one block below d.p.c. all as directed by the Architect.

4.3 D.P.C.

To be of approved type 3 ply bitumen on jute or canvas base (to I.S.S. 57, 1953), to be provided on all tassels and all rising walls and to be minimum 6" above ground level and lapped 150 mm at all joints: under all cills for full length of same and turned up backs of same. Over all lintels of external opes at Ground Floor heads of cavity wall construction.

In all vertical joints at abutting of inner and outer leaves of cavity walls at reveals and opes.

On all chimney shafts immediately above the flashings for entire area of chimney.

4.4 Cavity Walls.

Build up the cavity walls with cavities of the widths shown upon the drawings. Bond the two thickness of brickwork together with wall ties, as described, spaced 900 mm apart horizontally, 450 mm vertically and staggered and with extra ties at reveals and openings: the ties to be carefully laid so that they do not fall towards the inner thickness of the walls. Keep the cavity clear by lifting screeds or other means, leave openings at the base, clean out cavity at completion and subsequently brick up the openings uniformly with the surrounding work.

5. ROOFING (continued)
- 5.2 Preservation All wallplates, ends of purlins, ends of all joists and rafters to receive two coats of approved preservative and all timbers built into walls.
- 5.3 Workmanship All woodwork to be neatly joined together using all usual methods of jointing and all to good standard practice.
- 5.4 Glue All glue to comply with B.S. 745 (1969).
- 5.5 Timber for Trussed Rafters. The timber used in the construction of timber trussed rafters may be European redwood or white-wood, commercial western hemlock or Canadian spruce having a quality not inferior to composite grade as defined in B.S.C.P 112 (1967).
- 5.6 Connector Plates for Trussed Rafters The steel for connector plates for timber trussed rafters shall be in accordance with B.S. 1449 (1962) Part 18. The plates shall be protected by a zinc coating in accordance with B.S. 2989 (1967) Class B for thickness and with properties of Class F. Penetration of all plate projections shall be at least half way through timber members.
- 5.7 Wind Bracing of Trussed Rafters. Fix 44 x 35 mm battens as wind bracing as shown on drawings:
- A. Diagonally under rafters.
 - B. Diagonally across struts and ties.
 - C. Diagonally across top of ceiling joists.
- 5.8 Transport, Storage and Handling of Trussed Rafters. Timber trussed rafters shall be transported and stored in a vertical position. Care shall be taken in the handling of trusses to avoid distortion.
- 5.9 Traditional Roof Construction To be constructed as shown on drawings.
- Timbers to be:
- | | |
|-----------------|-------------------------------|
| Rafters | 125 x 38 mm at 450 mm centres |
| Collars | 125 x 38 mm |
| Ceiling Joists | 125 x 38 mm at 450 mm centres |
| Purlins | 175 x 75 mm |
| Struts | 100 x 75 mm |
| Ceiling Runners | 75 x 50 mm |
| Hangers | 125 x 38 mm |
| Pascia | 300 x 25 mm |

ELECTRICAL

- 8.1 This work to be executed by a firm of specialists and to be in accordance with E.S.B. requirements. Allow a P.C Sum of £ for electrical work as specified below.
- 8.2 Attendance The Contractor to provide for cutting all holes, chases, building-in, etc in walls, floors and roofs, in connection with the Electrical Contractors executing the above works and for making good after same.
- 8.3 Points to be Provided The Contractor is to provide for one light point to every compartment within the house. Provide for two-way switching to hall light. Provide for 2 double socket outlets in each bedroom and living room and 3 double sockets in kitchen. Provide for 1 cooker point in kitchen. Provide number 2 outside light points at front and back door. Bathroom switch to be located in lobby outside same. Provide light point in any garage, lobby or hall.
- 8.4 Fittings Switches, sockets, etc to be sunk bakelit type; all sockets to be 3 pin type and properly earthed to E.S.B. satisfaction.
- 8.5 Immersion Heater. Contractor to provide a double Immersion group in copper cylinder 500 W and 1500 W each separately switched. All exposed wiring in hot press to be asbestos-covered wire.
- 8.6 Meters The E.S.B. meters and fuse board fitted by Contractor to be placed in a position approved Architect.
- 8.7 Earth Where plastic piping is used to connect to mains water supply and where it is not possible to use the water supply as an earth Contractor is to ensure a suitable earth by means of an earth rod driven into the ground for at least 1200 mm or to whatever alternative the E.S.B. may direct.
- 8.8 Indicator Switches Cooker unit and switch for Immersion heater to have red indicator lights for "ON" position.

- 9 PLASTERER
- 9.1 Cement The Portland cement shall be as described in Clause 4.1.
- 9.2 Sand The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering, and graded to Class "A" requirements for both under-coats and finishing coats of "Gypsum" plasters only.
- 9.3 Cement Lime Mortar Cement lime mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement well-mixed for wall above damp proof course.
- 9.4 Water The water used for mixing shall be clean and free from set plaster and other impurities.
- 9.5 Internal Plastering Scud, gyplite bonding and gyplite finishing coat 15 mm total thickness to manufacturer instructions.
- 9.6 Coving Provide for plaster concave coving to all principal Rooms and Landings.
- 9.7 External Plaster Scud in cement and coarse sand (1:3) and render in 1 part hydrated lime, 1 part cement and 3 parts sand finished 12 mm thick smooth and even. Finished coat to be 12 mm 1:2:6 lime, cement, sand to fine nap finish. Alternatively, 12 mm rough cast finish in 3:1 sand and cement may be applied. Form true edges and arrises, etc. Reveals to be finished as above keyed into rebates and finished 25 mm thick and 25 mm proud of plasterwork.
10. GLAZIER
- 10.1 General Glass to be the best of its respective kind and conform to B.S. 952 (1964). Glass is to fit accurately into rebates, after priming and is to be well back puttied sprigged and puttied. Outside putty is to finish the full depth of rebate. Putty to be linseed oil putty to B.S. 544 (1969). Most of the glass in the metal windows will be pre-glazed.

10.2 Clear Glass

Clear glass to be sheet glass 3 mm for areas up to 0.50 m², 4 mm glass for all areas up to 1.12 m², and 6 mm for larger panes. Glass to conform to B.S. 952 (1964) and shall be the best of its kind, clear of all specks, waves, air bubbles and defects to every kind.

10.3 Obscured Glass

Obscured glass to be small white arctic glass.

10.4 Glazing to Doors

Glass in panels to doors to be bedded in putty and held in position with glazing slips and bedded in mastic putty or to Architect's details.

11

PAINTER

11.1 General

None other than skilled workmen, except apprentices, to be employed on the works. All paint etc, is to be prepared and applied strictly in accordance with manufacturer's instructions.

11.2 Workmanship

All surface's to be thoroughly dry before knotting, stopping or painting. No paint shall be applied externally in foggy or inclement weather and all necessary precautions are to be taken to prevent damage to paint by frost, etc. The surfaces of all new priming coats and undercoats are to be properly filled and sanded down and dusted off between coats as required. Painting shall not be proceeded within any room unless it is free from dust and washed out. Walls to be rubbed down, filled and free of all blisters and blemishes before decoration. On no account is emulsion paint to be used as a primer to woodwork.

11.3 Materials

All painting materials to be the best of their respective kinds. Approved proprietary brands to be applied in accordance with manufacturer's instructions.

11.4 Internal Painting

All ceilings and walls to be painted a minimum of 2 coats proprietary wall finish. All woodwork to be prepared, knotted, stopped, and painted 2 undercoats and one finish coat of high gloss enamel.

11

PAINTER (continued)

11.5 External Painting

All external woodwork to be prepared, knotted, stopped, primed and painted 2 undercoats and one finish coat of high gloss enamel.

Where external ironwork is used it is to be cleaned and painted 2 undercoats and one finish of high gloss enamel.

12.

HEATING

12.1 Fireplaces

Provide for no 1 fireplace complete to each house P.C for hearth and surround.

12.2 Space Heating

Provide heating system for each house unit.

1. Electrical insulated system to E.S.B. requirements and details.

Alternative Contractor may consider gas or oil heating system to approved detail layout and specification.

13. DRAINAGE AND GENERAL SITE SURVEY.

- 13.1 Concrete Beds; Lay in trenches under drain pipes, gulleys, junctions, etc., layer of Mix C concrete, as described at 4.4 below. The concrete under pipes to be of a minimum thickness of 100 mm laid to falls, and of a width equal to twice the external diameter of the pipe resting thereon and benched halfway up pipe.
- 13.2 Drain Pipes Drain pipes to be used generally may be either of p.v.c., salt glazed stoneware or concrete to Irish Standards 6 (1949).
All pipes under roadways to be cased in concrete, minimum 150 mm thick all round. Concrete or stoneware pipes to have joints packed with tar gaskin and filled with cement mortar, executed neatly. Alternatively concrete or glazed stoneware pipes may be jointed with flexible joints and laid on a 50 mm minimum bed of a granular round gravel and backfilled with a similar material to haunching height. Consolidated p.v.c pipes jointed with rubber ringed plastic couplers may be used, laid on a granular bed as a base, 50 mm thick and backfilled to top of pipes, and finally covered to a depth of 150 mm over barrel of pipes with similar material.
- 13.3 Laying Drains: Lay all drains to the necessary falls and connect them to the gulleys, junctions, soil pipes and manholes, in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.
- 13.4 Armstrong Junctions: To be 225 x 225 mm glazed stoneware with galvanised heavy cast iron cover and frame set on and surrounded with 150 x 150 mm thick concrete Mix A as described at 4.4 below.
- 13.5 Gulley Traps: To be 150 x 150 mm salt glazed stoneware back inlet type gulleys with outlet jointed to drain and fitted with heavy galvanised gratings and set on and surrounded with concrete Mix A well dishd down to grating.

13.6. Manholes

Form manholes, 750 x 600 mm inside concrete measurement, with 200 mm solid concrete block walls bedded in cement mortar and finished with 25 mm cement plaster, well haunched down to half round white glazed channels. Roofs of manholes to be Mix A, reinforced concrete 150 mm deep, they are to be 900 x 600 mm inside and fitted with galvanised heavy cast iron foot irons built into walls. The bottoms to be benched in fine concrete finished in pure cement, average 200 mm thick.

13.7 Water
Supply:

The water main installation and fittings to be to the satisfaction of the Local Authority Water Engineer and Fire Offices requirements. Pipes for mains shall be 4" diameter hard p.v.c., laid in strict accordance with manufacturers recommendations and to Irish Standard specification. Pipes shall be placed at a minimum depth of 2'6" below level, 2'0" out from boundaries and 10" from gas mains or underground cables.

13.8 Fire
Hydrants:

Shall be located where indicated, shall act as wash out valves, shall be fitted with C.I. pavement covers and shall be clearly marked.

13.9 E.S.B.

Mains shall be laid below ground to E.S.B. standards and as shown on the drawings, to E.S.B. requirements.

13.10 Street
Lighting:

Shall be to Local Authority approval, to E.S.B. standards and as shown on the drawings.

13.11 Telephone
Cables:

Shall be laid below ground to the satisfaction of the Department of Post & Telegraphs and as shown on the drawings.

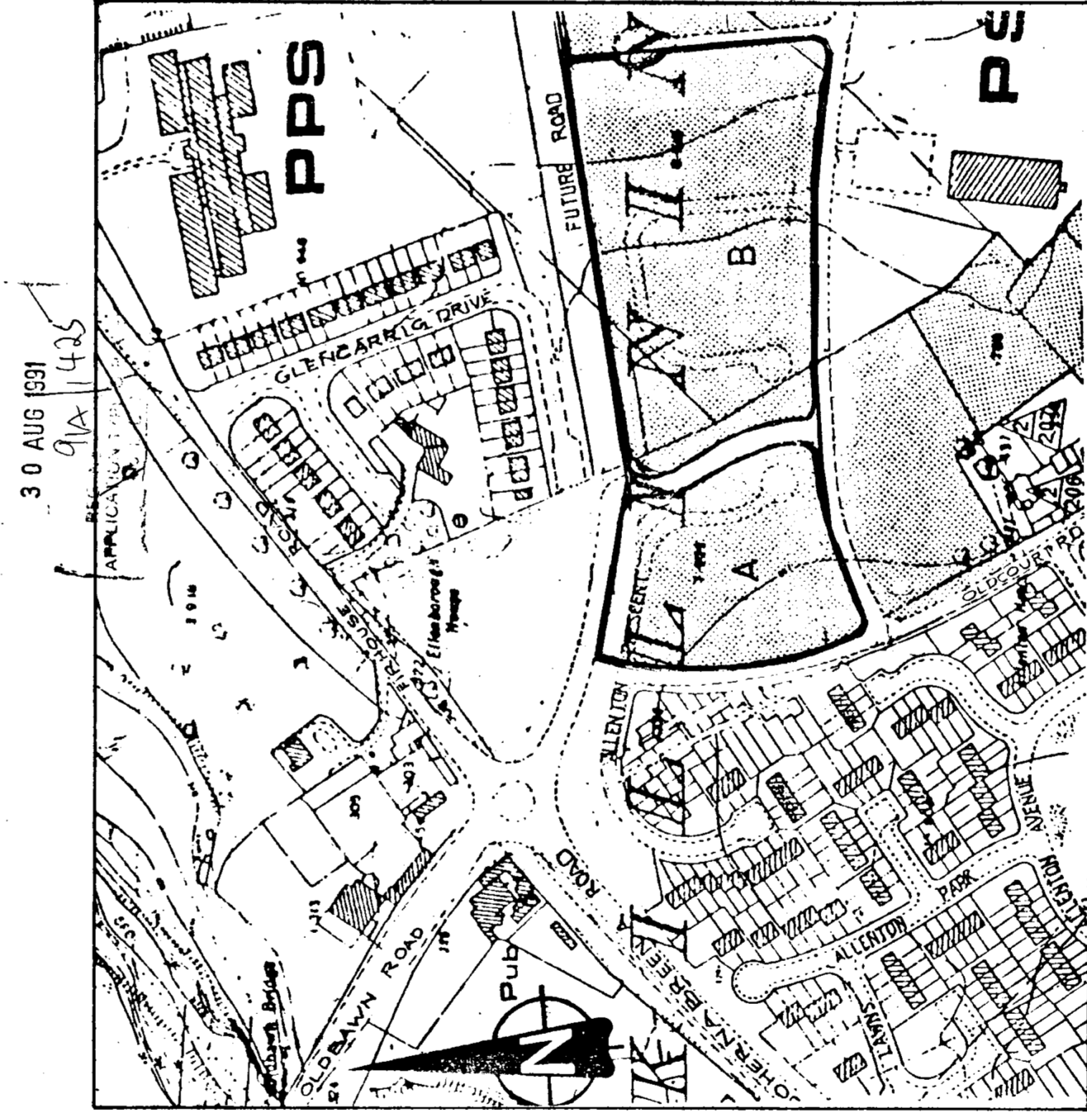


- Section 14 BOUNDARY WALLS, GATES & LANDSCAPE.
- 14.1 Garden Walling Rear: All back garden walls to be 1.600 m high, capped rendered and painted 225 mm block complete with d.p.c.
- 14.2 Front Wall 400 high x 225 wide selected brick finished front wall to detail.
- 14.3 All Existing Trees: All existing trees to be retained subject to individual agreement on site. The ground about all trees to be retained must remain undisturbed, building materials may not be stored near trees and trees may not be used for the support of temporary fencing and signs etc. Only a competent landscape contractor may lob or fell trees bushes or substantial undergrowth.
- 14.4 Grass Areas. The open spaces, grass verges and all front gardens to receive 6" topsoil seeded for grass by a competent Landscape contractor.
- 14.5 Paving Slabs Where shown on the drawings on 2" sand, on 2" building concrete, on 5" compacted hardcore all carefully grouted and levelled to falls below surrounding grass.
- 14.6 Paths: Paths shall be constructed on hardcore base with 600 mm concrete Mix B, finished fine and rolled with proprietary roller, in length of 6 m between expansion joints.
- 14.7 Landscapes Work: A full landscape proposal to be prepared for areas indicated on drawings and re submitted to Parks Department, Dublin County Council and an approval to to be executed by competent landscape contractor.
- 15 SPECIFICATION EXTERNAL WORKS.
15. Roads: Sub base to road and circulation areas shall consist of crushed rock and shall comply with clause 804 of the D.O.E "Specification for Roadworks". It is to be laid and compacted in accordance with clause 802 of the D.O.E Specification. Minimum Thickness 300 mm.



Road base to road and circulation areas shall consist of 75 mm thickness of dense Bitumen Macadam and shall comply with clause 2.1.1 of B.S. 4987. It is to be laid and compacted to clause 704 and 705 of the D.O.E. Specification.

Road and circulation area surfacing shall consist of 30 mm of 14 mm dense Bitumen Macadam to clause 2.3.4 B.S 4987 of 35 mm of 20 mm dense Bitumen Macadam to clause 2.2.6 B.S 4987.



LOCATION MAP 1:2500
 SITE A 2.3 ACRES SITE B 4.7 ACRES

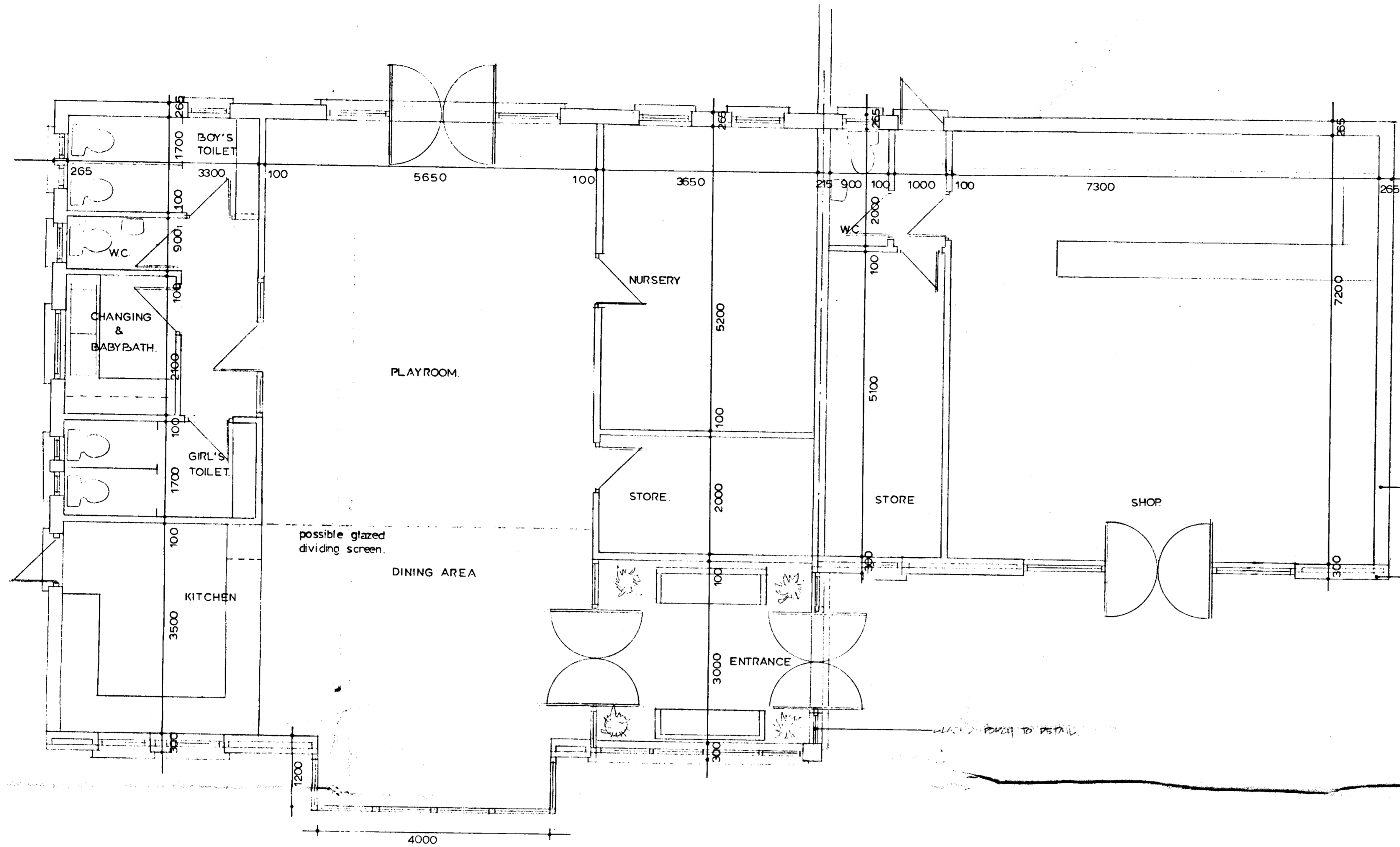
Drawn Date 28.9.91
 Check PR Scale 1:500
 Drawing site layout



contract FIRHOUSE, TALLAGH

Revisions

10/12/91



AREA CRECHE - 136.88 m sq - 1481 sq. ft.

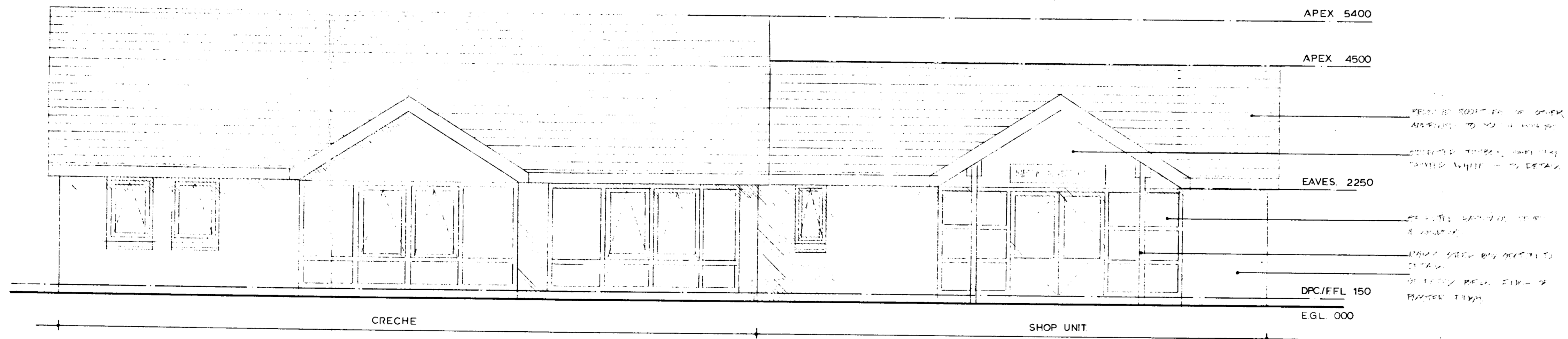
AREA SHOP - 68.62 sq.m - 742.4 sq. ft.

24MM EXTERIOR WALL
 11MM PLASTER TO 215 LONG
 BLOCK BRANDBERS OUT
 INTERIALLY

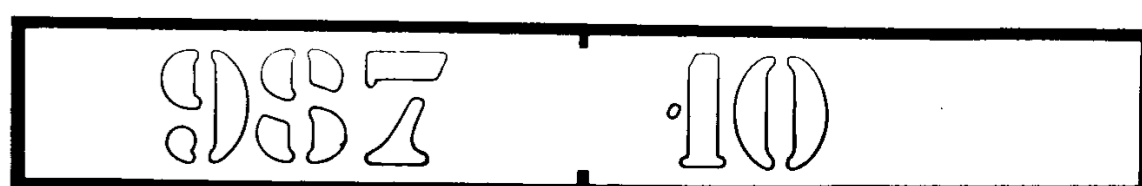
300 MM CAVITY WALL COMPT
 100 MM PERFORATED BRICK OUTER LEAF
 100 MM CAVITY WITH FO INSULATED
 POLYSTYRENE INSULATION
 100 MM BLOCK INNER LEAF

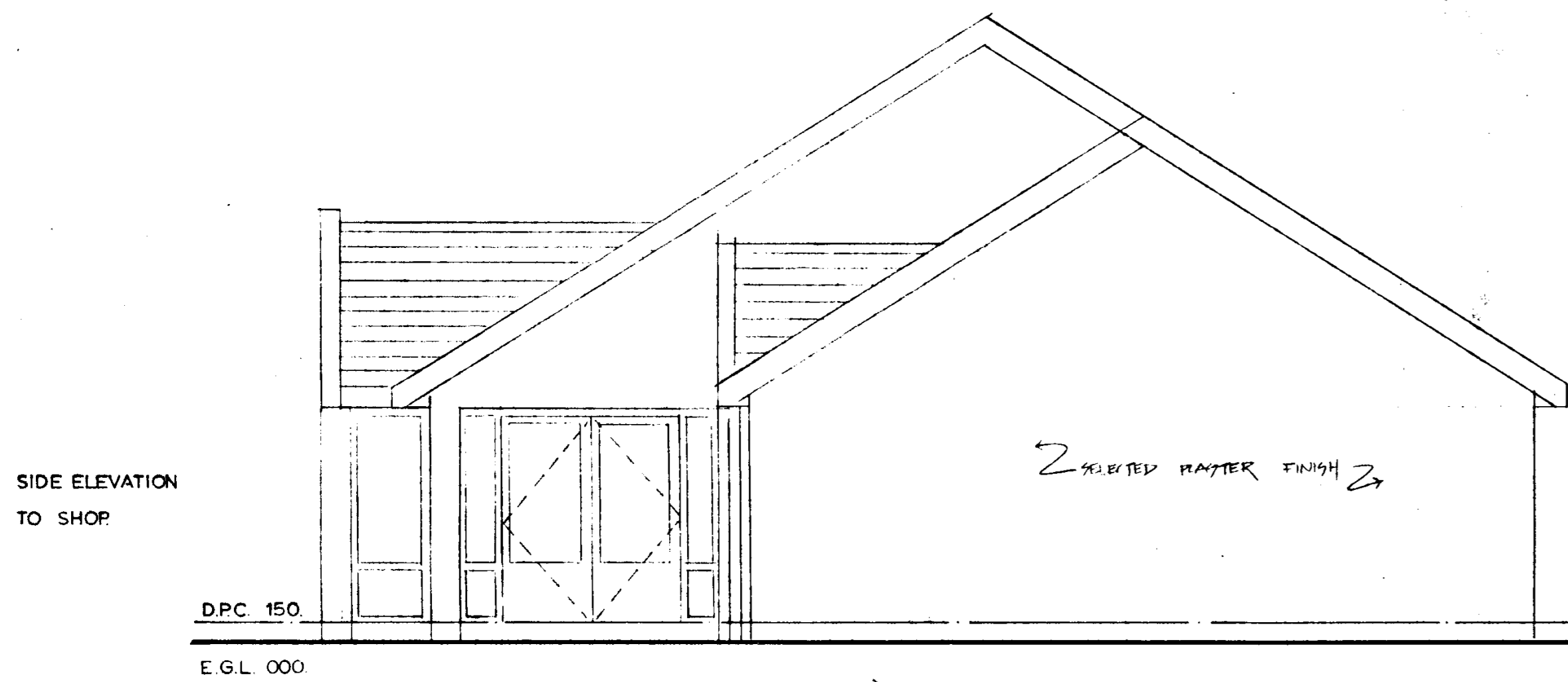
OR
 100MM BLOCK INNER AND
 EXTERNAL LEAFS PLASTERED
 100 MM CAVITY WITH FO
 INSULATED POLYSTYRENE
 INSULATION

WILSON COUNTY COUNCIL
 Planning Dept. Registered
 30 AUG 1991
 91A/1425



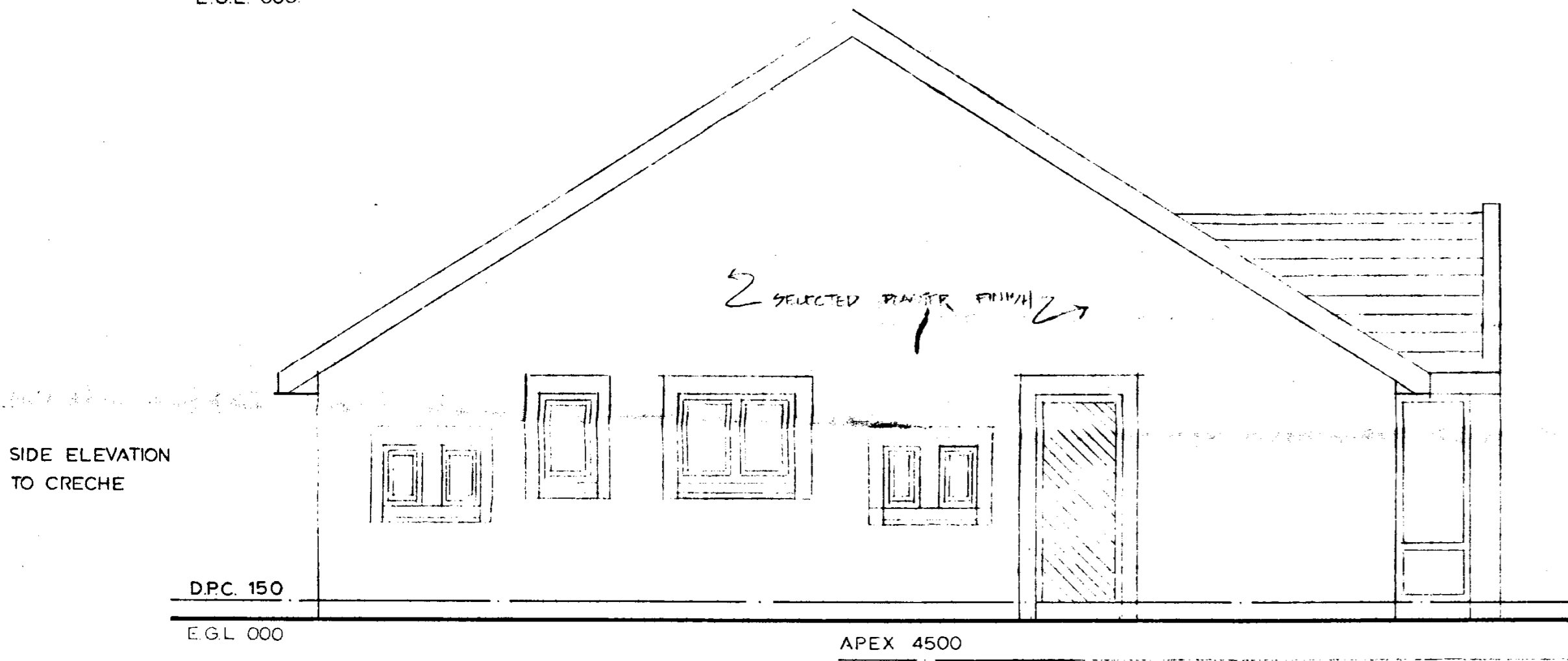
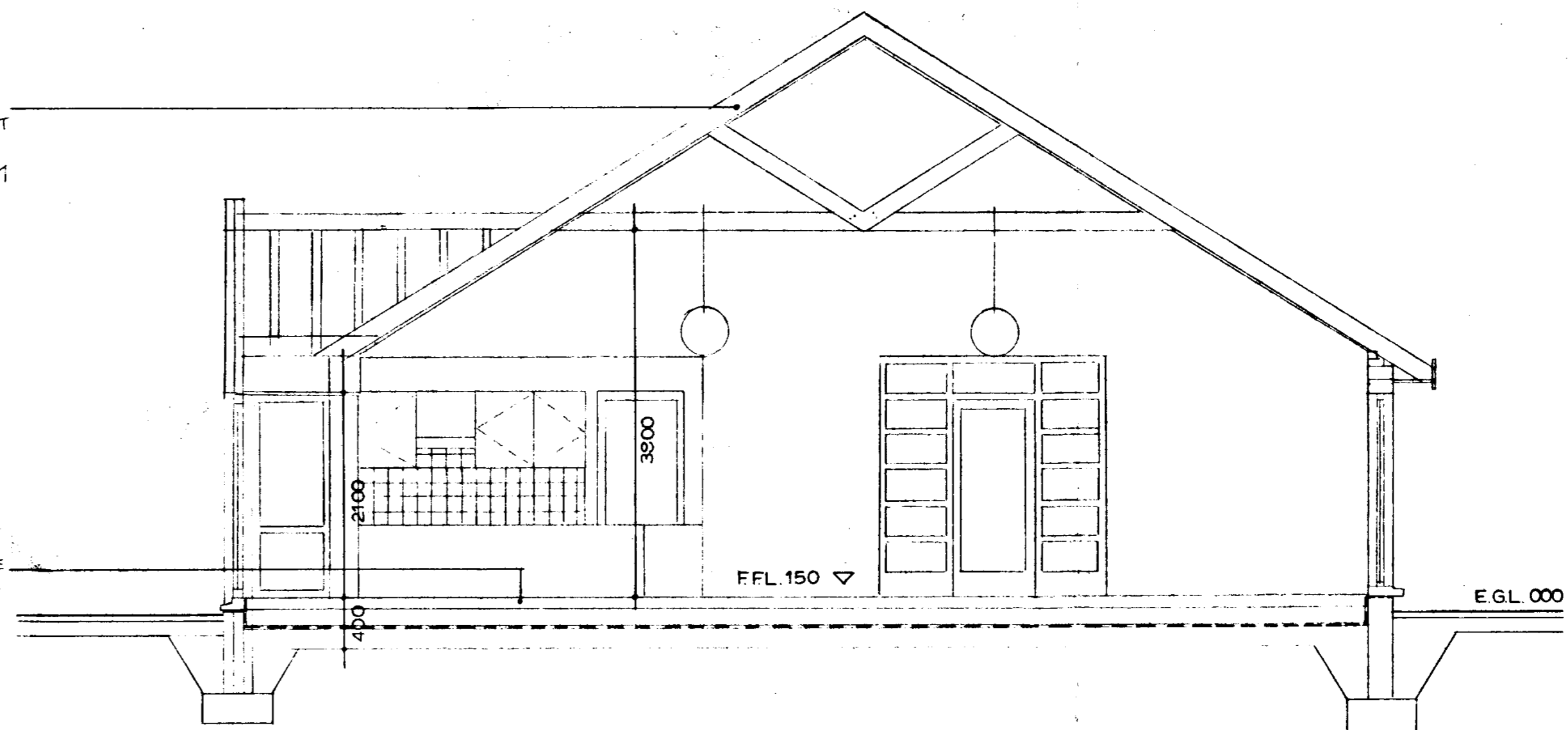
PP 30.08.91	drawn	date 29.08.91
	check	scale 1:50
	drawing	SHOP/CRECHE PLAN & FRONT ELEVATION
	Contract	FIRHOUSE, TALLAGH
	revisions	





SELECTED ROOF TILES ON 28 X 17
 SW. BATTEN ON SHAKING FELT
 ON SELECTED EXPOSED TIMBER
 RAFTERS AT 400 C.C. 50MM
 GUILT INSULATION BETWEEN
 RAFTERS. SELECTED TIMBER
 SHEATHING UNDER.

75MM SCREED ON 150 OVERSITE
 LAY. ON 150 ON 150 SAND
 BUILDING ON 150 HARDLORE



REVLAND ROOF TILES OR OTHER
 APPROVED TO MATCH HOMER

SELECTED H.W. DOORS AND
 WINDOWS

SELECTED PLASTER FINISH

EAVES 2250

D.P.C./FFL 150

FFL 000

SHOP UNIT

CRECHE

REAR ELEVATION

30 AUG 1991
 REG. NO. 91A 1425
 APPLICATION TYPE

Drawn	date	30 09 91
check	scale	1:50
drawing SHOP/CRECHE SECTION, ELEVATIONS		
contract FIRHOUSE, FINGLAS		
revisions		