

BYE LAW APPLICATION FEES

REF. NO.: 91A/1262 CERTIFICATE NO.: 159203

PROPOSAL: Bungalow

LOCATION: Chookling Bhattas

APPLICANT: M. Keogh

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>£55</u>	<u>£55</u>	<u>—</u>		
B	Domestic Ext. (Improvement/ Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 2/8/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

PLANNING APPLICATION FEES

Reg. Ref. 91A/1262

Cert. No. 26217

PROPOSAL Bungalow

LOCATION Crookling Bettas

APPLICANT M. Keogh

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32	£32	£32		
2	Domestic	@£16				
	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
	Metres	@£1.75 per m2 or £40				
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: Grade: Date:

Column 1 Endorsed: Signed: Grade: Date:

Columns 2, 3, 4, 5, 6 & 7 Certified: Signed: Grade: Date:

Columns 2, 3, 4, 5, 6 & 7 Endorsed: Signed: Grade: Date:

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1983 TO 1987

ASSESSMENT OF FINANCIAL CONTRIBUTION

REF.:

EXT. REG.:

SERVICES INVOLVED: WATER/FOOD SEWER/STORM WATER

AREA OF SITE:

LOCAL AREA OF PRESENT PROPOSAL:

MEASURED BY:

FIXED BY:

PERIOD OF ASSESSMENT:

TYPE ASSESSMENT

OWNER'S OFFICE NO: FY
DATED

WORK IN CONTRIBUTIONS REGISTER

DEVELOPMENT CONTROL ASSISTANT

geraldine Boothman

DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1262

Date : 31st July 1991

Development : Bungalow and septic tank

LOCATION : Crooksling, Brittas

Applicant : Matthew Keogh

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 31st July 1991

Attached is a copy of the application for the above development. Please ensure that your report is received within 5 weeks from 31st July 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

This proposal is unacceptable for
the following reasons.

1. Detailed plans of septic tank required.
2. Evidence of a ~~proper~~ adequate and potable water supply not submitted.
3. A detailed plan ~~of~~ showing the location of septic tanks, percolation areas, reserve percolation areas and wells in the adjoining sites not submitted.
4. No evidence of soil suitability for septic tank drainage.
5. The septic tank, percolation area and reserve percolation area are shown outside the site.

THE APPLICANT MR. MATTHEW KEOGH INFORMED ME THAT THIS ^{APPLICATION} ~~PROPOSAL~~ IS
being ~~look~~ sought for ~~the~~ Fergus Finn, his wife and children.

Gta Geraldine
for John O'Reilly J8110 26/9/91

Peter Warden 24/9/91

Geraldine Bookman

DUBLIN COUNTY COUNCIL

REG. REF: 91A-1262
DEVELOPMENT: Bungalow and septic tank.
LOCATION: Crooksling, Brittas.
APPLICANT: Matthew Keogh.
DATE LODGED: 31st July, 1991.



The proposal constitutes undesirable ribbon development on a substandard rural road, which will lead to a demand for the uneconomic provision of services and would set an undesirable precedent for further similar developments in the area.

If, however, permission is being granted, it should be subject to:-

1. All stormwater shall be disposed of to soakpits or natural watercourse within the site and shall not discharge onto the public road.
2. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
3. The boundary of site shall be set back 6 metres from the centreline of the existing carriageway. The strip between edge of carriageway and boundary to be levelled and grassed to County Council Standards.
4. Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.
5. A hard standing, measuring 10m x 3m, surface sealed to the satisfaction of the Area Engineer, Roads Maintenance shall be provided at the entrance to facilitate visiting vehicles.
6. Entrance to be located to the satisfaction of the Roads Engineer, Roads Planning Division.
7. Parking for two cars to be provided within the curtilage of the site with an adequate turning area.
8. All of the above works to be carried out at the developer's expense and to the satisfaction of Dublin County Council prior to the house being occupied.
9. A financial contribution, in the sum of money equivalent to the value of £800 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

GC/MM

27.8.91

SIGNED: Ganett Curran

ENDORSED: [Signature]

DATE: 27/8/91

DATE: 27/8/91

g.B.

DUBLIN COUNTY COUNCIL

REG. REF: 91A-1262
 DEVELOPMENT: Bungalow and septic tank.
 LOCATION: Crooksling, Brittas.
 APPLICANT: Matthew Keogh.
 DATE LODGED: 31st July, 1991.



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2. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
3. The boundary of site shall be set back 6 metres from the centreline of the existing carriageway. The strip between edge of carriageway and boundary to be levelled and grassed to County Council Standards.
4. Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.
5. A hard standing, measuring 10m x 3m, surface sealed to the satisfaction of the Area Engineer, Roads Maintenance shall be provided at the entrance to facilitate visiting vehicles.
6. Entrance to be located to the satisfaction of the Roads Engineer, Roads Planning Division.
7. Parking for two cars to be provided within the curtilage of the site with an adequate turning area.
8. All of the above works to be carried out at the developer's expense and to the satisfaction of Dublin County Council prior to the house being occupied.
9. A financial contribution, in the sum of money equivalent to the value of £800 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

1.2/ MM
 27.8.91

SIGNED: Janet Cunn

ENDORSED: h. H.

DATE: 27/8/91

DATE: 27/8/91

NO. 10
10.10.10

faoin threagra chun
(Reply to)

AN RÚNAÍ
(The Secretary)

faoin úimhir seo:—
(Quoting)



AN ROINN COSANTA
(Department of Defence)

TEACH NA PÁIRCE.
(Park House)

BAILE ÁTHA CLIATH, 7
(Dublin 7)

2/50719

Teileafón 01 771881 Ext. 2485

24 August, 1991.

Dear Sir,

Re: Planning Applications which might affect the use
of Casement Aerodrome, Baldonnel, Co. Dublin.

I am directed by the Minister for Defence to refer to applications:

91A/1262 - M. Keogh, Crooksling, Brittas.

91A/1255 - S. & D. Kelly, Ballymakelly, Newcastle.

91A/1282 - M. Farrell, Tootenhill Cottages, Rathcoole.

91A/1288 - M. Wall, Fortunestown Lane, Saggart.

91A/1310 - W. O'Reilly, Main Street, Newcastle.

No objection is seen to the proposed developments provided they do not exceed
11M in height above ground level.

Yours sincerely,

JOHN P. MORAN
EXECUTIVE OFFICER

The Secretary,
Dublin County Council,
Planning Department,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Crooksling, Brittas, for Matthew Keogh.

Michael Healy,
284 Orwell Park,
Templeogue,
Dublin 6W.

Reg. Ref.	91A/1262
Appl. Rec'd:	31/7/91
Floor Area:	200sq. m.
Site Area:	1 acre
Zoning:	'G'

Report of the Dublin Planning Officer, dated 24 September 1991

This is an application for PERMISSION for a bungalow and septic tank at Crooksling, Brittas. The applicant is Mr. M. Keogh.

The area in which the site is located is zoned with the objective "to protect and improve high amenity areas", - ('G').

The site area is stated to be 1 acre, and the floor area of the proposed dwelling 200sq. metres. The house type proposed is a single storey structure with a brick frontage and black roof tiles.

A report on file from Roads Department indicates that they find this ribbon development undesirable.

There is no report on file from Supervising Environmental Health Officer at the date of writing.

The planning history to this site is as follows:-

- TA.2193 - An application for a house on the adjoining site to the north was withdrawn. Applicant was Mr. G. Keenan.
- WA.561 - Outline Permission was granted for the adjoining site to the north. Applicant was Matthew Keogh.
- XA.806 - Approval was granted to G. Keenan for a house on the adjoining site to the north, subject to 9 conditions. Condition 8 required that a Sterilisation Agreement be entered into restricting from further development an adjoining area of 51 acres which including the present site. This sterilization Agreement formally lodged with the Planning Authority on 9th September, 1983 and sealed by the Council on the 2nd November, 1983.

Contd/.....

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed bungalow and septic tank at Crooksling, Brittas, for Matthew Keogh.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 for the following (3) Reasons:-

1. The site is located in an area zoned "G" in the Dublin County Development Plan, 1983. The applicant has not established to the satisfaction of the Planning Authority that the proposed development complies with the requirements as detailed in paragraph 2.26.4 of the Dublin County Development Plan and as such the proposal would materially contravene the zoning objective and thus be contrary to the proper planning and development of the area. *the materiality of a development objective of the Dublin Co. Development Plan 1983 for the use primarily of best lands to cater for high amenity purposes.*
2. The proposed development would contravene the Sterilization Agreement between the applicant and the County Council, sealed by the Council on 2nd November, 1983, and thus would contravene materially Condition No. 8 of the Planning Approval issued by Order PA. 1617/82, Reg. Ref. XA. 806.
3. The proposed development would contribute to undesirable ribbon development in the area which is served by a sub-standard road network and where there is an existing deficiency in the provision of piped water and sewerage facilities.

Endorsed: 
for Principal Officer


For Dublin Planning Officer

26.9.91

Order:- Pursuant to Section 26(1) to the Local Government (Planning and Development) Acts, 1963-1990 a decision to REFUSE PERMISSION for the above proposal is hereby made by the Council for the (3) reasons set out above and PERMISSION is REFUSED accordingly.

Dated: 22 September, 1991.


ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th September, 1991.

MICHAEL HEALY
ARCHITECT
284 ORWELL PARK
TEMPLEOGUE
DUBLIN 6W

PR.509309

DUBLIN CO.CO.
PLANNING DEPARTMENT
BLOCK 2 IRISH LIFE CENTRE
LR. ABBEY STREET
DUBLIN 1.

03.10.91.

RE: BUNGALOW AT CROOKSLING BRITTAS for MATTHEW KEOGH.
YOUR REF 91A / 1262

DEAR SIRs

WE WISH TO WITHDRAW THE ABOVE APPLICATION FOR BUILDING BYE LAW
APPROVAL. THE REASON FOR THIS IS THAT IT WAS REFUSED PLANNING
PERMISSION. WE WILL MAKE ANOTHER APPLICATION THIS MONTH AND
TRANSFER THE FEE TO THE NEW APPLICATION. Receipt no.45417.

THANKING YOU

Michael Healy

MICHAEL HEALY
ARCHITECT.

C.C. BUILDING CONTROL DEPARTMENT
LIPFEY HOUSE
TARA STREET
DUBLIN 1

DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,
BLOCK 2,
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1.

NOTIFICATION OF A DECISION TO REFUSE:

~~OUTLINE PERMISSION~~ PERMISSION: ~~REFUSAL~~

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1983

To Michael Healy,
284 Orwell Park,
Templeogue,
Dublin 6W,
Register Reference No. 91A/1262
Planning Control No.
Application Received 31.07.1991
Additional Information Received

Applicant Matthew Keogh.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order, P/ 4536/91 dated 26.09.1991 decided to refuse:

~~OUTLINE PERMISSION~~

PERMISSION

For proposed bungalow and septic tank at Crooksling, Brittas.

for the following reasons:

1. The site is located in an area zoned "G" in the Dublin County Development Plan, 1983. The applicant has not established to the satisfaction of the Planning Authority that the proposed development complies with the requirements as detailed in paragraph 2.26.4 of the Dublin County Development Plan and as such the proposal would materially contravene materially a development objective of the Dublin County Development Plan, 1983, for the use primarily of these lands to cater for high amenity purposes.
2. The proposed development would contravene the Sterilization Agreement between the applicant and the County Council, sealed by the Council on 2nd November, 1983, and thus would contravene materially Condition No. 8 of the Planning Approval issued by Order PA. 1617/82, Reg. Ref. XA. 806.
3. The proposed development would contribute to undesirable ribbon development in the area which is served by a sub-standard road network and where there is an existing deficiency in the provision of piped water and sewerage facilities.

Signed on behalf of the Dublin County Council

for PRINCIPAL OFFICER

Date

26th September, 1991.

IMPORTANT:

NOTE: (1) An appeal against the decision may be made to An Bord Pleanála. The applicant may appeal within one month from the date of receipt by him of this notification. The appeal shall be in writing and shall state the subject matter of the appeal and grounds of appeal and should be addressed to An Bord Pleanála, Irish Life Centre, Lower Abbey Street, Dublin 1. An appeal lodged by an applicant or his agent with An Bord Pleanála will be invalid unless accompanied by a fee of £36. (Thirty-six pounds). (2) A party to an appeal making a request to An Bord Pleanála for an oral hearing of an appeal must, in addition to (1) above, pay to An Bord Pleanála a fee of £36. (Thirty-six pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten pounds) to An Bord Pleanála in relation to an appeal. When an appeal has been duly made and has not been withdrawn, An Bord Pleanála will determine the application for permission as if it had been made to them in the first instance.

FORM G — FUTURE PRINT LT

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/1262

Date : 31st July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Bungalow and septic tank

LOCATION : Crooksling, Brittas

APPLICANT : Matthew Keogh

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 31st July 1991.

Yours faithfully,

.....
for PRINCIPAL OFFICER

Michael Healy,
284 Orwell Park,
Templeogue,
Dublin 6W.

COMHAIRLE CHONTAE ATHA CLIATH
(DUBLIN COUNTY COUNCIL)

DUBLIN PLANNING OFFICE
BLOCK 2
IRISH LIFE CENTRE,
LR. ABBEY STREET,
DUBLIN 1
Telephone 724755

PLANNING APPLICATION FORM

1. Location of proposed development CROOKSLING
Postal address of Site or Building (if none, give description sufficient to identify and quote ordnance sheet reference) BRITTAS
CO DUBLIN
2. Name of applicant MATTHEW KEOGH Tel. No. 55 N 4547
Address of applicant CROOKSLING BRITTAS CO DUBLIN
3. State applicant's interest in site (i.e. freehold, leasehold etc.) FREEHOLD
4. Name and address of person responsible for preparation of plans. MICHAEL HEALY Tel. No. 509309
284 ORWELL PARK TEMPLEOGUE DUBLIN
5. Address to which notifications should be sent. 284 ORWELL PARK TEMPLEOGUE DUBLIN
6. Brief description of proposed development including the purpose for which the lands (and/or buildings) are to be used. If for more than one purpose give details. PROPOSED BUNGALOW
132 3/7
N 44378
7. Method of Drainage TO SEPTIC TANK
8. Source of water supply FROM WELL
9. (a) Floor area of proposed development 200 ~~sq.~~ (gross) sq. metres (b) Area of site LARGE
10. Does the proposal involve:-
(a) Demolition or partial demolition of any habitable house HOUSE IS ALREADY DEMOLISHED
(b) Use otherwise than for human habitation of any habitable house NO
11. If application is in respect of a material change of use, state:-
(a) Present use(s) or use(s) when last used
(b) Proposed use(s)
12. L^{ic} CO. DUBLIN - Permission sought for bungalow and septic tank at Crooksling, Brittas for Matthew Keogh. Application 4 Sets of drawings + Fees
4 Specifications + Newspaper
13. Other relevant details MR KEOGH OWNS OVER 40 ACRES
14. Signature of applicant (or his agent) Michael Healy Date 30/7/91

FOR OFFICE USE ONLY

Application type

P/B

Date acknowledged

9/8/1262

Register Reference

File Reference

2120

LOCAL GOVERNMENT (Planning & Development) ACTS,

1963 & 1976

REQUIREMENTS OF APPLICATIONS FOR PLANNING PERMISSION UNDER THE ABOVE ACTS AND APPROVAL UNDER THE BUILDING BYE LAWS

- (a) Name and address of applicant.
- (b) Particulars of applicant's interest in the land or structure.
- (c) The page of a newspaper normally circulating in the area in which the land or structure is situated containing public notice of intention to apply for permission. The newspaper advertisement should state after the heading 'CO. DUBLIN'—
 - (i) the address of the structure or the location of the land.
 - (ii) the nature and extent of the development proposed.
 - (iii) the name of the applicant.

N.B.—Applications must be received within 2 weeks from date of publication of the newspaper advertisement.

- (d) FOUR COPIES of plans which must include the following:
 - (i) Site Location Map (scale 1 : 2500) showing the location of the proposal in relation to existing properties and landmarks and outlining the boundaries of the site in colour. The north point should be indicated on this map.
 - (ii) Structural drawings (comprising plan elevations and cross section) to a scale not less than 1/8" to one foot showing new work coloured or otherwise distinguished. Proposed and existing drainage to be shown on this drawing.
 - (iii) Block plan showing the proposed structure in relation to adjoining buildings. Proposed and existing services to be shown on this drawing.
 - (iv) Details of type and location of septic tank (if applicable), see note below.
 - (v) Name and address of person responsible for preparation of plans.
 - (vi) Specification of materials being used.

- (e) Applications should be addressed to:

DUBLIN COUNTY COUNCIL
PLANNING DEPARTMENT
BLOCK 2
IRISH LIFE CENTRE
LR. ABBEY STREET, DUBLIN 1

NOTES

- * **OUTLINE PERMISSION:** Applications for Outline Permission in general need only comply with requirements (a) to (d) (i) above, and submit a description of the development proposed together with information regarding proposed water supply and method of drainage. Outline permission, if granted, is subject to subsequent Approval of detailed plans by the Planning Authority. The requirements of applications for Approval are those at (a) to (d) above.
- * **SEPTIC TANK DRAINAGE:** Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks should be located at least:
 - (i) 60 feet from nearest house, or public road.
 - (ii) 40 feet from nearest boundary ditch or fence.
 - (iii) 150 feet from nearest source of potable water supply.
 - (iv) At least 200 feet from any existing or proposed septic tank.
- * **HOUSING ACT 1969:** Where a development proposal would involve the demolition or partial demolition of any habitable house or the use otherwise than for human habitation or any habitable house permission must first be obtained from the Housing Authority (Housing Dept., Dublin County Council, 5, Gardiner Row)
- * **BUILDING BYE LAW APPROVAL:** Applications for planning permission and approval are also considered under the Council's Building Bye Laws.

INDUSTRIAL DEVELOPMENT: The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees (male and female). Details of trade effluents, if any, should be submitted with all applications in respect of industrial development.

Applicants are advised to ensure that where appropriate they comply in full with the requirements of the Local Government (Water Pollution) Act 1977. Attention is drawn in particular to the licencing provision of Sections 4 and 16.

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

EYE LAW APPLICATION

REC No N-45417

£55-00

31st

day of

July

1991

Received this

from

Collette Healy

the sum of

fifty five

Pounds

Pence, being

66/10

Application at Cookstown, Bally

Class A

Michael O'Leary

Cashier

S. CAREY
Principal Officer

+ 4652

COMHAIRLE CHONTAE ATHA CLIATH

RECEIPT CODE

PAID BY DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

This receipt is not an
acknowledgement that the fee
tendered is the prescribed certification
fee.

N-44378

Received this

31st

day of

July

1997

from

Mr. Hume Hoal

The sum of

Three Pounds

Pounds

Pence, being

No. 2 Planning

application at Crookslins, Ballyas

Michael J. Hume

Cashier

S. CAREY

Principal Officer

4050

MICHAEL HEALY
ARCHITECT
284 ORWELL PARK
DUBLIN 6 W.
PHONE 509309



30th/7/91

Dear Sirs,

Enclosed please find 4 copies of drawings etc. for Planning Permission and Building Bye Law Approval for Bungalow for Mr M. Keogh.

Mr Keogh has over 40 acres of land on this site so he is in a position to move the septic tank or percolation area as may be required to obtain Planning Permission or Building Bye Law Approval.

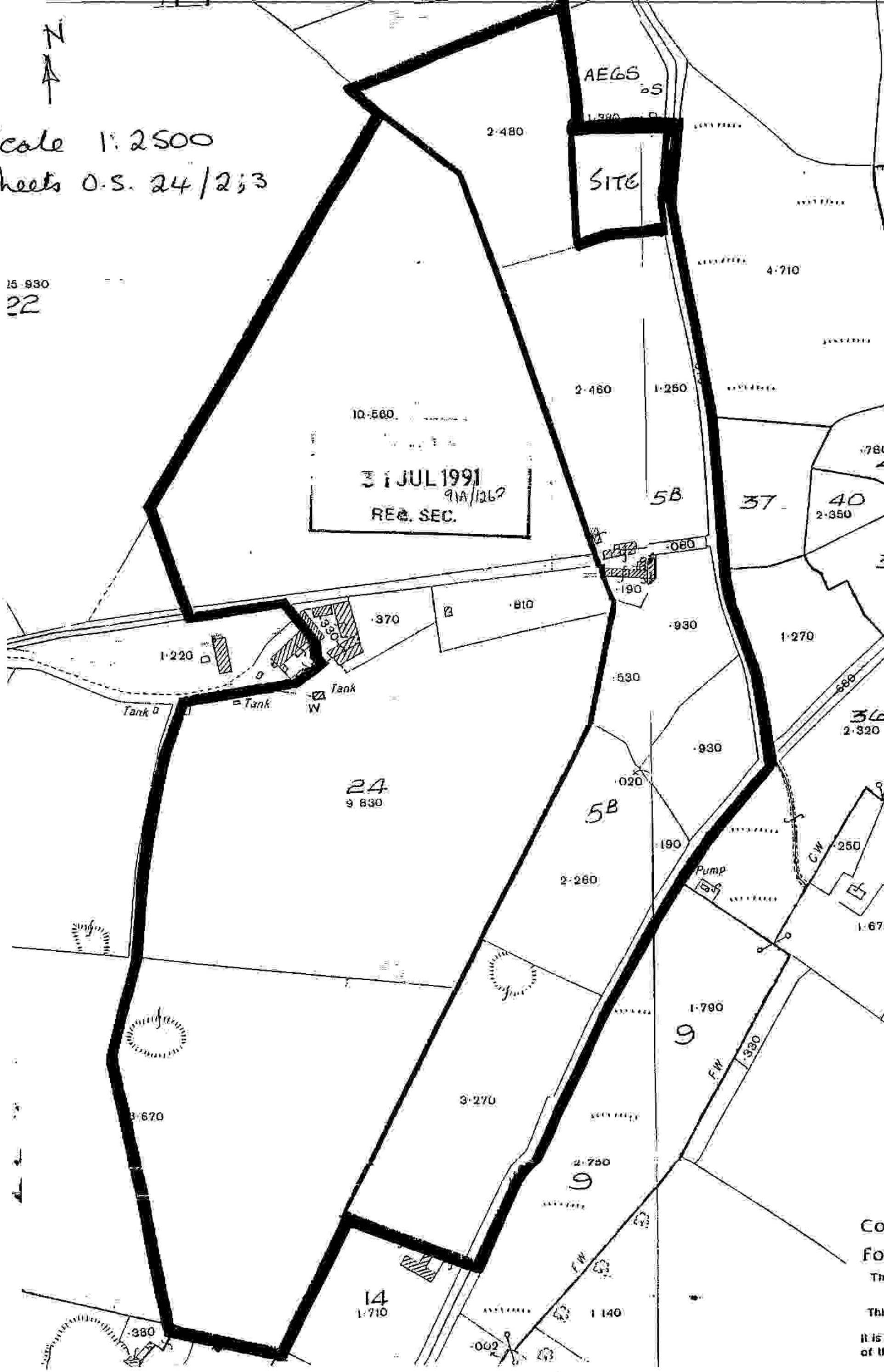
Should you require any further information please do not hesitate to contact me.

Yours faithfully
Michael Healy.



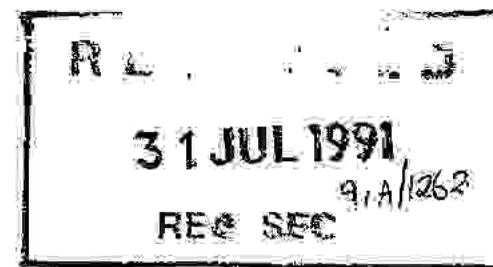
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P R E L I M I N A R I E S



LOWEST TENDER:

1. The employers do not bind themselves to accept the lowest or any other tender. No Contractor will be remunerated for any trouble or expenses he may have incurred in making up his tender.

SITE:

2. The Contractor tendering shall be deemed to have made a thorough examination of the Drawings, Specification, the site and all features thereof, adjoining buildings, or other things affecting the proposed works to ascertain precisely the nature and extent of same; and the conditions under which they will have to be executed and the Contractors shall generally obtain their own information on all matters which can in any way influence their tenders.

PROVIDE EVERYTHING:

3. The Contractor shall provide everything necessary for the proper execution of the works according to the Drawings and Specification.

DESCRIPTIONS AND
PARTICULARS:

4. Any description of particulars written upon the Drawings shall be equally binding, as if contained in the Specification.

Should there appear on the Drawings any work not described in the Specification it shall be executed as if it were contained in the Drawings and Specification. In the case of discrepancy between these documents the Architect shall decide which instruction shall be followed.

DIRECTIONS OF THE
ARCHITECT:

5. All directions of the Architect or any person nominated by him shall at all times be strictly and immediately attended to by the Contractor.

SATISFACTION OF
THE ARCHITECT:

6. All works shall be completed to the entire satisfaction of the Architect, whose award in all things relating to the work, the quality of the materials and workmanship shall be binding on the Contractor, final and without appeal.

EXTRA DOCUMENTS:

7. The Contractor shall supply all necessary copies of the Drawings and Specifications. Two sets only shall be given to the Contractor by the Architect. All Drawings and Specifications and copies thereof shall be returned to the Architect on completion of the works. A complete set of Drawings and Specifications shall be kept on the site for reference or examination by the Architect or his Nominee.

DETAILS:

8. Detail drawings shall be supplied for certain parts of the construction. Contractors shall give at least one week's notice before such drawings will be required.

PLANT:

9. Provide all and every kind of scaffolding platforms, ladders and everything else in the nature of plant. The scaffolding and plant used on the works throughout shall be of the safest and approved make.

LABOUR:

10. Trade Union conditions and rates of wages as operating in the districts shall be recognised.

MATERIALS:

11. All materials and goods shall be of approved origin and manufacture, and obtained from a local source unless otherwise specifically

directed, and shall conform to the latest B.S.S. and I.S.S.

ORDER OF WORKS:

12. The Contractor shall be required to carry out the work at such times and in such order as the Architect directs.

SETTING OUT OF WORK:

13. The Contractor shall set out and keep correct the works. Errors in setting out shall be put right at the Contractors own expenses, including all consequential work.

ATTENDANCE:

14. Allow for each trade attending upon all other trades.

INCLEMENT WEATHER:

15. Protect the works from inclement weather as directed or necessary including the covering of walls, concrete or other materials requiring same: supply all requisite watershoots, temporary screens to opes, etc. and make good any damage incurred by inclement weather.

STORAGE OF MATERIALS:

16. All materials shall be carefully stacked and kept neat and tidy in weatherproof sheds on an approved position on the site.

FOREMAN:

17. Keep a competent Foreman constantly on the works. He shall keep accurate measurements of excavations, concrete etc., and shall furnish all required particulars to the Architect when demanded.

EXTRA WORK:

18. If any extra work be ordered by the Architect, the Contractor shall furnish a separate estimate in writing, which shall be confirmed or signed by the Architect, his Nominee, or Employers before executing. No extra work shall otherwise be charged against the Employers.

OTHER INSURANCES:

19. All the Contractor's workmen shall be fully insured under the Employer's Liability, National Health & Workmen's Compensation Acts in force at any time during the carrying out of the Contract. The Contractor shall further cover by insurance all Third Party risks whatsoever, and shall indemnify the Employers against any claim arising therefrom.

WATER AND REMOVAL OF
SITE WATER:

20. The Contractor shall supply all necessary clean fresh water for the works, including all temporary plumbing required. The Contractor shall also be responsible for all pumping etc., required to keep trenches, or any other portions of the site clear of surface water, rain water, springs etc., and no accumulation of water will be permitted upon the site.

MAKE GOOD DAMAGE:

21. Any damage to other buildings property, premises or adjoining premises shall be made good by the Contractor at his own expense.

TESTING:

22. The Contractor shall provide all fees for testing of materials, also all materials and labour for resting on the site when and as required by the Architect.

RUBBISH:

23. Clear away all dirt, rubbish, offensive matter and superfluous materials from time to time as they accumulate, and thoroughly at completion of the Contract.

LEAVE TIDY:

24. Leave tidy and clean at completion and make good all damage and wash all floors, fittings and windows.

MAINTENANCE:

25. The Contractor shall be responsible for the entire work for a period of six months immediately following the handing over of the works, during which time any defects arising as a result of poor or defective materials, or workmanship shall be made good by the Contractor to the satisfaction of the Architect, without any charge to the Employer.

PAYMENT:

26. Payment shall only be made to the Contractor on the written certificate of the Architect.
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EXCAVATORGENERAL:

1. The trenches for the foundations of the building shall be excavated to several depths indicated upon the drawings or to such greater depths as may be required to obtain a solid stratum for the foundations: trenches throughout to be finished in perfectly level lengths and sufficiently wide to admit the foundations being properly formed.

The earth shall be back filled and rammed around the foundations when the rising walls are built to damp course level.

PLANKING AND SHUTTERING:

2. Provide all necessary planking and shuttering and keep trenches free from water.

GRUB UP:

3. Grub up old roots, foundations, drains, trees, or any other obstructions etc. met during the course of the work, and leave site completely free of obstructions as directed.

HARD FILLING:

4. Provide approved hard filling as required, free from dust or large lumps, well wetted and consolidated by ramming to make up solid under floors to required levels and to receive finished as indicated upon the drawings.

APPROVAL OF TRENCHES:

5. The Contractor shall inform the Architect when all trenches, pier holes etc. are ready to receive foundations. Such approval must be received before any building work is commenced.

CONCRETE AND REINFORCED CONCRETECEMENT:

1. Cement shall be best normal setting Portland cement, complying with the latest Irish Standard Specification in every way and used under sound conditions.

COARSE AGGREGATE:

2. The coarse aggregate shall consist of natural gravel, crushed gravel or crushed stone. It shall be clean and hard, free from loam, organic matter or other impurities, and suitably graded. The coarse aggregate for mixture 'A' concrete shall be graded to a maximum size of 25MM

The coarse aggregate for mixture 'B' concrete shall be similar to the above, but shall be suitably graded to a size of 20MM. This aggregate should be free from flat or elongated particles as well as clay and silt, and shall

be washed, if directed by the Architect.

SAND:

3. Sand is to be clean river or pit sand, and shall be washed, if required.

WATER:

4. Mixing water shall be clean and free from acids, vegetable matter etc. Only water fit for drinking shall be used.

REINFORCED CONCRETE:

5. Mixture 'B' concrete shall be used for all reinforced concrete work.

STORAGE:

6. Cement and aggregate shall be stored at the site in such a manner to prevent deterioration. Any materials deteriorated or damaged shall be removed from the site.

FROST:

7. No concreting shall be done during frosty weather, except with the written permission of the Architect. When there is a risk of frost, newly placed concrete shall be covered and protected from the weather.

COMPOSITION OF CONCRETE:

8. The composition of the concrete shall be as follows:-

MIXTURE 'A'

- 1 part cement
- 3½ parts sand
- 6 parts coarse aggregate

MIXTURE 'B'

- 1 part cement
- 2 parts sand
- 4 parts coarse aggregate

Mixture 'A' is to be used for foundations, site concrete and all mass concrete work.

Mixture 'B' to be used for all reinforced concrete.

MIXING:

9. All concrete shall be thoroughly mixed on a clean boarded platform or hard floor, three times dry and three times wet, as required for immediate use. When machine mixed, each batch shall be mixed for at least three minutes after all materials have been placed in the machine.

PLACING:

10. Immediately after mixing, concrete to be carefully placed and thoroughly tamped. No more than 30 minutes shall elapse between mixing and final placing, care being taken not to displace any reinforcement.

CONCRETE BLOCKS:

11. All concrete blocks shall be machine made or manufactured by Concrete Products of Ireland, Clondalkin, Co. Dublin, or any other firm approved by the Architect. All blocks to be absolutely square, plumb and are to have sharp arrises, true to size and without twist.

JOINTING OF CONCRETE:

12. When concrete work is resumed, surfaces shall be thoroughly brushed clean, wetted and grouted with cement and sand slurry -1 -1 mixture.

STRIKING FORMS:

13. Under no circumstances shall any temporary casing or shuttering be removed before ample time has been left for concrete to set. Two to three days shall be allowed for vertical walling and two to three weeks for propping to beams.

BOLT HOLES:

14. All bolt holes shall be carefully plugged up solid in cement and sand as shuttering

and casing are removed. Tying wires shall be cut out.

RE USE OF SET CONCRETE:

15. No concrete which has commenced to set shall be used or mixed with any other concrete, but if approved by the Architect may be used for hard filling.

CURING:

16. The surface of cement floors and pavings shall be kept moist for a period of one week after placing.

FORMWORK:

17. Formwork shall be of an approval patent type or of 25 wrot timber casings, having strong supports accurately plumbed, carefully aligned, levelled and wired, as requisite. It shall be free from sagging, bulges or twists, slightly damped before placing, and so constructed as to be equally stripped without shaking the concrete.

FOUNDATIONS AND RISING

WALLS:

18. Form foundations to the several sizes as indicated on the plans and sections, in mixture 'A' concrete, and construct rising walls in mixture 'B' concrete (4:2:1) and carry up to ground level.

CONCRETE LINTELS:

19. Form concrete lintels in mixture 'B' concrete to all opes as shown, reinforcement as specified hereinafter with 225 bearing each end, and not less than 225 deep.

SILLS:

20. Cast fine concrete sills to all windows 75 thick and wrap in heavy duty D.P.C., as shown on sections.

SOLID FLOORS:

21. The solid floors to be a sandwich floor with 150 concrete, 20mm Asphalt D.P.C. and a concrete screed to receive flooring as shown on the drawings.

BLOCKLAYER: BRICKLAYERGENERAL:

1. All walls shall be properly bonded and accurately plumbed thoroughly with each course carefully levelled and uniformly brought up so that no portion at any period rises more than 900 above another portion.

SAND FOR MORTAR:

2. Sand for mortar shall be as hereinbefore specified, for concrete work.

LIME:

3. All lime must be to standard specification and supplied from an approved source. The grey lime shall be lump lime free from under burned particles. Hydrated lime may be used.

MORTAR:

4. Mortar for block laying shall be cement gauged lime mortar, gauged in the proportions of 1:2:9 of cement, lime and sand respectively.

CHASES:

5. Leave or form chases for , cut verticle chases for ends of partitons, and provide all necessary chases for pipes, conduits, etc.

RAKE OUT JOINTS:

6. Rake out joints for pointing, and enlarge joints where necessary to take flashings or any such finishes.

BED FRAMES:

7. Bed all door and window frames solid in sand and cement, and point in mortar where exposed.

ATTENDANCE:

8. Cut away etc., as required, and make good after all trades.

PARTITIONS:

9. Internal partitions to be of 1/2 concrete block construction, in the positions indicated on the drawings. Partitions to be well bonded to the external construction.

BEAM FILLING:

10. Execute beam filling to all walls carrying beams.

VENTS:

11. Provide and build in approved 225 x 75 galvanised metal vents in positions shown on Drawings.

CHASES IN WALLS:

12. Cut or leave chases in wall faces for any requisite bonding and all electrical and plumbing work, and make good.

DAMP PROOF COURSE:

13. Lay the full width to all wall leaves and partitions, 150 minimum above ground level, heavy duty reinforced bitumenous felt damp proof course lapped at least 150 at all joints, and full lap at corners. Lay also similar D.P.C. to be also provided over window and door heads in external walls. Provide tanking, if required, to walls and floors under D.P.C. level.
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CARPENTER AND JOINER:MATERIALS:

1. All materials for carpentry and joinery work are to be the best of their respective kinds, free from large or loose knots, shakes, waney edges and sap; with close annual rings, good colour and sawn square.

All timbers are to be approved by the Architect or his Nominee and obtained from an approved firm. Any plywood or other sheet timber to be of good quality and cut from standard sheets.

JOINERY WORK:

2. All joinery work shall be wrot and finished according to the drawings and details with a clean, even smooth face. Work shall be prepared and framed up as soon as possible after the receipt of detail drawings so as to avoid any delay during the work. All joinery work which may split, fracture, shrink, part in the joints or show faults, defects, or unsoundness, want of seasoning or bad workmanship, shall be removed and replaced with new materials at the Contractor's own expense.

JOINING:

3. All external exposed joinery work, door, window, frames etc., shall have all joints, tenons, mortices, tongues, grooves etc., painted over with a thick mixture of white lead and oil, before framing up, and so be made perfectly watertight.

FIXING JOINERY:

4. All joinery shall be securely fixed to structure, to breeze concrete fixing bricks built in as walling proceeds, not more than

900 apart, horizontally or vertically.
All frames shall be wedged down from the underside of the lintols by folding wedges, the lowest of each pair being fixed to the frames.

FRAMING:

5. The work 'Framed' shall include all the best methods of jointed woodwork together with mortice and tenon, dovetail wedging etc., any mouldings shall be mitred and scribed as required at joints.

PRESERVATIVE:

6. All build-in timber shall be thoroughly treated with approved preservative, care being taken not to coat adjoining work.

PROTECTION OF WORK:

7. Protect all timber work, floors etc., after it has been fixed in position, and keep free from mortar and plaster droppings likely to cause damage. Any floor or timber damaged after being fixed will be replaced by the Contractor without further cost to the Employer.

TREATMENT FOR TIMBER:

8. All wall plates, boarding, joints, studding etc., to be treated with a patent protective treatment - 'Protimised' timbers may be obtained from suppliers.

STUD PARTITIONS:

9. Construct stud partitions in the positions indicated upon the plans, to the various sizes indicated. Generally, studs to be 112 x 50 or 75 x 50 with 112 x 75 sole piece and head. Partitions to be braced with nogging pieces every 6'0" vertically.

MAT SINKING:

10. Provide mat sinking in the position indicated on the Drawing and trim the floor finish with brass angel framing.

INTERNAL DOORS:

11. Internal doors to be standard 'Flush Doors'.

12. _____

HANDRAIL:

13. Mahogany handrail to balustrade as detailed.

ARCHITRAVES:

14. Architraves to all internal doors to be out of 75 x 25mm

DOOR SADDLES:

15. Provide where shown to internal doors 20mm hardwood splayed door saddles projecting 50 beyond face of the Architraves.

SKIRTING:

16. Skirtings to be out of 100 x 25, fixed to rough grounds and well jointed to architraves.

FIXING PLUGS:

17. Provide all fixing plugs, grounds etc. for joinery work and creasote same.

WINDOW BOARDS:

18. One inch deal window boards are to be fixed in position well jointed to timber sub frames, and scribed to jambs of opes, and fastened to grounds in concrete sill.

EXTERNAL DOOR:

18. Door unit to be constructed as per detailed and fixed in the position indicated.

PELMETS & CURTAIN RAILS:

20. Provide and fix teimber pelmets to all windows with ends and heads, and securely fixed to walls. An approved curtain rail to be supplied and fixed by the Contractor.

BUILT IN CUPBOARDS:

21. All built-in cupboards are to be constructed in the positions shown on the drawings, and to be framed up with the best quality timber and methods, in accordance with detail drawings, and to be provided with all necessary door furniture finished as selected. Handles to be as manufactured by Messrs. Dryad or similar, and complete with cupboard catches.

INSULATION:

22. Provide fibre glass insulation to pipes as shown on drawings.
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REINFORCEMENT:

1. All reinforcement as shown on the drawings shall be mild steel bars as follows:-
 - A. Lintels over internal doors to have minimum 225 depth with No.2 10 bars.
 - B. Foundations to be reinforced with No. 3 12 bars, as shown on drawing.
 2. Provide 225 x 75 galvanised louvred ventilators to all vent passages.
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PLASTERERLIME:

1. Lime shall be best hydrated lime obtained from an approved manufacturer.

FINE SAND:

2. Shall be as hereinbefore specified.

CEMENT:

3. Shall be as hereinbefore specified.

INTERNAL PLASTERING:

4. Internal walls shall be scudded as before, rendered 3:1 sand and cement, and skimmed in hardwall plaster returned on reveals with slightly rounded arrises. All stud partitions and ceilings to be sheathed with patent plaster boarding and skimmed with hardwall plaster.

Expanded metal and/or scrim to be used, where necessary.

DEFECTS:

5. All work which blows or cracks shall be cut out and re-plastered without delay, at the Contractor's own expense. Fine cracks shall be strapped with scrim and stopped in plaster, also all holes or chases by the electrician, plumber, etc., and the whole of the work left in perfect order.
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GLAZIERGENERAL:

1. All glass shall be best quality, free from bubbles and flaws, cut true to size, without splintered edges and free from defects.
-

ELECTRICIANGENERAL:

1. All the works shall be carried out by qualified electricians to the satisfaction of insurance and to the specification of the I.E.E. and E.S.B. so far as it applies in the Republic of Ireland and in accordance

with details shown on lighting plan.

2. The Contractor shall include for all labours, materials, expenses, superintendence, cables, wires, conductors, switch boxes, wall and ceiling sockets and all requisite materials.

SWITCHES:

3. Flush type tumbler pattern approved by the Architect.

WALL SOCKETS:

4. 15 Amp. three pin, flush type shall be used in all rooms and shall be fully earthed.

TESTING:

5. All wiring to be concealed in walls and to be run in screwed galvanised conduit, and on completion, continuity and insulation tests between conductors and earth, at not less than double the working pressure of the installation and leave perfect on completion.

FUSEBOARD: FUSES

6. The circuits are to be as follows:-

Lighting

Not more than 7 lighting points per circuit.

Power

Not more than two points per circuit.

Power

Not more than two points per circuit.

PAINTER AND DECORATOR

WORKMEN:

1. None other than skilled workmen are to be employed.

MATERIALS:

2. All paints, varnishes and other materials are to be the best of their respective kinds and supplied in sealed containers by approved firms. A list of paints and manufacturers are hereinafter specified and the materials are to be used strictly in accordance with the maker's instructions.

WEATHER:

3. No painting or exterior work is to be carried out during damp or foggy weather or upon surfaces that are not thoroughly dry.

DUST:

4. Before painting or decorating, floors are to be thoroughly washed and every precaution taken to avoid dust. The whole of the works to be left clean on completion and all windows and glass work cleaned thoroughly.

CEMENT AND PLASTER:

5. All defective plaster to be cut out and made good with sound plaster. Large cracks to be cut out with edges undercut and filled with Keenes or other approved cement.

PRIMING:

6. All woodwork to be properly primed before being fixed in position and knotted.
7. All woodwork to be properly coated, two coats undercoat to be pumiced smooth and clean before application of subsequent coat.

WALLS AND CEILINGS:

8. Internal wall surfaces and ceilings in rooms and corridor, to be finished with three coats emulsion paint to approved shades. First coat of emulsion to be thinned three parts emulsion, one part emulsion thinners.