

BYE LAW APPLICATION FEES

REF. NO.: 91A/1257 CERTIFICATE NO.: 15923B

PROPOSAL: Extension alterations + change of use

LOCATION: Unit 74 Boicetown Industrial Estate Tallaght

APPLICANT: Tara Meats Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/ Alts.)	@ £30					
C	Building for office or other comm. purpose <u>973.61m²</u>	@ £3.50 per M ² or £70	<u>3164</u>	<u>3164</u>			
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: 302D/17 Date: 18.8.01

Column 1 Endorsed: Signed: [Signature] Grade: Date: 2/8/91

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 2/8/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: Grade: Date:

PLANNING APPLICATION FEES

Reg. Ref. 91A/1257 Cert. No. 26217

PROPOSAL... Extension + change of use

LOCATION... Unit 74 Cookstons Industrial Estate, Tallaght

APPLICANT... Tara Metals Ltd

CLASS	DWELLINGS/AREA LENGTH/STRUCT.	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID
1	Dwellings	@£32				
2	Domestic,	@£16				
3	Agriculture	@50p per m2 in excess of 300m2. Min. £40				
4	<u>1250 m²</u> Metres	@£1.75 per m2 or £40	<u>2201.50</u>	<u>2229.25</u>	<u>27.75</u>	<u>acknowledged</u>
5	x .1 hect.	@£25 per .1 hect. or £250				
6	x .1 hect.	@£25 per .1 hect. or £40				
7	x .1 hect.	@£25 per .1 hect. or £100				
8		@£100				
9	x metres	@£10 per m2 or £40				
10	x 1,000m	@£25 per £1000m or £40				
11	x .1 hect.	@£5 per .1 hect. or £40				

Column 1 Certified: Signed: [Signature] Grade: P/E Date: 7/8/91

Column 1 Endorsed: Signed: [Signature] Grade: S.O Date: 1/8/91

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 1/8/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: [Signature] Grade: S.O Date: 1/8/91

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin.

RW/GC

8/8/91

Re; Extension & alts. to existing facades, and change of use
(a) from canteen to office/laboratory/store
(b) from dry goods storage to holding chill
(c) from staff amenities & workshops to carcass chills at Unit 74 Cookstown
Industrial Estate, Tallaght.

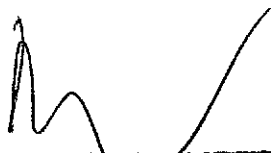
Dear Sirs,

I refer to the above application for Planning Permission in this department on 30/7/91. The correct fee in respect of these applications cannot be assessed as the areas of proposed development have not been clearly outlined on the drawings lodged.

As the statutory 2 month period within which the planning authority must make a decision will not begin to run until the correct fee has been paid it is important that you immediately submit a drawing outlining separately the areas relating to

- a) change of use &
- b) new work.

Yours faithfully,



for PRINCIPAL OFFICER

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 9112 / 1257
INT. REG.:
SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER
AREA OF SITE:
LOCAL AREA OF PRESENT PROPOSAL: 13,455 Sft²
MEASURED BY: H. M. M. 15-8-91
CHECKED BY:
METHOD OF ASSESSMENT:
TOTAL ASSESSMENT:
MANAGER'S ORDERED NO: P/ /
DATED:
ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRACE

STD - Pond in ERM

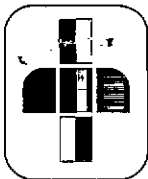
CN 902

Roads: £16200 Car parking

see Roads Dept. Report - 26/11/91

Walter L. L. L. L. L.
10/12/91

(A. Minchey)



Design & Project Management

Architects • Engineers • Project Managers

Your Ref:

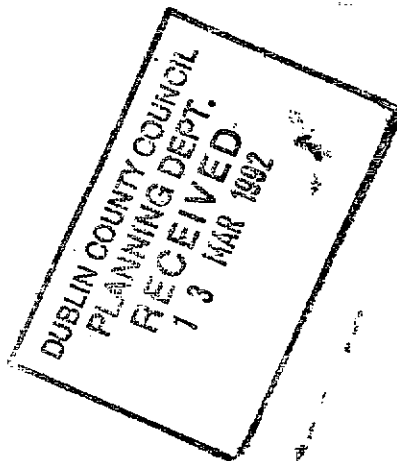
Our Ref:

The Hill
Stillorgan • Co Dublin
Ireland
Tel Int-353-1-2882101
Fax Int-353-1-2887955

12th March 1992

Dublin County Council
Irish Life Centre
Dublin 1

Attn: Planning Department



RE: TARA MEATS LTD - REG. REF. 91A/1257


Mues
16me atk
file 17/3

Dear Sirs

We should be grateful if you could provide us with a list of the Supervising Environmental Health Officers requirements in connection with the above planning permission.

This is necessary to enable us to comply with Condition No. 04 of the permission, and the E.H.O informs us that it can be compiled from his planning report.

Yours faithfully


JOHN MURPHY



Geraldine Boothman. SS only,

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

1-11-91

LOCATION:

Unit 74 Cookstown Ind. Est.

REG. REF. 91A/1257.

APPLICANT:

Ext., alts etc.

PROPOSAL:

Tara Meats Ltd.

(2) Date Referred:

DUBLIN CO. COUNCIL
(3) Rec'd San.

- 8 NOV 1991

DUBLIN CO. COUNCIL
SAN SERVICES

12 DEC 1991

Returned

(5) Date to Planning

and the connection to the public sewer

(6) Date to Planner

(7) D.P.O. report to be submitted before

(8) D.P.O. report submitted to S.A.O.

UL SEWER

This report relates to 90-204-035.
Available subject to the following:

1) The diversion will be carried out by the Engineering Service Division Dublin County Council, Maintenance Department. (Area Engineering Mr G. O'Brien 570837) All the work will be carried out by that Department at the applicant's prior expense.

2) Before Work commences the applicants must lodge details and agree details of the 'New Grease Trap' to be installed. Its capacity will be dependant on the volume of the industrial effluent at peak flows during the day. (Note This is extremely close to the building)

3) The frequency of cleaning and maintenance will be determined by the licence under the 'Water Pollution Act', which applicant must agree on commencement of production.

SURFACE WATER

Available subject to no surface water being discharged to foul system (Note flow from female locker room roof).

All run off from spillage areas is subject to the provisions of the 'Water Pollution Act' and will be subject to the requirements of Engineering Services, if necessary retrospectively.

B. Boothman
9.12.91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 13.12.91
Time 3.30

(9) Decision due:

ENDORSED

DATE

Note Billy copies to Brendan Coleman S.E.E.
and Gary O'Brien

PLANNING DEPARTMENT

BOOK FOLIO

1) Date Lodged

1-11-91

LOCATION: Unit 74 Codestown Ind. Est.REG. REF. 91A/1257APPLICANT: Ext. albs. etc.PROPOSAL: Tara Meats Ltd

WATER SUPPLY

Available for zoned use. 24 hour storage
to be provided. Refer to C.F.O. L.J. Spain
20/11/91

[Signature] SEE
21/11/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 13.12.91
Time 3.30

ENDORSED: *[Signature]*DATE 10/12/91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1257.
 DEVELOPMENT: Extn. alterations etc.
 LOCATION: Cookstown Ind. Estate.
 APPLICANT: Tara Meats.
 DATE LODGED: A.I. 1.11.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	04.12.91
Time	12.10

This submission is additional information with respect to off street parking. The applicant has consulted with the Roads Department.

A revised car parking layout is proposed providing 60 off-street spaces including 3 for visitors. These spaces are substandard in width. Also ten of these spaces block 21 others and the applicant proposes to provide management of this section of the car park. The applicants car parking requirement at present is 40 spaces plus 3 for visitors.

While it is apparent that present needs of this development with respect to car parking can be provided, the Roads Department would consider it undesirable to allow this development as future uses of the site may require standard car parking provision. The Roads Department would favour a reduction in density of the proposal for this reason.

If, however, permission is being granted the Roads contribution should be based on £800 per deficient car space plus £200 per car space required by the development plan for a 700sq.m. extension.

Permission should be subject to:-

1. A financial contribution, in the sum of money equivalent to the value of £16,200 (£800x15 + £200x21) as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

GC/BMcC
 25.11.91.

SIGNED: _____

DATE: _____

ENDORSED: _____

DATE: _____

Garnett Curran
 26/11/91

C.F. K.
 26/11/91

P/5566/91

W 902

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

CONTRIBUTION:

Standard: *N/C*

Roads: *21620*

S. Sers:

Open Space:

Other:

SECURITY:

Bond / C.I.F.:

Cash:

Register Reference : 91A/1257

Date Received : 1st November 1991

Correspondence : Design & Project Management,
Name and : The Hill,
Address : Stillorgan,
Co. Dublin

Development : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcass chills

Location : Unit 74 Cookstown Industrial Estate, Tallaght

Applicant : Tara Meats Ltd.

App. Type : Permission

Zoning : "To provide for industrial and related uses."

Floor Area : *691.40* Sq.metres

(GB/BB)

Report of Dublin Planning Officer dated 3rd December, 1991.

This is an application for PERMISSION. The proposal consists of "construction of an extension, alterations, partial change of use, and facade alterations at Unit 74, Cookstown Industrial Estate. The current occupant (also applicant) is Tara Meats Ltd. The application was originally submitted on 30th July, 1991, and Additional Information was submitted on 1st November, 1991.

The area in which the site is located is zoned with the objective "to provide for industrial and related uses".

HISTORY

The history to the site is as follows:-

TA 771 - Permission granted for new canopy to existing building.

TA 1092 - Application for change of use from meat cold store to meat processing plant. Additional Information never submitted.

The site area is stated to be 3,735 sq. metres.

The site currently accommodates two buildings, both occupied by Tara Meats.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1257

Page No: 0002

Location: Unit 74 Cookstown Industrial Estate, Tallaght

These buildings present a most unattractive facade to the street, by virtue of their basic design, but also the various accoutrements such as metal staircases, etc. which have been added over the years. During site inspection I counted 37 vehicles parked in a most disorganised fashion, 4 of which were outside the site on the kerb, and 1 on the road.

The proposal is to link the two units with an additional extension, improve the existing elevations, and change the use of internal space.

In a consultation prior to the submission of the proposal, applicant was advised that the subsequent density would be very high. They advised that they had consulted with Roads Department, who were in agreement with the proposal, since it would organise parking and access for the necessary delivery trucks.

In a report from Roads Department received on 17th September, 1991, it was indicated that the proposed marking out of spaces in the existing parking area would improve the efficient use of space and is acceptable in principle. A total of 47 car parking spaces is shown. However, they indicated that a total of 75 spaces would be required to cater to Development Plan Standards for the overall development. They feared that the shortage of spaces would result in on-street car parking near a junction, resulting in traffic hazard and congestion. They requested that additional information be submitted showing a less dense development which would provide for adequate car parking.

In a report from Sanitary Services Department, it was indicated that the proposal is unacceptable because of a public sewer traversing the rear end of this site. The proposal involves building within 5 metres of the sewer. An alternative acceptable proposal should be lodged.

With regard to the design of the building, the elevations indicated on Drg. No. 90-204-05 represent a vast improvement over the existing, as does organisation of the car parking and loading/delivery services.

However, in view of the existing congestion, the public sewer, and the Roads Department requirements for car spaces,

Additional Information was requested from the applicant with regard to the following:-

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1257

Page No: 0003

Location: Unit 74 Cookstown Industrial Estate, Tallaght

1. Applicant is requested to indicate whether he can comply with the requirements of the Sanitary Services Department of the County Council, for a less dense development permitting at least 5 metre clearance from the public sewer traversing the rear section of the site.

2. Applicant is requested to indicate whether he can comply with the requirements of the Roads Department of the County Council for a less dense development, permitting car parking spaces to the standards required by the 1983 County Development Plan.

In their response applicants indicate that the existing car parking space can be laid out and managed, so that between 40 and 57 cars can be accommodated. The existing public sewer will be diverted to meet the requirements of the Sanitary Services Engineer. A number of minor proposals to the layout are proposed.

Roads Department still have reservations about car parking space, but include a condition in the event of permission being granted.

Although the density proposed is high, and there is a risk of overcrowding in the car park, there are substantial improvements being carried out at the site, which prompt a favourable response from the Planning Authority.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (10) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 1.11.1991 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1257

Page No: 0004

Location: Unit 74 Cookstown Industrial Estate, Tallaght

be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

- 05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council, and ~~that~~ no work shall commence without the agreement of the Drainage Section of the Sanitary Services Department of the County Council with regard to the location of the existing public sewer which is to be diverted.

- 05 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

- 06 That no industrial effluent be permitted without prior approval from Planning Authority.

REASON: In the interest of health.

- 07 That off-street car parking facilities and parking for trucks be provided as shown, and that the parking of cars shall be supervised to ensure that congestion does not occur on the public road.

- 07 REASON: In the interest of the proper planning and development of the area.

- 08 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping.

- 08 REASON: In the interest of the proper planning and development of the area.

- 09 A financial contribution, in the sum of money equivalent to the value of £16,200 (£800 x 15 + £200 x 21) as on 1st January, 1991, updated in accordance with the Wholesale Price Index Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1257

Page No: 0005

Location: Unit 74 Cookstown Industrial Estate, Tallaght

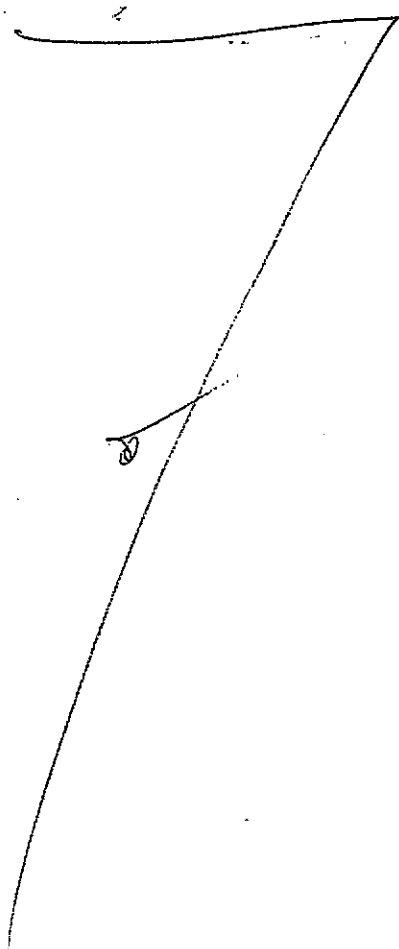
~~09 REASON: In the interest of the proper planning and development of the area.~~

9 ~~18~~ That details of landscaping and boundary treatment be submitted to and approved by Planning Authority and work thereon completed prior to the completion of structure.

REASON: In the interest of amenity.

10 ~~11~~ ² That no additional advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

GB ~~12~~ REASON: In the interest of the proper planning and development of the area.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1257

Page No: 0006

Location: Unit 74 Cookstown Industrial Estate, Tallaght

Endorsed:.....
for Principal Officer

Richard Cremins
for Dublin Planning Officer

SEP
6.12.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (10) conditions set out above is hereby made.

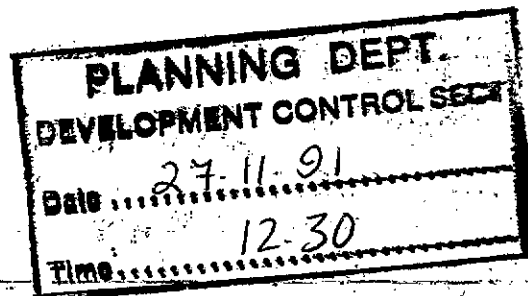
Dated : 11th DECEMBER 1991

.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 10th December 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1257.
DEVELOPMENT: Extn. alterations etc.
LOCATION: Cookstown Ind. Estate.
APPLICANT: Tara Meats.
DATE LODGED: A.I. 1.11.91.



This submission is additional information with respect to off street parking. The applicant has consulted with the Roads Department.

A revised car parking layout is proposed providing 60 off-street spaces including 3 for visitors. These spaces are substandard in width. Also ten of these spaces block 21 others and the applicant proposes to provide management of this section of the car park. The applicants car parking requirement at present is 40 spaces plus 3 for visitors.

While it is apparent that present needs of this development with respect to car parking can be provided, the Roads Department would consider it undesirable to allow this development as future uses of the site may require standard car parking provision. The Roads Department would favour a reduction in density of the proposal for this reason.

If, however, permission is being granted the Roads contribution should be based on £800 per deficient car space plus £200 per car space required by the development plan for a 700sq.m. extension.

Permission should be subject to:-

1. A financial contribution, in the sum of money equivalent to the value of £16,200 (£800x15 + £200x21) as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

GC/BMCC
25.11.91.

SIGNED: Garratt Curran
DATE: 26/11/91

ENDORSED: C.F. B. K.
DATE: 26/11/91

① G.B.

Unred. A.I.

Copy to G.O'Brien
Deam path.

PLANNING DEPARTMENT

BOOK FOLIO

(1) Date Lodged

LOCATION: Unit 74, Cookstown Ind. Est.

REG. REF. 91A/1257

30-7-91

APPLICANT: Tara Meats Ltd

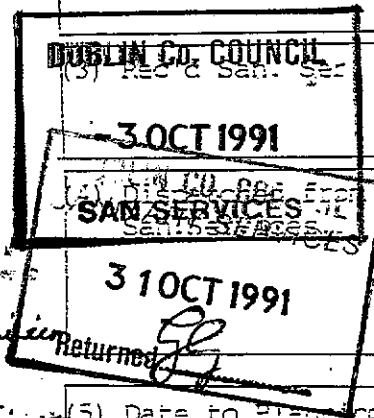
PROPOSAL: Extension alterations etc.

(2) Date Referred:

UL SEWER

No objection to this proposal subject to the following:

The work is to be carried out ~~at the~~ by the County Council at the applicant's expense. No work is to be commenced until the applicant has consulted the Drainage Division Maintenance Section, (Area Engineer Mrs Gary O'Brien tel. 570 837.).



(5) Date to Planning

SPACE WATER

(6) Date to Planner

N.A.



Fluinn
19.10.91

(7) D.P.C. report to be submitted before

(8) D.P.C. report submitted to S.A.C.

G.R.
24/10/1991

(9) Decision due:

ENDORSED

DATE

PLANNING DEPARTMENT

BOOK FOLIO

1) Date Lodged

30-7-91

LOCATION: Unit 74, Coddstown Ind. Est.

REG. REF.

91A/1257

APPLICANT: Tara Meats Ltd.

PROPOSAL: Ext. and alts. etc.

WATER SUPPLY

See previous report. Refer to C.F.O
L.J. Spain
3rd Oct 91

[Signature]
4/10/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 4.11.91
Time 10.30

ENDORSED:

[Signature]

DATE 29/10/91

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/1257

Proposed: EXTN and Alterations

At: UNIT 74 COCKSTOWN INDUSTRIAL ESTATE, TALLAGHT

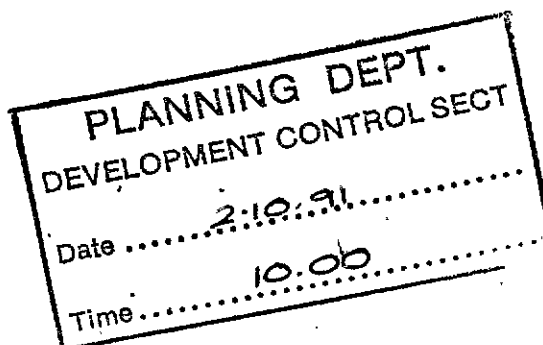
For: THRA MEATS LTD.

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or
Supervising Env. Health Officer.

7. Adequate heating and ^{artificial} lighting to be provided in all
places of work.
8. Where visual display units are utilized compliance with the
requirements of the E.E.C. directive on V.D.U.s re: lighting,
siting, seating, breaks for staff etc.
9. Drainage Connections to be such as not to give rise to a
Public Health Nuisance.



Sta Devine
for John O'Leary SB116
25/9/91

Peter Whelan
24/9/91.

geraldine Bootman.

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1257

Date : 31st July 1991

Development : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcase chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

Applicant : Tara Meats Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 30th July 1991

Attached is a copy of the application for the above development. Please ensure that your report is received within 5 weeks from 30th July 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 2.10.91
Time 10.00

This proposal is acceptable subject to
compliance with the ENGINEERS requirements
and,

Yours faithfully,

.....
for PRINCIPAL OFFICER

- 1) An adequate system of ventilation to be provided to the first floor kitchen, canteen area, and kitchen store.
- 2) Localized extraction shall be provided over all cooking and steam emitting equipment in the kitchen and ducted to the outer air.
3. Permanent ventilation to be provided to all offices,
4. A system of Intake Ventilation communicating separately and directly to the outer air and capable of providing a minimum of 2 air changes per hour must be installed in the two lobbies serving the vets sanitary accommodation on the first floor and the lobby serving the male and female sanitary accommodation on the ground floor.
5. Compliance with the Building Bye-laws.
6. Compliance with the office premises Act 1958 and Regulations
and thereunder

Gualdine Bootman

Register Reference : 91A/1257

Date : 6th August 1991

Development : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcass chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

Applicant : Tara Meats Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : G. BOOTHMAN

Date Recd. : 30th July 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	10.09.91
Time	9.30

Yours faithfully,

Paul Tobin

DUBLIN Co. COUNCIL

Date received in Sanitary Services 14 AUG 1991....

SAN SERVICES

FOR PRINCIPAL OFFICER
SANITARY SERVICES

- 5 SEP 1991

Returned *J.R.*

FOUL SEWER

Refusal recommended.

There is a public 225 mm ϕ sewer traversing the rear end of this site. This proposal involves building within 5 metres of this sewer. This is not acceptable to Engineering Services. An alternative acceptable proposal must be lodged.

SURFACE WATER

Available - existing system.

Surface water run-off and bunding of cold stores to be in accordance with the requirements of the Water Pollution Act.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

*J.R. 29/8/91.**J.R.
2/9/91*

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

Date 10.09.91.....

Time 9.30.....

Register Reference : 91A/1257

Date : 6th August 1991

.....
ENDORSED _____

DATE _____

WATER SUPPLY.....

As it is able for procedure 24 hour storage
to be provided. No fault after existing or
proposed extension to be more than 46 m
from a fire hydrant.
refer to E.F.O.

[Signature]
19/8/91

ENDORSED *[Signature]*

DATE 2/9/91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1257.

DEVELOPMENT: Extension, alterations to existing facades, and change of use from canteen to office/laboratory/store.

LOCATION: Unit 74 Cookstown Industrial Estate, Tallaght.

APPLICANT: Tara Meats Ltd.

DATE LODGED: 30.7.91.

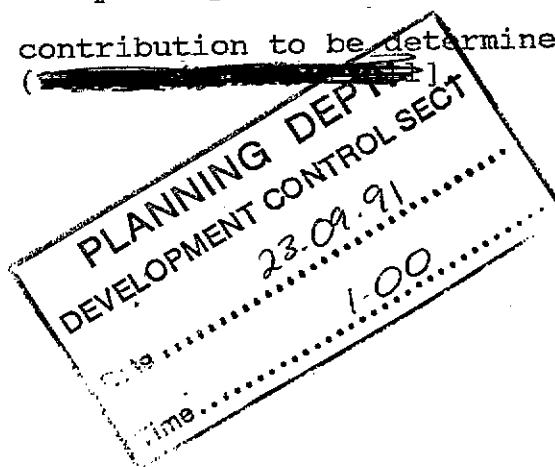
The proposal is for an extension of approximately 700sq. metres along with changes to the internal layout of existing buildings. A rationalisation of the existing car parking and plus an additional 16 spaces at the rear of the building is also proposed. (Total car parking 47 spaces).

The marking out of spaces in the existing parking area will improve the efficient use of space and is acceptable in principle. However, approximately 75 spaces would be needed to cater to Development Plan Standards for the overall development. The shortage of car parking would lead to on-street parking near a junction resulting in traffic hazard and congestion.

The applicant should be requested for additional information showing a less dense development which would provide for car parking to development plan standards.

[Note: Roads contribution to be determined at the permission stage (~~to be determined~~)]

GC/BMcC
4.9.91.



SIGNED: _____

ENDORSED: E. J. O'Donoghue

DATE: _____

DATE: 16-9-91

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1257.
DEVELOPMENT: Extension, alterations to existing facades, and
change of use from canteen to
office/laboratory/store.
LOCATION: Unit 74 Cookstown Industrial Estate, Tallaght.
APPLICANT: Tara Meats Ltd.
DATE LODGED: 30.7.91.

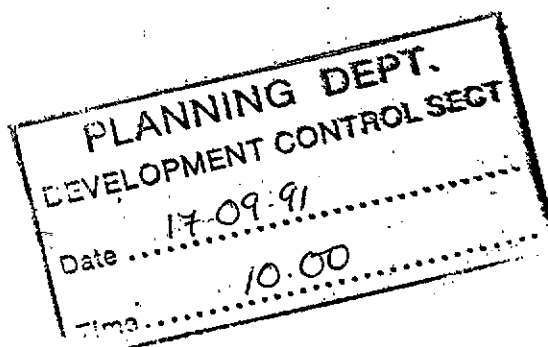
The proposal is for an extension of approximately 700sq. metres along with changes to the internal layout of existing buildings. A rationalisation of the existing car parking and plus an additional 16 spaces at the rear of the building is also proposed. (Total car parking 47 spaces).

The marking out of spaces in the existing parking area will improve the efficient use of space and is acceptable in principle. However, approximately 75 spaces would be needed to cater to Development Plan Standards for the overall development. The shortage of car parking would lead to on-street parking near a junction resulting in traffic hazard and congestion.

The applicant should be requested for additional information showing a less dense development which would provide for car parking to development plan standards.

[Note: Roads contribution to be determined at the permission stage ~~of the permission~~].

GC/DMCC
6.9.91.



SIGNED: _____

ENDORSED: *E. J. O'Donnell*

DATE: _____

DATE: 16-9-91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Permission for the construction of an extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store, (b) from dry goods storage to holding chill, (c) from staff amenities and workshops to carcass chills at Unit 74 Cookstown Industrial Estate, Tallaght for Tara Meats Ltd.

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin.

Reg. Ref. 91A/1257
App. Recd: 30.07.1991
Floor Area: ~~691.40 sq. m.~~
Site Area: 3735 sq. m.
Zoning: 'E'

Report of the Dublin Planning Officer, dated 24 September 1991

This is an application for PERMISSION. The proposal consists of "construction of an extension, alterations, partial change of use, and facade alterations at Unit 74, Cookstown Industrial Estate. The current occupant, (also applicant) is Tara Meats Ltd.

The area in which the site is located is zoned with the objective "to provide for industrial and related uses".

HISTORY:

The history to the site is as follows:-

- TA 771 - Permission granted for new canopy to existing building.
- TA 1092 - Application for change of use from meat cold store to meat processing plant. Additional Information never submitted.

The site area is stated to be 3,735 sq. metres. The site currently accommodates two buildings, both occupied by Tara Meats. These buildings present a most unattractive facade to the street, by virtue of their basic design, but also the various accoutrements such as metal staircases, etc. which have been added over the years. During site inspection I counted 37 vehicles parked in a most disorganised fashion, 4 of which were outside the site on the kerb, and 1 on the road.

The current proposal is to link the two units with an additional extension, improve the existing elevations, and change the use of internal space.

In a consultation prior to the submission of the proposal, applicant was advised that the subsequent density would be very high. They advised that they had consulted with Roads Department, who were in agreement with the proposal, since it would organise parking and access for the necessary delivery trucks.

Contd..../

Order No. P/4532/91
COMHAIRLE CHONTAE ATHA CLIATH

Record of Executive Business and Manager's Orders

Permission for the construction of an extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store, (b) from dry goods storage to holding chill, (c) from staff amenities and workshops to carcass chills at Unit 74 Cookstown Industrial Estate, Tallaght for Tara Meats Ltd.

The proposal would result in a site coverage of 66.35%

In a report from Roads Department received on 17th September, 1991, it is indicated that the proposed marking out of spaces in the existing parking area will improve the efficient use of space and is acceptable in principle. A total of 47 car parking spaces is shown. However, they indicate that a total of 75 spaces would be required to cater to Development Plan Standards for the overall development. They fear that the shortage of spaces would result in on-street car parking near a junction, resulting in traffic hazard and congestion. They request that additional information be submitted showing a less dense development which would provide for adequate car parking.

In a report from Sanitary Services Department, it is indicated that the proposal is unacceptable because of a public sewer traversing the rear end of this site. The proposal involves building within 5 metres of the sewer. An alternative acceptable proposal should be lodged.

With regard to the design of the building, the elevations indicated on Drg. No. 90-204-05 represent a vast improvement over the existing, as does organisation of the car parking and loading/delivery services.

However, in view of the existing congestion, the public sewer, and the Roads Department requirements for car spaces, I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

1. Applicant is requested to indicate whether he can comply with the requirements of the Sanitary Services Department of the County Council, for a less dense development permitting at least 5 metre clearance from the public sewer traversing the rear section of the site.
2. Applicant is requested to indicate whether he can comply with the requirements of the Roads Department of the County Council for a less dense development, permitting car parking spaces to the standards required by the 1983 County Development Plan.

Contd..../

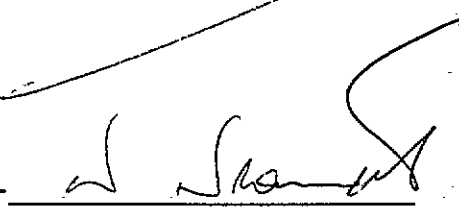
COMHAIRLE CHONTAE ÁTHA CLIATH

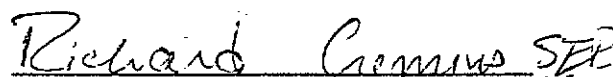
Record of Executive Business and Manager's Orders

Permission for the construction of an extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store, (b) from dry goods storage to holding chill, (c) from staff amenities and workshops to carcass chills at Unit 74 Cookstown Industrial Estate, Tallaght for Tara Meats Ltd.

(GB/BB)

Endorsed:-


for Principal Officer

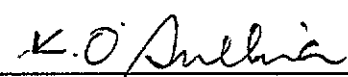

SEP

For Dublin Planning Officer

25-9-91

Order:- I direct that ADDITIONAL INFORMATION be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: 24 September, 1991.


ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 4th September, 1991.

24th September 1991

Reg Ref 91A/1257
Tara Meats - Tallaght
Proposed Extension

Cookstown Industrial Estate

Drawn 90-204-01

Scale 1:1000

Existing Buildings 706 m²
980 m²
1686 m²

Area of site behind building line 3400 m²

Site Coverage Existing $\frac{1686 \text{ m}^2}{3400 \text{ m}^2} = 49.58\%$

Proposed Extension 570 m²
1686 m²
2256 m²

Proposed Site Coverage $\frac{2256 \text{ m}^2}{3400 \text{ m}^2} = \frac{66.35\%}{66.35\%}$

Brian O'Brien
Room 114

Geraldine Boothman

Register Reference : 91A/1257

Date : 6th August 1991

Development : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcase chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

Applicant : Tara Meats Ltd.

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : G. BOOTHMAN

Date Recd. : 30th July 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	10.09.91
Time	9.30

Yours faithfully,

Date received in Sanitary Services 14 AUG 1991...

DUBLIN CO. COUNCIL

for PRINCIPAL OFFICER

- 5 SEP 1991

SAN SERVICES

FOUL SEWER

Repair recommended.

There is a public 22 mm & sewer traversing the rear end of this site. This proposal involves building within 5 metres of this sewer. This is not acceptable to Engineering Services. An alternative acceptable proposal must be lodged.

SURFACE WATER

Available - existing system.

Surface water run-off and bunding of cold stores to be in accordance with the requirements of the Water Pollution Act.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

29/8/91

*J.R.
2/9/91*

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	10.09.91
Time	9.30

Register Reference : 91A/1257

Date : 6th August 1991

.....

ENDORSED _____ DATE _____

WATER SUPPLY. As it is for procedure 24 hours storage
 will be provided. No part of the existing or
 proposed retention to be more than 46 m
 from a fire hydrant.
 refer to E.C.C.

/ St. J. J. J. J. J.
 19/8/91

ENDORSED [Signature] DATE 2/9/91

16-SEP-1991 16:11

Geraldine Bootman

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1257.
 DEVELOPMENT: Extension, alterations to existing facades, and change of use from canteen to office/laboratory/store.
 LOCATION: Unit 74 Cookstown Industrial Estate, Tallaght.
 APPLICANT: Tara Meats Ltd.
 DATE LODGED: 30.7.91.

The proposal is for an extension of approximately 700sq. metres along with changes to the internal layout of existing buildings. A rationalisation of the existing car parking and plus an additional 16 spaces at the rear of the building is also proposed. (Total car parking 47 spaces).

The marking out of spaces in the existing parking area will improve the efficient use of space and is acceptable in principle. However, approximately 75 spaces would be needed to cater to Development Plan Standards for the overall development. The shortage of car parking would lead to on-street parking near a junction resulting in traffic hazard and congestion.

The applicant should be requested for additional information showing a less dense development which would provide for car parking to development plan standards.

[Note: Roads contribution to be determined at the permission stage (10.00.91)].

GC/BMCC
4.9.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	14.09.91
Time	10.00

SIGNED: _____ ENDORSED: *E. W. O'Donoghue*
 DATE: _____ DATE: 16-9-91

DUBLIN COUNTY COUNCIL

PLANNING DEPARTMENT

Register Reference : 91A/1257

Date Received : 30th July 1991

Applicant : Tara Meats Ltd.

Appl.Type : PERMISSION/BUILDING

Development : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcase chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

O.S.REFS.

21-8			
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AREA REFERENCE

T	A	0	9	0	1
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HISTORY

/				

FEE CERTIFICATE NO.

FEE CLASS

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MEASUREMENT FOR FEES

--	--	--	--

SIGNED

DATE

SENIOR EXECUTIVE DRAUGHTSMAN

FEE PAID

FEE ASSESSED

BALANCE DUE

--	--	--

CERTIFIED

GRADE

DATE



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. J. Carson,
Liffey House,
Dublin 2.

Our Ref.

Your Ref.

Date 3.4.92

Re: Development at Tallaght

Reg. Ref. No. : 91A/1257

I refer to the submission for Building Bye-Law Approval received in this Department on 25.3.92.

The submission is in compliance with conditions of Building Bye-Law Approval issued. Please confirm that the submission is strictly compliance as requested and not a new application and accordingly that a Bye-Law fee is not required. Documents enclosed.

for Moden Lee
STAFF OFFICER,
REGISTRY SECTION.



Design & Project Management

Architects • Engineers • Project Managers

The Hill
Stillorgan • Co Dublin
Ireland
Tel Int-353-1-2882101
Fax Int-353-1-2887955

Your Ref:

Our Ref:

24th March 1992

Dublin County Council
Building Control Section
Planning Department
Block 2
Irish Life Centre
Lwr Abbey Street
Dublin 1

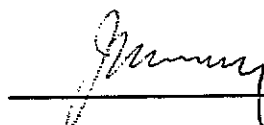
RE: REG. REF 91A/1257, BBL/177/92
TARA MEATS LTD, TALLAGHT

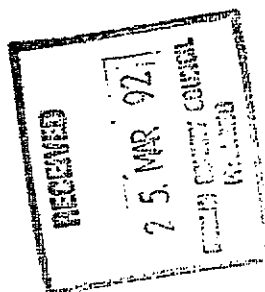
Dear Sirs

In compliance with Condition 6g of the above Bye-Law Approval Notice, I hereby submit duplicate copies of drawing no. 76-M-2A showing proposed watermain layout.

I look forward to your confirmation that this is satisfactory.

Yours faithfully


JOHN MURPHY



1.2.0.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Mr. J. Carson,
Liffey House,
Dublin 2.

Our Ref.

Your Ref.

Date 24.3.92

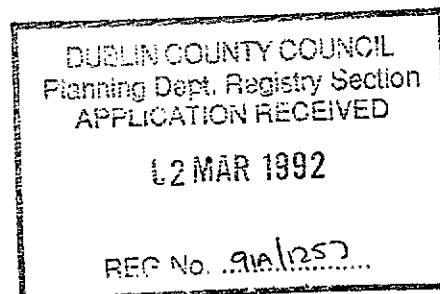
Re: Development at Unit 74, Cookstown Ind. Estate

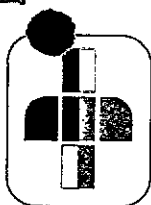
Reg. Ref. No. : 97A/1257

I refer to the submission for Building Bye-Law Approval received in this Department on 2.3.92.

The submission is in compliance with conditions of Building Bye-Law Approval issued. Please confirm that the submission is strictly compliance as requested and not a new application and accordingly that a Bye-Law fee is not required. Documents enclosed.

for Nelke Deane
STAFF OFFICER,
REGISTRY SECTION





Design & Project Management

Architects • Engineers • Project Managers

The Hill
Stillorgan • Co Dublin
Ireland
Tel Int-353-1-2882101
Fax Int-353-1-2887955

Your Ref:

Our Ref:

25th February 1992

Dublin County Council
Building Control Section
Planning Department
Block 2
Irish Life Centre
Lower Abbey Street
Dublin 2

91A/1257

2 MAR 92

1. 28.4.2

BBL Conf.

RE: TARA MEATS LTD
BUILDING BYE-LAW APPROVAL NOTICE, ORDER NO. 91A/1257
PROPOSAL: BBS/177/92

Dear Sir/Madam

We refer to Item No. 6 (a)(b)(c)(d)(e)(f) of Building Bye-Law Approval Notice for the above and wish to comment as follows:

- 6(a) We enclose 4 copies of our revised drainage drawing no. 90-204-15, showing manholes located externally. The gullies which we propose to use are of stainless steel with removable water traps, and are therefore fully rodable. Details of these gullies are also enclosed.
- 6(b) Internal RWP gullies have now been omitted. Instead, the roof run-off will be collected through gutter outlets into SW pipes located in the false ceiling space. These will discharge to an external b.i.g.t. as shown on drawing 90-204-15.
- 6(c) See 6(a)
- 6(d) The drain gradients have been revised following our meeting with your Mr. Kearney on 28th January last.
- 6(e) Four copies each of Structural Steel drawing nos. 90-204-100G/101H/102J/103G and 104A are enclosed, on which the various steel levels are shown.

...2

6(f) Four copies of the manufacturers roof specification
are enclosed as requested.

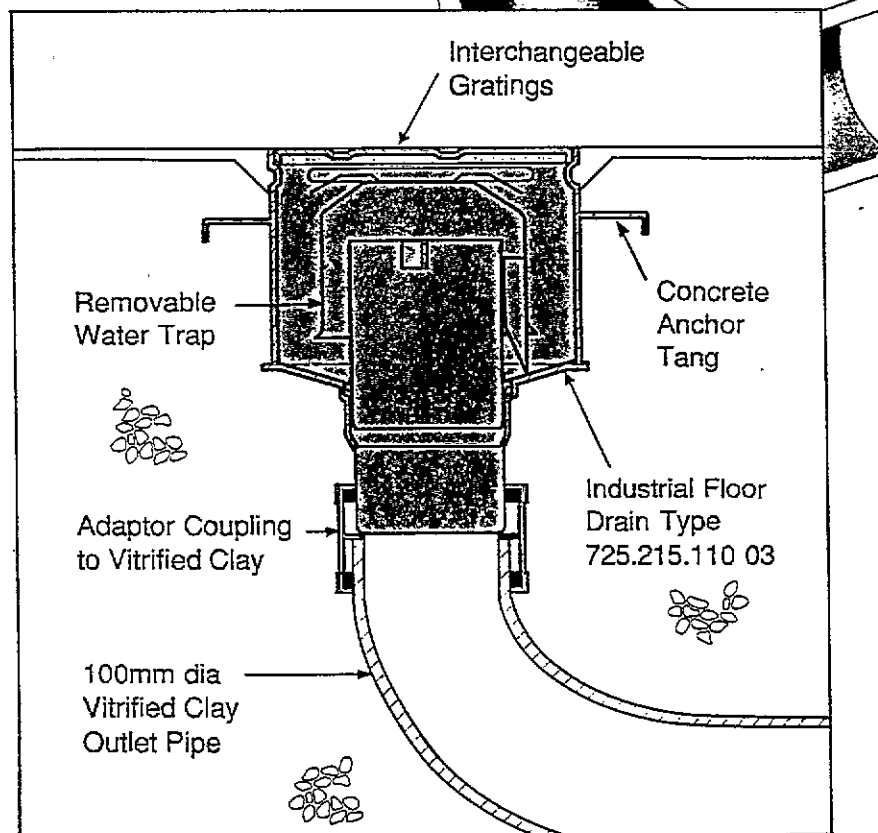
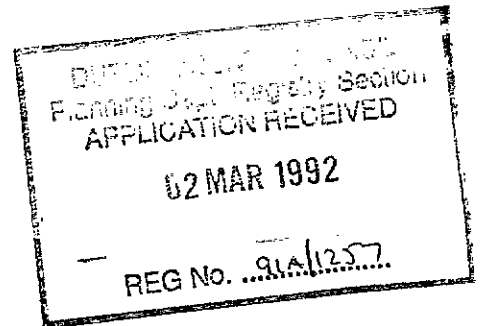
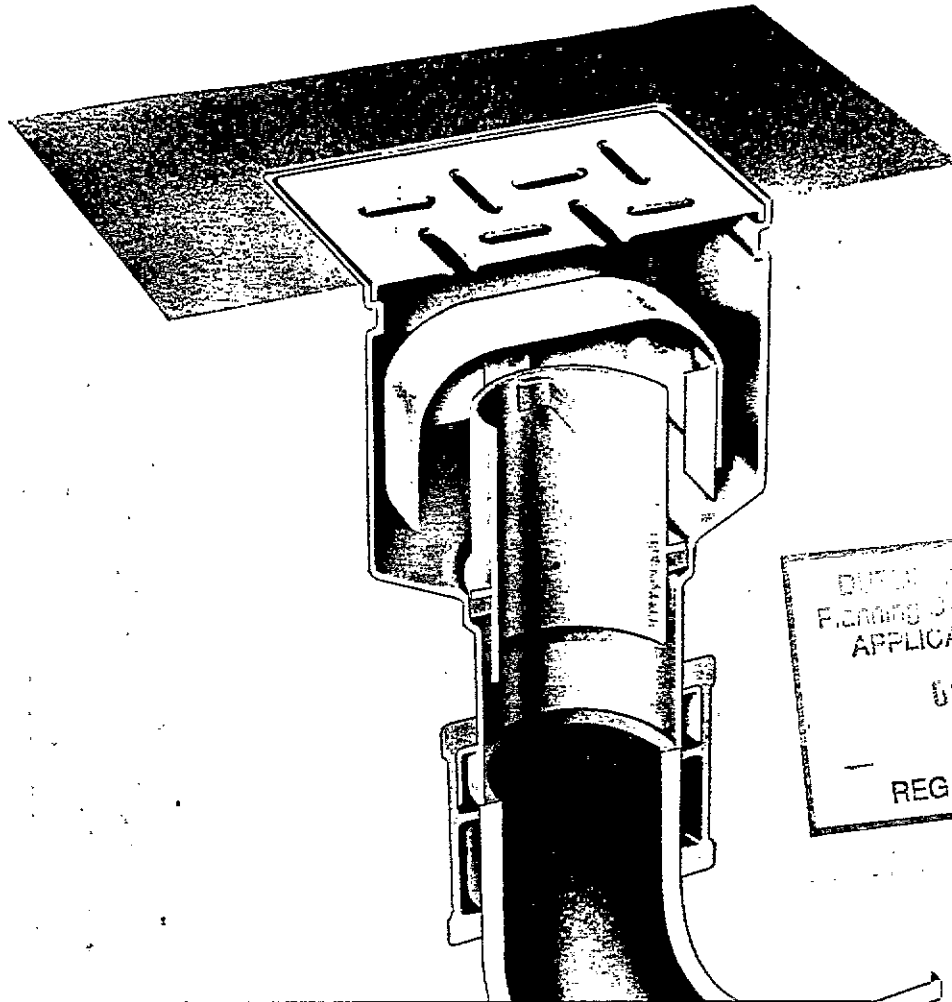
We will respond to the remaining conditions of the Approval
Notice within the next few days.

Yours faithfully

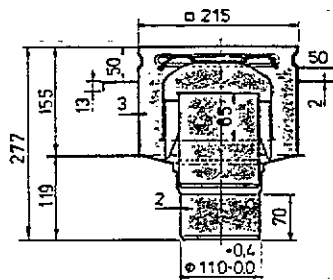
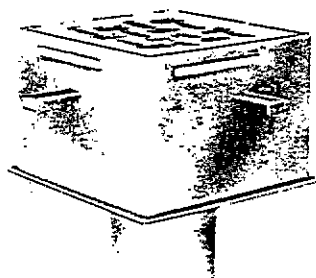
A handwritten signature in cursive script, appearing to read "John Murphy", is written over a horizontal line.

JOHN MURPHY

BM Industrial Floor Drains with Vertical Outlet - ALL STAINLESS STEEL.



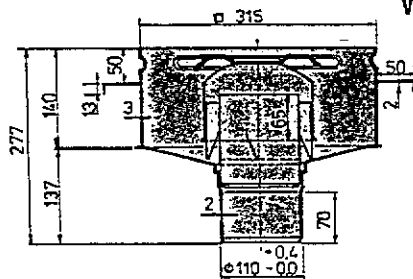
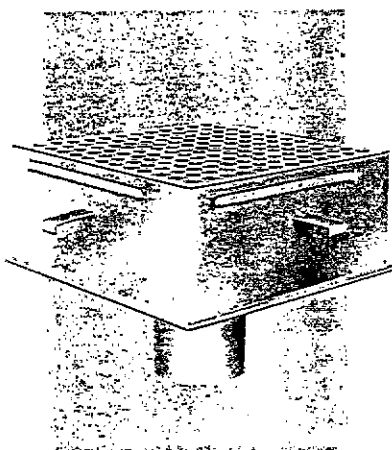
✕ Type no. 725.215.110 XX ALL STAINLESS STEEL.



Loading 3mm - 1000 Kgs
10mm - 8500 Kgs
Flow rate 3.40 litres/sec
Water Trap Surface/Removable Stand Pipe and Bell



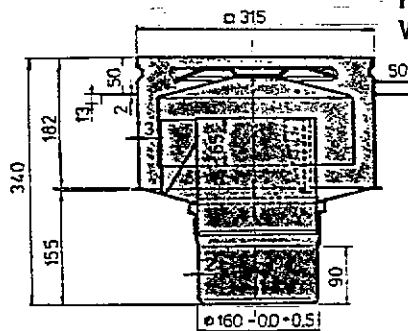
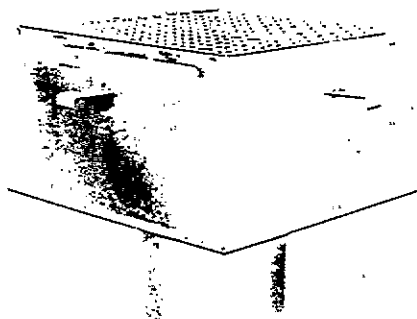
Type no. 725.315.110 XX



Loading 3mm - 1000 Kgs
10mm - 8500 Kgs
Flow rate 5.10 litres/sec
Water Trap Surface/Removable Stand Pipe and Bell



Type no. 725.315.160 XX



Loading 3mm - 1000 Kgs
10mm - 8500 Kgs
Flow rate 8.05 litres/sec
Water Trap Removable Bell and Stand Pipe



K I N G S P A N 1 0 0 0 S E R I E S

I N S U L A T E D R O O F & W A L L P A N E L

P R O D U C T S P E C I F I C A T I O N

BRITISH STANDARD COUNCIL
The BSI Security Section
APPLICATION RECEIVED

12 MAR 1992

REG No. 91A/257.

PRODUCT SPECIFICATION

INTRODUCTION

Kingspan Building Products Ltd manufacture the extensive range of Kingspan Composite Panels. These wide range of Composite Panels, feature the full range of BSC Colourcoat Plastisol HP200, PVF2 and Silicone Polyester coatings and colours. The standard Composite Panel features a profiled steel outer colourcoated sheet both on weather surface and on internal facing, with a rigid core of Polyurethane or Polyisocyanurate foam, C.F.C. free cores are also available. These Panels are ideally suited to use as roofing and wall cladding panels.

COMPOSITION

The 35mm trapezoidal profiled outer weather sheet and the slightly swaged underliner are both manufactured to BS 2989: 1982, "continuously hot-dip zinc coated and iron-zinc alloy coated steel: wide strip, sheet/plate and slit wide strip", Grade Z1 with coating type G275. The standard external sheet facing is 0.55mm thick steel colour coated with 200 microns of PVC Plastisol HP200.

The internal facing is 0.4mm thick steel galvanised to BS 2989: 1982. The coating on the internal face is Polyester lining enamel, in white, 25 microns thick. Various other combinations of gauges of steel can be supplied to special order for both the internal and external facings. Alternative coatings can be supplied also by special order for both the internal and external facings, viz : PVF2, Silicone Polyester, Polyester. Kingspan Ltd use Polyurethane as standard foam type. This is a rigid closed cell urethane which has a minimum density of 40 KG/m³. Polyisocyanurate can also be supplied to special order, as is CFC free Polyurethane.

MANUFACTURE

Kingspan offer a range of foam depths to meet the most stringent thermal insulation specifications, with insulation depths from 30mm to 100mm, in 5mm or 10mm increments. The foam cores are expanded between the two pre-formed metal sheets and act as bond and spacer to form a single insulated panel. The longitudinal edges have a stepped formation at laps, which provide a location for the installing of a site applied sealant, in applications where vapour sealed joints are specified. See detail 1 for illustration of this joint.

ACCESSORIES

An extensive and comprehensive range of Flashings, Closur Sealants, Fillers and Fixings are available both as standard and off-standard specification. Kingspan Translucents are available as Site assembled or Factory sealed G.R.P. units. PVC colourcoated Double sided Gutters, Insulated Gutters, Galvanised Gutters and Accessories can also be provided as standard.

APPEARANCE

The external face has a pronounced ribbed effect with a regular spaced 35mm deep profiled surface with intermediate twin swaged troughs. The coating surface to the external has a standard feature the well known BSC PVC Plastisol colourcoat leathergrain matt finish. The range of colours as standard from the British Steel Corporation. The plain smooth face and slightly reflective finishes provided by BS PVF2 and Silicone Polyester coatings are also available.

The internal facing features the regularly swaged steel Polyester coated white plain finish. This off-white finish slightly reflective.

SIZE

Available in lengths from 1.8m minimum to 15m maximum. (Panels less than 1.8m can be supplied at an extra cost). Cover width is a nominal 1000mm. Depths vary as follows:-

30mm	Panel, Nominal o/a 65mm
35mm	Panel, Nominal o/a 70mm
45mm	Panel, Nominal o/a 80mm
50mm	Panel, Nominal o/a 85mm
60mm	Panel, Nominal o/a 95mm
80mm	Panel, Nominal o/a 115mm
100mm	Panel, Nominal o/a 135mm

SITE CUTTING

For site cutting panels, across profile, along profile or rake cuts. Kingspan recommend the use of a reciprocating type saw, fitted with a bi-metal blade (12 teeth per inch or 2mm pitch). The length of blade selected should be always greater than the overall panel thickness (i.e., core plus crown thickness). The cut should always be perpendicular to the panel. It is very important that after any site cutting, the panels are "immediately" cleaned down of swarf and dirt particles.

CUT BACK

To obtain a site cut back on panels to a predetermined dimension the liner sheet should be cut. This is again cut by the use of a reciprocating saw. Here the blade length selection is very important. Kingspan recommend that the reciprocating travel of the blade be no more than 20mm, as this operation is to cut the liner sheet only. After the cut, a stanley knife with a blade length greater than the overall panel thickness should be used for cutting the insulation. This is done by running the blade along the previous cut of the liner sheet. The liner sheet is then removed by a "peeling" action. The insulation core should be removed by using a non-abrasive scraper, this will stop the underside of the top sheet from being scratched.

CUT EDGE TREATMENT

After all necessary cutting and cutback operations, the panel cut edge and cutback areas should be free from swarf and other debris. Kingspan recommend that all cut edges, underside of top sheet forming cut backs, should be further protected by brush applying a transparent edge protection lacquer (Becker Industrial Coatings Ltd. Ref: EA685). This is suitable for both PVC Plastisol and PVF2 coated steel.

PROFILED FILLERS

The foam core visible at the eaves, valley and hip valley locations, should be sealed by the use of profiled filler blocks. These fillers are manufactured from E.P.D.M. closed cell foam faces and a cross linked polyethylene foam core. All fillers must be sealed along both surfaces by a gun applied silicone mastic sealant.

NOTE:

All Cutting and cut edge treatment operations should be carried out in a dry and dust free area.

KINGSPAN BUILDING PRODUCTS LTD

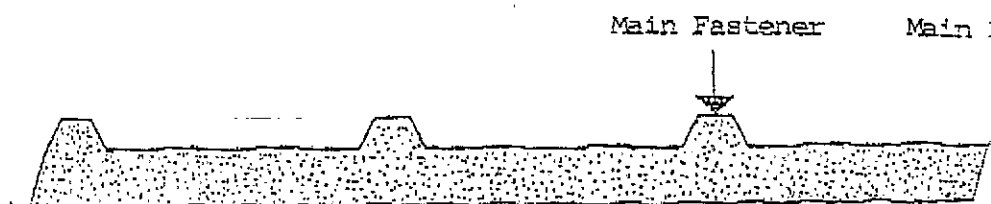
Kingscourt, Co Cavan, Ireland
Tel: (042) 67172 Fax: (042) 67258

DATA SHEET 011 : GENERAL FIXING RECOMMENDATIONS FOR 1000 SERIES ROOF/W

CROWN FIXING

2 No. Fixings per Panel per Purlin at spacings of 1.5mts and above, except f

- (a) All Crowns at Apex (Valley fixing is approved here, if cov. ridgeflash).
- (b) All Crowns at Eaves.
- (c) All Crowns of all Panels for each Purlin for first 6m of all Buildings.



Stitching Screws must always be used - Never use Pop Rivets.

See Tables for frequency of Fixings.

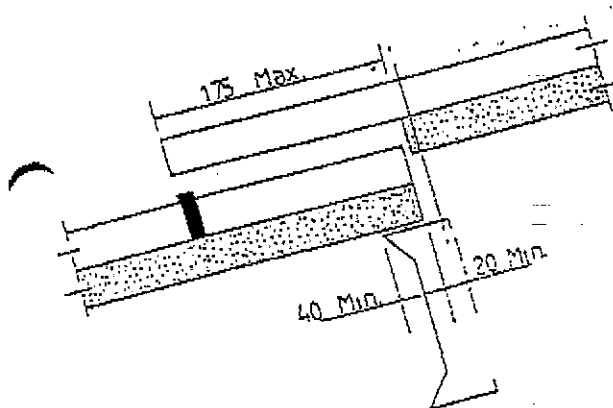
All Stitching Screws must have minimum Diameter of 14mm Washer.

All Main Fasteners to Panel must have minimum Diameter of 19mm Washer.

All Washers must be Stainless Steel.

All Fasteners must be either High Thread or Stand Off.

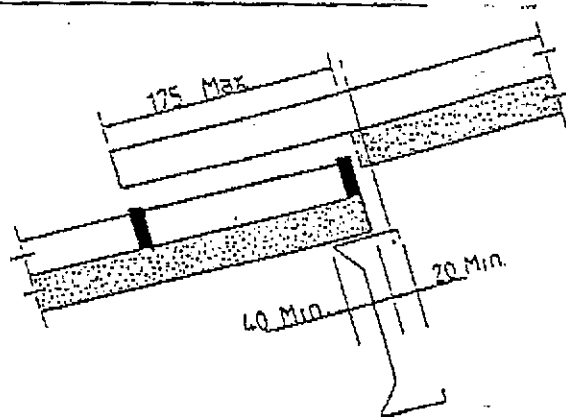
ONE BEAD SEALANT DETAIL



END LAP

- End Lap 175mm (max)
- $\frac{2}{3}$ of Bearing Surface the downslope Panel
- If Flange is less a ledger Plate must to give adequate bearing downslope and upslope
- Panel in Steel and A Min Bearing of Bottom Min Bearing of Top S
- End lap and side l be 9 x 3 Butyl Rubbe
- Silicone Sealant is for Flashing applica

TWO BEAD SEALANT DETAIL



WEIGHT

Kingspan 30mm	Panel :	9.95 KG/sq mt
Kingspan 35mm	Panel :	10.15 KG/sq mt
Kingspan 45mm	Panel :	10.55 KG/sq mt
Kingspan 50mm	Panel :	10.75 KG/sq mt
Kingspan 60mm	Panel :	11.15 KG/sq mt
Kingspan 80mm	Panel :	11.95 KG/sq mt
Kingspan 100mm	Panel :	12.75 KG/sq mt

Based on 0.55mm thick external sheet with 0.4mm thick i sheet.

Standard finish: PVC Plastisol to external face.

Non-standard gauges of steel can be supplied on extended delivery to special order.

SPANS

Kingspan Building Products Ltd will advise on compliance the requirements of CP3: Chapter V: Part 2: 1972. Load details are as in Table 1. For all foam depths between two layers of profiled steel, the table illustrates the in metres between Purlins/Rails with a deflection limit of $L/200$.

FIRE

Kingspan Composite Panels always provide a Class 0 surf defined by the National Building Regulations and are classified EXT. SAA. to BS: 476: Part 3: 1958. Kingspan Composite Panels have all been tested to BS: 476: Parts 4 and 7. Test Certificates are available on request. The Polyester coating on the internal surface is Class 1 to BS: 476: Part 7: 1971. The Composite Panels do not provide resistance to BS 476: Part 8: 1972 and constitute an unprotected area under the Building Regulations. Where resistance is a requirement of the construction, Kingspan Panels can be used in conjunction with proprietary fire systems.

CHEMICAL

Kingspan PVC Plastisol coated panels will not be damaged by the concentration of chemicals normally present in the atmosphere. Always ensure to consult the Kingspan person for technical advice if application of the standard Polystyrene coated internal facing is to be exposed to internal atmospheric conditions that could contain corrosive elements.

BIOLOGICAL

Kingspan Composite Panels are normally immune to attack from mould, fungi, mildew and vermin.

HEAT

The insulated panels have been designed to achieve the values listed below and meet the requirements of the 1963 Building Regulations. These regulations have now been superseded by the 1990 issue which now require a 'U' value of 0.45 W/M² Deg. K.

Kingspan 30mm	Panel 'U' = 0.51 W/M ² Deg. K
Kingspan 35mm	Panel 'U' = 0.478 W/M ² Deg. K
Kingspan 45mm	Panel 'U' = 0.384 W/M ² Deg. K
Kingspan 50mm	Panel 'U' = 0.350 W/M ² Deg. K
Kingspan 60mm	Panel 'U' = 0.297 W/M ² Deg. K
Kingspan 80mm	Panel 'U' = 0.228 W/M ² Deg. K
Kingspan 100mm	Panel 'U' = 0.186 W/M ² Deg. K

For the above the conductivity 'K' of the insulant is 0.02 W/M Deg. K.

The temperature limitations of PVC Plastisol means that panels should not be exposed continually to temperatures above 60°C and Polyester coated steel to temperatures above 120°C. Panels of the materials are affected by low temperatures.

RECOMMENDED APPLICATIONS FOR FIXINGS AND SEALANTS

Fixing to the roof should be through the crown of the Insulation to steel and timber Purlins. All fixings must be high thread off type incorporating a 19mm diameter twinseal washer. A plastic ultra-violet resistant cap in matching colour to sheeting can be on the head of the fixing screw when in place. Stitching screws only be used for side lap stitching and fixing of all Flashing on roof. All stitching screws must have a 16mm diameter twinseal. Spacing of stitching screws as per the table below.

The table below sets out fixing requirements and lap sealing recommendations for trapezoidal sections.

ROOF PITCH	<u>ENDLAP (mm)</u>			<u>Maximum Centres SIDELAP (mm)</u>	
	Profiled Metal	Profiled Alum	GRP R'Light	Profiled Metal	Profiled Alum
4° - 15°	min 150(DS) max 175(DS)	min 150(DS) max 200(DS)	min 150(DS) max 175(DS)	450 (S)	450 (S)
15° - and over	min 150 (S) max 175 (S)	min 150 (S) max 200 (S)	min 150(DS) max 175(DS)	600 (S)	450 (S)
WALL CLADDING					
Vert. Profile -	min 100 (S) max 175 (S)	min 100 (S) max 175 (S)	--	500 (S)	450 (S)
Horz. Profile -	min 150 (S) max 175 (S)	min 150(DS) max 175(DS)	--	450 (S)	450 (S)

Key to Symbols -

- (S) Single Sealant
- (DS) Double Sealant
- (U) Unsealed

Tail stitching of endlaps is strongly recommended on all Roofs than 7 1/2°. Tail stitching must include all profiles across 50mm from ends of endlap.

The roof pitches quoted above are equivalent to the following gradients:

$$4^{\circ} = 1 \text{ in } 14$$

$$15^{\circ} = 1 \text{ in } 3.8$$

Roof sheeting must be fixed through the crowns. Wall sheeting can be fixed through the crown or valley - See DATA SHEET 011

NOTES RELATING TO THE TABLE ABOVE:

- (A) The positioning of fasteners in profiled sheeting is to be in accordance with details in DATA SHEET 011
- (B) End lap details apply equally to sheeting and related components eg. traditional soakers and flashings.
- (C) Endlaps and Sidelaps fastening details apply generally to composite and Single Skin construction.
- (D) In roofing applications, sidelap fasteners should be fixed along the centre line of the profile crown - See Fig. .
- (E) Where a single line of sealant is used, it is preferably to be placed on the line of fasteners, or if this is not practicable, on the weather side of the fasteners.
- (F) Where double sealant is used, one line is to be placed on each side of the line of fasteners.
- (G) Use of sealants with strong adhesive properties should not be considered as a substitute for side lap fasteners.
- (H) Endlaps in plastic rooflights are to be fixed in each profile and the largest sealed washers that can be accommodated in the profile valley, up to 32mm diameter, used to spread the fixing load.
- (I) All 4 Corner junctions of Rooflights must have a stitching screw fixed 50mm (maximum) from the end of the top weather sheet.

- (J) If end laps are unavoidable they should be kept to minimum and positioned towards the ridge where the of rain water will be reduced.
- (K) Side laps may be secured using rivets or self-drill fasteners for walls. Rivets must be of the correct length including an allowance for the sealant.
Pop rivets must never be used in roofing application
- (L) All Sheeting fasteners should be used with sealing washers
- (M) Attention must be given to the dealing of ridge components, especially where through ventilation is needed beneath the sheeting profiles. Ventilated components are available with flashings profiled to match the roofing.

INSTALLATION

The following points should be observed if any of the Insulated Panels have to be cut on site.

Burning through Oxyacetylene (or similar) torches is completely unacceptable. It is almost impossible to cut a clean line and the coating and insulant is invariably damaged.

Cutting with a hacksaw is not recommended. It leaves a rough edge, can damage the coating, and is a slow process. Cutting with an abrasive disc is not recommended. It is easy to get a clean line and the coating can be damaged by the heat generated or by a carelessly held disc.

Kingspan recommend the use of a reciprocating type saw for cutting all composite panels. A sheet nibbler is recommended for cutting endlaps and sidelaps if required. It is very important that after any cutting, the panels 'immediately' cleaned down of swarf and dirt particles.

Fixings should be placed in the exact designed positions. Care should be taken to prevent distortion of the profile.

Sealants should be applied in strict accordance with instructions, to ensure, among other things, that stretching and breaking of sealants does not occur due to stringing them across the troughs of a sheet instead of laying them in continuous contact with profiles surface.

The panels should be inspected both during and after installation to ensure that it is free from cracks and other damage, that it bears correctly on its supports, that the specified laps are provided and sealed where required, that mitring where required has been carried out satisfactorily and that accessories and fixings are complete, correctly located secured.

Profiles should be in line from eaves to ridge and verges should be checked for alignment.

STORAGE AND HANDLING

The range of coated panel products offer good abrasion resistance, but consideration needs to be given to handling and the prevention of damage. The edges of the panels can be damaged by careless handling, singularly or in bundles. If moisture is trapped between them and allowed to remain, while they are stacked on site awaiting use, the Zinc coating can quickly deteriorate and white rust can occur. It is therefore essential that sheets are stored in dry conditions. To ensure sheets do not deteriorate when stored on building or agricultural sites, the following precautions are essential.

Do not leave uncovered stacks lying in the open. Store under cover, and away from open doorways. If stacks cannot be kept under cover, erect a simple scaffolding around them and cover with a waterproof sheet, tarpaulin or polythene, but leave space between cover and sheets to allow air to circulate.

Store stacks off the ground, and on a slope, so that should rain penetrate the covering, the water will drain away.

Panels should not be dragged off a stack but should be carefully lifted, preferably at ends.

Panels should be lifted into the roof, not dragged over the eaves and purlins.

When handling ensure panels are carried on edge, with the cover roll uppermost. Never lift panels by the cover roll.

When using lifting equipment, eg. cranes, hoist, protect the cover roll edges against damage by ropes, or slings, or by placing wide spreaders above and below the stack.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 5566 /91 Date of Decision : 11th December 1991

Register Reference : 91A/1257 Date Received : 1st November 1991

Applicant : Tara Meats Ltd.

Development : Extension, alterations to existing facades, and change
of use (a) from canteen to office/laboratory/store (b)
from dry goods storage to holding chill (c) from staff
amenities & workshops to carcass chills

Location : Unit 74 Cookstown Industrial Estate, Tallaght

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :260991//011191

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1257

Decision Order No. P/ 5566 /91

Page No: 0002

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ..10...ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 12/12/91.....

Reg.Ref. 91A/1257
Decision Order No. P/ 5566 /91
Page No: 0003



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 1.11.1991 save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 05 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council, and no work shall commence without the agreement of the Drainage Section of the Sanitary Services Department of the County Council with regard to the location of the existing public sewer which is to be diverted.
05 REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 06 That no industrial effluent be permitted without prior approval from Planning Authority.
REASON: In the interest of health.
- 07 That off-street car parking facilities and parking for trucks be provided as shown, and that the parking of cars shall be supervised to ensure that congestion does not occur on the public road.
07 REASON: In the interest of the proper planning and development of the area.
- 08 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping.
08 REASON: In the interest of the proper planning and development of the area.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1257

Decision Order No. P/ 5566 /91

Page No: 0004

09 That details of landscaping and boundary treatment be submitted to and approved by Planning Authority and work thereon completed prior to the completion of structure.

REASON: In the interest of amenity.

10 That no additional advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

10 REASON: In the interest of the proper planning and development of the area.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1257

Date : 4th November 1991

Our Ref.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Date

Dear Sir/Madam,

DEVELOPMENT : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcass chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

APPLICANT : Tara Meats Ltd.

APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information received on 1st November 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin



Don O'Donoghue Design+Project Management

Civil Structural and Insulation Engineering Design · Project Planning and Co-ordination · Construction Management

The Hill
Stillorgan
Co. Dublin
Tel: 01-2882101
Fax: 01-2887955

Our Ref: RB/SF

31 October 1991

Planning Department
Dublin County Council
Block 2
Irish Life Centre
Lwr Abbey Street
Dublin 1

91A/1257

2.20.0

A.1.

Dear Sir

RE. ADDITIONAL INFORMATION
REG. REF. NO. 914/1257

Permission is sought for the construction of an extension,
alterations to existing facades and changes of use

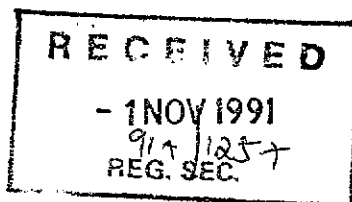
- (a) from Canteen to Office/Laboratory/Store,
- (b) from Dry Goods Storage to Holding Chill,
- (c) from Staff Amenities and Workshop to Carcase Chills

at unit 74, Cookstown Industrial Estate, Tallaght for Tara
Meats Ltd.

Further to your letter of 26th September 1991, our telephone
conversations with your Ms. Geraldine Boothman re. planning
matters and meetings with Mr. Barry Morris of Sanitary Services
regarding proximity of development to public sewer (18.9.91)
and with Mr. Owen Madden re. car parking standards (8.10.91) we
wish to confirm the following:-

1. We propose to divert the existing public sewer away from
the proposed development as per the details submitted
20.9.91 and verbally agreed with Mr. Morris.
2. As discussed and verbally agreed with Mr. Madden, we
propose a car parking layout as per our enclosed Drawing
No. 90-204-02A.

cont/d...



VAT. NO.
F4680252K

Please specifically note -

(a) Main Front Car Park

This area will provide parking spaces for 31 staff cars which will be closely supervised by the factory management. All staff arrive to and depart from the site at the same time.

(b) Secondary Front Car Park

This area will provide parking for 8 staff in addition to 3 spaces reserved for visitors.

(c) Rear Car Park

This area will provide 18 spaces for Management and Veterinary staff.

Given that the company expects to require spaces for a total of 40 cars plus visitors as per the attached schedule, we suggest that our provision of 57 is certainly adequate for the use of the building as proposed by the present owner.

Should the Council feel it necessary to condition the permission with regard to these matters, we suggest the following clause would be appropriate.

" The use of the buildings shall be restricted to the production and storage of meat products from animal carcasses, and shall not be construed as giving assent to other uses, which shall be the subject of separate planning applications in this event."

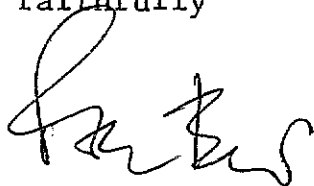
The enclosed Drawing Nos. 90-204/02A, 03C/04A/05A/06B incorporate three minor differences from those originally issued and we request that these be incorporated into the permission.

- (a) New layout within the proposed Amenity Block in order to provide a safer staff entrance away from the bone collection area.

- (b) Reduction in the first floor area of the Amenity Block balanced by a small extension to the existing plant rooms at the rear of the building.
- (c) The area of the product marshalling area has been increased and the carton store correspondingly reduced by 28 square metres.

We trust that the above will allow you to complete your consideration of this application.

Yours faithfully



ROBIN BEER

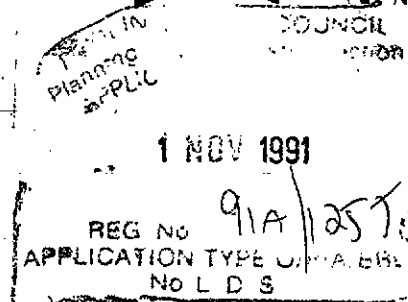
c.c. Ms. Geraldine Boothman
Mr. Barry Morris - Sanitary Services
Mr. Owen Madden

tara meats (Dublin) Ltd

Unit 74
Cookstown Industrial Estate
Tallaght
Dublin 24
Ireland

Telephone: (01) 512522
Telec: 93962
Fax No.: 512351

TO: ROBIN BEER
FROM: ARTHUR ORMSBY
DATE: 10/07/91

PRESENT PERSONNEL

OFFICE	6
PRODUCTION	26
VETS	2
CANTEEN	2
SUPERVISORS	4
MAINTENANCE	2
DIRECTORS	2
TOTAL:	44

PRESENT CARS: 31

FUTURE PERSONNEL

7
36
2
2
5
2
2
56

40

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin.

Reg. Ref. No. 91A/1257

26 September 1991

Re: Permission for the construction of an extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store, (b) from dry goods storage to holding chill, (c) from staff amenities and workshops to carcass chills at Unit 74 Cookstown Industrial Estate, Tallaght for Tara Meats Ltd.

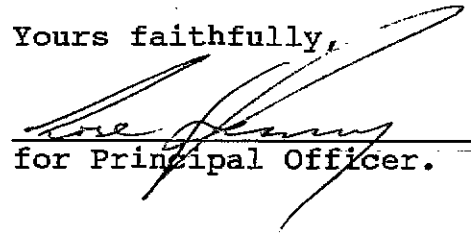
Dear Sir,

With reference to your planning application, received here on 30th July, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1990, the following additional information must be submitted in quadruplicate:-

1. Applicant is requested to indicate whether he can comply with the requirements of the Sanitary Services Department of the County Council, for a less dense development permitting at least 5 metre clearance from the public sewer traversing the rear section of the site.
2. Applicant is requested to indicate whether he can comply with the requirements of the Roads Department of the County Council for a less dense development, permitting car parking spaces to the standards required by the 1983 County Development Plan.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,


for Principal Officer.



Don O'Donoghue Design+Project Management

Civil Structural and Insulation Engineering Design · Project Planning and Co-ordination · Construction Management

The Hill
Stillorgan
Co. Dublin
Tel: 01-2882101
Fax: 01-2887955

Our Ref: JM/SF

20 September 1991

Dublin County Council
Planning Department
Irish Life Centre
Lwr Abbey Street
Dublin 1

**RE. PLANNING APPLICATION FOR TARA MEATS LTD,
UNIT 74 COOKSTOWN INDUSTRIAL ESTATE, TALLAGHT
REGISTER REF. 91A/1257**

Dear Sir/Madam

We write on behalf of our clients, Tara Meats Ltd., in connection with the above current planning application.

We are informed by the Planning Department that a difficulty exists in regard to the proximity of the proposed development to an existing County Council main foul sewer which traverses the rear of the site.

On Wednesday last, 18th inst, we met with Mr. Barry Morris, Sanitary Services Department, and discussed the diversion of this sewer as a solution which he appeared to find acceptable.

Our proposal is to construct four new manholes, and divert the sewer as shown on our enclosed Drawings Nos. 90-204-03B/8 (four copies enclosed), thereby achieving a clearance of approx. 4.75 metres between the pipe centre-line and the new building. The new wall foundation parallel to the sewer, would also be formed at the same level as the pipe invert level.

All of this work would be carried out at our clients expense, and under the Council's supervision.

We trust that you will find this proposal acceptable, and that consideration of our planning application can proceed accordingly.

Yours faithfully

JOHN MURPHY

91A/1257

1.8.0

und A.1

20. SEPT 91

VAT. NO.
F4680252K



Don O'Donoghue
Design + Project Management

Civil Structural and Insulation Engineering Design · Project Planning and Co-ordination · Construction Management

The Hill
Stillorgan
Co. Dublin
Tel: 01-2882101
Fax: 01-2887955

Our Ref: IRG/SF

9 August 1991

Dublin County Council
Planning Department
Irish Life Centre
Lwr Abbey Street
Dublin 2

**RE. PROPOSED EXTENSION, ALTERATIONS, AND PARTIAL CHANGE OF
USE AT TARA MEATS LTD, UNIT 74, COOKSTOWN INDUSTRIAL
ESTATE, TALLAGHT**

Dear Sir/Madam

Further to your letter dated 8 August 1991 we enclose one copy of Drawing No., 90-204-03 and 04 with new areas marked up in Red, and change of use areas marked up in Green as per our calculation sheet.

We trust this is satisfactory.

Yours faithfully


I R GUINNESS

91A/1257.

12. AUG 91

Fees AE.
2.2.0

VAT. NO.
F4680252K

FEE CALCULATIONS - TARA MEATS LTD, TALLAGHT - 24.7.91

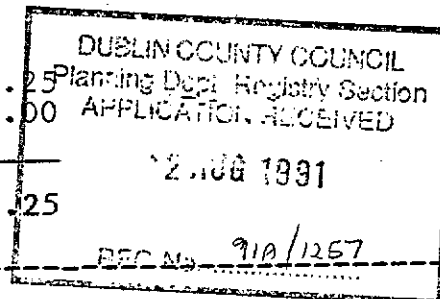
<u>1. PLANNING</u>		SHOWN IN RED	SHOWN IN GREEN
		<u>NEW BUILDING</u>	<u>CHANGE OF USE</u>
GROUND FLOOR		9.9 x 46.5 = 460.35 11.49 x 7.5 = 86.10	H/Chill 23.4 x 14.85 = 347.49 part Carcase Chills = 105.48
Total		546.45	452.97
FIRST FLOOR			
Canteen		19.3 x 7.5 = 144.75	Lab etc. 11.6 x 9.2 = 106.72
Total		691.20 559.69	559.69
Gross Total		1250.89	

1250.89m² @ £1.75 =
Facade Alterations

£2,189.25
£ 40.00

PLANNING FEE

£2,229.25



2. BYE-LAWS

GROUND FLOOR	546.65	part Carcase Chills	105.48
FIRST FLOOR			
Canteen	144.75	Lab etc.	106.72
Total	691.40 212.20		212.20
Gross Total	903.60		

903.60m² @ £3.50 = £3,164.00

BYE LAW APPLICATION FEE = £3,164.00

TOTAL FEE = (£3,164 + £2,229.25) = £5,393.25

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1257

Date : 31st July 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store (b) from dry goods storage to holding chill (c) from staff amenities & workshops to carcass chills

LOCATION : Unit 74 Cookstown Industrial Estate, Tallaght

APPLICANT : Tara Meats Ltd.

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 30th July 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Design & Project Management,
The Hill,
Stillorgan,
Co. Dublin



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission ☒ Outline Permission ☐ Approval ☐ Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Tara Meats Ltd, Unit 74, Cookstown Industrial Estate, Tallaght, Dublin 24
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) Tara Meats Ltd

Address as 2. above Tel. No. 512522

4. Name and address of Design & Project Management, The Hill, Stillorgan,
person or firm responsible Co. Dublin
for preparation of drawings

5. Name and address to which as 4. above.
notifications should be sent

6. Brief description of Construction of an extension, alterations, partial change of use,
proposed development facade alterations.

7. Method of drainage Public Sewers 8. Source of Water Supply Public Mains

9. In the case of any building or buildings to be retained on site, please state:-

(a) Present use of each floor See enclosed survey drgs for existing uses, and proposal
or use when last used. drawings for proposed uses.

(b) Proposed use of each floor

10 Does the proposal involve demolition, partial demolition
or change of use of any habitable house or part thereof? No.

11.(a) Area of Site 3,735 Sq. m.

(b) Floor area of proposed development 691.40 m² (new building), 559.69 m² (change of use) Sq. m.

(c) Floor area of buildings proposed to be retained within site 1,644.15 Sq. m.

12.State applicant's legal interest or estate in site
(i.e. freehold, leasehold, etc.) Freehold

13.Are you now applying also for an approval under the Building Regulations? Yes ☒ No ☐ Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations apply Substantially

15.List of documents enclosed with application. 4 copies each of drgs nos. 90-204-001/2/5/6/7/8/01/2/3/4/5/6/7.
Drg. Schedule, Outline Specification; one each of published advert.

cheque for £5,393.25 to inc. Planning & Bye-Law Application Fees.

SEE CALC. SHEET

16.Gross floor space of proposed development (See back) 691.40 m² (new building), 559.69 m² (change of use) Sq. m.

No of dwellings proposed (if any) None Class(es) of Development 4 (see over)

Fee Payable £ 5,393.25 Basis of Calculation As 16. above.

If a reduced fee is tendered details of previous relevant payment should be given

N/A

Signature of Applicant (or his Agent) Date 24/7/91

Application Type P/B FOR OFFICE USE ONLY 30/7

Register Reference 91A/1257

Amount Received £ 5,52.4

Receipt No 21-8

Date

DUBLIN 24 Tara Meats Ltd are applying to Dublin County Council for planning permission for the construction of an extension, alterations to existing facades, and change of use (a) from canteen to office/laboratory/store, (b) from dry goods storage to holding chill, (c) from staff amenities and workshops to car park, at their premises at Unit 74 Cookstown Industrial Estate, Tallaght

RECEIVED

30 JUL 1991

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
(ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min. £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension	
C	(improvement/alteration) Building — Office/ Commercial Purposes	£30.00 each £3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

CASH

CHEQUE

M.O.

B.L.

17

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N-44372

£ 2229.25

Received this

30th

day of

July

19 91

from

Tom Meats (Dublin) Ltd,
Cookstown Ind. Est.

the sum of

£ 2229.25, two hundred & twenty nine

Pounds

Pence, being

plp application at Unit 74, Cookstown
Ind. Est.

Cashier

S. CAREY

Principal Officer

Cash 4

RECEIPT CODE

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 45409

£3164.00

Received this

30th

day of

July

19 91

from Tom Meats (Dublin) Ltd,
Cookstown Ind. Estate

the sum of

three thousand one hundred & sixty four Pounds

Pence, being

70 for

bye-law application at Unit 74 Cookstown
Ind. Estate

Melanie Deane

Cashier

S. CAREY

Principal Officer

CSS C



**Don O'Donoghue
Design+Project Management**

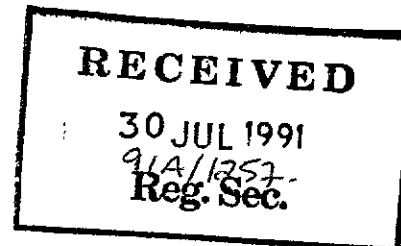
Civil Structural and Insulation Engineering Design · Project Planning and Co-ordination · Construction Management

The Hill
Stillorgan
Co. Dublin
Tel: 01-2882101
Fax: 01-2887955

Our Ref: JM/SF

24 July 1991

Dublin County Council
Planning Department
Irish Life Centre
Lwr Abbey Street
Dublin 2



**RE. PROPOSED EXTENSION, ALTERATIONS, AND PARTIAL CHANGE OF
USE AT TARA MEATS LTD, UNIT 74 COOKSTOWN INDUSTRIAL
ESTATE, TALLAGHT**

Dear Sir/Madam

Further to our meetings with Ms Boothman, we now wish to apply on behalf of our clients, Tara Meats Ltd, for Planning Permission and Building Bye Law Approval for the above proposal, to be constructed in accordance with the enclosed drawings and outline specification (list attached). The scheme now incorporates front facade improvements which were discussed with Ms. Boothman.

We also understand that the Roads and Traffic Dept. find the proposal acceptable in principle, in view of the improved goods vehicle loading/unloading arrangements and rationalised car parking layout.

Four copies each of the following documents are enclosed:

Drawing Nos. 90-204-001/2/5/6/7/8/01/2/3/4/5/6/7
Outline Specification, Drawing Schedule, Fee Calculation Sheet.

cont/d....

VAT. NO.
F4680252K

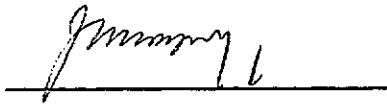
...2

and one each of the following:-

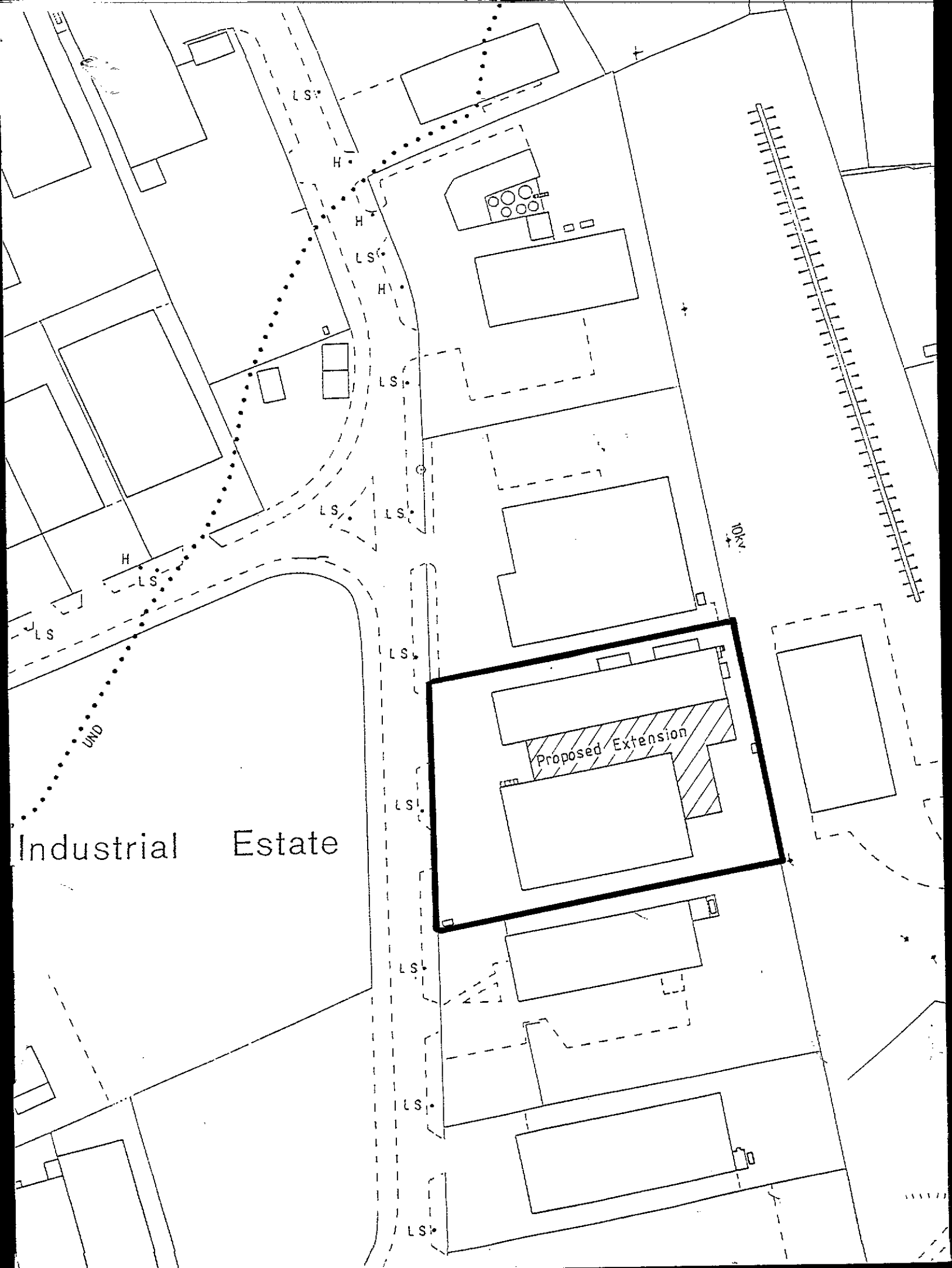
Completed application form, published planning application advertisement, cheque for £5,393.25 to include Planning and Building Bye-Law application fees.

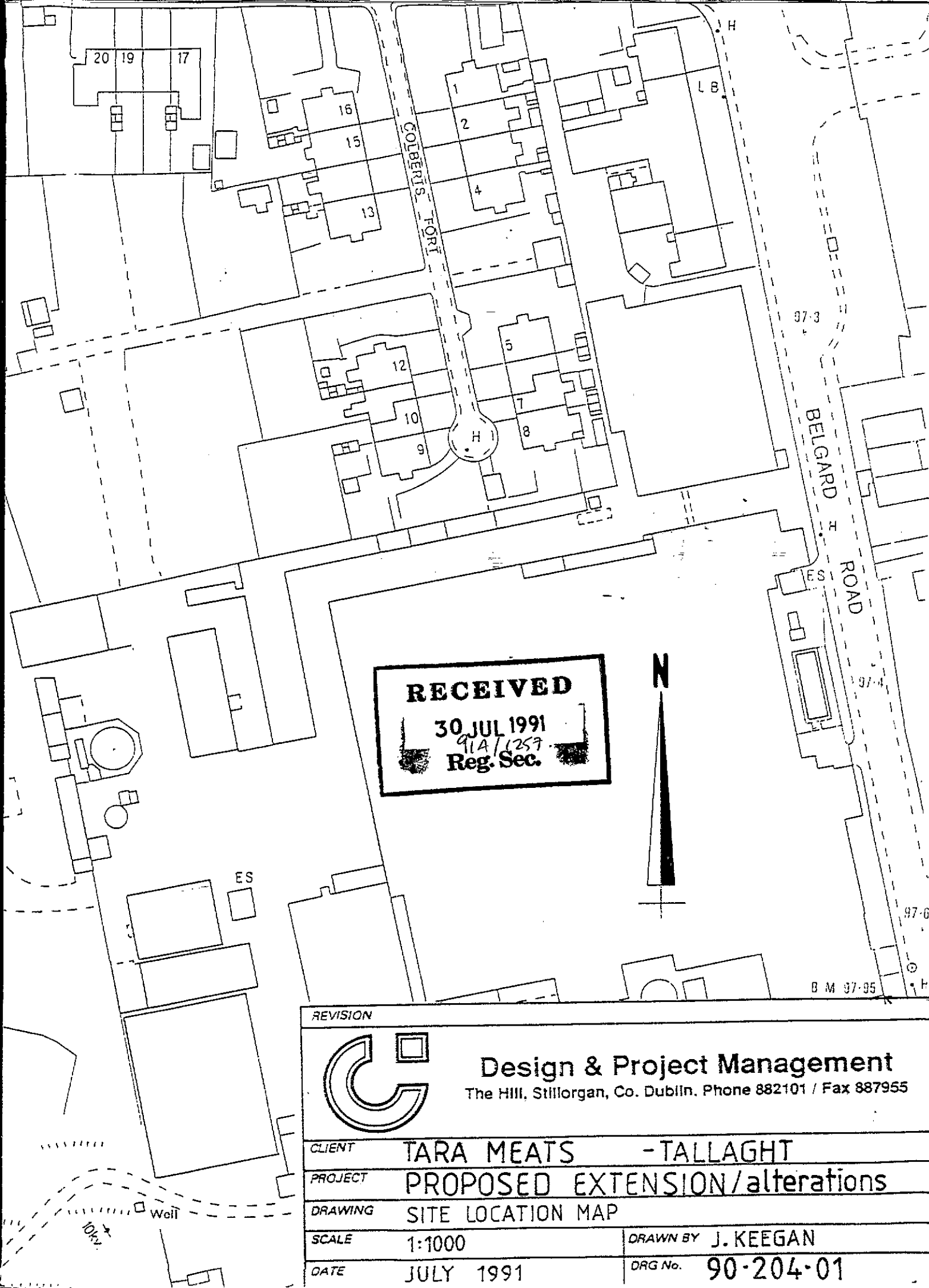
Should you have any queries, please contact the undersigned.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'John Murphy', is written over a horizontal line.

JOHN MURPHY







Don O'Donoghue Design + Project Management

Civil Structural and Insulation Engineering Design · Project Planning and Co-ordination · Construction Management

The Hill
Stillorgan
Co. Dublin
Tel: 01-2882101
Fax: 01-2887955

25.7.91

TARA MEATS LTD - TALLAGHT

DRAWING/SPEC. SCHEDULE

<u>Drawing No</u>	<u>Title</u>	<u>Scale</u>
90-204-01	Location Map	1:1000
90-204-02	Site Layout	1:200
90-204-03	Proposed Ground Floor Plan	1:100
90-204-04	Proposed First Floor Plan	1:100
90-204-05	Proposed Elevations	1:100
90-204-06	Sections AA, BB, CC, DD	1:100
90-204-07	Sections EE, FF	1:100
<div>RECEIVED 30 JUL 1991 91A/1257 Reg. Sec.</div>		
90-204-001	Survey - Ground Floor Plan	1:100
90-204-002	Survey - First Floor Plan	1:100
90-204-005	Survey - Side Elevations	1:100
90-204-006	Survey - Front/Rear Elevations	1:100
90-204-007	Survey - Sections	1:50
90-204-008	Site Survey	1:200

Outline Specification.

VAT. NO.
F4680252K

DUBLIN CORPORATION

BUILDING BYE LAWS APPLICATION FORM

Building Control Section,
Liffey House,
24-28 Tara Street,
Dublin 2.

TEL: 773066

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM
ALL QUESTIONS TO BE ANSWERED

1. Postal address of site or building..... Unit 74, Cookstown Industrial Estate, Tallaght, Dublin 24
(If none, give description
sufficient to identify location
of proposed work)
2. Name of applicant (Principal not Agent)..... Tara Meats Ltd
Address..... as 1 above Tel. No..... 512522
3. Name and address of Person or Firm responsible for preparation of plans..... Design & Project
Management, The Hill, Stillorgan, Co. Dublin Tel. No..... 288 2101
4. Name and address to which notifications should be sent..... as 3 above
5. Brief description of proposed development..... Construction of extension, alterations, partial
change of use, facade alterations.....
91A/1257
Reg. Sec.

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30 JUL 1991

Reg. Sec.

6. Cubic capacity, floor area and height of proposed building, extension and/or existing building.

(A) Proposed building or extension

Height	Floor Area	Cubic Capacity
6.35 M over existing ground ft.	691.40 (new) M ² 212.20 (altered) ft. ²	3030.22 (new) M ³ ft. ³
6.1 M ft.	1644.15 M ² ft. ²	8095.06 M ³ ft. ³

(B) Existing Building

7. List of Documents lodged with this Application Form:

Plans	Location Map & Block Plan	Specification	Structural Calculations
90-204-001/2/5/6/7/8 (Survey)	Included under plans	4 copies	To follow
90-204-01/2/3/4/5/6/7 (Proposed)			
(4 copies)			

Signature of Applicant (or his agent).....

Date..... 24/7/91

NOTE: No work shall be commenced prior to approval being obtained under the Building Bye Laws. This is not an application for planning permission and such application should be made where necessary on the appropriate form.

FOR OFFICE USE ONLY

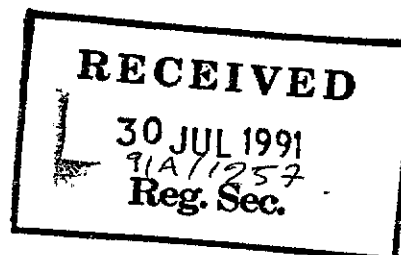
Reg. Ref.....

Plan No.....

FEE CALCULATIONS - TARA MEATS LTD, TALLAGHT - 24.7.91

1. PLANNING

	<u>NEW BUILDING</u>	<u>CHANGE OF USE</u>
GROUND FLOOR	9.9 x 46.5 = 460.35 11.49 x 7.5 = 86.10	H/Chill 23.4 x 14.85 = 347.49 part Carcase Chills = 105.48
Total	546.45	452.97
FIRST FLOOR		
Canteen	19.3 x 7.5 = 144.75	Lab etc. 11.6 x 9.2 = 106.72
Total	691.20 559.69	559.69
Gross Total	1250.89	
1250.89m ² @ £1.75	= £2,189.25	
Facade Alterations	£ 40.00	
PLANNING FEE	£2,229.25	



2. BYE-LAWS

GROUND FLOOR	546.65	part Carcase Chills	105.48
FIRST FLOOR		Lab etc.	106.72
Canteen	144.75		
Total	691.40 212.20		212.20
Gross Total	903.60		

903.60m² @ £3.50 = £3,164.00

BYE LAW APPLICATION FEE = £3,164.00

TOTAL FEE = (£3,164 + £2,229.25) = £5,393.25

OUTLINE SPECIFICATION

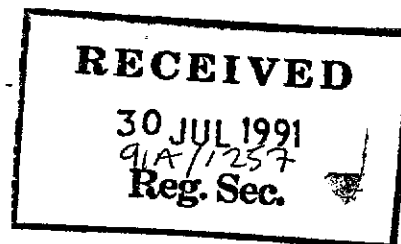
1. Building
2. Mechanical Services Installation.
3. Electrical Services Installation.
4. Refrigeration Services Installation.
5. Drainage System.

For

Proposed Alterations and Extensions

At

Tara Meats Ltd
Cookstown Industrial Estate
Tallaght
Dublin 24



Dated: July 1991

Design & Project Management
The Hill,
Stillorgan
Co. Dublin
Tel: 2882101
Fax: 2887955

1. Building

Outline Specification For General Building Work

1.0 Production Area:

1.1 Walls: Internal walls to temperature controlled areas to consist of P.V.C coated white insulated sandwich panels of 75mm and 150mm thickness.
Other internal walls - Blockwork, Plastered & Painted.

1.2 Ceilings: Ceilings to temperature controlled areas to consist of P.V.C coated white insulated sandwich panels of 150mm thickness.
Other Ceilings: Sealed waterproof washable suspended ceiling.

1.3 Doors: All production doors to be finished in circular scratch stainless steel. Detailed specification to be issued for ironmongery and fitting.

1.4 Floors: Floors in working area to consist of applied finish laid to falls including all necessary floor joints.

Other Floors: To be power floated, hardened and sealed concrete.

1.5 Drainage: All underfloor drainage to be installed in earthenware piping. all gullies to be manufactured in stainless steel and incorporate a trap.

1.6 Sanitary Fittings: All wash basins and sterilisers to be manufactured from stainless steel. Wash basins to have knee operation.

1.7 Sealants: Alkl sealants used to be white in colour and to the approved hygiene quality for use in food factory environments.

1.8 Standards: All working areas to conform to Dept. Of Agriculture and E.C food factory regulations.

2.0 Staff Amenities

2.1 Walls: Walls to be constructed in blockwork of 100mm and 215mm thickness and finished in 'Emalux' to selected colour, and 'Emalux' on skimmed plasterboard, all as shown on the drawings.

- 2.2 Floors: Floors to be laid to falls and gullies in stainless steel provided. floor finish to be ceramic floor tiles with coved ceramic tiled skirting; or other approved finish.
- 2.3 Ceilings: Ceiling to consist of 1200 X 600 'Ceramaguard' ceiling tiles in exposed white suspension system.
- 2.4 Ventilation: All toilets and locker rooms to be mechanically ventilated.
- 2.5 Doors: Doors to be of timber construction with bonded plastic finish and hardwood edging all round.
- 2.6 Sanitary Ware: Wc's to be anti-vandal type complete with cisterns. Urinal to be trough type manufactured from stainless steel.

Wash basins to be multiple station manufactured from stainless steel and knee operated. Each station to be provided with soap dispenser and dispensable towel holder.

- 2.7 Structure: All columns, beams, concrete slabs; pre-cast concrete, foundations, trusses, portal frames, purlins, band beams, and stairs, to Structural Engineers design and detail.

2. Mechanical Services Installation

Mechanical Services - Outline Specification

1. Domestic Water Services

Domestic Water Services will include for hot cold and mains water supplies to refurbished amenity area which shall include showers, hand washing, and bootwash to achieve a high standard of personal hygiene among the workforce. Showers will be located within the hygiene barrier between the amenity block and the production area.

Handwashing shall be with 45 celcius water supplied from calorifier for the Amenity Block to knee operated wash stations located at all entrances to the production area as required for the maintenance of a high standard of cleanliness.

2. Process Water Services

Process Water shall be available for washdown, handwash and to sterilisers. Washdown shall be performed manually by trained personnel using water lances plugged into a high pressure wash system.

Sterilisers will be located within the reach of operators involved in the preparation of product in compliance with E.C. and industry requirements. Pipework within production areas shall be run in galvinised steel

3. Compressed Air Installation

Compressed Air shall be generated centrally, dried and filtered to relevant food industry standards prior to distribution to the plant. Where lubricators are required they shall be installed at the point of use. Consideration shall be given to a standby facility.

4. Water Treatment

Process water shall be chlorinated before storage on site. The storage tank shall have a liner acceptable to the process installed and all pipework shall be thoroughly disinfected during commissioning.

5. Ventilation

Room spaces shall be ventilated to provide fresh air for occupants and to remove odours and potential contaminants from interior environment.

6. Specialist Controls

Controls shall be provided to ensure safety and efficient operation of all mechanical plant. Where heat recovery/conservation is possible, systems shall be designed and operated accordingly.

3. Electrical Services Installation

Outline Specification - Electrical Services

- 1.0 The project complex will be provided with an overall and comprehensive Electrical Service Installation.
- 2.0 The proposed Electrical Services installation will comprise:
 - 2.1 Provision of Main Low Tension Distribution Switchboard to take exististing supply and to distribute supplies to Plant & Services.
 - 2.2 Provision of Power Factor Correction Equipment Systems.
 - 2.3 A complete Low Tension Power Supply Distribution System including Power cabling.
 - 2.4 A complete Internal Lighting Services Installation, including supply and erection of Luminaires.
 - 2.5 A complete Emergency Lighting Services Installation, including supply and erection of Luminaires to I.S 3217-1989.
 - 2.6 A complete External Lighting Installation, including supply and erection of Luminaires.
 - 2.7 A complete General Services Socket Outlet and Small Motive Power installation.
 - 2.8 A complete Mechanical Plant & Systems Services Installation.
 - 2.9 A complete Refrigeration Plant, Equipment & Services Installation.
 - 2.10 A complete Process Equipment and Systems Fit-Out Services Installation.
 - 2.11 A complete insectacutor Installation, including supply and erection of insectacutor Units.
 - 2.12 A complete Office Block Services installation.
 - 2.13 A complete Fire Detection & Alarm System Installation to I.S. 3218-1989.
- 3.0 The Electrical Installation will be designed by an Electrical Engineer and installed by an Electrical Installation Contractor selected by Tender.

4.0 Standards & Codes Of Practice

- 4.1 The whole of the Electrical Services Installation complete with all plant, equipment, components, accessories and material, shall be carried out in accordance with the requirements of the

National Rules for Electrical Installations, Current Edition.

Irish & British Standards & codes of practice.

Electrical Equipment (Safety) Regulations, 1975, Current Edition.

The Fire Officer.

The Electricity Supply Authority (E.S.B)

- 4.2 The Fire Detection & Alarm System shall be installed in accordance with I.S. 3218-1989.
- 4.3 The Security/Intruder Systems shall be installed in accordance with I.S.199.
- 4.4 The Emergency Lighting & Exit Sign System shall be installed in accordance with I.S. 3217-1989 taking due note of the Fire Officer's requirement.

4. Refrigeration Services Installation

Refrigeration Services - Outline Specification

The plant to consist of ammonia reciprocating compressor sets with micro processors. Units to have master / slave / function.

Evaporative Condenser with fan control. Wet Bulb Temp. +21 Deg C
Condensing Temp. +32 Deg C

Complete with sump heater and water level control.

Liquid Receiver to accommodate complete plant charge and complete with:

Level Switch
Stop Valves
Double Safety Valve
Oil Evacuation Pot
Level Gauge
Design Code BS5500 With Insurance Certificate
Vent Valve And connections.

Shell & Tube Evaporator with removable ends and surge accumulator:

Oil Evacuation Pot
Level Control
Liquid Feed control
Sight Glass
Double Safety Valve
Level Switch

Include for all necessary controls to maintain constant glycol outlet temperature max variance plus or minus 0.25 deg C.

Glycol Pumps 2 off (1 as stand-by) complete with all valves, controls, mechanical seal, by-pass and temperature indicators. Motors to have variable speed control to maintain constant flow and pressure.

All items to be included to correct refrigeration/glycol system to various cooling loads. It is the responsibility of the Refrigeration Contractor to supply all items of equipment, controls, electrical equipment to fulfill the duties and cooling tolerances specified.

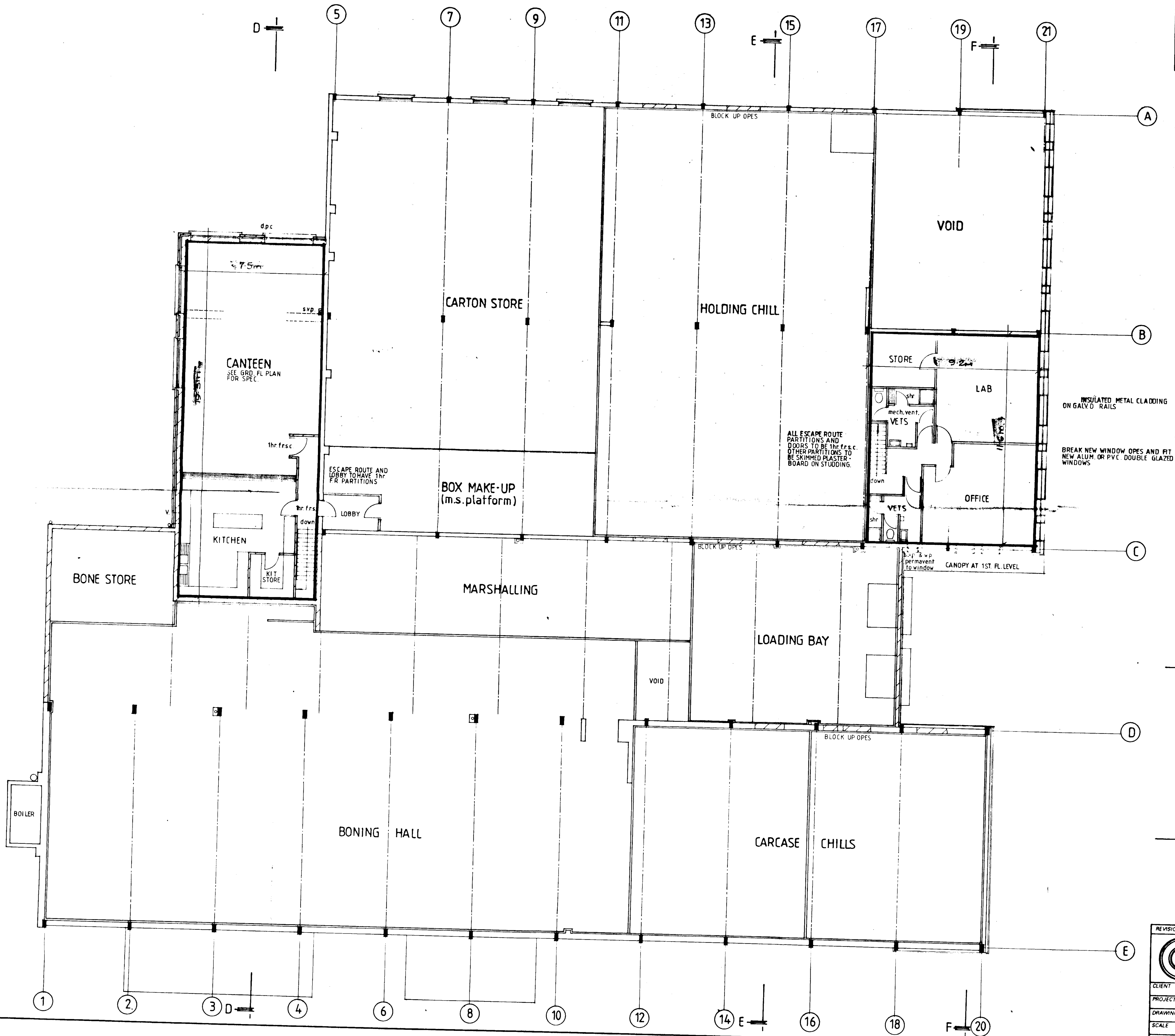
Outline Specification For Drainage.

Outline Specification For Drainage

- 5.0 Surface Water: Existing surface water system is to be retained and extended as necessary.
- 5.1 Foul Drainage: A new underfloor foul drainage system is to be installed in earthenware pipes of 100mm, 150mm and 225mm diameter. All drains to be laid to manufacturers instructions. The production area foul drainage will be discharged through a grease trap, to main foul sewer. The amenity foul drainage will be piped directly to main foul sewer.
- 5.2 Manholes: All internal manholes to have double sealed covers. Manholes to be constructed in blockwork and plastered internally.
- 5.3 Venting: The head of each foul drain line is to be vented above roof level and a cowl provided to each vent.
- 5.4 Gullies: All floor gullies to be manufactured from stainless steel and to have integrated traps and 12mm thick stainless steel covers.

NOTES

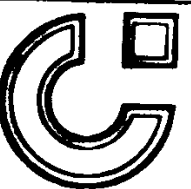
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2. WORK ONLY TO FIGURED DIMENSIONS
3. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK OR MANUFACTURE AND ANY VARIATIONS TO BE REPORTED BEFORE PROCEEDING.



INSULATED METAL CLADDING
ON GALV.D. RAILS

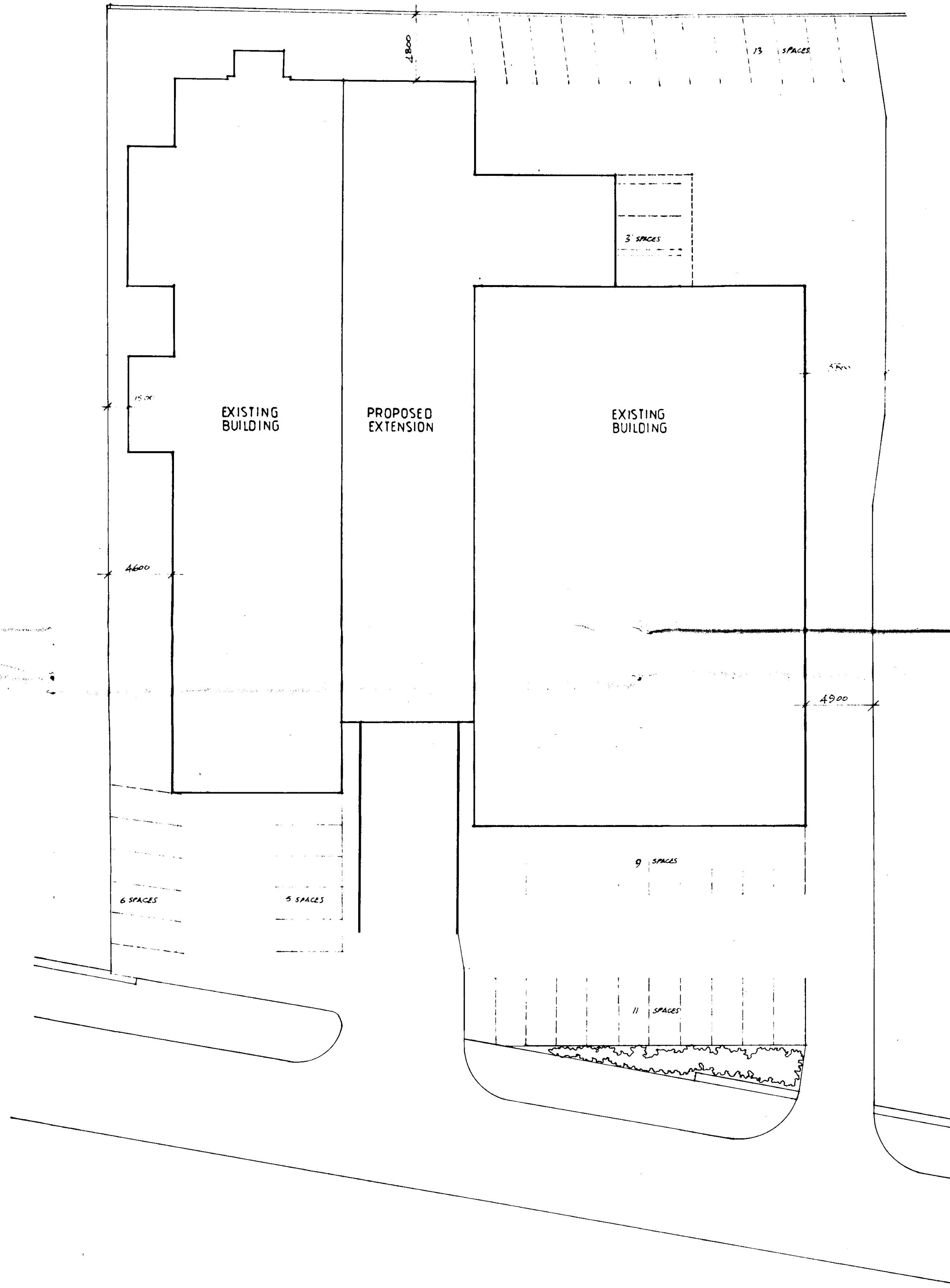
BREAK NEW WINDOW OPES AND FIT
NEW ALUM. OR PVC. DOUBLE GLAZED
WINDOWS

DUBLIN CITY COUNCIL
Planning & Building Section
APPLICATION RECEIVED
12 JUL 1991
REG No. 90/204-04

REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 002101 / Fax 007935	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	FIRST FLOOR PLAN
SCALE	1:100
DATE	JULY 91
DRAWN BY	J. M.
DRG No.	90-204-04

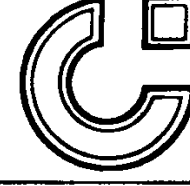
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1. DO NOT SCALE FROM DRAWING
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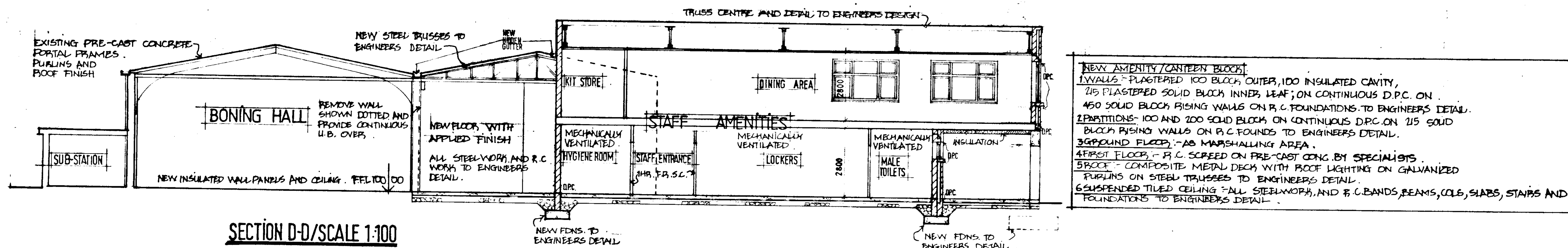
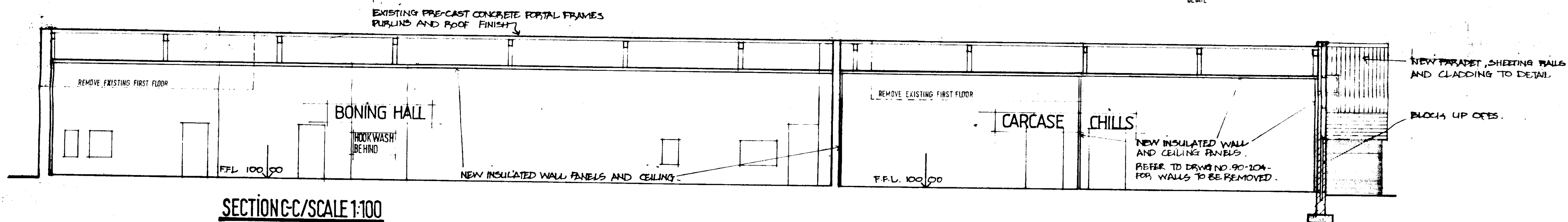
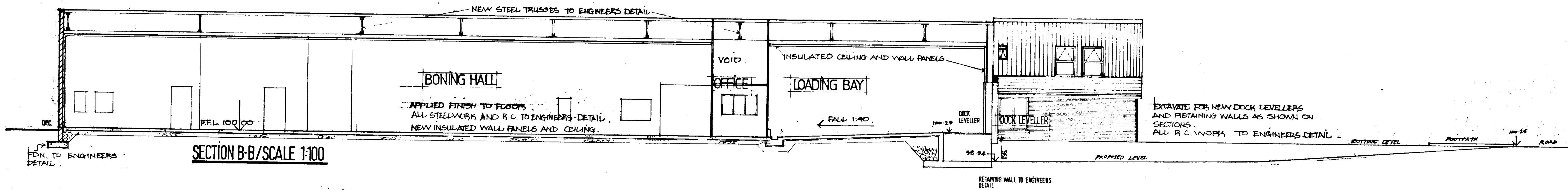
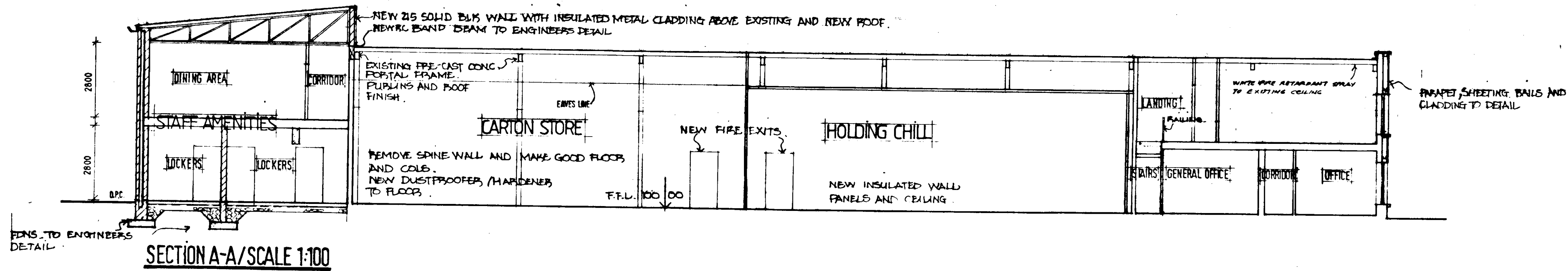
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30 JUL 1991
37/PA/257
Reg. Sec.

TOTAL NO. OF PARKING SPACES: 47

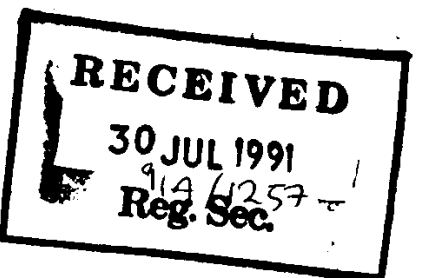
REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	SITE LAYOUT
SCALE	1:200
DATE	JULY 1991
DRAWN BY	J.M.
DRG No.	90-204-02

NOTES

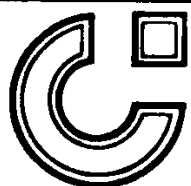
1. DO NOT SCALE FROM DRAWING
2. WORK ONLY TO FIGURED DIMENSIONS
3. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK OR MANUFACTURE AND ANY VARIATIONS TO BE REPORTED BEFORE PROCEEDING.



NEW AMENITY/CANTEEN BLOCK
 1. WALLS - PLASTERED 100 BLOCK OUTER, 100 INSULATED CAVITY, 215 PLASTERED SOLID BLOCK INNER LEAF; ON CONTINUOUS D.P.C. ON 450 SOLID BLOCK RISING WALLS ON R.C. FOUNDATIONS TO ENGINEERS DETAIL.
 2. PARTITIONS - 100 AND 200 SOLID BLOCK ON CONTINUOUS D.P.C. ON 215 SOLID BLOCK RISING WALLS ON R.C. FOUNDATIONS TO ENGINEERS DETAIL.
 3. GROUND FLOOR - AS MARSHALLING AREA.
 4. FIRST FLOOR - R.C. SCREED ON PRE-CAST CONC. BY SPECIALISTS.
 5. ROOF - COMPOSITE METAL DECK WITH ROOF LIGHTING ON GALVANIZED PURLINS ON STEEL TRUSSES TO ENGINEERS DETAIL.
 6. SUSPENDED TILED CEILING - ALL STEELWORK, AND R.C. BANDS, BEAMS, COLS, SLABS, STAIRS AND FOUNDATIONS TO ENGINEERS DETAIL.

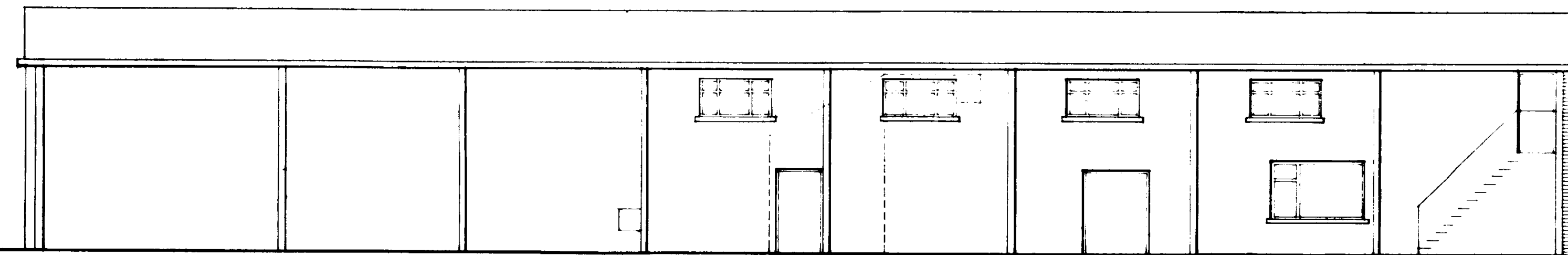


/// DENOTES NEW BLOCK WORK

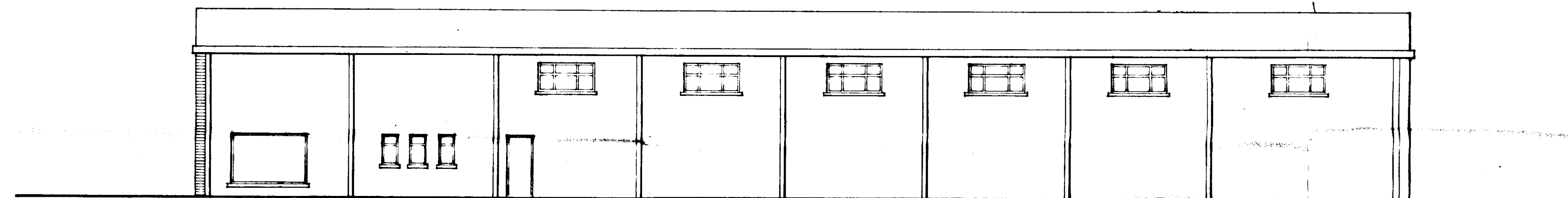
REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 082101 / Fax 087955	
CLIENT	TARAMEATS LTD. TALLAGHT.
PROJECT	PROPOSED EXTENSION / alterations
DRAWING	SECTIONS
SCALE	AS SHOWN
DATE	JULY 1991
DRAWN BY	Alan St. John
DRG NO.	90-204-06

NOTES

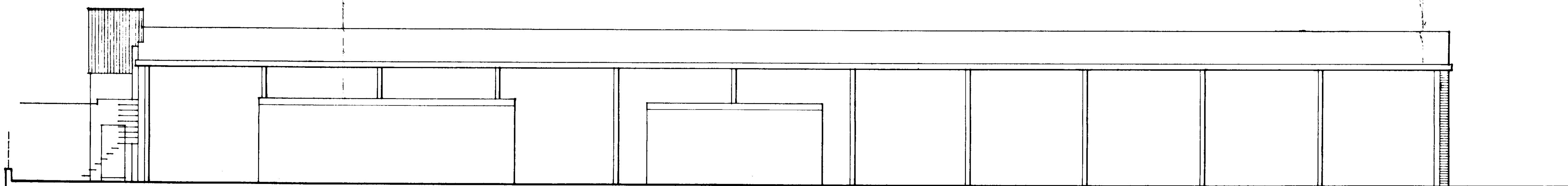
1. DO NOT SCALE FROM DRAWING
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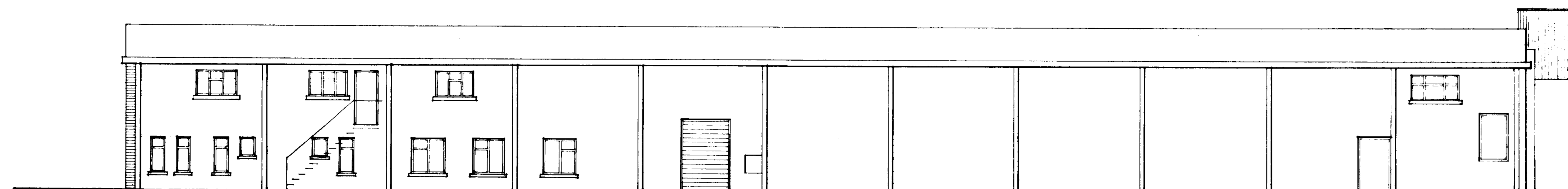
SIDE ELEVATION - CANTEEN SIDE



SIDE ELEVATION - DRY GOODS SIDE



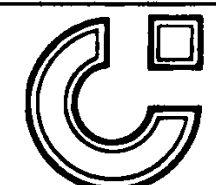
SIDE ELEVATION - SUB-STATION SIDE



SIDE ELEVATION - BONING HALL SIDE

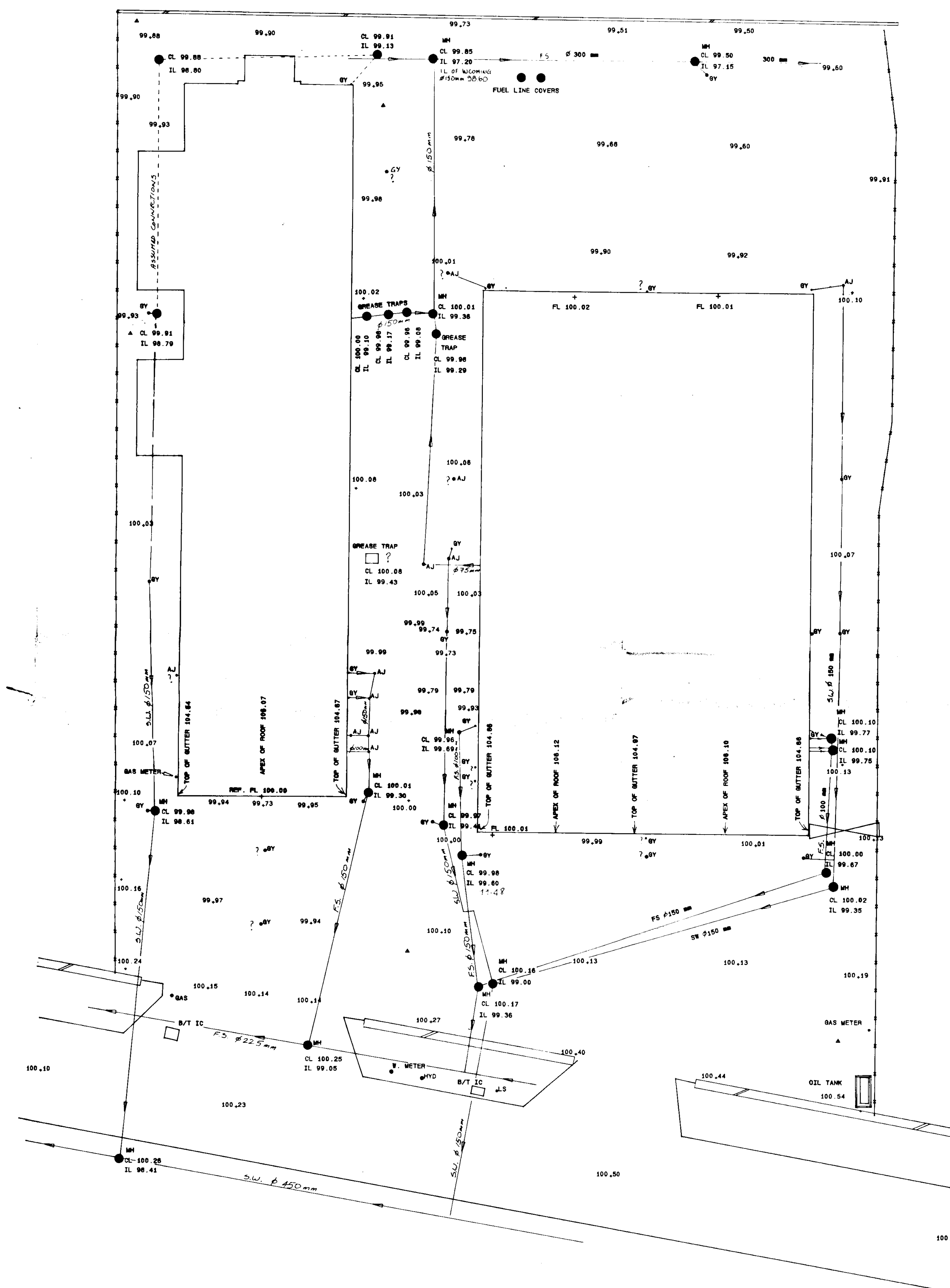
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30 JUL 1991
LA 11/253
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REVISION



Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 8879

CLIENT	TARA MEATS LTD. TALLAGHT		
PROJECT	SURVEY		
DRAWING	SIDE ELEVATIONS		
SCALE	1:100	DRAWN BY	J.M.
DATE	MAY 91	DRG No.	90-204-005




NOTES :

LEVELS ARE IN METRES RELATIVE TO
REFERENCE FLOOR LEVEL SHOWN.

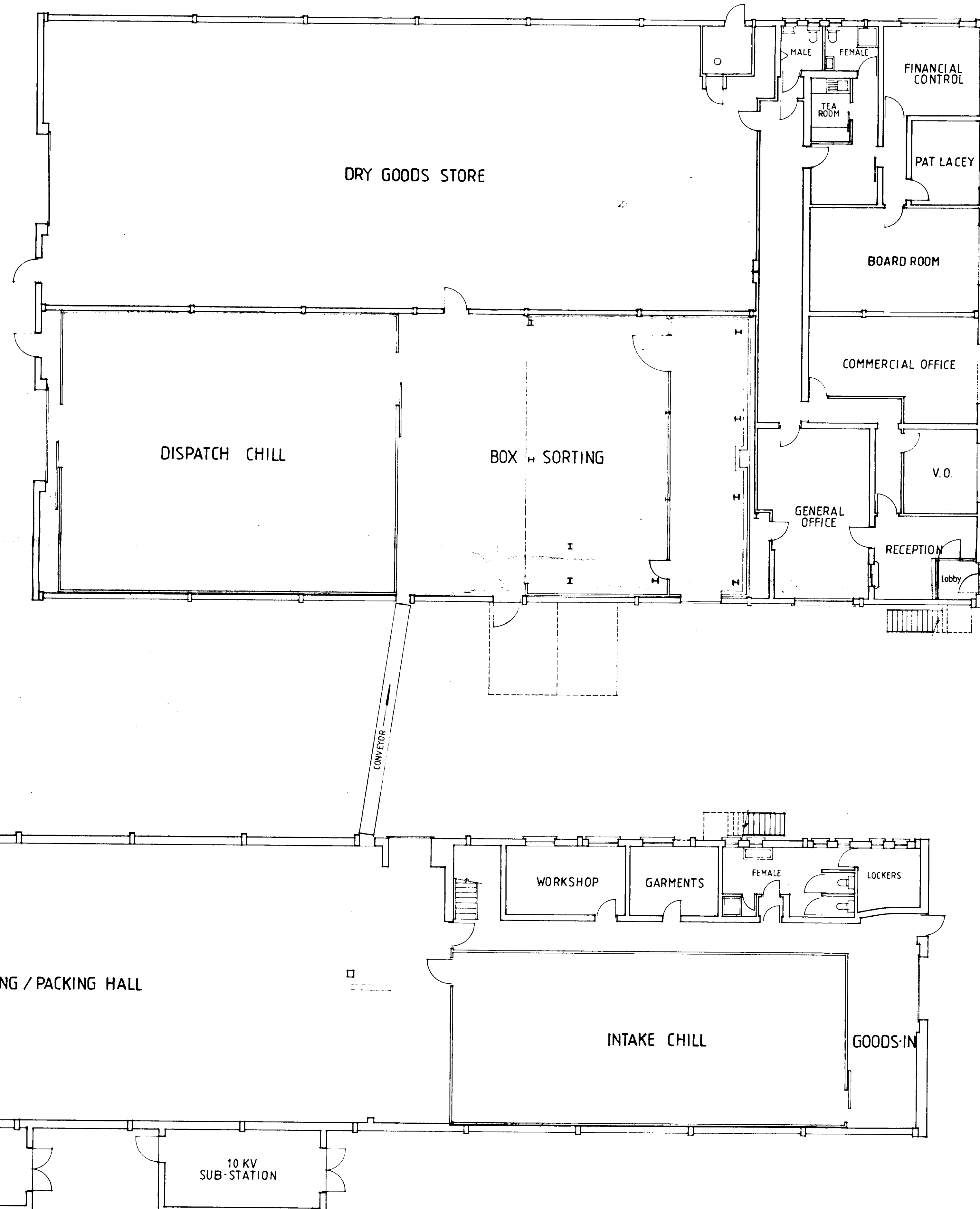
AJ = ARMSTRONG JUNCTION
FL = FLOOR LEVEL
GY = GULLY TRAP
HYD = HYDRANT
LS = LAMP STANDARD
MH = MANHOLE

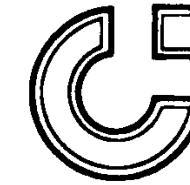
RECEIVED
30 JUL 1991
Reg. Sec.

 APEX SURVEYS LTD. CHARTERED LAND SURVEYORS 16, Denville Court, Killiney, Co. Dublin. Ph 01-853415	
CLIENT : DESIGN & PROJ. MANAGEMENT	
TITLE : TARA MEATS - SITE PLAN	
SCALE : 1:200	DATE : 19 MAY 1991
DRG No 90-204-008	SURVEYED BY : EMG PROCESSED BY : EMG

NOTES

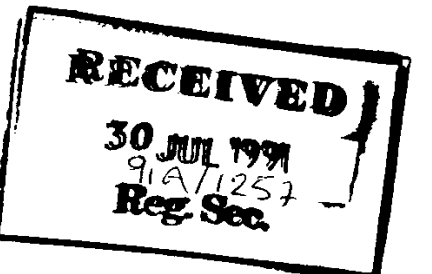
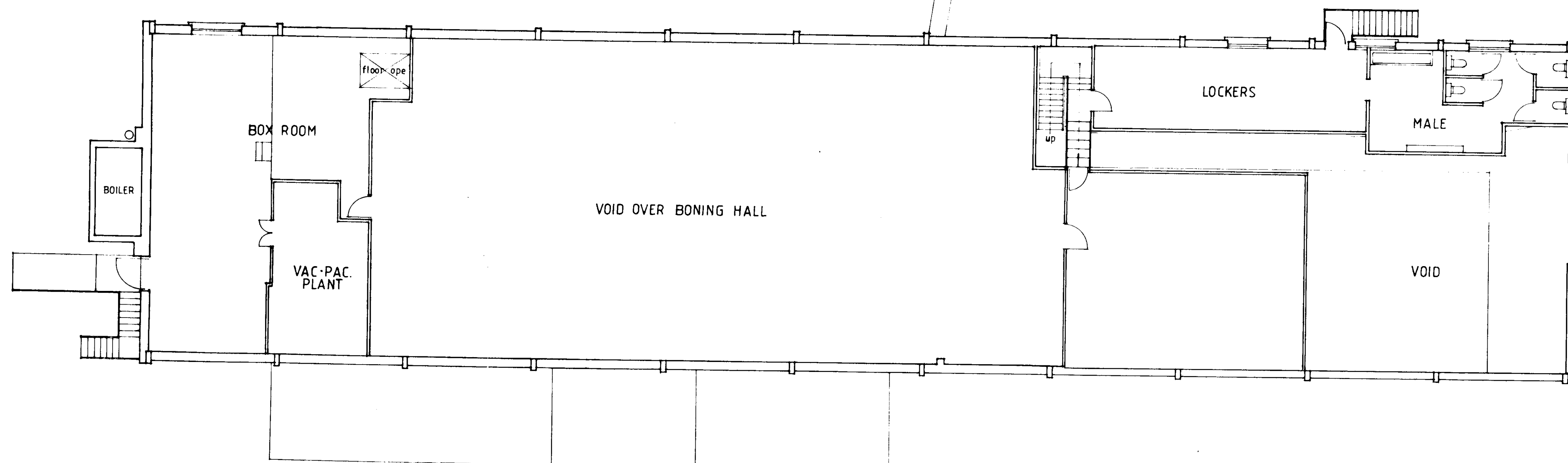
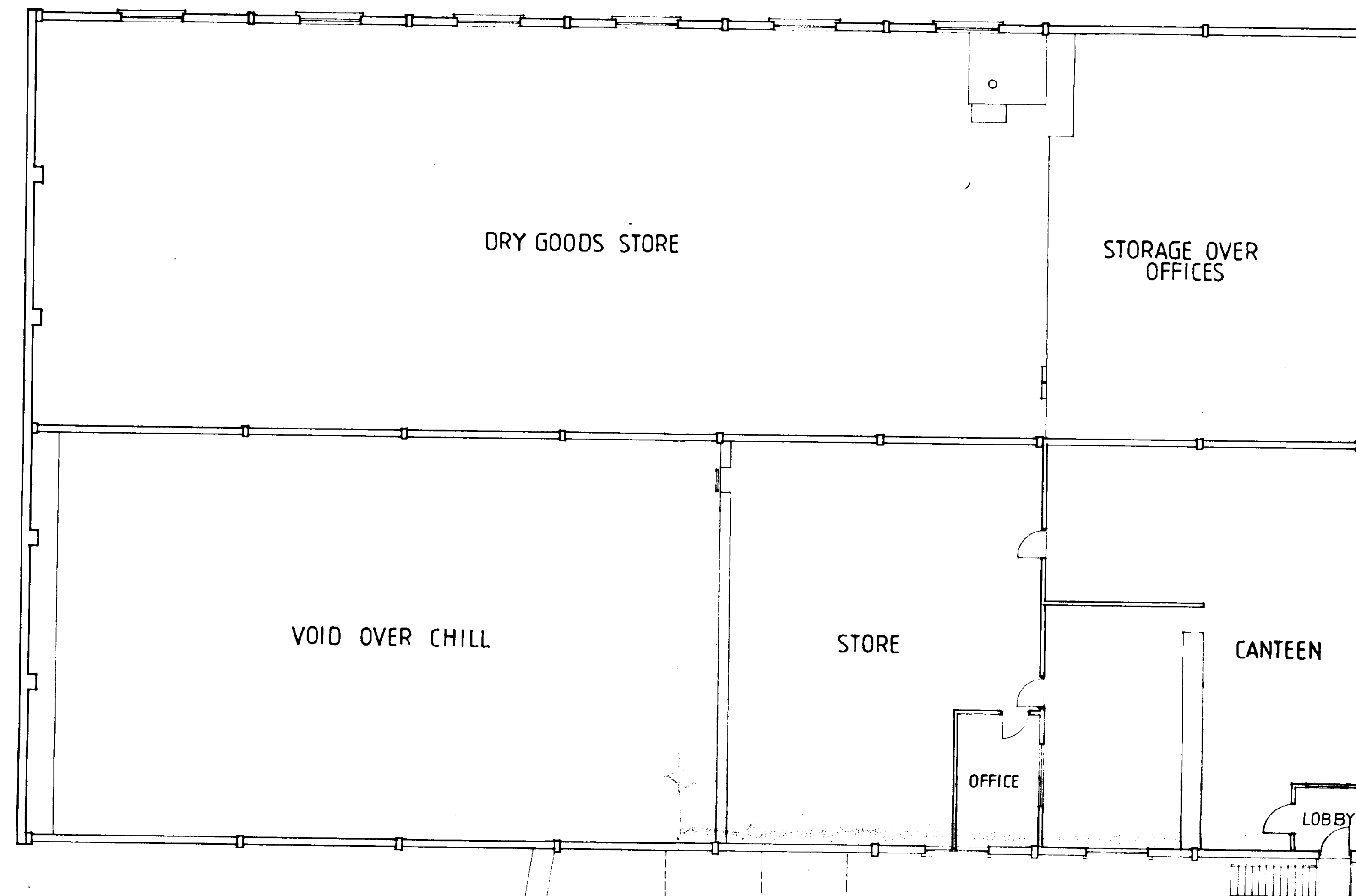
1. DO NOT SCALE FROM DRAWING
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REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	SURVEY
DRAWING	OVERALL PLAN - GROUND FLOOR
SCALE	1" = 100'
DATE	MAY 91
DRAWN BY	J.M.
DRG No.	90204-001

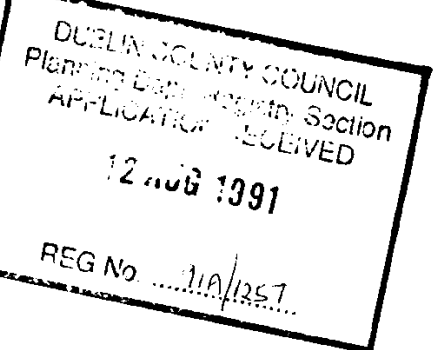
NOTES

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REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 002101 / Fax 007955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	SURVEY
DRAWING	OVERALL PLAN - FIRST FLOOR
SCALE	1:100
DATE	MAY 91
DRAWN BY	J.H.
DRG No.	90-204-002

1. DO NOT SCALE FROM DRAWING
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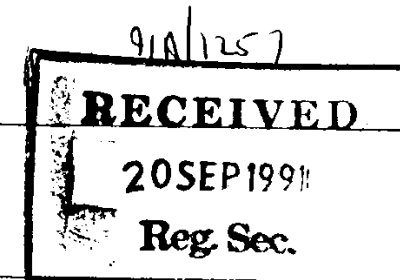
Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955

CLIENT	TARA MEATS LTD. TALLAGHT	
PROJECT	PROPOSED EXTENSION/alterations	
DRAWING	GROUND FLOOR PLAN	
SCALE	1:100	DRAWN BY J. MURPHY
DATE	JULY 1991	DRG No. 90-204-03


	MH10	MH9	MH8
CO. CO. DATUM 95.00			
GROUND LEVEL	101.05	101.28	102.42
INVERT LEVEL	98.95 225 dia. at 1:89	98.68 225 dia. at 1:265	98.28
DISTANCE	0.000	24.000	130.000

SECTION THROUGH EXISTING FOUL SEWER LINE

	MH10	MH8	MH9A	MH9B	MH9C	MH8
CO. CO. DATUM 95.00						
GROUND LEVEL	101.05	101.04	100.98	100.96	100.93	102.42
INVERT LEVEL	98.95 225 dia. 1:129	98.91 225 dia. 1:129	98.758 225 dia. 1:129	98.69 225 dia. 1:128	98.608 225 dia. at 1:265	98.28
DISTANCE	0.000	5.000	24.750	33.500	44.000	131.000

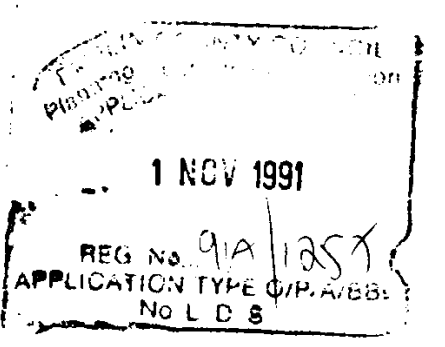
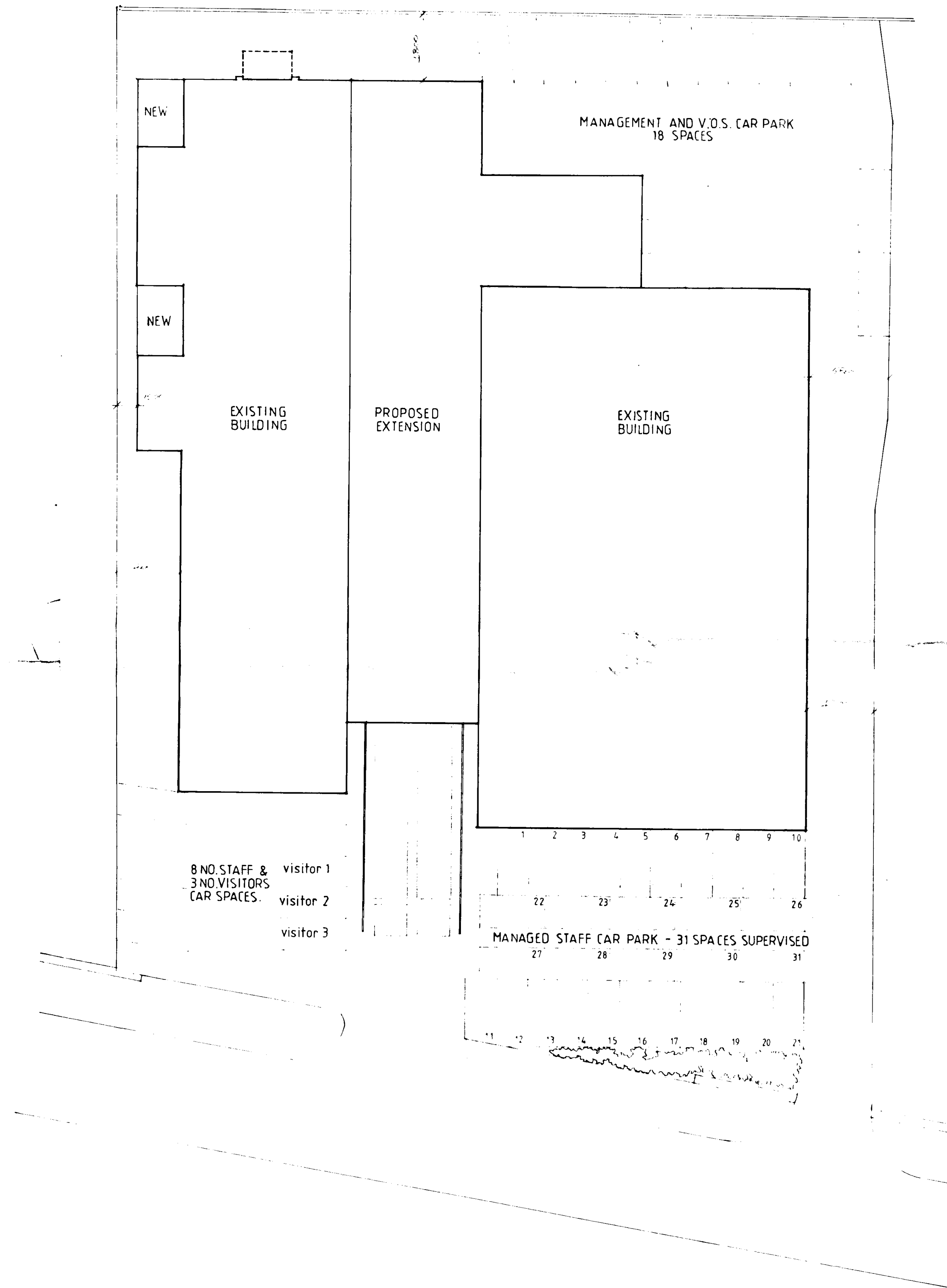


SECTION THROUGH PROPOSED DIVERTED SEWER LINE ALL LEVELS RELATE TO CO. COUNCIL SANITARY SERVICES LEVELS AND NOT TO THOSE SHOWN ON DRG. NO. 90-204-03 B

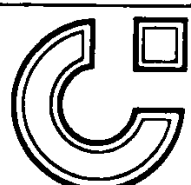
REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	PROPOSED EXTENSION / ALTERATIONS
DRAWING	PROPOSED DIVERSION OF FOUL SEWER
SCALE	HORIZ. 1:500 VERT. 1:200
DATE	SEPT. 1991
DRAWN BY	J. M.
DRG No	90-204-08

NOTES

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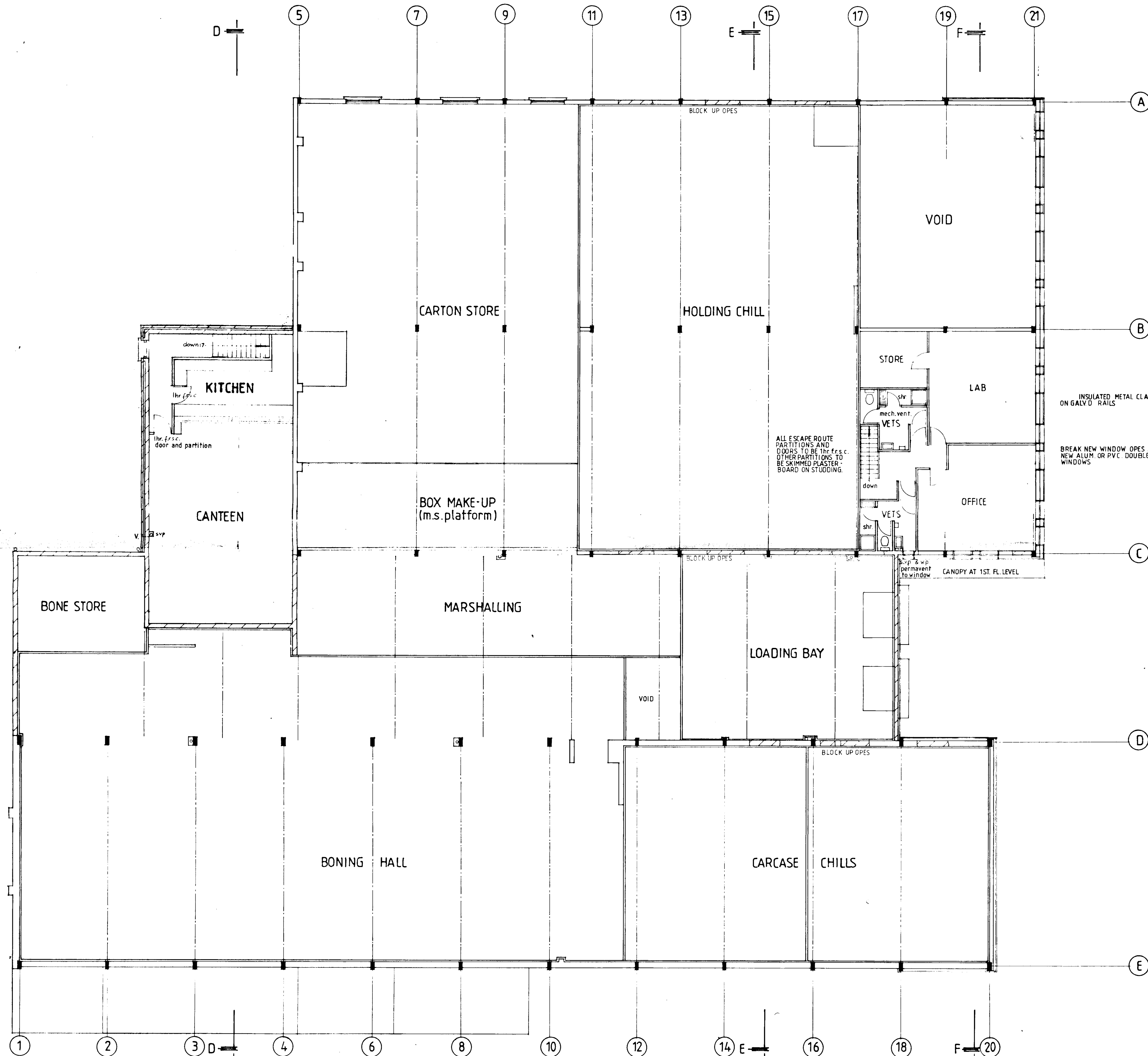


TOTAL NO. OF PARKING SPACES . 60


REVISION A	parking altered	17-10-90
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955		
CLIENT	TARA MEATS LTD. TALLAGHT	
PROJECT	PROPOSED EXTENSION/alterations	
DRAWING	SITE LAYOUT	
SCALE	1:200	DRAWN BY J.M.
DATE	JULY 1991	DRG No. 90-204-02 A

NOTES

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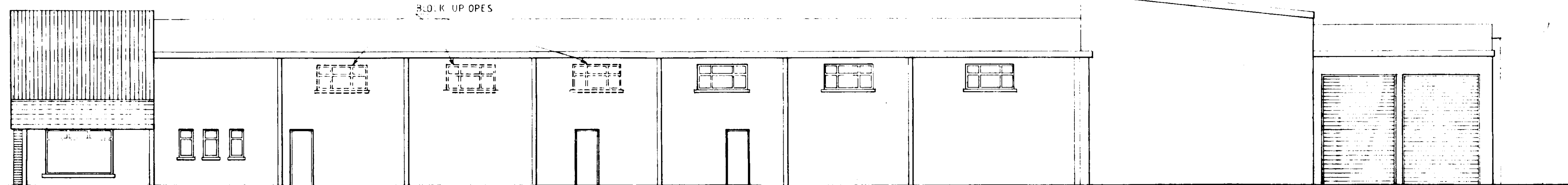


1 NOV 1991
REG NO 91/1257
APPLICATION TYPE C/P/A/BSL
S.D. L.D. 2

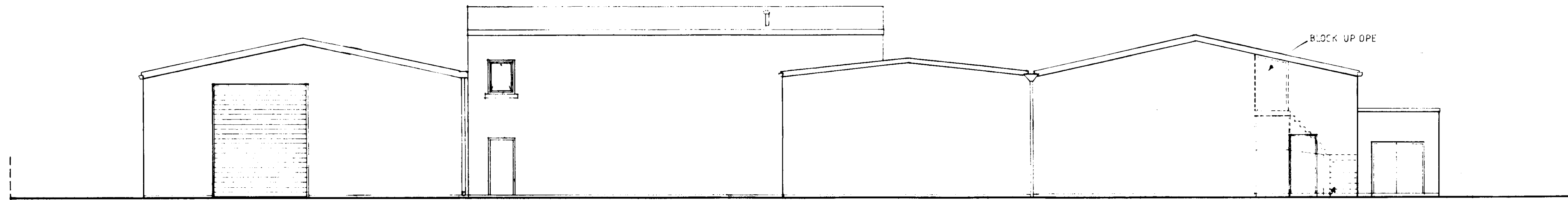
REVISION A	CANTEEN ALTERED	80/10/91
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 862101 / Fax 867955		
CLIENT	TARA MEATS LTD. TALLAGHT	
PROJECT	PROPOSED EXTENSION/alterations	
DRAWING	FIRST FLOOR PLAN	
SCALE	1:100	DRAWN BY J. M.
DATE	JULY 91	DRG No 90-204-04A

NOTES

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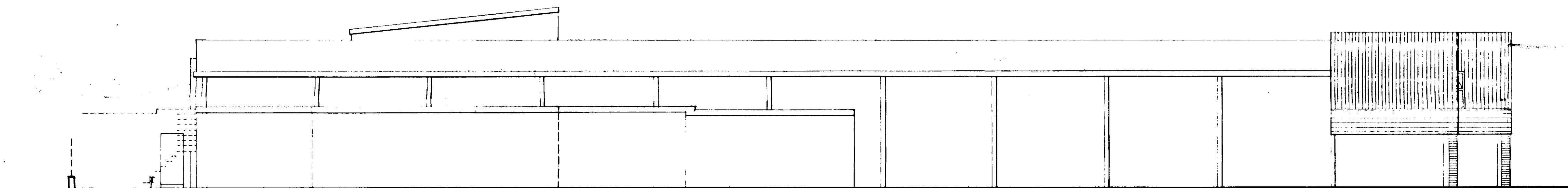


SIDE ELEVATION



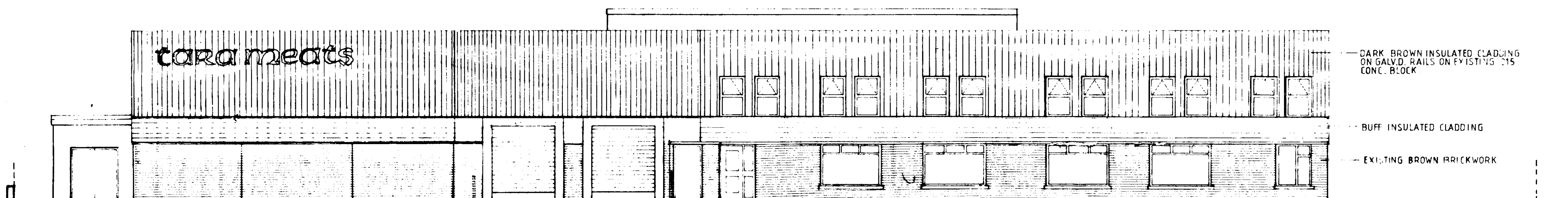
REAR ELEVATION

REMOVE STEEL STAIRS AND PLATFORM
AND BOILER HOUSE



SIDE ELEVATION - SUB STATION SIDE

REMOVE STEEL STAIRS AND PLATFORM
AND BOILER HOUSE

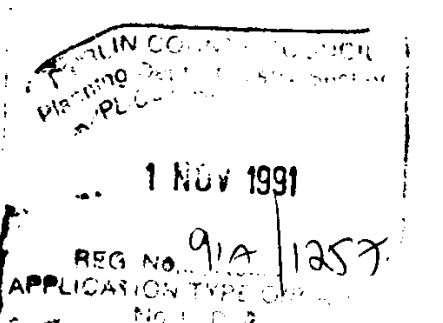


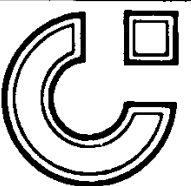
FRONT ELEVATION

DARK BROWN INSULATED CLADDING
ON GALV. RAILS ON EXISTING 215
CONC. BLOCK

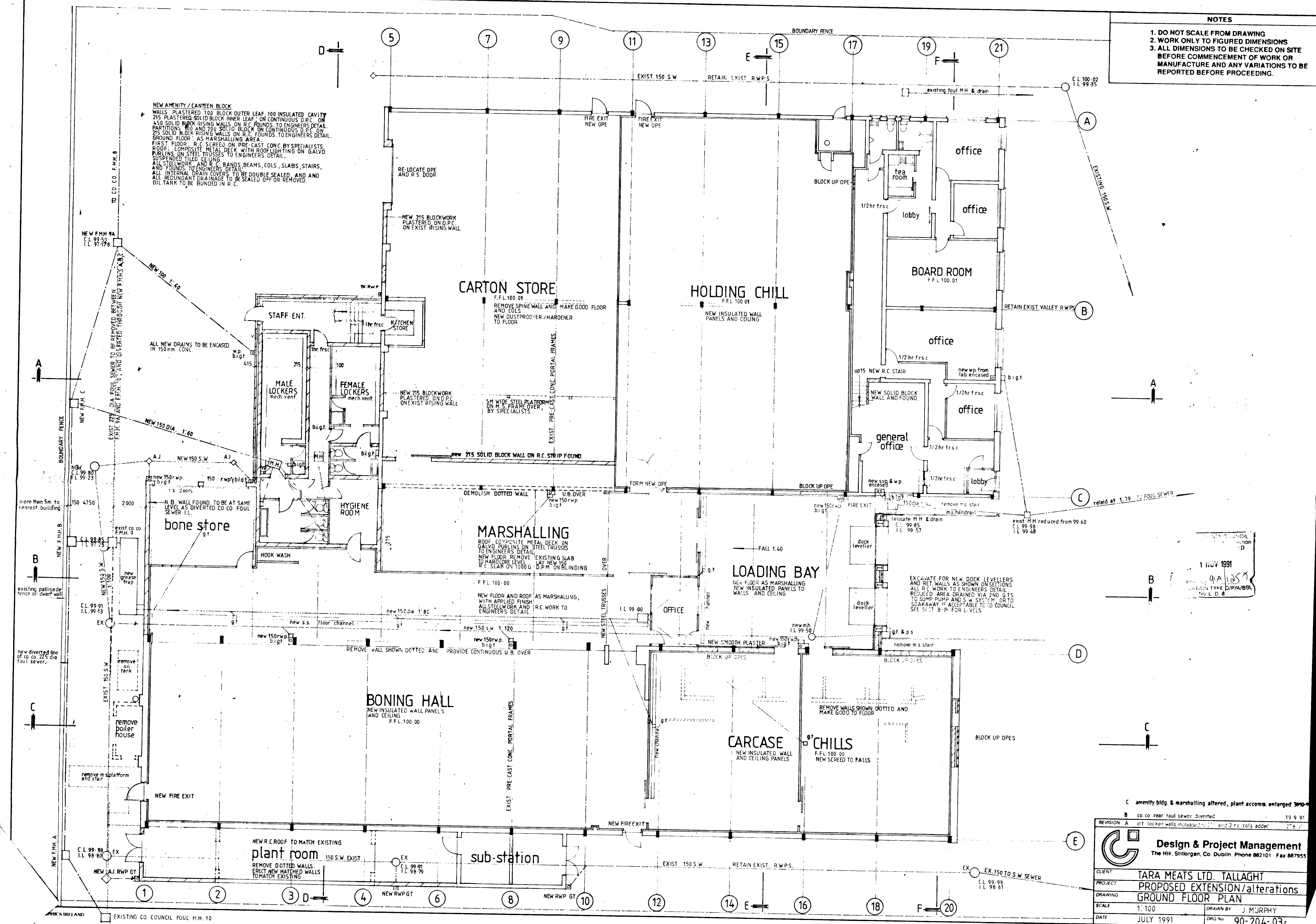
BUFF INSULATED CLADDING

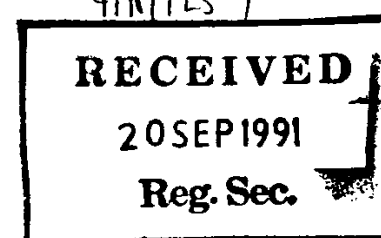
EXISTING BROWN BRICKWORK




REVISION A AMENITIES BONE STORE PLANT ALTERED	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS - TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	ELEVATIONS
SCALE	1:100
DATE	JULY 1991
DRAWN BY	J. KEEGAN
DRG No.	90-204-05A

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REPORTED BEFORE PROCEEDING

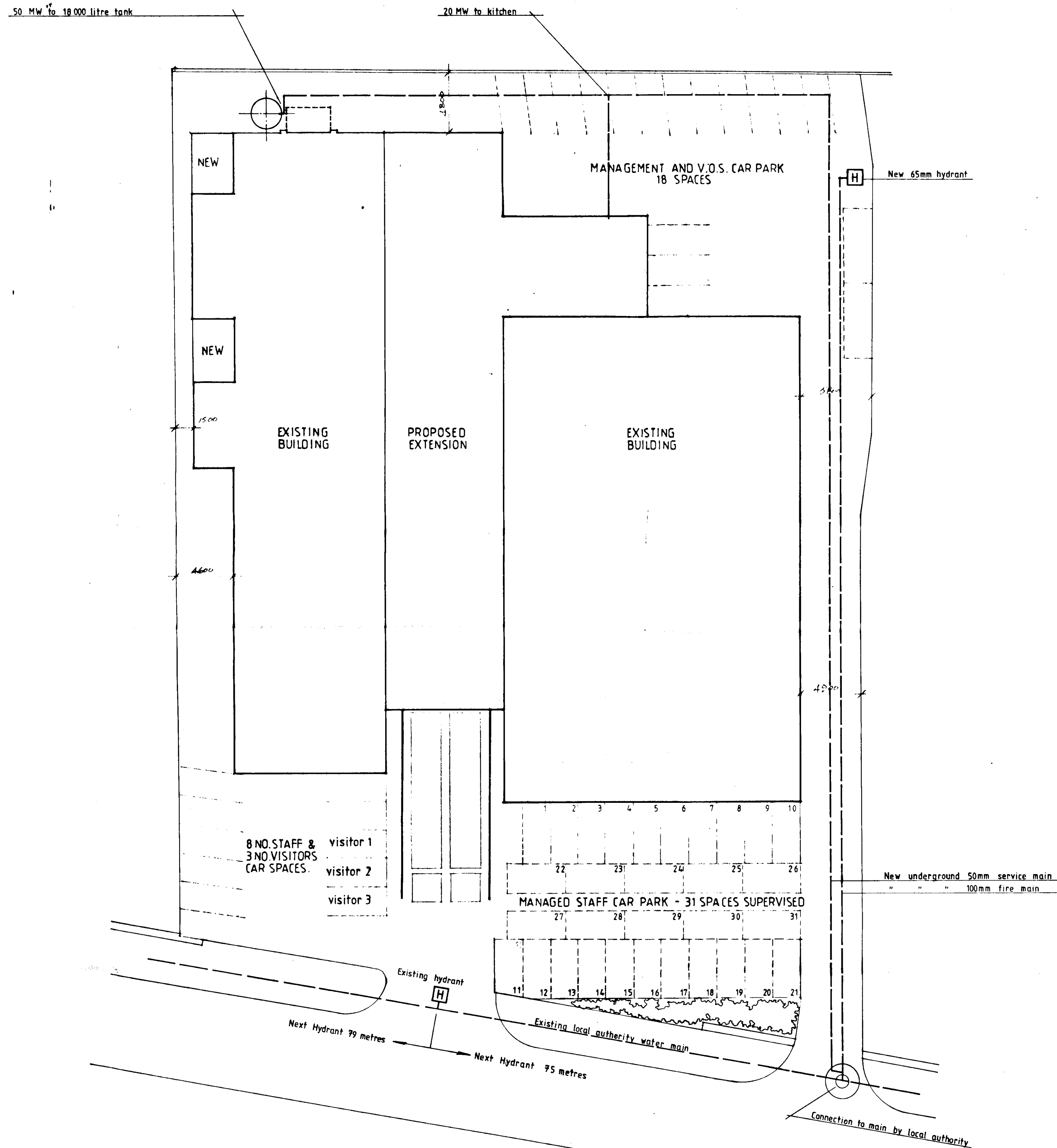




B		co. co. rear foul sewer diverted	19 9 91
REVISION	A	int. locker walls increased to 215 and 2 r.c. cols. added	27 6 91
		Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 862101 / Fax 867955	
CLIENT	TARA MEATS LTD. TALLAGHT		
PROJECT	PROPOSED EXTENSION/alterations		
DRAWING	GROUND FLOOR PLAN		
SCALE	1:100	DRAWN BY	J. MURPHY
DATE	JULY 1991	DRG No	90-204-03 B

NOTES

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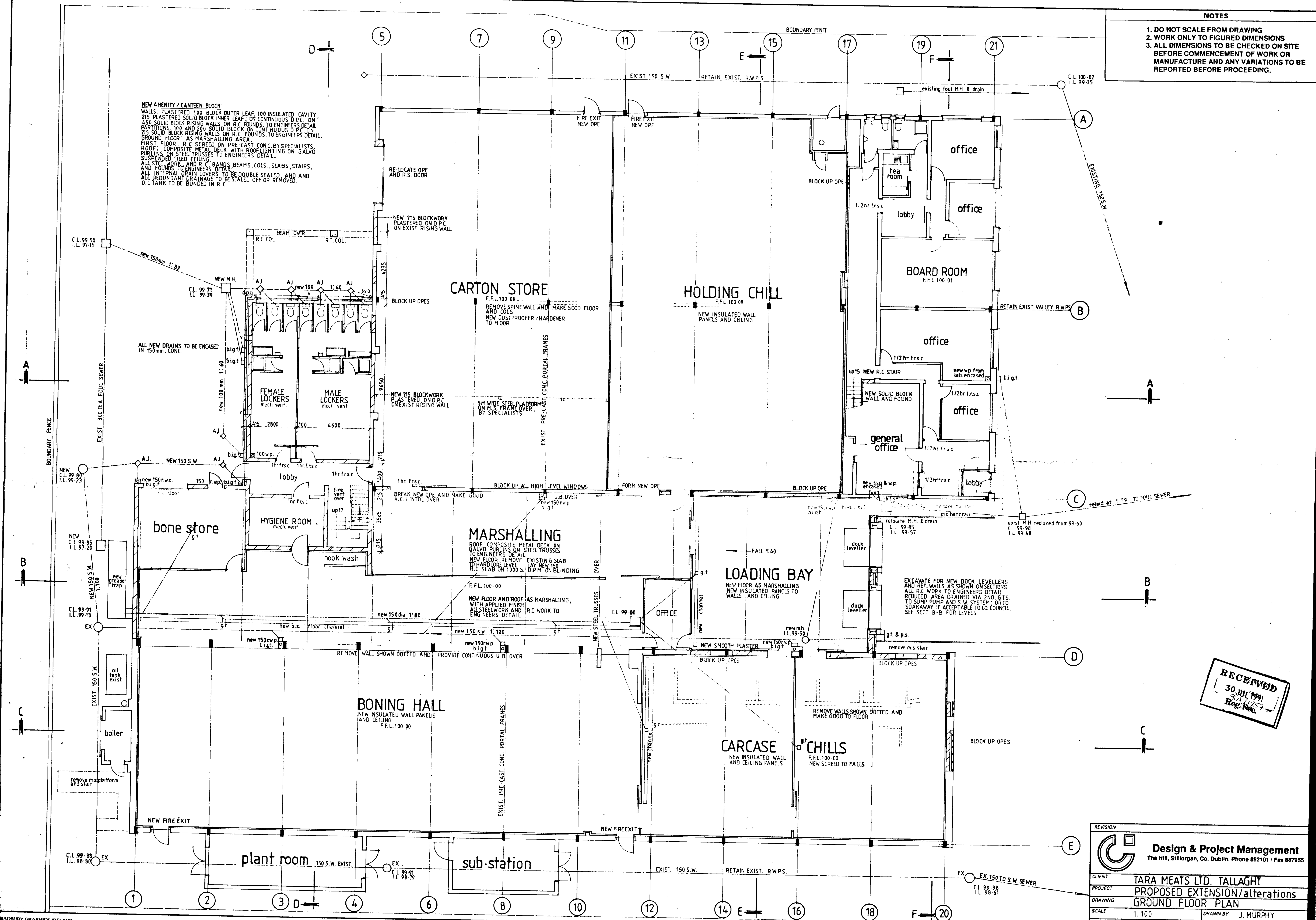


RECEIVED
25 MAR 1992
REG. SEC.


TOTAL NO. OF PARKING SPACES: 60

REVISION	A	EVAPCO	COND	DELETED	20-1-1992
LUCAS ENGINEERING SERVICES					
66, St. Peters Rd., Walkinstown, Dublin 12					
Tel - 01-569116			Fax - 01-569110		
CLIENT	TARA MEATS LTD. TALLAGHT				
PROJECT	PROPOSED EXTENSION/alterations				
DRAWING	SITE LAYOUT				
SCALE	1:200			DRAWN BY	
DATE	Dec. 1991			DRG No 76-M-2A	

1. DO NOT SCALE FROM DRAWING
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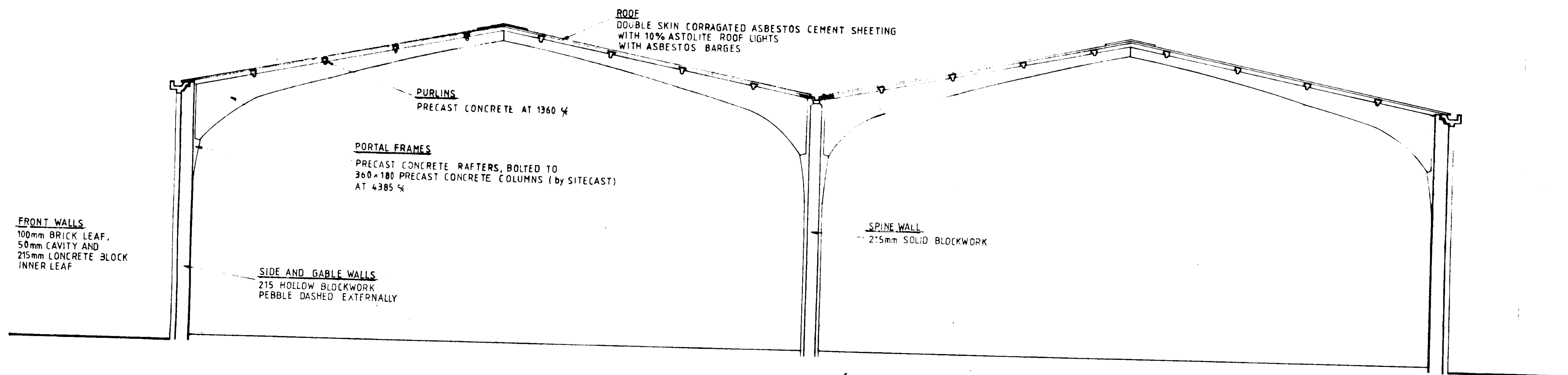


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30 JUL 1991
91A 71257
Reg. Sec.

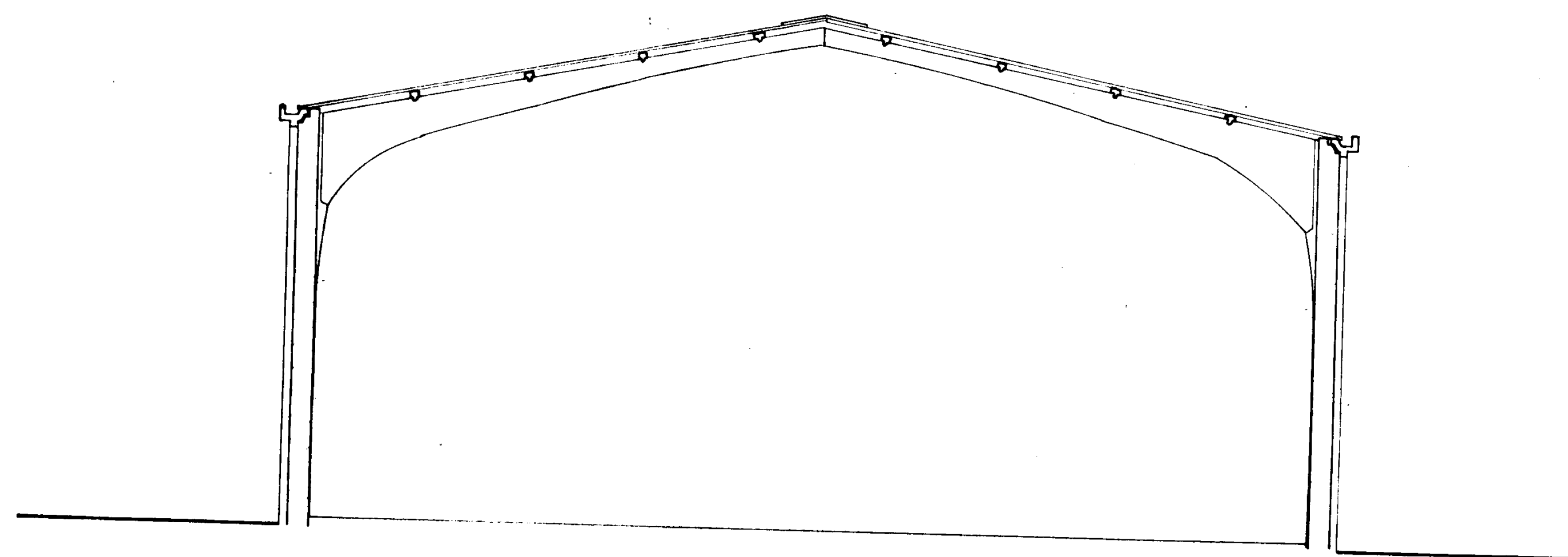
REVISION	
	
Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	GROUND FLOOR PLAN
SCALE	1:100
	DRAWN BY J. MURPHY
DATE	JULY 1991
	DWG No. 90-204-03

NOTES

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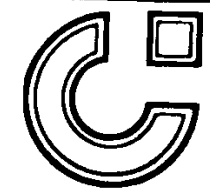
SECTION THRU' DOUBLE SPAN



SECTION THRU' SINGLE SPAN

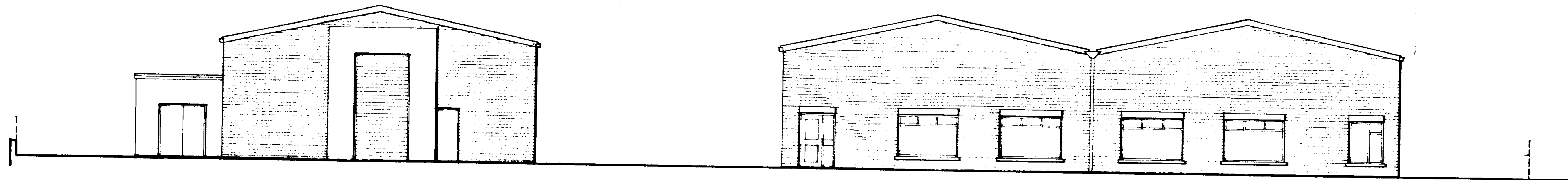
RECEIVED

30 JUL 1991
9/12/91
Reg. Sec.

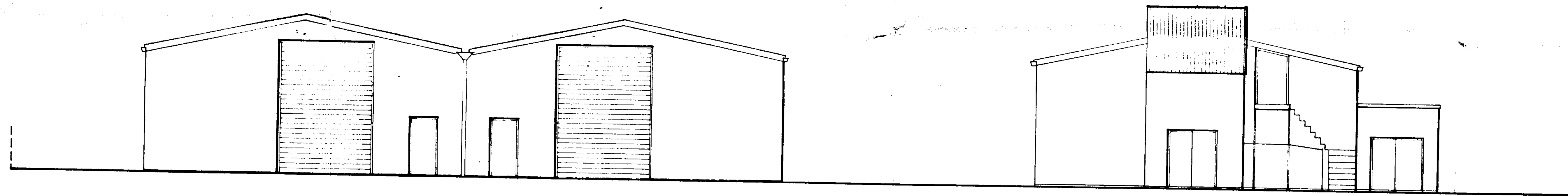
 Design & Project Management The Hill, Sillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD TALLAGHT
PROJECT	SURVEY
DRAWING	SECTIONS
SCALE	1:50
DATE	MAY '91
DRAWN BY	J. KEEGAN
DRG No.	90-204-007

NOTES

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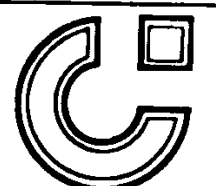


FRONT ELEVATION



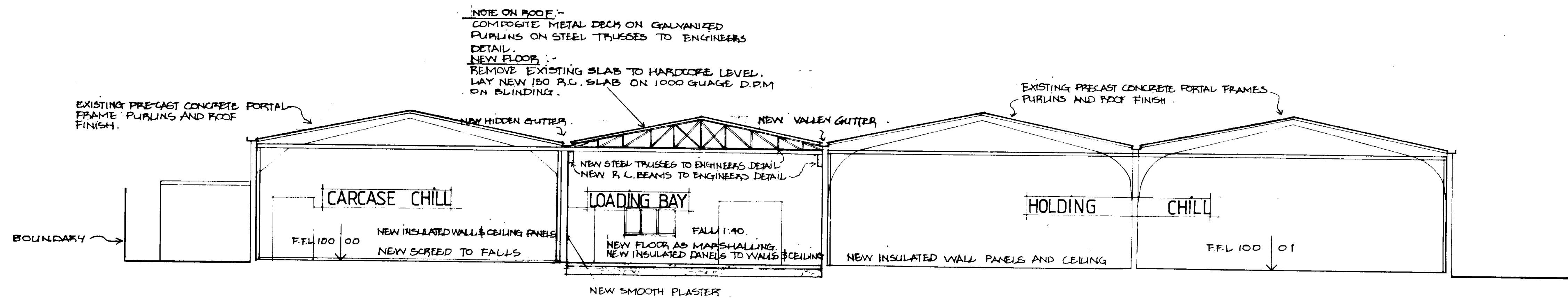
REAR ELEVATION

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30 JUL 1991
S. J. KEEGAN
Reg. Sec.

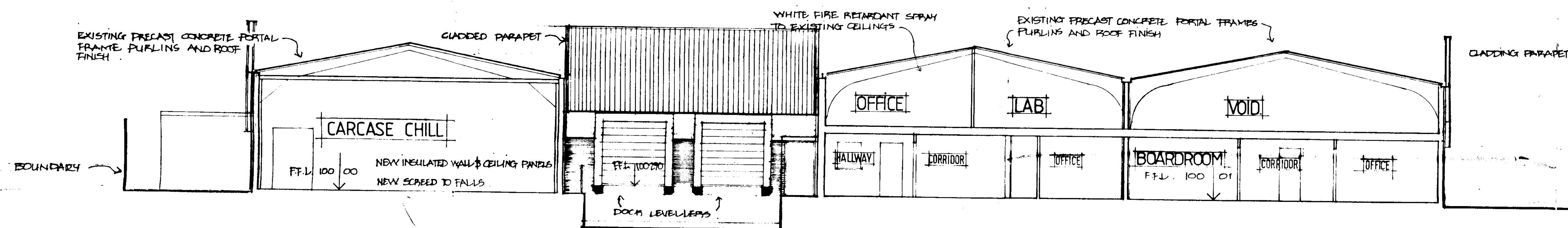
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	SURVEY
DRAWING	FRONT & REAR ELEVATIONS
SCALE	1:100
DATE	MAY 91
DRAWN BY	J. KEEGAN
DRG No.	90-204-006

NOTES

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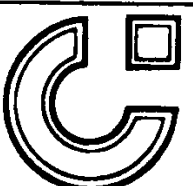


SECTION E-E / SCALE 1:100



SECTION FF / SCALE 1:100

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30 JUL 1991
20:54:55
REG. SEC.

REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS LTD. TALLAGHT.
PROJECT	PROPOSED EXTENSION / alterations
DRAWING	SECTIONS
SCALE	AS SHOWN
DATE	JULY 1991
DRAWN BY	<i>Devin K. Kida</i>
DRG No.	90-204-07

NOTES

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SIDE ELEVATION

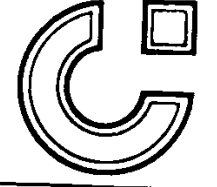
REAR ELEVATION

SIDE ELEVATION - SUB STATION SIDE

FRONT ELEVATION

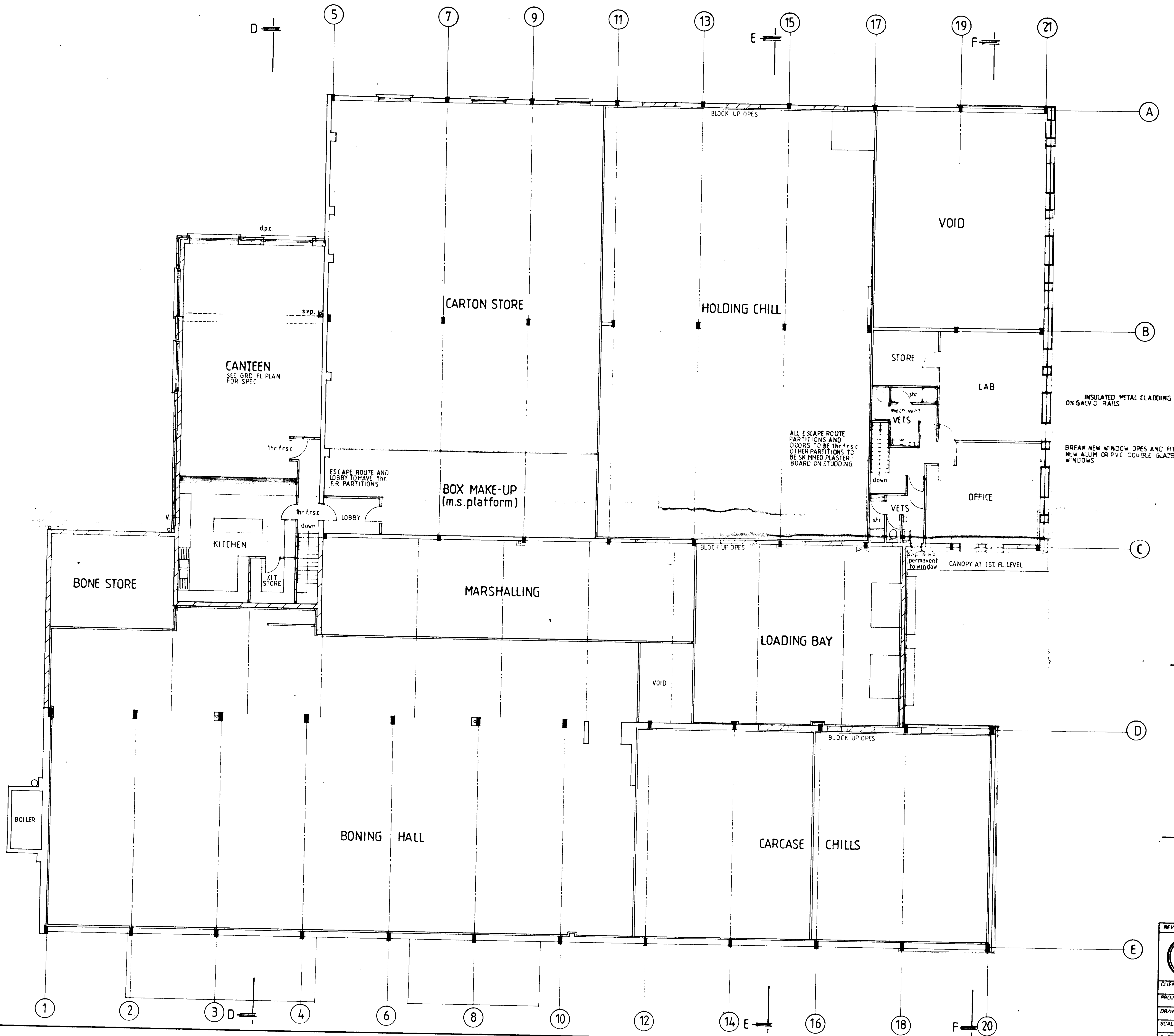
RECEIVED


30 JUL 1991
30/7/91
Reg. Sec.

REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955	
CLIENT	TARA MEATS - TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	ELEVATIONS
SCALE	1:100
DATE	JULY 1991
DRAWN BY	J. KEEGAN
DRG No	90-204-05

NOTES

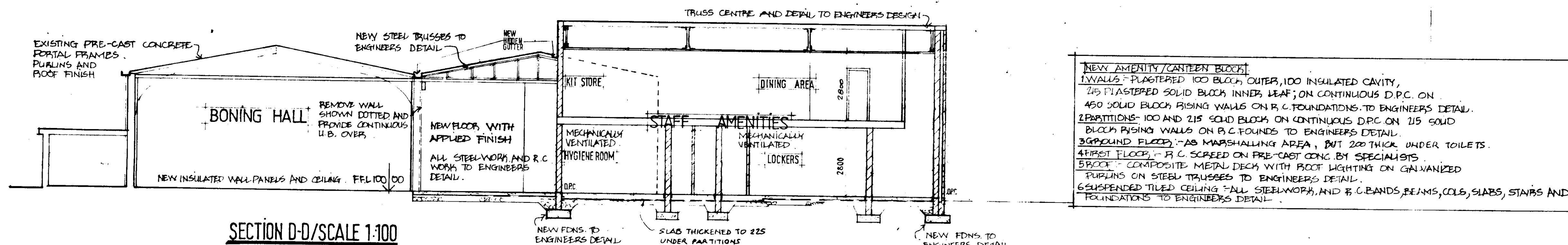
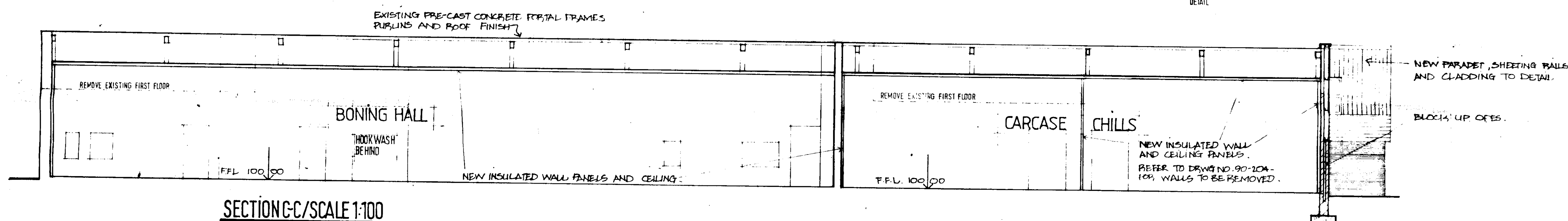
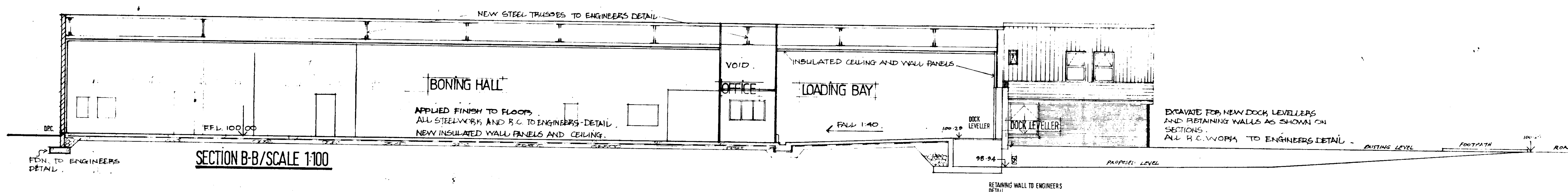
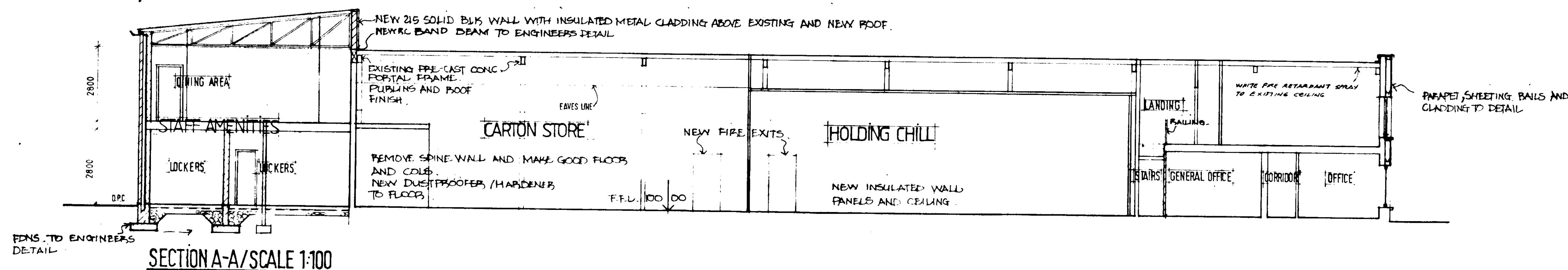
1. DO NOT SCALE FROM DRAWING
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REVISION	
 Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 002101 / Fax 007955	
CLIENT	TARA MEATS LTD. TALLAGHT
PROJECT	PROPOSED EXTENSION/alterations
DRAWING	FIRST FLOOR PLAN
SCALE	1:100
DATE	JULY 91
DRAWN BY	J. M.
DRG No	90-204-04

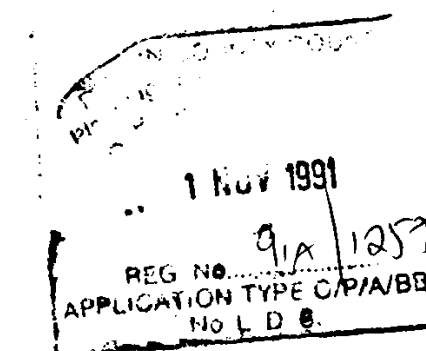
NOTES

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NEW AMENITY/CANTEEN BLOCK
 1. WALLS - PLASTERED 100 BLOCK OUTER, 100 INSULATED CAVITY, 215 PLASTERED SOLID BLOCK INNER LEAF; ON CONTINUOUS D.P.C. ON 450 SOLID BLOCK RISING WALLS ON R.C. FOUNDATIONS TO ENGINEERS DETAIL.
 2. PARTITIONS - 100 AND 215 SOLID BLOCK, ON CONTINUOUS D.P.C. ON 215 SOLID BLOCK RISING WALLS ON R.C. FOUNDATIONS TO ENGINEERS DETAIL.
 3. GROUND FLOOR - AS MARSHALLING AREA, BUT 200 THICK UNDER TOILETS.
 4. FIRST FLOOR - R.C. SCREED ON PRE-CAST CONC. BY SPECIALISTS.
 5. ROOF - COMPOSITE METAL DECK WITH ROOF LIGHTING ON GALVANIZED PURLINS ON STEEL TRUSSES TO ENGINEERS DETAIL.
 6. SUSPENDED TILED CEILING - ALL STEELWORK, AND R.C. BANDS, BEAMS, COLS, SLABS, STAIRS AND FOUNDATIONS TO ENGINEERS DETAIL.

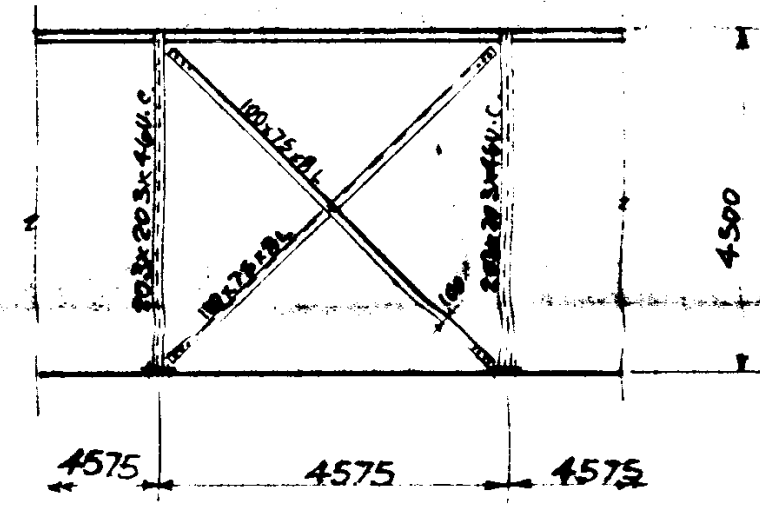
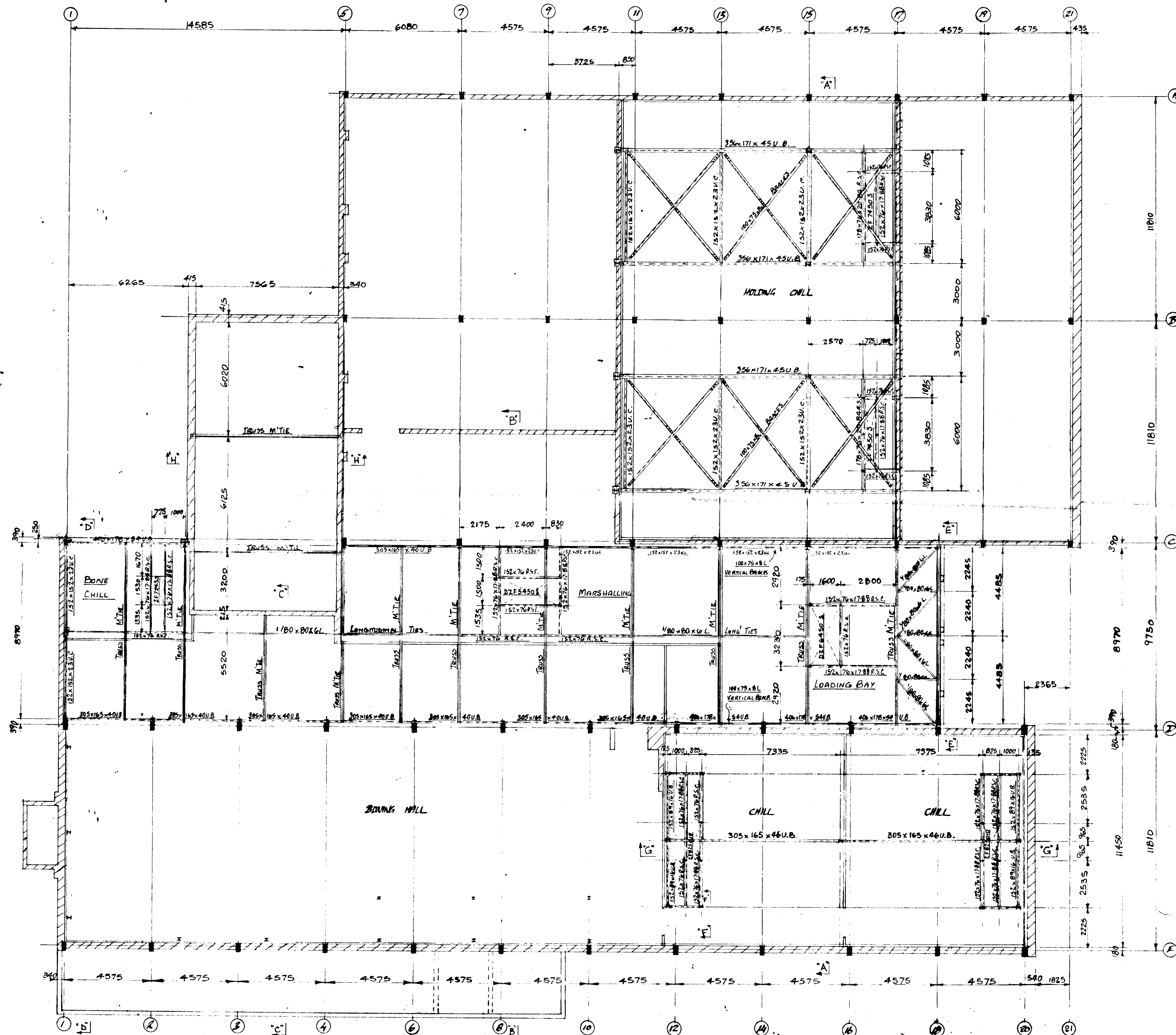
////// DENOTES NEW BLOCK WORK



REVISION	A	AMENITY BLOCK ALTERED	31/10/91
Design & Project Management The Hill, Stillorgan, Co. Dublin. Phone 882101 Fax 887955			
CLIENT	TARA MEATS LTD. TALLAGHT		
PROJECT	PROPOSED EXTENSION / alterations		
DRAWING	SECTIONS		
SCALE	AS SHOWN		
DATE	JULY 1991	DRAWN BY	Edrian Sheridan
		DRG NO.	90-204-06 B

NOTES

1. DO NOT SCALE FROM DRAWING
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TYPICAL ELEVATION ON VERTICAL BRACES

Preliminary

DESIGN & PROJECT MANAGEMENT
PLANNING DEPT. RECEIVED
APPLICATION RECEIVED
12 MAR 1992
REG. NO. 91A1257

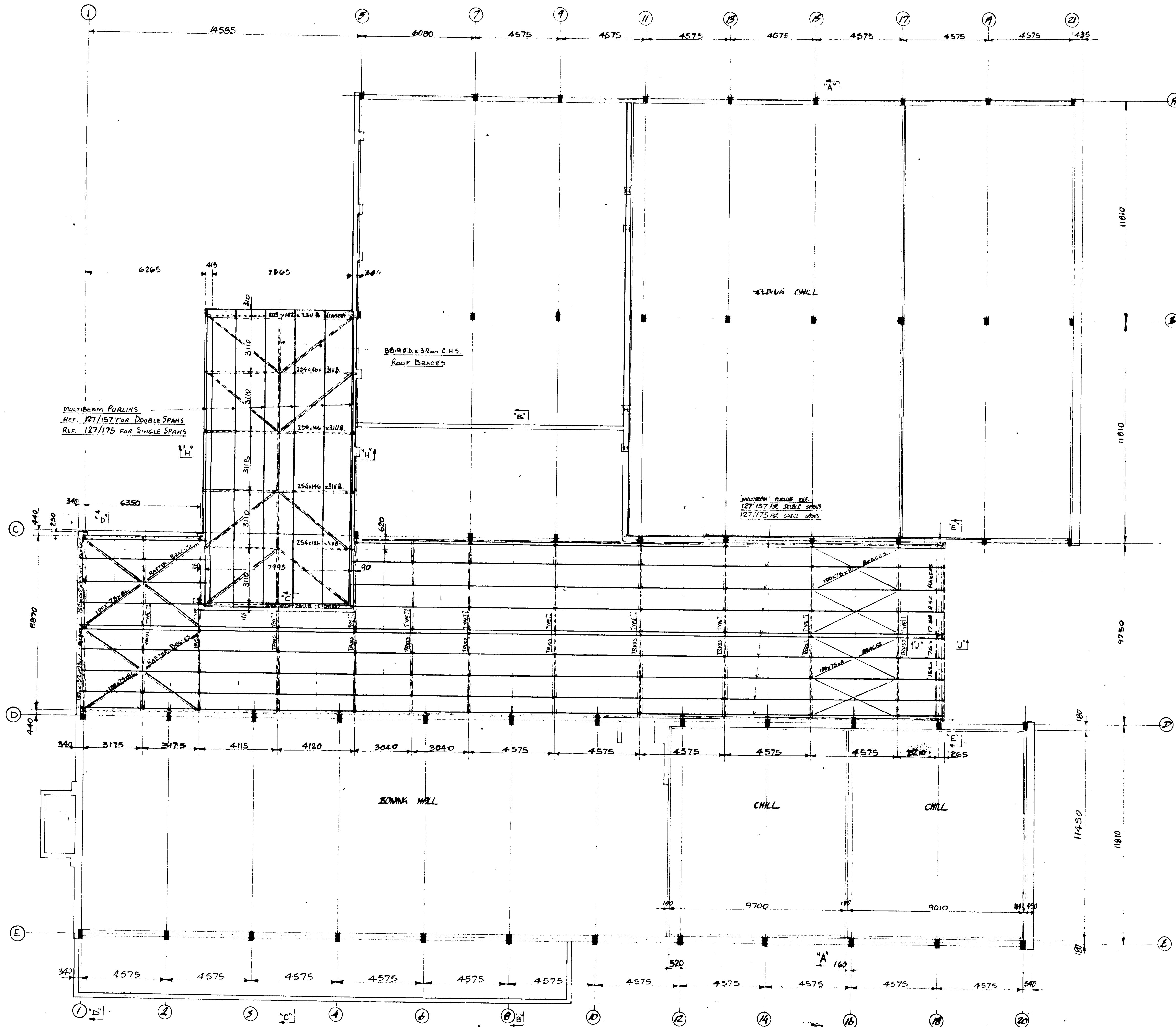
REVISION	DESCRIPTION	DATE	BY
F	DIMENSIONS REVISED	13/1/92	SM
E	SECTION SIZES ADDED	22/11/91	SM
D	DIMENSIONS REVISED	14/11/91	SM
C	LOAD OUT REVISED	12/11/91	SM
B	AMENITIES BLOCK REVISED	6/11/91	SM
A	LAYOUT REVISED	18/10/91	SM

Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 082101 / Fax 087955

CLIENT	TYRER HEATS LTD. - TALLAGHT
PROJECT	PROPOSED EXTENSION
DRAWING	PLAN @ M.T.L. LEVEL
SCALE	1/100
DATE	SEP 91
DRAWN BY	P.J.H.
DRG NO	90/204/100 REV 8

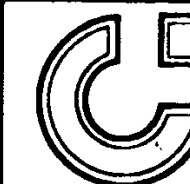
NOTES

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DESIGN & PROJECT MANAGEMENT
 12 MAR 1992
 REG. NO. 9111237

G	DIMENSIONS REVISED	19/2/92	88H
F	DIMENSIONS REVISED	13/1/92	88H
E	DIMENSION (C) TO (D) ALTERED FROM 9850 TO 9750	16/12/91	88H
D	DIMENSIONS ADDED	22/11/91	88H
C	DIMENSIONS REVISED	14/11/91	88H
B	AMENITIES BLOCK REVISED	8/11/91	88H
A	DIMENSIONS ADDED TRUSS POSITIONS REVISED	18/10/91	88H
REVISION	DESCRIPTION	DATE	BY

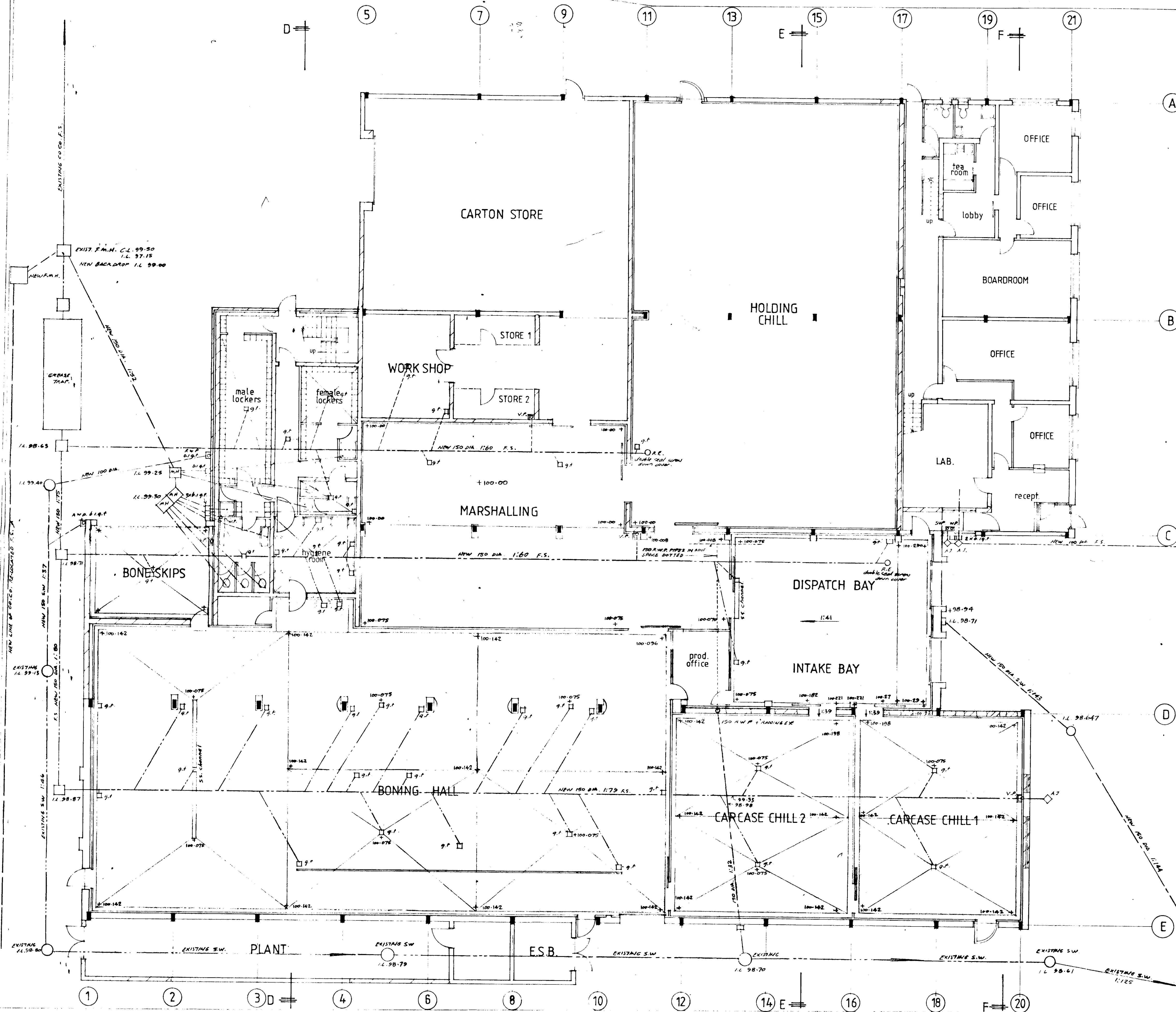


Design & Project Management
 The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955

CLIENT	TARA MEATS LTD. - TALLAGHT
PROJECT	PERISHED EXTENSION
DRAWING	PLAN ON EXT STEELWORK
SCALE	1:100
DATE	SEP. 91
DRAWN BY	R.H.T.
DRG No.	90/204/103 REV 6

NOTES

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DUBLIN COUNTY COUNCIL
Planning & Regulatory Section
APPLICATION RECEIVED
12 MAR 1992
REG NO. 96/1137

REVISION

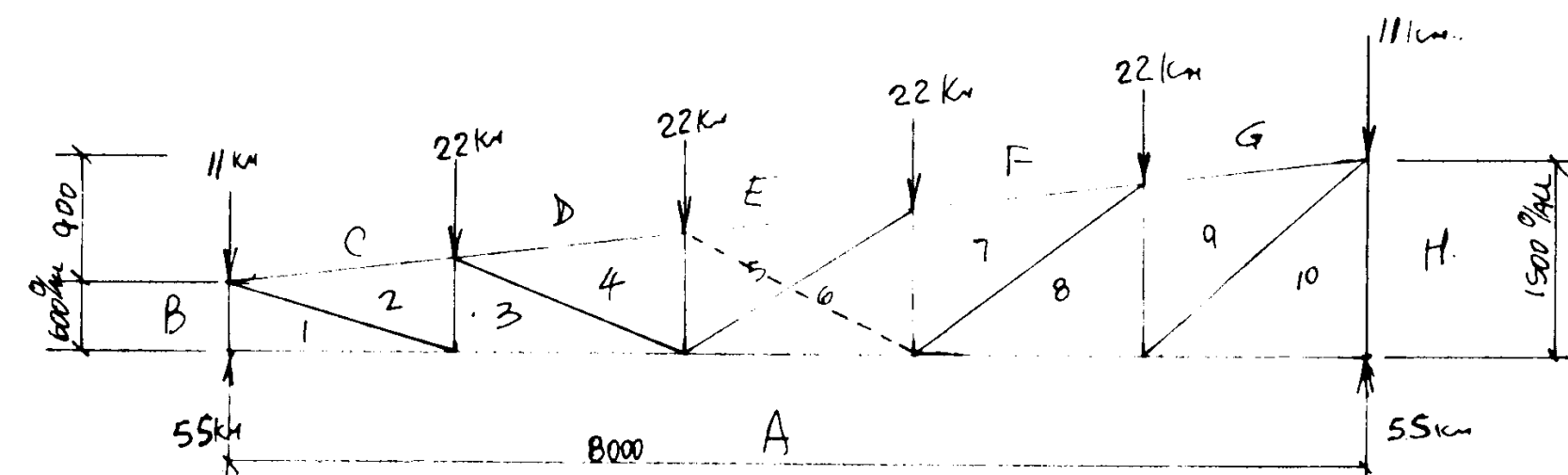


Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 2882101 / Fax 2887955

CLIENT: TARA MEATS LTD. TALLAGHT
PROJECT: EXTENSIONS & ALTERATIONS
DRAWING: GROUND FLOOR PLAN - DRAINAGE
SCALE: 1:100
DATE: JAN. 92
DRAWN BY: J.M.
DRG NO: 90-204-15

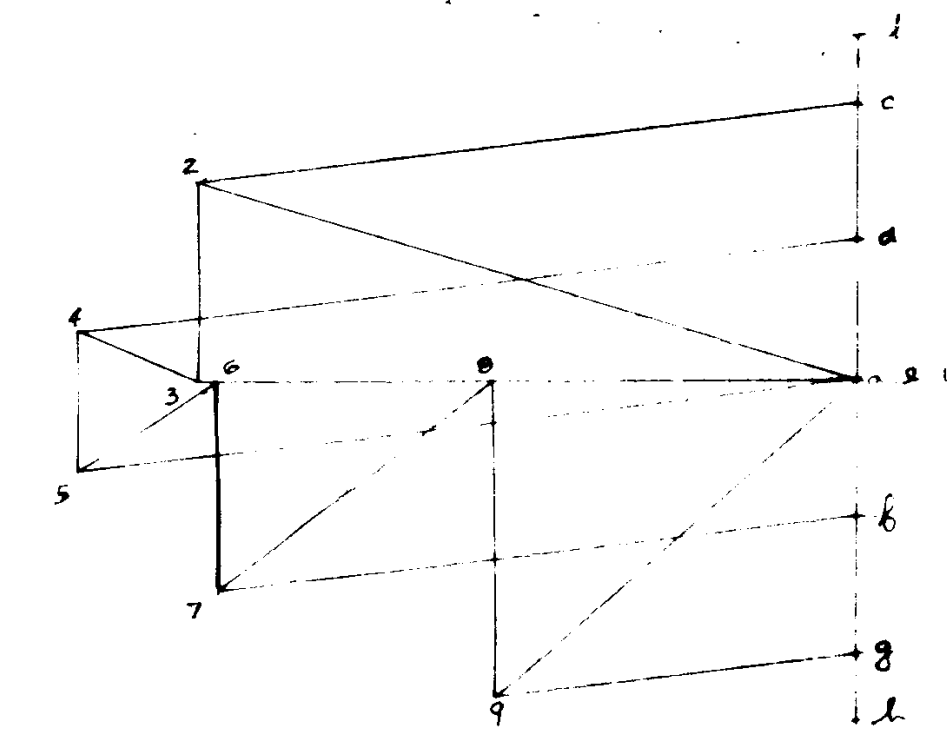
ROOF LOADING:-
 SNOW:- 0.75 kN/m²
 ROOF CLADDING:- 0.10 " "
 STEEL:- 0.35 " "
 CEILING:- 0.50 " "
 SERVICES:- 0.50 " "
 TOTAL 2.2 kN/m²

PANEL LOAD = $2.2 \times 1.6 \times 6.1 = 22 \text{ kN}$



FRAME DIAGRAM
 SCALE:- 1:50

+VE = COMPRESSION		-VE = TENSION	
MEMBER	LENGTH (mm)	FORCE (kN)	SECTION
C2	1610	+110	2/80x60x6 TFS
D4	"	+129	" "
E5	"	+129	" "
F7	"	+105	" "
G9	"	+61	" "
B1	600	+55	" "
H10	1500	+55	" "
A1	1600	0	2/75x50x6 JLS
A3	"	-108	" "
A6	"	-104	" "
A8	"	-61	" "
A10	"	0	" "
23	780	+32	1/50x50x6 L
45	960	+22	" "
67	1140	+34	60x60x6 L
89	1320	+52	1/70x70x6 L
12	1710	-111	2/50x50x6 JLS
34	1780	-22	1/50x50x6 L
56	1965	-27	" "
78	2075	-56	" "
910	2195	-77	2/50x50x6 JLS

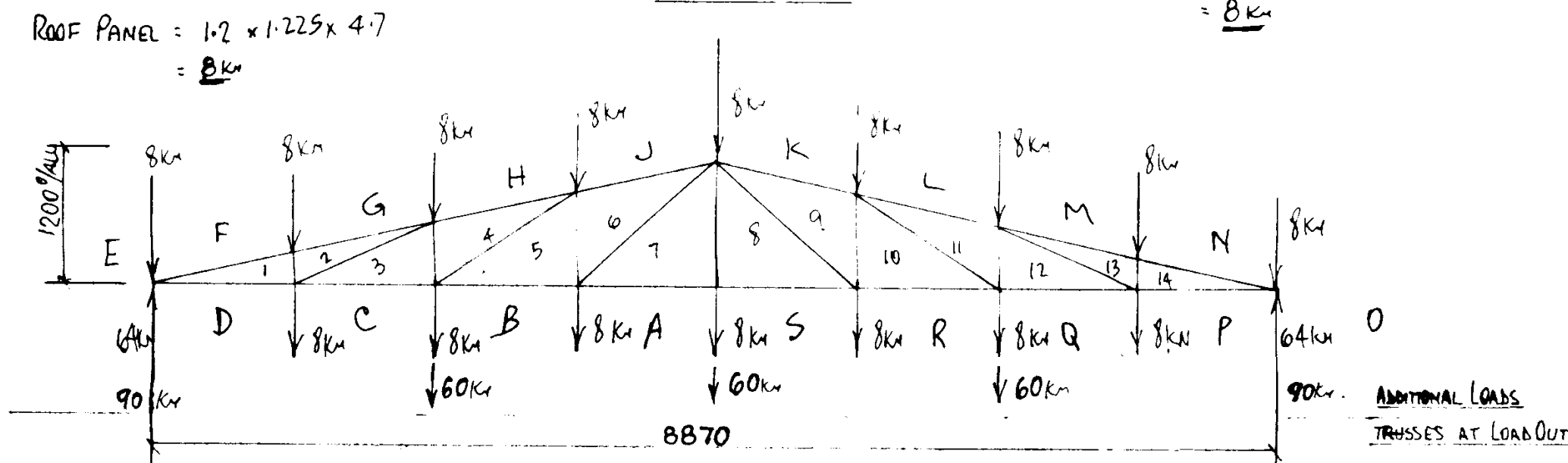


FORCE DIAGRAM
 SCALE:- 1cm = 10 x 3/2 = 15.2 kN

ROOF LOADING:-
 SNOW:- 0.75 kN/m²
 ROOF CLADDING:- 0.10 " "
 STEEL:- 0.35 " "
 TOTAL:- 1.20 kN/m²

CEILING LOADS:-
 PANEL:- 0.25 kN/m²
 SERVICES:- 0.5 " "
 EVAPORATORS:- 0.5 " "
 TOTAL:- 1.25 " "

CEILING PANEL LOAD = $1.25 \times 1.225 \times 4.7 = 8 \text{ kN}$

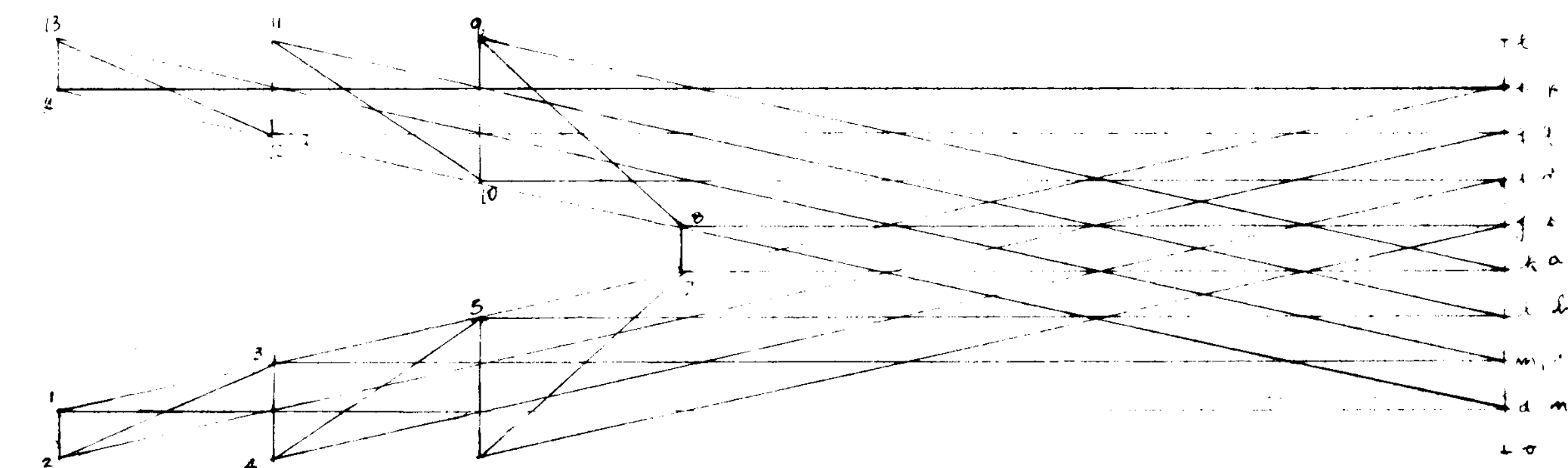


ADDITIONAL LOADS
 TRUSSES AT LOAD OUT

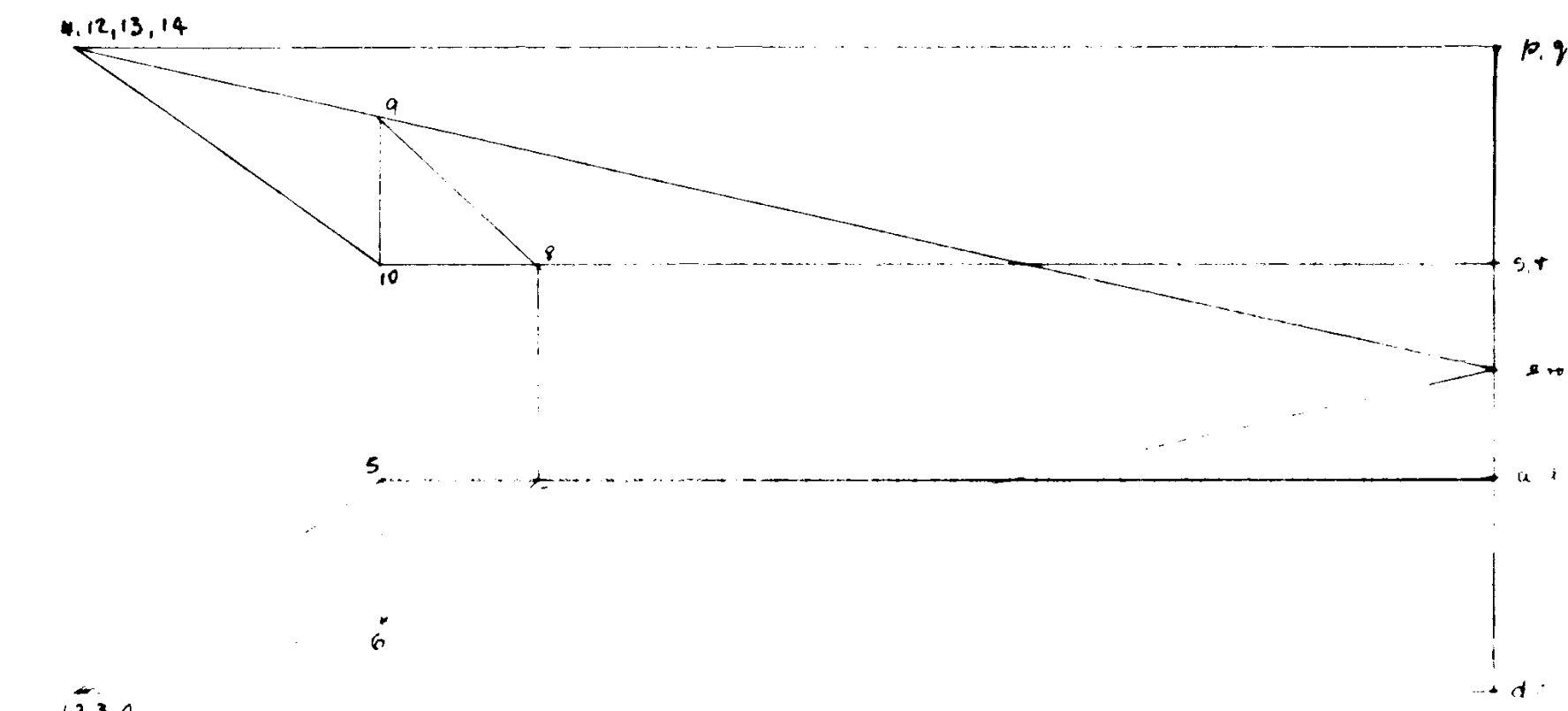
+VE = COMPRESSION		-VE = TENSION		7N ⁰ TYPE T2
MEMBER	LENGTH (mm)	FORCE (kN)	SECTION	
F1	N14	1265	+260	2/100x65x7 TFS
G2	M13	"	+260	" "
H4	L11	"	+222	" "
J6	K9	"	+185	" "
D1	P14	1225	-254	2/100x65x7 JLS
C3	Q12	"	-216	" "
B5	R10	"	-180	" "
A7	S8	"	-145	" "
I2	1314	300	+8	1/50x50x6 L
34	1112	600	+16	" "
56	910	900	+24	1/60x60x6 L
78	1200	-8	-8	1/50x50x6 L
23	1213	1365	-41	" "
45	1011	1520	-44	" "
67	B9	1715	-48	1/60x60x6 L

TRUSSES AT LOAD OUT. 3N⁰ TYPE T1

F1	N14	1265	+ 670	2/150x90x12 JLS
G2	M13	"	+ 670	" "
H4	L11	"	+ 632	" "
J6	K9	"	+ 506	" "
D1	P14	1225	- 654	2/150x90x12 JLS
C3	Q12	"	- 616	" "
B5	R10	"	- 494	" "
A7	S8	"	- 414	" "
I2	1314	300	+ 8	1/70x70x6 L
34	1112	600	+ 16	" "
56	910	900	+ 66	" "
78		1200	- 68	" "
23	1213	1365	- 41	" "
45	1011	1520	- 129	1/100x65x7 JLS
67	89	1715	- 108	" "



FORCE DIAGRAM
 SCALE:- 1cm = 10 kN

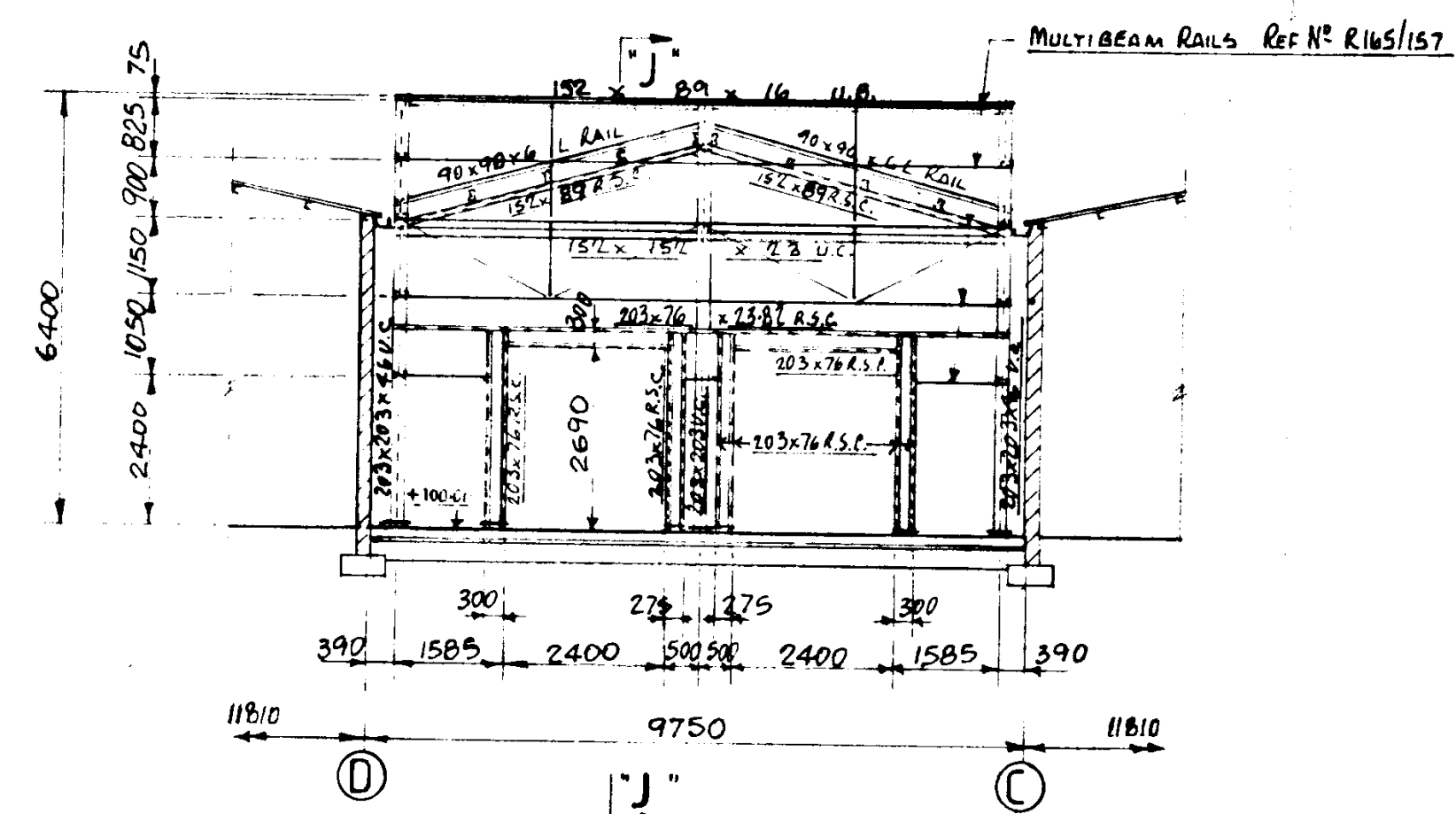
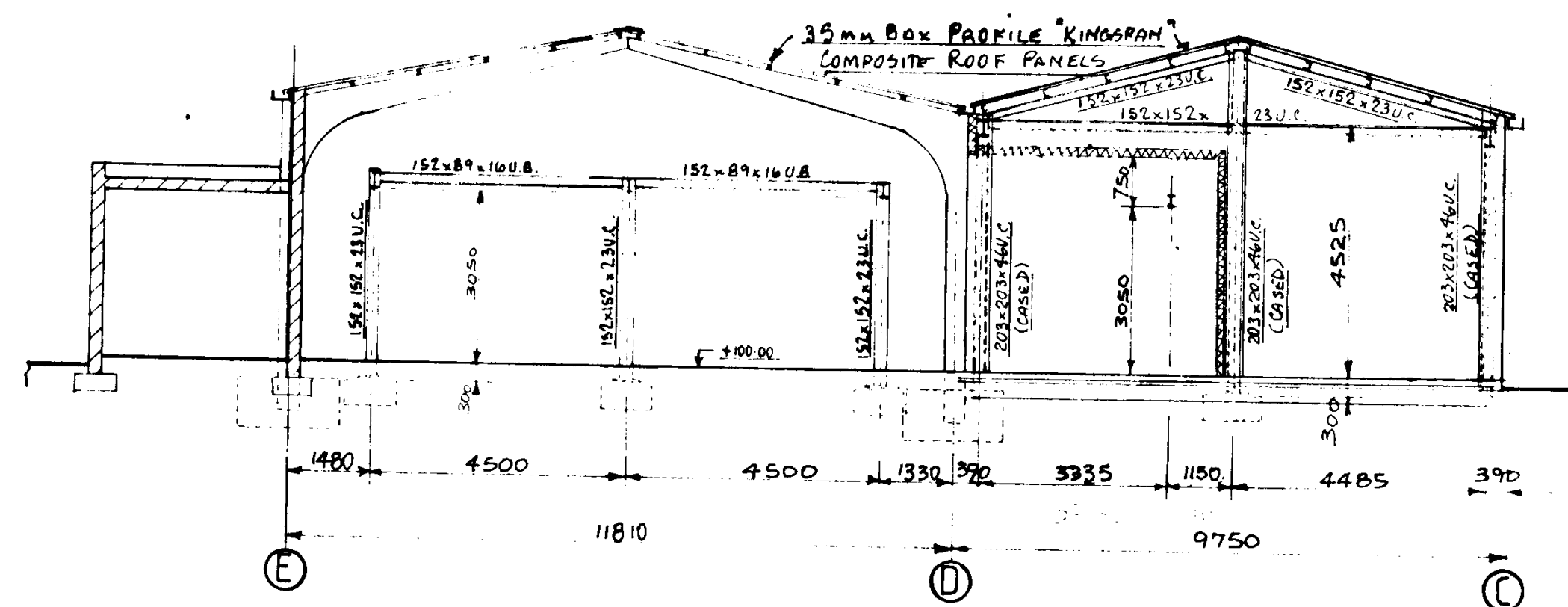
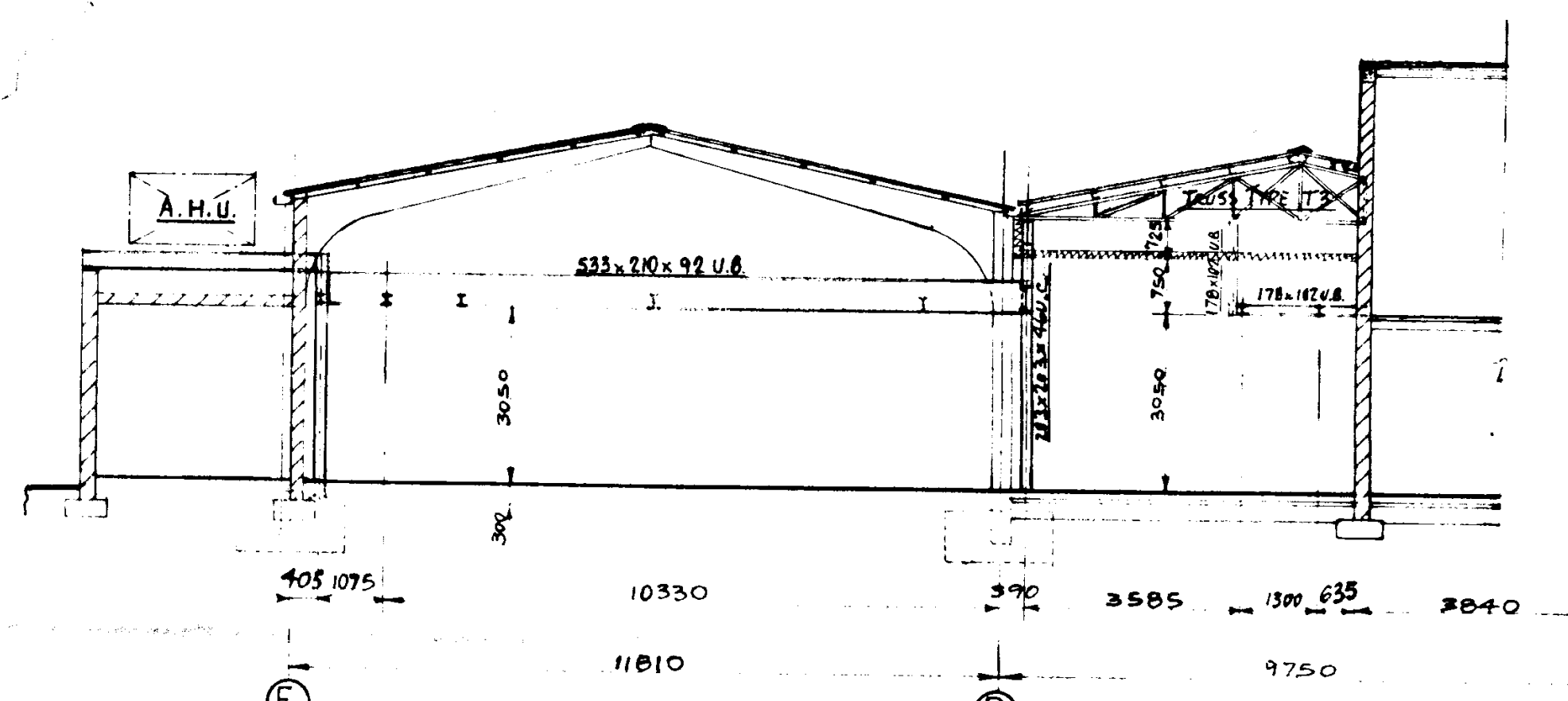
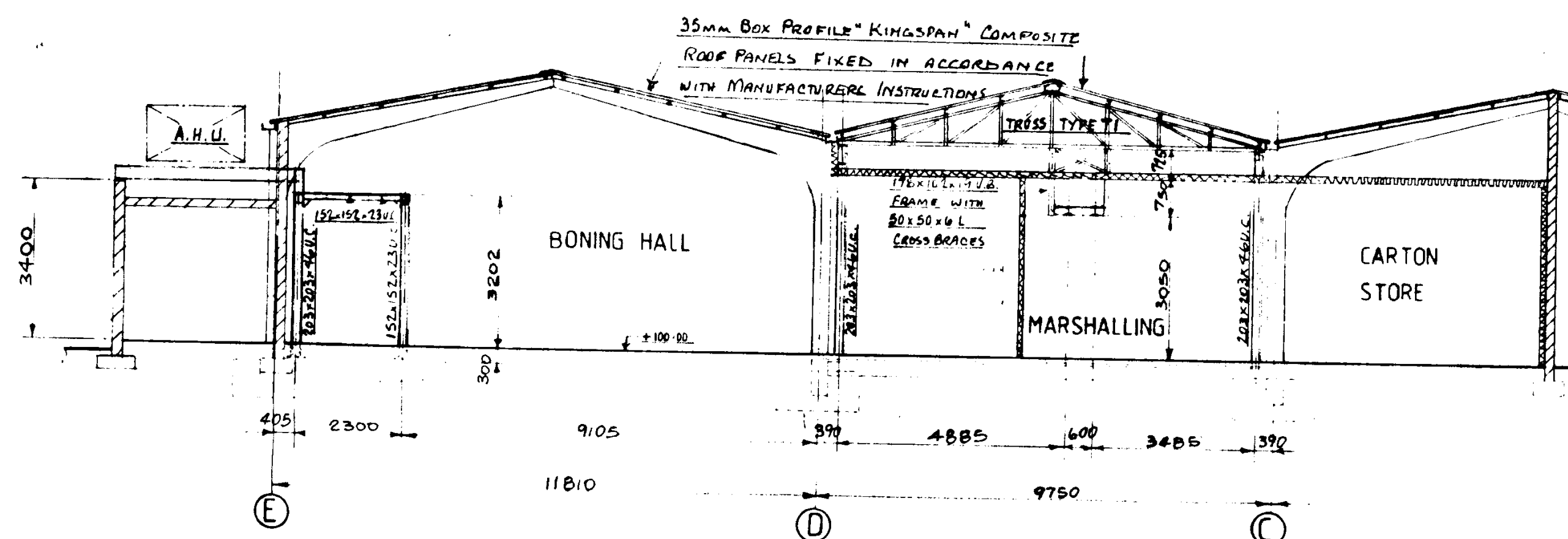
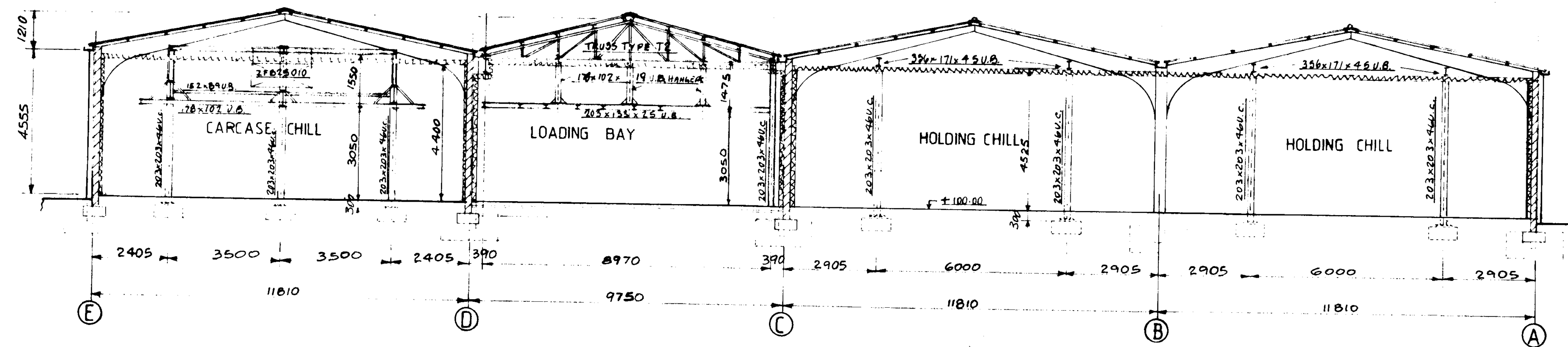


FORCE DIAGRAM
 SCALE:- 1cm = 10 kN

TARA MEATS LTD TALLAGHT
 DESIGN SHEET N⁰1 - ROOF TRUSSES

NOTES

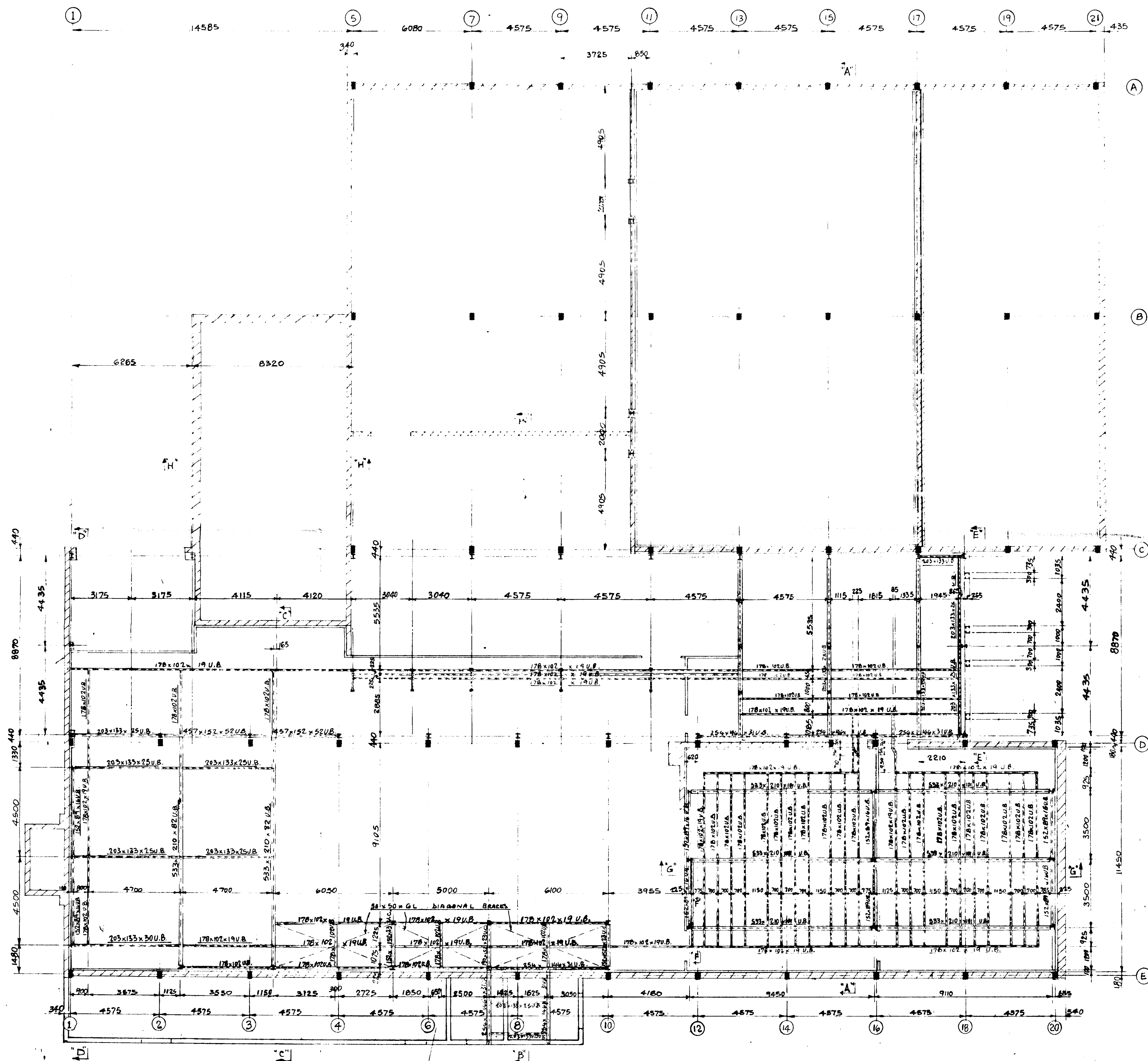
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DESIGN & PROJECT MANAGEMENT
The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955
12 MAR 1992
10:11 AM 9/1/1992

REVISION	
CLIENT	TARA MEATS LTD. TALLAGHT.
PROJECT	PROPOSED EXTENSION / ALTERATIONS
DRAWING	SECTIONS & ELEVATION
SCALE	1:100
DATE	DEC. '91
DRAWN BY	10/1/1992
DRG NO	90/204/104 A

1. DO NOT SCALE FROM DRAWING
2. WORK ONLY TO FIGURED DIMENSIONS
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BEFORE COMMENCEMENT OF WORK OR
MANUFACTURE AND ANY VARIATIONS TO BE
REPORTED BEFORE PROCEEDING.



J	DIMENSIONS REVISED	19/2/92	SM
H	RAIL LAYOUT REVISED. LOADING BAY ADDED.	11/2/92	SM
G	DIMENSIONS REVISED. LOCATION OF A.H.U.S. ALTERED.	9/1/92	SM
F	SIGNAL BRACING ADDED (SAND) 4 TO 10	29/4/91	SM
E	SECTION SIZES ADDED	21/11/91	SM
D	DIMENSIONS REVISED	14/11/91	SM
C	STAN POSITIONS REVISED	12/11/91	SM
B	DIMENSIONS REVISED	21/11/91	SM
A	RE. DRAWN	Nov 91	SM
REVISION	DESCRIPTION	DATE	BY



Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955

CLIENT TARA MEATS LTD. TALLAGHT

PROJECT	PROPOSED EXTENSION / ALTERATIONS
---------	----------------------------------

DRAWING PLAN ON RAIL SUPPORT STEELWORK

SCALE 1 : 100

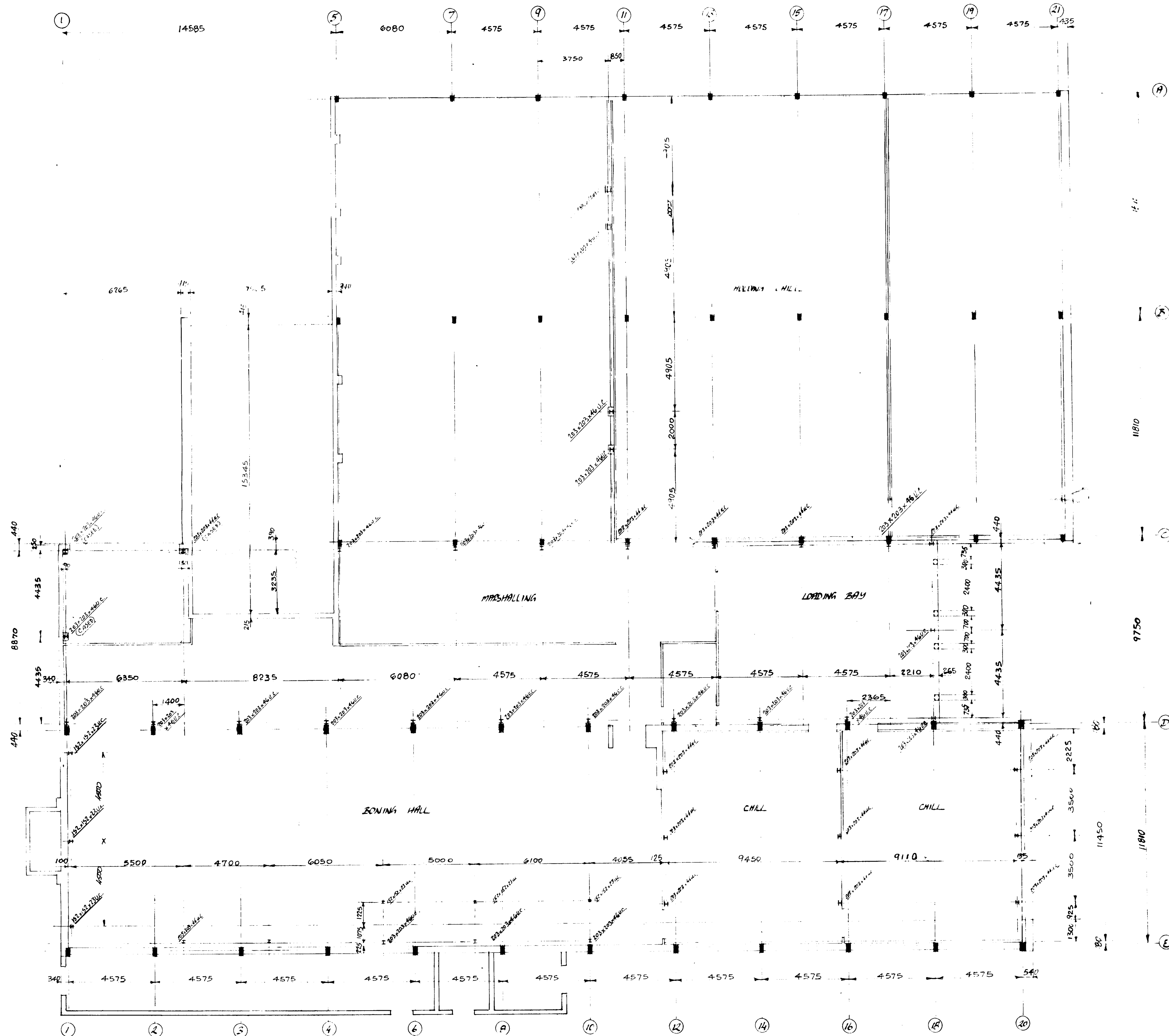
DATE NOV. '91

01.1	STEEL
	DRAWN BY

DRG No. 90/204/102 rev. 5 J

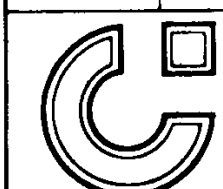
NOTES

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12 MAR 1992
REG NO. 91/127

H	DIMENSIONS REVISED	19/12/92	SH
G	DIMENSIONS REVISED	13/11/92	SH
F	DIMENSIONS C TO D REVISED	16/12/91	SH
E	DIMENSIONS ADDED	22/11/91	SH
D	DIMENSIONS REVISED	4/11/91	SH
C	STAN. POSITIONS REVISED	12/11/91	SH
B	AMENITIES BLOCK REVISED	8/11/91	SH
A	DIMENSIONS ADDED STAN. POSITIONS REVISED	18/10/91	SH
REVISION	DESCRIPTION	DATE	BY



Design & Project Management
The Hill, Stillorgan, Co. Dublin. Phone 882101 / Fax 887955

CLIENT	TARA MERTS LTD. - TALLAGHT		
PROJECT	EXPLODED EXTENSION		
DRAWING	PLAN ON STANCHIONS		
SCALE	1/100	DRAWN BY	SH
DATE	SEPT. '91	DRG No.	90/204/101 REV. 1