

9/10/0561

PROPOSAL: Club house + septic tank  
LOCATION: Forest Hills Rathcoole  
APPLICANT: Rathcoole Boys F.C.

1	2	3	4	5	6	7
Dwellings/AREA LENGTH/STRUCT	RATE	AMT. OF FEE SEC.	AMOUNT LODGED	BALANCE DUE	BALANCE PAID	TOTAL RECEIPT
Dwellings	3332					
	3316					
	3300					
	3284					
	3268					
	3252					
	3236					
	3220					
	3204					
	3188					
	3172					
	3156					
	3140					
	3124					
	3108					
	3092					
	3076					
	3060					
	3044					
	3028					
	3012					
	2996					
	2980					
	2964					
	2948					
	2932					
	2916					
	2900					
	2884					
	2868					
	2852					
	2836					
	2820					
	2804					
	2788					
	2772					
	2756					
	2740					
	2724					
	2708					
	2692					
	2676					
	2660					
	2644					
	2628					
	2612					
	2596					
	2580					
	2564					
	2548					
	2532					
	2516					
	2500					
	2484					
	2468					
	2452					
	2436					
	2420					
	2404					
	2388					
	2372					
	2356					
	2340					
	2324					
	2308					
	2292					
	2276					
	2260					
	2244					
	2228					
	2212					
	2196					
	2180					
	2164					
	2148					
	2132					
	2116					
	2100					
	2084					
	2068					
	2052					
	2036					
	2020					
	2004					
	1988					
	1972					
	1956					
	1940					
	1924					
	1908					
	1892					
	1876					
	1860					
	1844					
	1828					
	1812					
	1796					
	1780					
	1764					
	1748					
	1732					
	1716					
	1700					
	1684					
	1668					
	1652					
	1636					
	1620					
	1604					
	1588					
	1572					
	1556					
	1540					
	1524					
	1508					
	1492					
	1476					
	1460					
	1444					
	1428					
	1412					
	1396					
	1380					
	1364					
	1348					
	1332					
	1316					
	1300					
	1284					
	1268					
	1252					
	1236					
	1220					
	1204					
	1188					
	1172					
	1156					
	1140					
	1124					
	1108					
	1092					
	1076					
	1060					
	1044					
	1028					
	1012					
	996					
	980					
	964					
	948					
	932					
	916					
	900					
	884					
	868					
	852					
	836					
	820					
	804					
	788					
	772					
	756					
	740					
	724					
	708					
	692					
	676					
	660					
	644					
	628					
	612					
	596					
	580					
	564					
	548					
	532					
	516					
	500					
	484					
	468					
	452					
	436					
	420					
	404					
	388					
	372					
	356					
	340					
	324					
	308					
	292					
	276					
	260					
	244					
	228					
	212					
	196					
	180					
	164					
	148					
	132					
	116					
	100					
	84					
	68					
	52					
	36					
	20					
	4					

313.0

EXEMPT

Signature: [Signature] Grade: D/TI Date: 16/4/91

Signature: [Signature] Grade: S.O Date: 16/4/91

Signature: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

REF. NO.: 91A/0561 CERTIFICATE NO.: 14636B  
 PROPOSAL: Overhouse + Septic Tank  
 LOCATION: Forest Hills Rathcoole  
 APPLICANT: Rathcoole Boys F.C.

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	REQ. FEE APPL.	AMT. OF REQ. FEE
A	Dwelling (Houses/Flats)	€ 255					
B	Domestic Bldg. (Improvement/Alts.)	€ 230					
C	Building for office or other comm. purpose <u>313.0m<sup>2</sup></u>	€ 23.80 per sq m or 270					
D	Building or other structure for purposes of agriculture	€ 23.80 per sq m or 270					
E	Petrol Filling Station	€ 2200					
F	Dev. of prop. not coming within any of the foregoing classes	270 or 10 per .1 hect. whichever is the greater					

**EXEMPT**

Column 1 Certified: Signed: [Signature] Grade: D/TI Date: 16/4/91  
 Column 1 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_  
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S.O Date: 16/4/91  
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: \_\_\_\_\_ Grade: \_\_\_\_\_ Date: \_\_\_\_\_

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: *91A/561*

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: *3370 FT<sup>2</sup>*

MEASURED BY:

*J.Y.*  
*16/4/91*

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: BY /  
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 91A / 0561

Proposed: Clubhouse and Softie tank

At: Forest Hills Pathways

For: Pathways Boys Football Club

Plans lodged: 11 April 1991

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

notification of trial hole opening by phone

I inspected two trial holes on this site on 15/5/91.

The first one had 5' clearance

The second had 6' clearance above water table.

Previous report submitted, Rev. No. d. 3 Approved DEHC 15/5/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date ..... 24.05.91 .....
Time ..... 4.30 .....

Haley Mable

As Review  
for John O'Reilly, SEHC  
22/5/91

\* Seol aon fhreagra chun  
(Re. ly to)

AN KUNAI  
(The Secretary)

faoin uimhir seo:-  
(Quoting)



AN ROINN COSANTA  
(Department of Defence)

TEACH NA PAIRCE  
(Park House)

BAILE ÁTHA CLIATH, 7  
(Dublin, 7)

2/50719

Teileafón 01/208788 771881 Ext. 2485

15 May, 1991.

Dear Sir,

Re: Planning Applications which might affect the use  
of Casement Aerodrome, Baldonnell, Co. Dublin

17 MAY 1991

I am directed by the Minister for Defence to refer to applications:

- 91A/528 - Patrick McDermott, Slade, Saggart.
- 91A/561 - Rathcoole Boys F.C., Forrest Hills, Rathcoole.
- 91A/583 - S. Farrell, Main Street, Rathcoole.
- 91A/584 - Dr. L. Lynch, Coolmine, Saggart.
- 91A/652 - Thomas Grimes, Lyons Road, Newcastle.
- 91A/662 - B. Mansfield, Redgap, Rathcoole.
- 91A/665 - Vera Harty, Blessington Road, Saggart.
- 91A/667 - S. & P. Ryan, Redgap, Rathcoole.

No objection is seen to these proposed developments provided they do not exceed 11M in height above ground level.

Yours sincerely,

JOHN P. MORAN  
EXECUTIVE OFFICER

The Secretary,  
Dublin County Council,  
Planning Department,  
Irish Life Mall,  
Lower Abbey Street,  
Dublin 1.



Order No. P/2520/91  
**COMHAIRLE CHONTAE ÁTHA CLIATH**

**Record of Executive Business and Manager's Orders**

PERMISSION:  
Standard: Nil  
Roads: *Circle*  
S. Sers:  
Open Space:  
Other:  
SECURITY:  
Bond / G.I.F.:

Proposed clubhouse and septic tank at Forest Hills,  
Rathcoole, for Rathcoole Boys Football Club.

T. Colbert,  
169 Forest Hills,  
Rathcoole,  
Co. Dublin.

Reg. Ref. 91A/0561  
App. Recd: 11.04.91  
Floor Area: 313 sq.m.  
Site Area: 3.642 ha.  
Zoning:

Report of the Dublin Planning Officer, dated 30 May 1991

This is an application for PERMISSION for a clubhouse and septic tank at Forest Hills, Rathcoole, for Rathcoole Boys Football Club.

The site is stated to be 3.642 ha. The floor area of the proposed development is 313 sq.m.

20. The site is located in an area which is zoned with the objective of the 1983 County Development Plan "to protect and provide for the development of agriculture". The proposed clubhouse is a single-storey structure with <sup>polyurethane</sup> ~~terylene~~ finish and hardwood door. The location is adjacent to the Forest Hills Housing Estate access.

A septic tank is proposed with the proposal. A report of the Supervising Environmental Health Officer states that the proposal is an acceptable one following examination of trial holes.

The Parks Department have ~~not~~ reported <sup>by phone no objection to</sup> ~~to date~~ on this proposal. ~~acceptable~~

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts 1963-1990, subject to the following (5) conditions.

MD  
(MD/AC)

Endorsed: -   
for Principal Officer

For Dublin Planning Officer  
31.5.91

Order:- A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990, to GRANT PERMISSION for the above proposal subject to the (5) conditions set out above is hereby made.

Dated: April, 1991.  
4 June

ASSISTANT CITY & COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated 26 April, 1991.

# COMHAIRLE CHONTAE ÁTHA CLIATH

## Record of Executive Business and Manager's Orders

Proposed clubhouse and septic tank at Forest Hills, Rathcoole, for Rathcoole Boys Football Club.

### CONDITIONS

### REASONS FOR CONDITIONS

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.

2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.

2. In order to comply with the Sanitary Services Acts, 1878-1964.

3. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

3. In the interest of health.

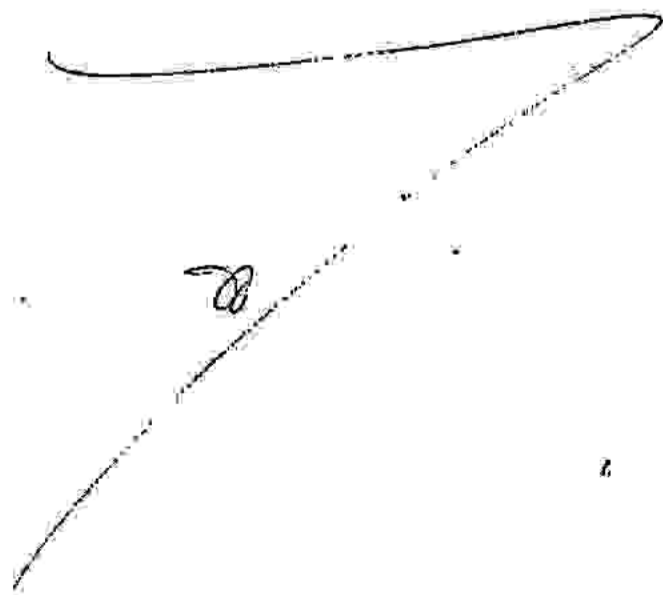
4. That the requirements of the Sanitary Services Department be ascertained and strictly adhered to in the development.

4. To comply with the requirements of the Sanitary Services Department.

5. That the use of this building shall be for that as a clubhouse for Rathcoole Boys Football Club and any change of use will require planning permission from the Planning Authority.

5. To prevent unauthorised development.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.



M.D

WP -

EASTERN HEALTH BOARD

P.C. \_\_\_\_\_ Reg. Ref: 912/0541

Proposed: Chickhouse and Saffron Lane

At: Forest Hill Pathways

For: Pathcode Boys Football Club

Plans Lodged: 11 April 1991

Architect: \_\_\_\_\_

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

Notification of trail work being done

I inspected two trial holes on the site on 15/5/91.

The first one had 3' clearance.

The second had 6' clearance above water table.

Person's report submitted 12th Dec 1990 13:00

PLANNING DEPT.  
 DEVELOPMENT CONTROL SECT  
 Date ..... 24.05.91 .....  
 Time ..... 4.30 .....

Helen Mulla

John C. Devine  
 John C. Kelly, SEHO  
 22/5/91



Register Reference : 91A/0561

Date : 18th April 1991

Development : Clubhouse and septic tank

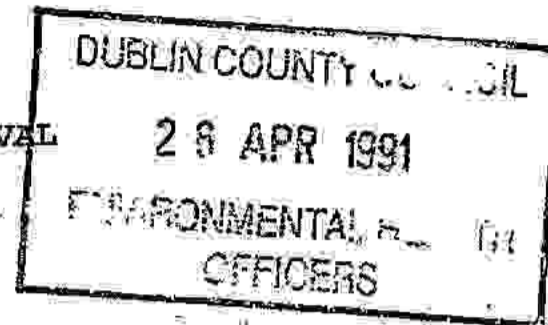
LOCATION : Forest Hills, Rathcoole

Applicant : Rathcoole Boys Football Club

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M. DARLEY

Date Recd. : 11th April 1991



Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

*Paul Tobin*

PRINCIPAL OFFICER

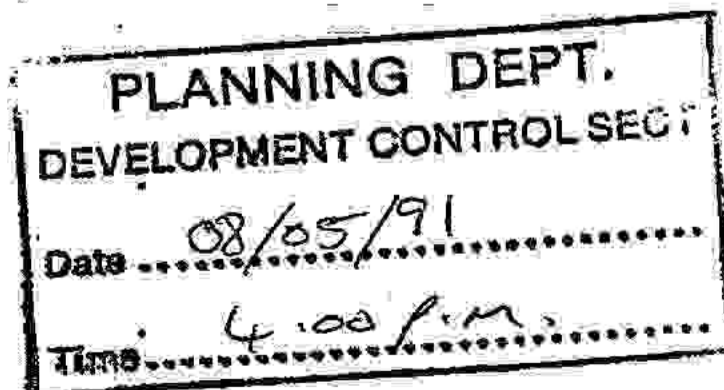
Proposal unacceptable for following reasons

- 1) Evidence of soil suitability for the treatment and disposal of septic tank effluent required
- 2) Soil at surface near the existing changing area appeared to be very wet and soggy - supervised percolation tests may be required at a later date
- 3) Permanent vents must be provided to all rooms, <sup>incl</sup> dressing rooms, showers, W.C.s, lockers etc.
- 4) Means of heating not indicated

*Anno D. Donohoe*  
7/5/91

*John O'Leary*  
SUPER. ENVIRON. HEALTH OFFICER,  
33 GARDINER PLACE,  
DUBLIN 1.

7/5/91



# DUBLIN COUNTY COUNCIL

Tel. 724755 (ext. 262/264)

PLANNING DEPARTMENT,  
BLOCK 2,  
IRISH LIFE CENTRE,  
LR. ABBEY STREET,  
DUBLIN 1.

## Notification of Decision to Grant Permission/~~Approval~~

Local Government (Planning and Development) Acts, 1963-1983

To: T. Colbert, Decision Order P/2520/91 04.06.91  
169 Forest Hills, Number and Date  
Rathcoole, Register Reference No. 91A/0561  
Co. Dublin. Planning Control No.  
Application Received on 11.04.91

Applicant Rathcoole Boys Football Club. Floor Area: 313 sq.m.

In pursuance of its functions under the above-mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to grant Permission/~~Approval~~ for:-

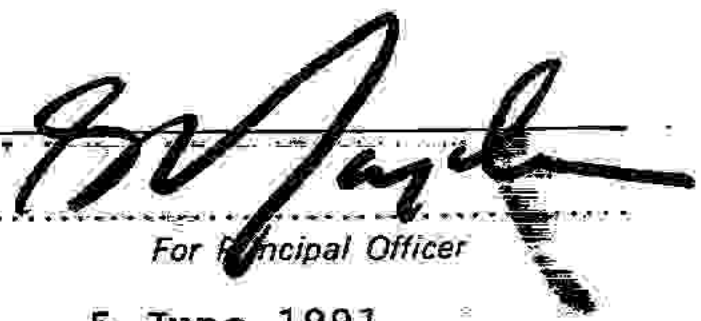
clubhouse and septic tank at Forest Hills, Rathcoole.

### SUBJECT TO THE FOLLOWING CONDITIONS

CONDITIONS	REASONS FOR CONDITIONS
1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.	1. To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. That before development commences, approval under the Building Bye-Laws be obtained, and all conditions of that approval be observed in the development.	2. In order to comply with the Sanitary Services Acts, 1878-1964.
3. That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.	3. In the interest of health.
4. That the requirements of the Sanitary Services Department be ascertained and strictly adhered to in the development.	4. To comply with the requirements of the Sanitary Services Department.

Over .....

Signed on behalf of the Dublin County Council

  
For Principal Officer

5 June 1991

Date

**IMPORTANT: Turn overleaf for further information**

CONDITIONS

5. That the use of this building shall be for that as a clubhouse for Rathcoole Boys Football Club and any change of use will require planning permission from the Planning Authority.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

REASONS FOR CONDITIONS

5. To prevent unauthorised development.

NOTE:

If there is no appeal to An Bord Pleanala against this decision PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty-one days beginning on the date of the decision.

An appeal shall be in writing and shall state the subject matter and grounds of the appeal. It should be addressed to:—  
An Bord Pleanala, Blocks 6 and 7, Irish Life Centre, Lower Abbey Street, Dublin 1.

(1) An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by a fee of £36 (Thirty-six Pounds). (2) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, *in addition* to (1) above, pay to An Bord Pleanala a fee of £36 (Thirty-six Pounds). (3) A person who is not a party to an appeal must pay a fee of £10 (Ten Pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

Approval of the Council under Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Building Control Department,  
Liffey House,  
Tara Street,  
Dublin 1.  
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,  
Block 2, Irish Life Centre,  
Sraid na Mainistreach Iacht,  
Lower Abbey Street,  
Baile Atha Cliath 1.  
Dublin 1.  
Telephone. (01)724755  
Fax. (01)724896

Register Reference : 91A/0561

Date : 12th April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Clubhouse and septic tank  
LOCATION : Forest Hills, Rathcoole  
APPLICANT : Rathcoole Boys Football Club  
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 11th April 1991.

Yours faithfully,

.....  
PRINCIPAL OFFICER

Mr T. Colbert, Architect,  
169 Forest Hills,  
Rathcoole,  
Co. Dublin.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

Application for Permission  Outline Permission  Approval  Place  in appropriate box.  
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

Postal address of site or building RATHCOOLE BOYS SOCCER PITCH  
(If none, give description sufficient to identify) FOREST HILLS RATHCOOLE

Name of applicant (Principal not Agent) COMMITTEE of J. O'DRISCOLL

Address 54 RATHLAWNS RATHCOOLE Co DUBLIN Tel. No. \_\_\_\_\_

Name and address of person or firm responsible T. COLBERT DIP. ARCH. TECH.  
for preparation of drawings 169 FOREST HILLS RATHCOOLE Tel. No. 589 682

Name and address to which notifications should be sent T. COLBERT DIP. ARCH. TECH.  
169 FOREST HILLS RATHCOOLE Co DUBLIN

Brief description of proposed development CLUB HOUSE AND SEPTIC TANK

Method of drainage SEPTIC TANK 3. Source of Water Supply PUBLIC

In the case of any building or buildings to be retained on site, please state:  
(a) Present use of each floor or use when last used N/A Horod 28/3/91

(b) Proposed use of each floor \_\_\_\_\_

Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

(a) Area of Site 3.642 ha Sq. m.

(b) Floor area of proposed development 313 Sq. m.

(c) Floor area of buildings proposed to be retained within site \_\_\_\_\_ Sq. m.

State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) OWNERS N/A

Are you now applying also for an approval under the Building Bye Laws?  
Yes  No  Place  in appropriate box.

Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:  
AS APPROPRIATE

List of documents enclosed with application 4 COPIES OF LOCATION MAP, DETAIL DRG  
SPECIFICATION & COPY OF ADVERTISEMENT  
ADD COPY OF STRUCTURAL ENGINEERS CALCULATIONS & CERT.

Gross floor space of proposed development (See back) 313 Sq. m.

No of dwellings proposed (if any) \_\_\_\_\_ Class(es) of Development \_\_\_\_\_

Fee Payable EXEMPT Basis of Calculation \_\_\_\_\_  
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) T. Colbert Date 10th April 91

Application Type P/BBL FOR OFFICE USE ONLY

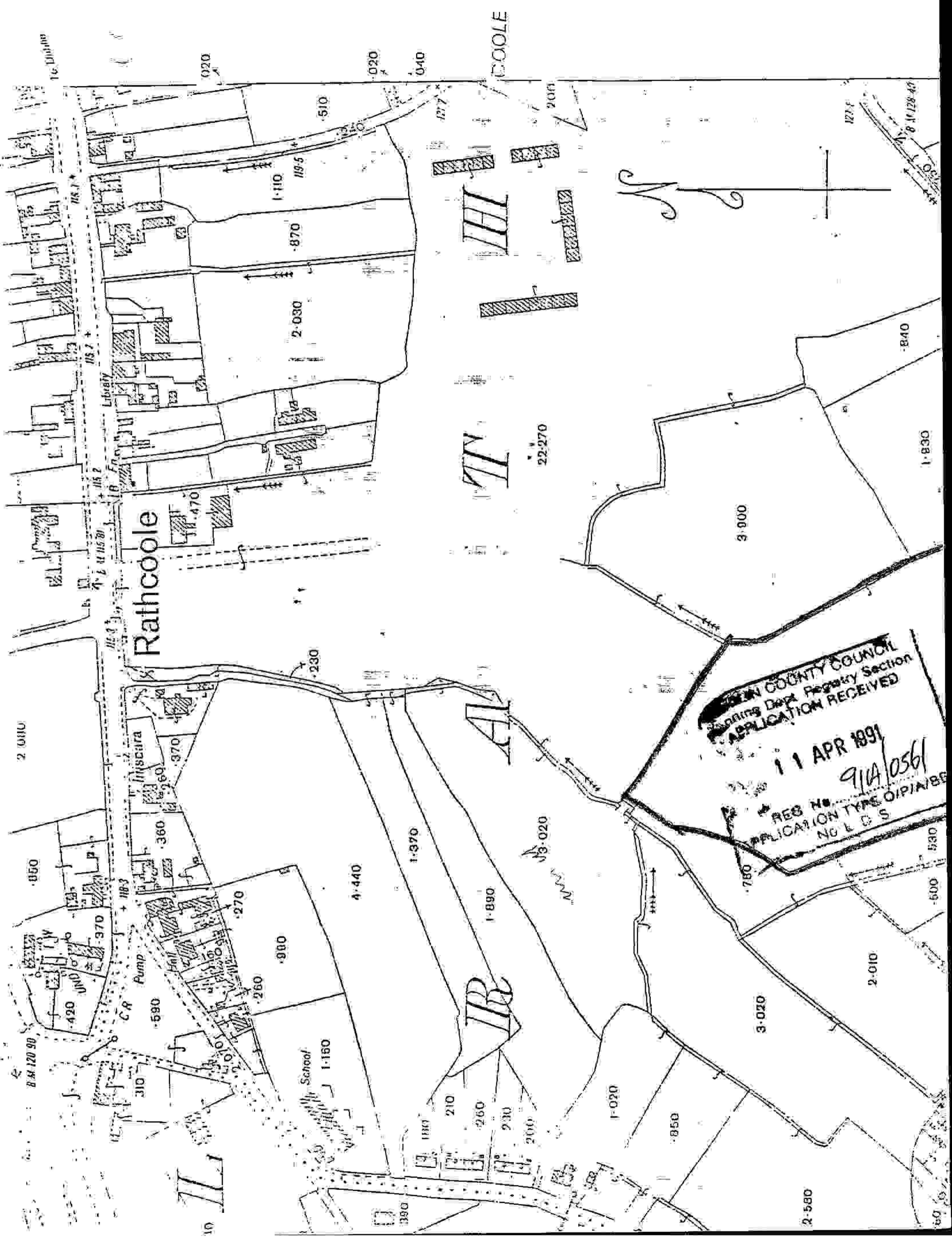
Register Reference 919/0561 1.12.4.2.

Amount Received £ \_\_\_\_\_

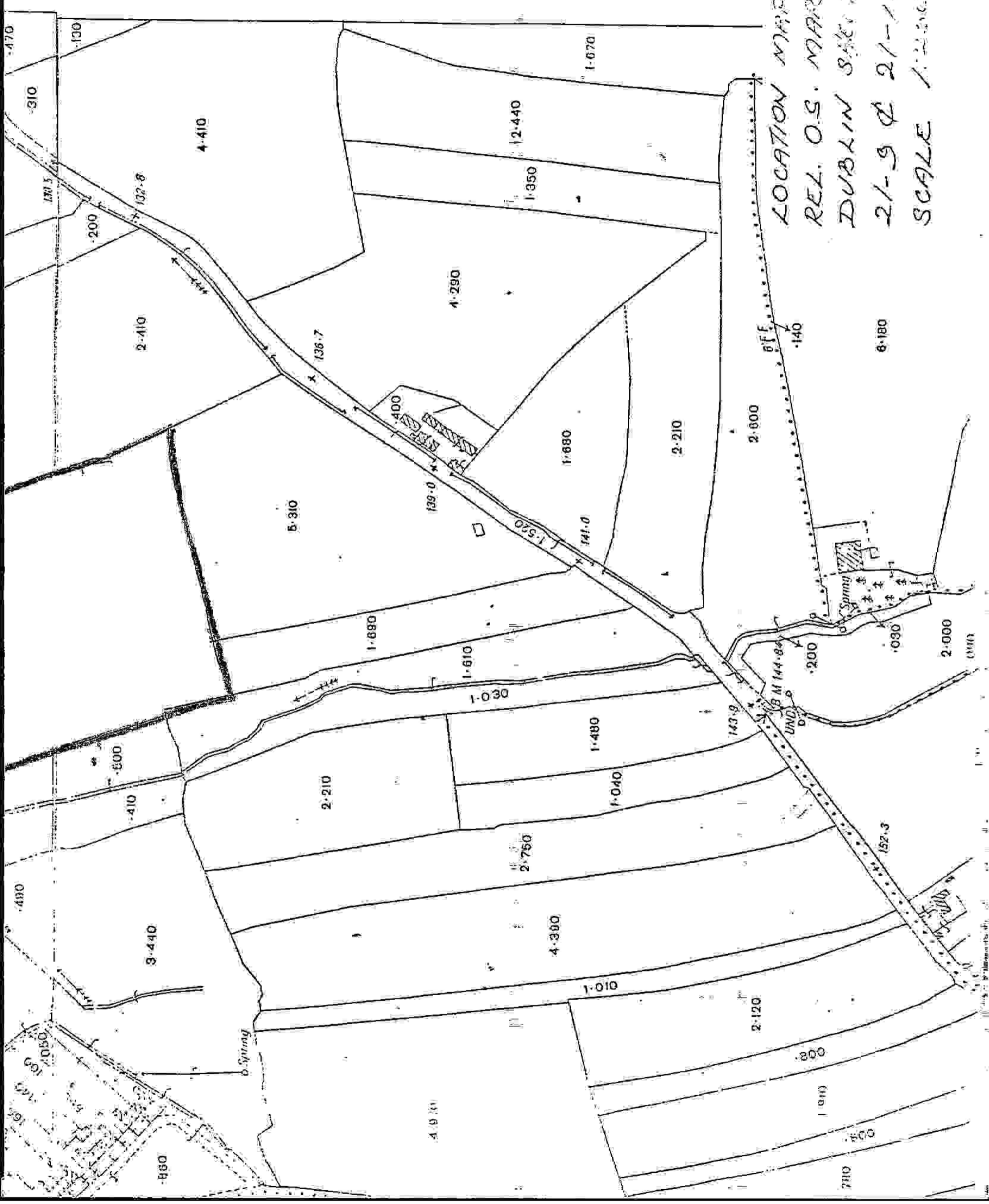
Receipt No \_\_\_\_\_

Date \_\_\_\_\_





DUBLIN COUNTY COUNCIL  
 Planning Dept. Registry Section  
 APPLICATION RECEIVED  
 11 APR 1991  
 RES NO. 91A/0561  
 APPLICATION TYPE OIP/IBS  
 NO L & S



LOCATION MAP  
 REL. O.S. MAPS  
 DUBLIN SHEETS  
 21-9 & 21-13  
 SCALE 1:25000

# PHILIP J. WARD ASSOCIATES

CONSULTING ENGINEERS

Main Street, Celbridge, Co. Kildare.

Telephone: (01) 6271807

Your Ref.

Our Ref.

Date

8th April 1991

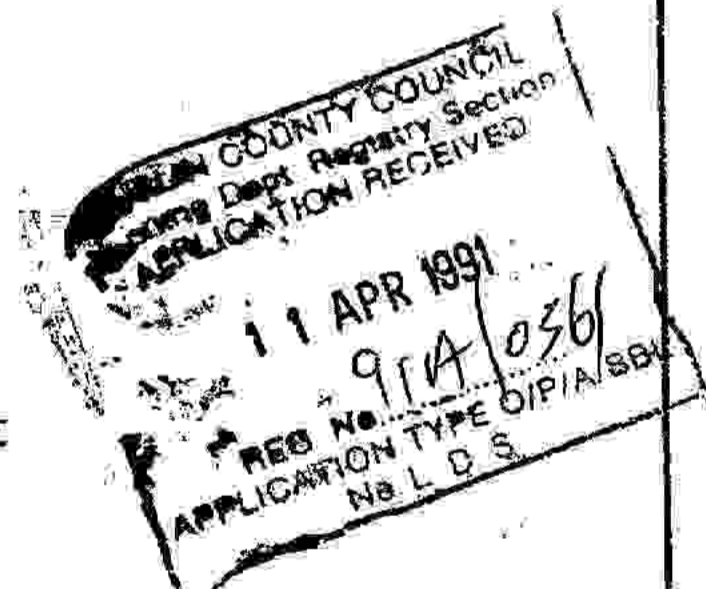
Project: Proposed Clubhouse  
at Forest Hills,  
Rathcoole

We have been appointed structural engineers for this project and hereby certify that the building structure has been designed in accordance with prevailing standards and accepted practice.

for Philip J. Ward & Associates

*Philip J. Ward*

Philip J. Ward B.E., C.Eng., M.I.E.I



V.A.T. No. 6244402K



Span = 12.7m / Bay = 6.1m.

Roof Loads.

Sheeting	$\text{KN/m}^2$ 0.11
Purlins	$\frac{0.05}{0.16}$
Imposed	$\frac{0.75}{0.91 \text{ KN/m}^2}$

Portal Frame: Precast core.

Av. 945 deep  $\times$  300 = 6.8 KN/m.

Total roof weight on purlin =  $0.91 \times 6.1 + 6.8$   
= 12.1 KN/m.

$\times 13$  spans = 157 KN.

Found load = 79 KN.

Add for column 300  $\times$  300:  $\frac{7.6}{87 \text{ KN}}$

PHILIP J. WARD ASSOCIATES  
Consulting Engineers

Lathcoole Boys

②

Allowable bearing =  $150 \text{ kN/m}^2$ .

Found area required =  $0.58 \text{ m}^2$ .

Table Walls.

$$\frac{\text{Load}}{200} = \frac{0.91 \times 6.1}{2} = 2.8 \text{ KN/m.}$$

$$\text{Wall } 2 \times 1 \times 24 \times 4 \text{ m} = 19.2$$
$$\underline{\hspace{1.5cm}} 22 \text{ KN/m.}$$

Found width required = 0.14 m.

Provide 800 wide founds.

Check for wind load.

Basic

$$\text{Wind speed} = 42 \text{ m/s. } S_1 = S_3 = 1.0.$$

$$\text{Roughness} = 3B < 5 \text{ m. } S_2 = 0.65.$$

$$\text{Wind speed} = 42 \times 0.65 = 27.3$$

$$q = 0.46 \text{ KN/m}^2.$$

$$C_{pe} = +0.7 \text{ or } -0.6.$$

$$C_{pi} = +0.2 \text{ or } -0.3.$$

$$\text{Worst Combination } 0.7 + 0.3 = 1.0.$$

$$\text{Wind Load} = 0.46 \text{ KN/m}^2$$

I.S. 325.

Vertically-spanning walls.

$$\gamma_f = 1.2.$$

$$\text{Ultimate wind load} = 1.2 \times 46 = 55 \text{ kN/m}^2$$

$$BM = 55 \times 3.2^2 / 8 = 68.4 \text{ kNm.}$$

$$F_{kx} = \begin{matrix} 0.2 \\ 0.5 \end{matrix} \} \mu = 0.4.$$

$$Z = 2 \times \left( \frac{1000 \times 100^2}{6} \right) = 3.33 \times 10^6 \text{ mm}^3.$$

$$\gamma_m = 3.5$$

$$M_R = \frac{F_{kx}}{\gamma_m} \cdot Z = \frac{0.2 \times 3.33 \times 10^6}{3.5} = 19 \text{ kNm.}$$

Too low.

R.C. piers required at third-points.

I.S. 325 Table 9A.

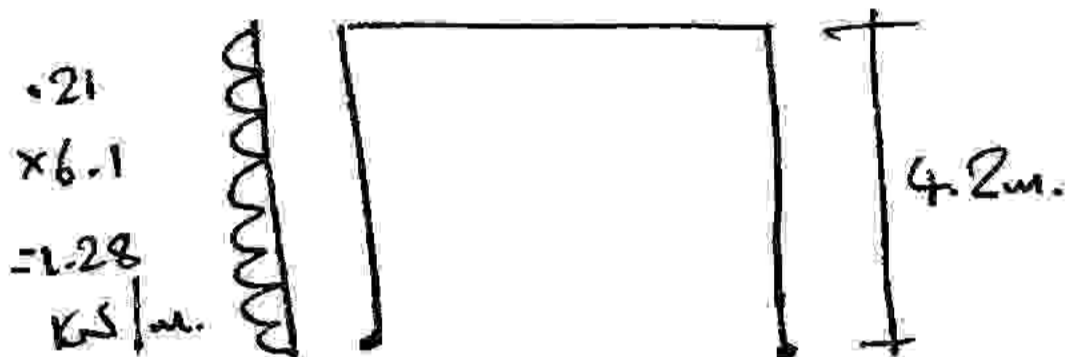
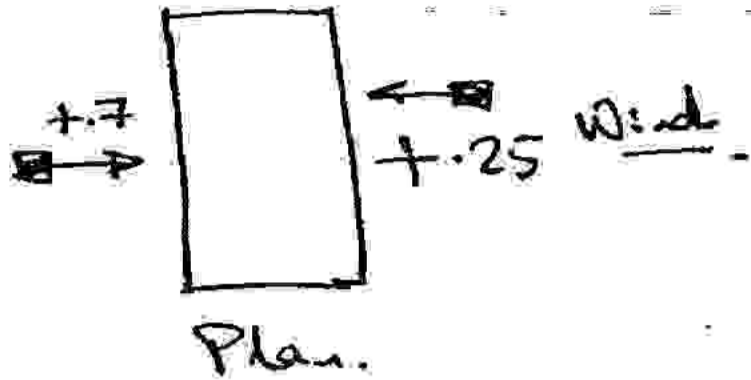
$$h/c = 0.29 \quad \lambda = 0.017$$

$$M_R = 0.017 \times 1.2 \times 46 \times 3.2^2 = 11 \text{ kNm.}$$

Less than moment of resistance.

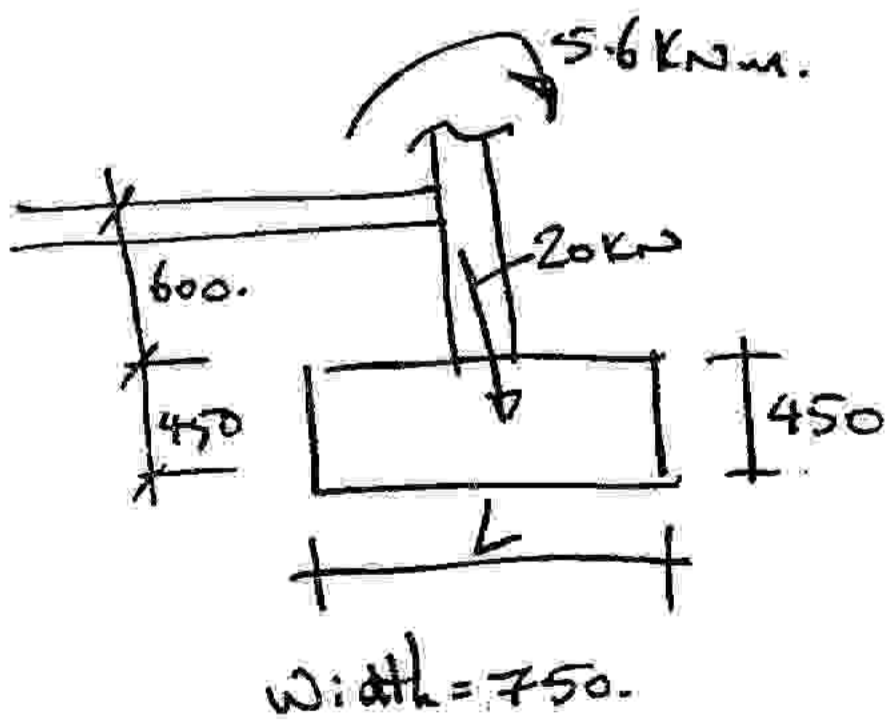
Lateral Stability.

Nett = .45.



MOT per column =  $1.28 \times \frac{4.2^2}{2} \times \frac{1}{2} = 5.6 \text{ kNm.}$

Min column weight =  $79 - .75 \times 12.7 \times 6.1 = 20 \text{ kN.}$



$$M_{restoring} = \frac{20L}{2} + \left( \frac{.6L}{2} \times \frac{3L}{4} \right) \times 75 \times 18 \text{ kN/m}^3$$

$$+ .45 \times .75 \times \frac{L^2}{2} \times 24$$

$$= 10L + (3.04 + 4.05)L^2$$

Required stability FOS = 2.0.

$$\therefore 2 \times 5.6 = 7.1 L^2 + 10 L$$

$$7.1 L^2 + 10 L - 11.2 = 0$$

$$L = \frac{-10 \pm \sqrt{10^2 + 4 \times 11.2 \times 7.1}}{2 \times 7.1}$$

$$= ~~11.4~~ .79.$$

Provide Funds 750 wide x 1000 long x 450 mm  
thick.

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**SPECIFICATION**

**FOR**

**WORK TO BE DONE AND MATERIALS TO BE USED**

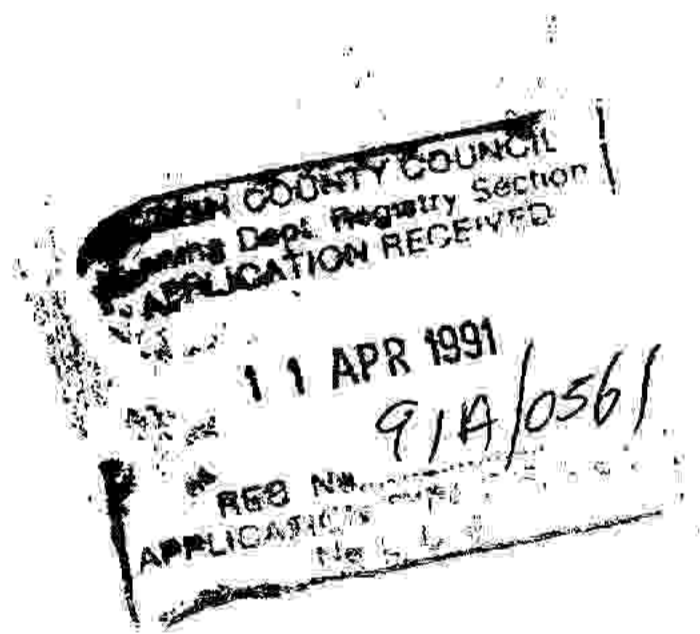
**IN**

**THE ERECTION OF CLUBHOUSE AND SEPTIC TANK**

**AT**

**FOREST HILLS,  
RATHCOOLE,**

**FOR  
RATHCOOLE BOYS FOOTBALL CLUB**



T. Colbert Dip. Arch. Tech.  
169 Annadale Close,  
Forest Hills,  
Rathcoole,  
Co. Dublin.

#### GENERALLY

- \* All materials to be the best of their respective kinds and as specified and, all things being equal, be of Irish manufacture.
- \* All sand to be clean washed sharp sand.
- \* All cement to be first grade Irish Standard, properly stored and used as specified.
- \* All broken stone or gravel to be clean and free from loam and other vegetable matter.
- \* All concrete blocks to be to Irish Standard Specification from an approved manufacturer and be true to size and have sharp arrises.
- \* All cement mortar to be mixed 5 parts washed sand to 1 part cement.
- \* All lime mortar to be 6 parts washed sand to 1 part lime to 1 part Portland cement.
- \* All lime to be freshly burned roach lime, slaked and run to putty at least 3 weeks before use, or hydrated lime to Irish Standard Specification.
- \* All putty to be best oil putty.
- \* All glass to be 4mm glass unless otherwise stated.
- \* All workmanship to be of first quality and carried out by fully qualified tradesmen, each to his own trade.
- \* The Contractor shall attend upon, cut away for and make good after all trades.
- \* The Contractor shall be responsible for the true and proper setting out of the works and any errors will be made good at the Contractor's own expense.
- \* The Contractor shall be solely responsible for and indemnify the Employer in respect of, and insure against, any liability due to injury to persons, workmen or damage to property.
- \* All floors to be scrubbed, all glass to be cleaned, all pipes gutters ,gullies etc., to be cleaned out and the entire works to be left in a clean and tidy condition on completion.



### EXCAVATOR

- \* The site for the works to be cleared of soil and vegetable earth to the required depths, and the excavated material removed from site unless otherwise directed.
- \* Excavations for all footings are to be carried down to such depths as may be required to reach firm bearing ground, but in no case shall the depth be less than that shown on the drawings.
- \* Bottoms of trenches may be stepped as necessary and shall be perfectly horizontal in all places. Widths of footings shall be not less than those shown on the drawings.
- \* The Contractor shall not pour any foundations until the excavations have been inspected and approved.
- \* The Contractor shall be responsible for upholding the sides of trenches and shall supply all planks and strutting as may be required to ensure this.
- \* Fill in to make up levels under concrete bed with a layer of broken stone to pass a 100 ring and not less than 100 deep. Where the depth of hardcore exceeds this, it must be laid in layers 100 deep, fully consolidated before concrete is poured.
- \* Excavate for lines of drains as and where shown. Cuttings to be at least 600 wider than the pipes and to the depths as necessary to provide the correct falls, but in no case shall the trench be less than 600 deep.

### DRAINLAYER

- \* All drainage details are to comply with Local Authority regulations.
- \* Armstrong junctions to be used where shown and have galvanised lids.
- \* All pipework to be 100mm diam. u.p.v.c. soil pipes laid to a fall of 1:40 and bedded in lean mix concrete.
- \* Manholes to be 900x900 constructed in 225 solid blockwork on a 150 concrete foundation. Walls to be plastered internally with 1:3 sand and cement and haunching formed to half channels. Form 150 reinforced top and fit galvanised iron frame and cover.
- \* Provide and fit soil vent pipe where shown. Vent pipe to be 100 diam. u.p.v.c. carried up to min. 750 above window heads. Top of vent to be fitted with patent cowl.
- \* Construct septic tank and percolation area in locations shown, strictly in accordance with Department of the Environment document SR6.
- \* All rainwater pipes to discharge over gulley traps and surface water carried in 100 diam.pipes to discharge into existing piped stream.

## CONCRETOR

\* The cement shall be from an approved source and comply in all respects to the relevant Irish Standard Specification. It shall be delivered in the original sealed bags and be stored in a proper manner to avoid deterioration.

\* The fine aggregate shall consist of well graded coarse sand mainly passing a 5mm sieve test.

\* The all-in aggregate shall consist of aggregate containing a proportion of material of all sizes as obtained from the pit, or referred to as 5mm aggregate.

\* Coarse aggregate shall consist of natural gravel, crushed gravel or crushed stone well graded from the nominal maximum sizes referred to hereafter.

\* All concrete mixed on site shall be done so mechanically. Materials shall be mixed dry for at least one minute and for at least one and a half minutes after the water has been added. Mixing must continue until there is a uniform distribution of materials and be all of the same colour and consistency. The consistency should be such that when a handful is taken from the heap and pressed it will retain the shape when the pressure is removed. Facilities for cube taking and testing to be provided for in the tender.

\* Concrete mixes shall be as follows:-

Mix A. Footings: 1 part cement to 3 parts sand, (Passing 5mm sieve) to 6 parts coarse aggregate (Passing 38mm sieve).

or

1 part cement to 8 parts all-in aggregate (passing 38mm sieve)

Mix B. Floors: 1 part cement to 2.5 parts sand to 5 parts aggregate (38mm sieve)

or

1 part cement to 6 parts all-in aggregate.

Mix C. Reinforced

Work: Cills, cappings, spud blocks, heads etc.,

1 part cement to 2 parts sand to 4 parts coarse aggregate (20mm sieve)

or

1 part cement to 5 parts all-in aggregate (20mm sieve)

\* The formwork and the time which shall elapse before striking shall be to the approval of the Architect.

\* Reinforcement to lintols shall be in accordance with the drawings and have a minimum of 25mm cover. Where not shown allow 1 No. 12mm diam. bar per 300mm width of ope, one quarter of the reinforcement in the top and three quarters at the bottom. All bars to have standard hooks. Where necessary, to lap bars, laps to be min. 45 times bar diameter. Ratio of span to depth of lintol shall not exceed 20:1. Allow 225mm bearing to each end of lintol.

\* All concrete to be cured to the satisfaction of the Architect.

\* All concrete shall be transported and placed in its location as rapidly as possible after mixing, and in all cases within 30 minutes, by approved means to prevent segregation and loss of ingredients.

\* No partially set concrete shall be used or reworked.

\* Provide 1000 guage 'Visqueen' damp proof membrane on 50mm bed of sand under 150mm concrete floor slab. Provide 150 laps where joints occur. 'Visqueen' to be carried up walls and tucked in to joint and overlap d.p.c. in all walls.

\* Provide precast concrete portal frames, gutter ring beams purlins and metal roof decking as supplied by 'Breton'.

### BRICKLAYER AND BLOCKLAYER

\*. Cement mortar shall consist of one part cement to three parts of sand by volume. Where required for increased workability an addition of non-hydraulic or semi-hydraulic lime, not exceeding 25% by volume of the dry cement, may be added to the mix.

\*. Cement lime mortar shall consist of one part Portland cement to one part of non-hydraulic lime or semi-hydraulic lime to six parts sand by volume.

\*. Lay solid block rising walls on foundation strips up to d.p.c. level as shown on the drawings. D.p.c. to be a minimum of 150mm over external ground level.

Where visqueen d.p.m. overlaps the d.p.c. in walls both materials are to be suitably bonded together using a compatible adhesive.

\*. Walls to be constructed in 100mm block or brick external leaf rendered, 100mm cavity containing 50mm insulation, and 100mm internal leaf plastered.

All block and brick walls are to be built in level courses and be plumb, neatly and properly bonded and keyed into existing work as shown. All vertical joints are to be perpendicular above one another in alternate courses.

All vertical joints are to be thoroughly filled with mortar.

\*. Window cills are to be precast concrete cills, weathered and throated and be from an approved manufacturer.

Provide d.p.c. under, behind and turned up at both ends of all cills.

All cills are to have 150 bearing at both ends.

\* Provide all vents where shown on the drawings. Provide cast iron louvred vent covers externally and patent P.V.C. covers internally.

PLUMBER

Mains water supply to be taken in heavy duty polyethelene pipe from the existing public water supply outside 216 Forest Hills

The contractor shall be responsible for all connection fees to the Local Authority.

- \* Water supply to be from water storage tanks in attic space over  
Take 12mm copper branch from water storage tanks in attic space over corridor to w.h.bs. All details to be in accordance with Local Authority regulations.
- \* All internal plumbing runs to be in 19 s.w.g. copper tubing. All joints to be standard patent compression fittings. All taps to be chromed pillar type.
- \* Pipe runs to be of the following sizes;  
Cold and hot supply to sink: 12mm internal diameter  
Internal plumbing to be tested on completion at twice the normal working pressure.
- \* Provide stop cocks in the following positions;  
Externally, including for chamber and cover.  
Over floor level under sink.
- \* Provide saddle clips at max. 900mm intervals.
- \* Flashings to be 5lb lead, properly fitted and dressed.
- \* Rainwater pipes to be 75mm diam. p.v.c. of approved manufacture and sited internally to discharge into back inlet gullies where shown. Provide and fit all necessary holder bats, swan necks, toe pieces, etc..

### ELECTRICIAN

\* All electrical work to be carried out to the satisfaction of, and in accordance with the rules and regulations and requirements of the E.S.B..

\* Include for the following light fittings;

Committee Room: 6 No. overhead 1600 twin flourescent fittings  
Corridor: 4 No. 1600 single flourescent fittings switched in hall.  
All other Rooms: 2 No. 1600 twin Flourescent fittings.  
Externally: 6 No. vandalproof bulkhead fittings switched at hall.

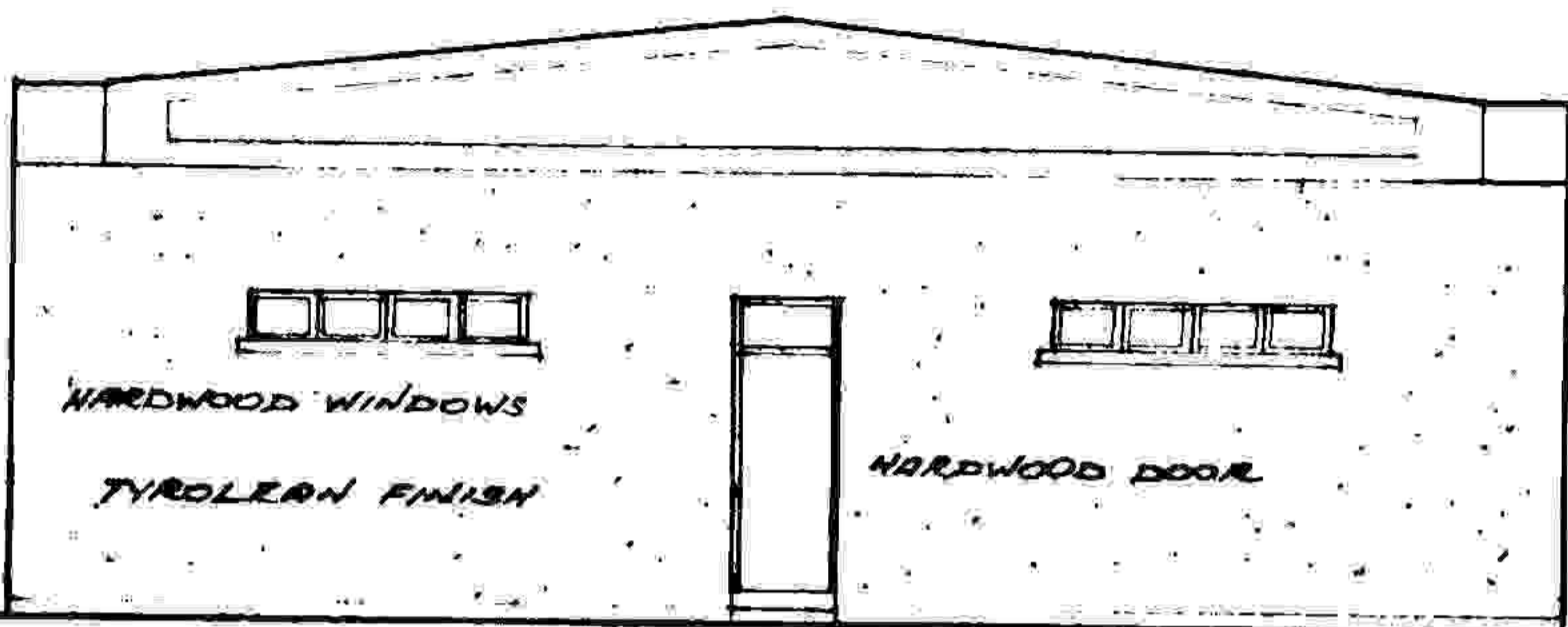
Include for the following power points;

Kitchen Area: 2 No. twin sockets at low level and 2 No. twin socket at worktop level.

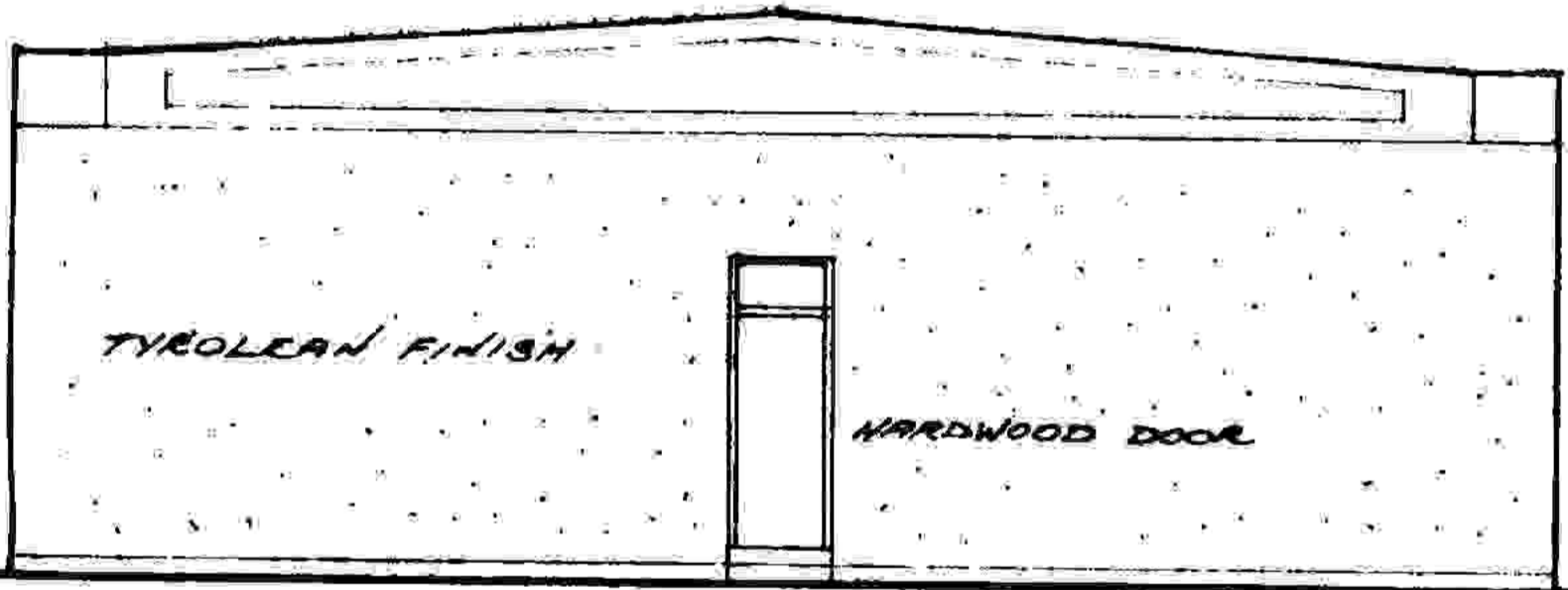
HARDWOOD WINDOWS

TYROLEAN FINISH

REAR ELEVATION  
SCALE 1:100



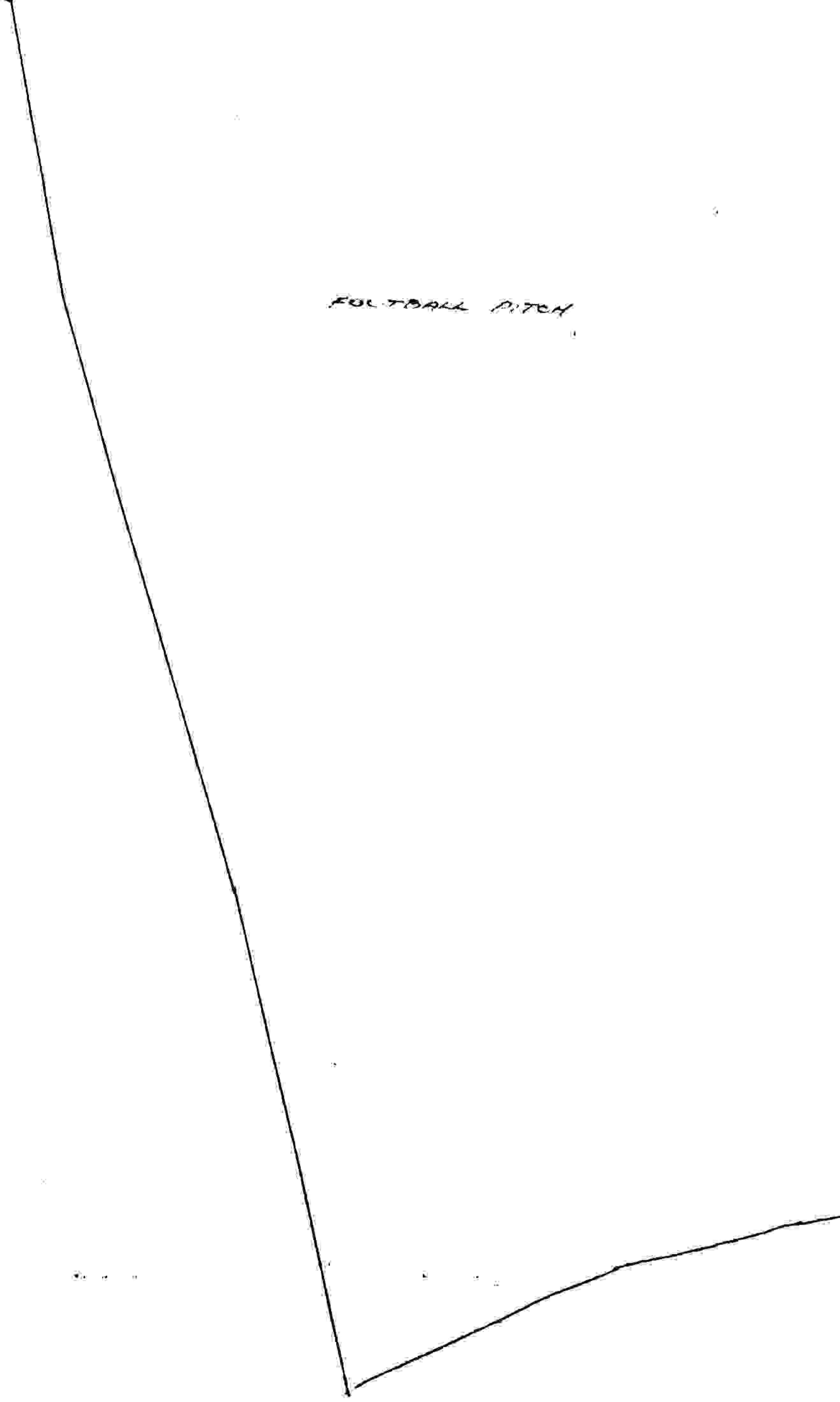
GABLE ELEVATION  
SCALE 1:100



GABLE ELEVATION  
SCALE 1:100



FOOTBALL PITCH



FOOTBALL PITCH

