

FILE DISCUSSED AT COUNCIL/COMMITTEE MEETING

FILE REF:

91A559

MEETING	COMMENTS	NOTED IN DEV. CONTROL	NOTED BY
BELGARD H+P <u>23/4/91</u> <u>—</u>	Noted by Cllr Amundson		

REF. NO.: 91A/0559

CERTIFICATE NO.: 14638B

PROPOSAL: Dwelling

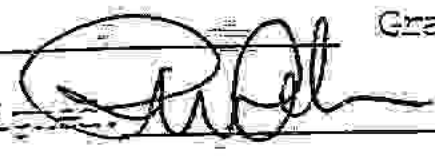
LOCATION: 184 Ballyroon Road, Rathfarnham,

APPLICANT: Joseph Kennedy

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	€ 555	4 55	4 55	-		
B	Domestic Exp. (Improvement/Aids.)	€ 510					
C	Building for office or other comm. purpose	@ 53.50 per sq. ft. of area					
D	Building or other structure for purposes of agriculture	@ 53.50 per sq. ft. of area					
E	Petrol Filling Station	@ 2200					
F	Dev. of prop. not coming within any of the foregoing classes	270 or 20 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed:  Grade: S.O Date: 16/4/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0559

CERTIFICATE NO: 24930

PROPOSAL: Dwelling
 LOCATION: 184 Badlyroom Road Rathfarnham
 APPLICANT: Joseph Kennedy

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REC.	AMOUNT LOADED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO.
Dwellings	8532	32	32	—		
	8532					

Ann 1 Certified: Signed: [Signature] Grade: S.O Date: 16/4/91
 Ann 1 Endorsed: Signed: [Signature] Grade: _____ Date: _____
 Annex 2, 3, 4, 5, 6 & 7 Certified Signed: _____ Grade: _____ Date: _____
 Annex 2, 3, 4, 5, 6 & 7 Endorsed Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1962

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

① *Landland*
£700.

② *roads: Not requested*
see report dated

③ *banks request*
£1000 not

Discussed with MWN ->

30/1/91

used practice to
condition on
style flows

SS only.

②

Register Reference : 91A/0559

Date : 18th April 1991

Development : Detached dwelling house to side

LOCATION : 184 Ballyroan Road, Rathfarnham

Applicant : J. Kennedy

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 11th April 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL
26 APR 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICES
PRINCIPAL OFFICER
30 MAY 1991
Returned *[Signature]*

Date received in Sanitary services

FOUL SEWER

Available to approved system.

SURFACE WATER

Available to approved system. Soakpit is not acceptable where S.V. Seams is readily available.

[Signature] 24/5/91

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

J.R.
24/5/91

Register Reference : 91A/0559

Date : 18th April 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY.....

*Available
VQS u Uyan
30/4/91.*

.....
ENDORSED *[Signature]* DATE *11/5/91*

[Signature] *28/5/91*

DUBLIN COUNTY COUNCIL

REG. REF:

91A/559.

LOCATION:

184 Ballyroan Road, Rathfarnham.

APPLICANT:

J. Kennedy.

PROPOSAL:

House.

DATE LODGED:

11.4.91.

Outline permission was granted on this site, Reg. Ref: 89A/1273. Decision of An Bord Pleanála allowed access directly onto Ballyroan Road even though the site is located adjacent to a junction.

Current proposal provides for 2 car spaces within the site and has access onto Ballyroan Road at the Western extremity of the road frontage.

EM/BMcC
23.5.91.

SIGNED: _____

DATE: _____

ENDORSED: E. J. O'Grady

DATE: 24th May '91

P/2449/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0559

Date Received : 11th April 1991

Correspondence : Louis Burke, Architect,
Name and : Mantua Studio,
Address : Templeogue Bridge,
Dublin 6W.

Development : Detached dwelling house to side
Location : 184 Ballyroan Road, Rathfarnham
Applicant : J. Kennedy
App. Type : Permission
Zoning :

CONTRIBUTION	
Standard	£750
Roads	
S. Servs	
Open Space	
Other	
SECURITY:	
Bond / G.I.F.	
Loth:	

(MOS/DK)

Report of the Dublin Planning Officer dated 27th May, 1991.

This is an application for PERMISSION. The proposed development consists of a detached dwelling house to side of No. 184, Ballyroan Road, Rathfarnham for J. Kennedy.

Outline planning permission was granted for a detached dwelling house to the side of no. 184, Ballyroan Road, by decision order P/5583/89, dated 15th December, 1989 (Reg. Ref. 89A-1273).

Condition no. 3 of that decision stated:

"Access shall be onto Ballyroan Crescent and located to the requirements of the Planning Authority. Details to be submitted at approval stage."

The applicant appealed this condition to An Bord Pleanála and as a result of this appeal this condition was deleted (Order PL 6/5/81594, dated 3rd October, 1990)

The proposed development consists of a two storey detached house, the floor area of which is stated to be 111.5 sq. m.

Access to the house is onto Ballyroan Road. Two car parking spaces have been provided for on site. The proposed house maintains the same building line with the adjoining two storey houses on Ballyroan Road. Development Plan standards with regard to space about dwellings have been met.

The Roads report dated 24th May, 1991, has been noted.

7

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0559

Page No: 0002

Location: 184 Ballyroan Road, Rathfarnham

The Sanitary Services Engineer has reported (phone 27th May, 1991), that the proposed development is acceptable.

The proposed development is considered acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (i) conditions:-

CONDITIONS / REASONS

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the sanitary services Acts, 1878-1964.

03 That the proposed house be used as a single dwelling unit.

REASON: To prevent unauthorised development.

04 That a financial contribution in the sum of € 750 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

05 That external finishes on the proposed house (i.e. roof tiles, brick and pebble dashing) match the finishes on adjoining houses both in terms of colour and texture.

05 REASON: In the interest of the proper planning and development of the area.

06 That the water supply and drainage arrangements including the disposal

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 91A/0559

Page No: 0003

Location: 184 Ballyroan Road, Rathfarnham

of surface water be in accordance with the requirements of the Planning Authority.

06 REASON: In the interest of the proper planning and development of the area.

07 That the front boundary wall of the site shall not exceed ^{1.2} ~~1.8~~ metres in height. ~~This wall is to be capped and rendered to match rear wall.~~
They shall be properly capped & rendered.

07 REASON: In the interest of the proper planning and development of the area.

08 That a concrete block wall, 1.8 metres in height and suitably capped and rendered be provided along the north western boundary of the site (i.e. between rear garden of this site and no. 184, Ballyroan Road) for the length of the rear garden.

REASON: In the interest of residential amenity.

09 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

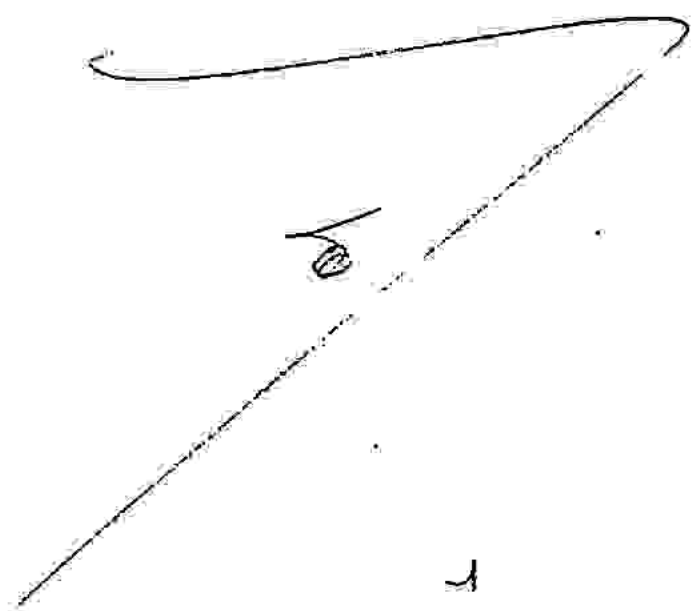
REASON: In the interest of reducing air pollution.

10 That the footpath at the proposed entrance be
disbed in accordance with the requirements of
the area engineer (Roads Maintenance Dept) subject to Council

11 Reason: In the interest of pedestrian and traffic safety, or applicants own safety.

12 That a financial contribution of €1000 be
paid towards the development and or provision
of public open space in the entrance area.

omit




COMHAIRLE CHONTAE ÁTHA CLIATH


Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0559

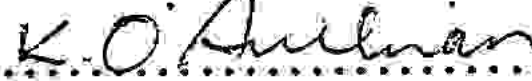
Page No: 0004

Location: 184 Ballyroan Road, Rathfarnham


Endorsed:.....
for Principal Officer

 SEP
for Dublin Planning Officer 30.5.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (10) conditions set out above is hereby made.

Dated : 31 May 1991 
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 26th April, 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/559.
 LOCATION: 184 Ballyroan Road, Rathfarnham.
 APPLICANT: J. Kennedy.
 PROPOSAL: House.
 DATE LODGED: 11.4.91.

Outline permission was granted on this site, Reg. Ref: 89A/1273. Decision of An Bord Pleanála allowed access directly onto Ballyroan Road even though the site is located adjacent to a junction.

Current proposal provides for 2 car spaces within the site and has access onto Ballyroan Road at the Western extremity of the road frontage.

ENCL
 1A, B, C, D

SIGNED: _____

DATE: _____

ENDORSED: J. J. J. J.

DATE: 24th May '91

MOS



Bosca 174
P. O. Box 174
5 Rae Gardinar,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr D Drumgoole
SAO
Planning Department

Our Ref.
Your Ref.
Date 6/5/91

Re: House at 184 Ballyroan Road, Rathfarnham. Reg. Ref. 91A/0559

In lieu of public open space provision according to the requirements of the 1983 County Development Plan, a financial contribution of £1,000 to be provided towards the further development of public open space in Ballyroan Estate.

SENIOR PARKS SUPERINTENDENT

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 6/5/91
Time 9.30 A.M.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 2449 /91 Date of Decision : 31st May 1991

Register Reference : 91A/0559 Date Received : 11th April 1991

Applicant : J. Kennedy

Development : Detached dwelling house to side

Location : 184 Ballyroan Road, Rathfarnham

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

subject to the conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- 10.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....4/6/91.....

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.

Reg. Ref. 91A/0559
Decision Order No. P/ 2449 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the proposed house be used as a single dwelling unit.
REASON: To prevent unauthorised development.
- 04 That a financial contribution in the sum of £ 750. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 05 That external finishes on the proposed house (i.e. roof tiles, brick and pebble dashing) match the finishes on adjoining houses both in terms of colour and texture.
REASON: In the interest of the proper planning and development of the area.
- 06 That the water supply and drainage arrangements including the disposal of surface water be in accordance with the requirements of the Planning Authority.
REASON: In the interest of the proper planning and development of the area.
- 07 That the front boundary walls of the site shall not exceed 1.2 metres in height and they shall be properly capped and rendered.
REASON: In the interest of the proper planning and development of the area.
- 08 That a concrete block wall, 1.8 metres in height and suitably capped and rendered be provided along the north western boundary of the site (i.e. between rear garden of this site and no. 184, Ballyroan Road) for the



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/0559

Decision Order No. P/ 2449 /91

Page No: 0003

length of the rear garden.

REASON: In the interest of residential amenity.

09 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON: In the interest of reducing air pollution.

10 That the footpath at the proposed entrance be dished in accordance with the requirements of the Area Engineer, Roads Maintenance, ^{Section} Dublin County Council, at applicants own expense.

REASON: In the interest of pedestrian and traffic safety.

by

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0559

Date : 12th April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Detached dwelling house to side
LOCATION : 184 Ballyroan Road, Rathfarnham
APPLICANT : J. Kennedy
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 11th April 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER.

Louis Burke, Architect,
Mantua Studio,
Templeogue Bridge,
Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building 184 Ballyroan Road, Rathfarnham, Dublin 14.
(If none, give description sufficient to identify)

3. Name of applicant (Principal not Agent) Mr Joseph Kennedy
Address 184 Ballyroan Road, Rathfarnham, Dublin 14. Tel. No. 931634

4. Name and address of person or firm responsible for preparation of drawings Louis Burke Architect, Mantua Studio, Templeogue Bridge, Dublin 6W. Tel. No. 901832

5. Name and address to which notifications should be sent As per number 4.

6. Brief description of proposed development Detached dwelling house. **955 N 35466**

7. Method of drainage County Council supply B. Source of Water Supply County Council supply

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor or use when last used. Not applicable
(b) Proposed use of each floor Not applicable **J Press 11/4/91**

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site 362 Sq. m.
(b) Floor area of proposed development 111.5 Sq. m.
(c) Floor area of buildings proposed to be retained within site Nil Sq. m.

12.State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold.

13.Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box. **32 N/4**

14.Please state the extent to which the Draft Building Regulations have been taken into account in your proposal. **N 35121**
It is our policy to take into account the draft building regulations when preparing planning applications. This is not taken as a guarantee that this application complies with those building regulations.

15.List of documents enclosed with application. Site location map, block plan, general details and specification in quadruplicate. 1 copy planning advertisement
Cheque for £87.00

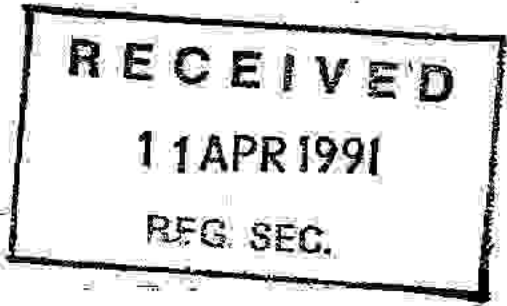


16.Gross floor space of proposed development (See back) _____ Sq. m.
No of dwellings proposed (if any) _____ Class(es) of Development _____
Fee Payable £ 87.00 Basis of Calculation £32.00 planning - £55.00 Building Bye-Law
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) [Signature] Date 10th April 1991

Application Type P/BBL
Register Reference 91A/0559
Amount Received £ _____
Receipt No 22-10
Date _____

FOR OFFICE USE ONLY
2.16.0



COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1.

Issue of this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N 35171

- CASH
- CHEQUE
- M.O.
- B.L.
- I.T.

£37.00

Received this 11th day of April 1991

from Louis Burke, Templeogue Bridge, D.62

the sum of Forty two Pounds

Pence being 400

planning application at 1811 Rully Road, Rd.

Aileen Deane Cashier

S. CAREY Principal Officer 11/4/91

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION

REC. No. N 35466

CASH

CHEQUE

M.O.

S.L.

I.T.

£55.00

Received this

11th

day of

April

1971

from

Louise R. ...

Templeogue Bridge

D. ...

the sum of

£55

Pounds

Pence, being

bye-law application at

184

Ballymore

Rd.

M. ...

Deane

Cashier

S. CAREY
Principal Officer

LOUIS BURKE dip.arch. b.arch.sc. mriai ARCHITECT

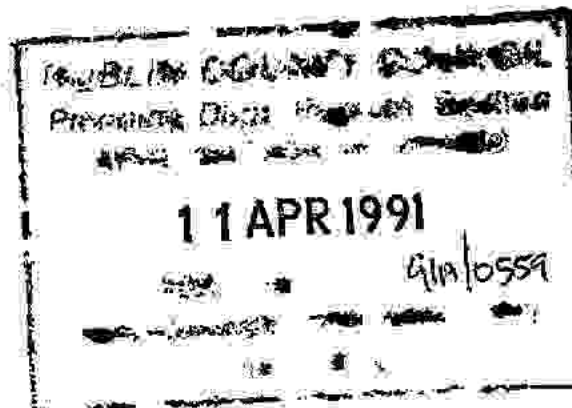
MANTUA STUDIO · TEMPLEOGUE BRIDGE · DUBLIN 6

tel. 90.18.32 · fax. 90.12.71

REF: LB/mf 404

10th April 1991

Dublin County Council
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



Dear Sirs,

Please find enclosed, in quadruplicate, documents relating to a proposed house to be constructed on site adjoining 184 Ballyroan Road, Rathfarnham, Dublin 14.

On behalf of my client, Mr Joseph Kennedy, I wish to apply for full Planning Permission for this development.

Please note that Dublin County Council issued a notification of decision to grant outline Planning Permission on this site on December 18th 1989 - Planning Register Reference - 89A/1273.

This decision was subject to four conditions and my client subsequently decided to appeal condition three in regard to access onto Ballyroan Crescent.

An Bord Pleanála issued an order October 3rd 1990 eliminating condition number three and authorizing access directly onto Ballyroan Road.

I would also refer to my discussions with your Ms. O'She and ask that you note the following points:-

1. We have decided to incorporate the side passage with the new house. Access to the rear garden of number 184 would be through the existing garage - see drawing 89.30.05.
2. We have included a single storey porch and utility room on the eastern side of the house. We have provided for a minimum of 2m clearance between this structure and the adjoining side wall on Ballyroan Crescent.
3. We have also provided for 2 No. car parking spaces in the front garden, as required under condition four of the original decision to grant outline permission.

If you have any query on the enclosures, please telephone me.

Yours faithfully

Louis Burke

LOUIS BURKE

CC; Mr Joseph Kennedy

North.
N. — E.

MARAN ROAD.

BAULMORAN ROAD.

1 APR 1991
911/0559

BUTCHFIELD PARK
2 METRE
MINIMUM TO
SIDE WALL

Plastered
House

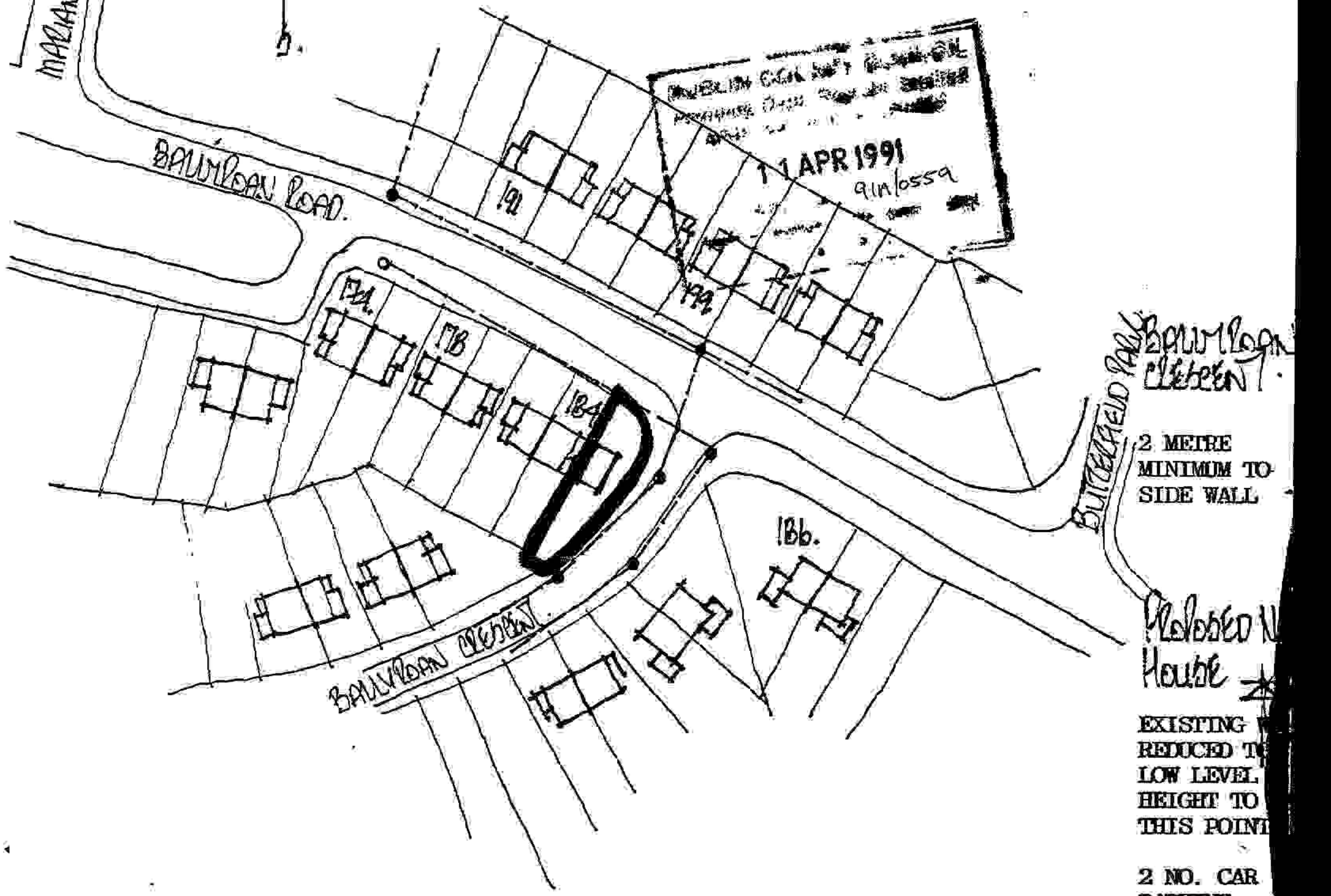
EXISTING
REDUCED TO
LOW LEVEL
HEIGHT TO
THIS POINT

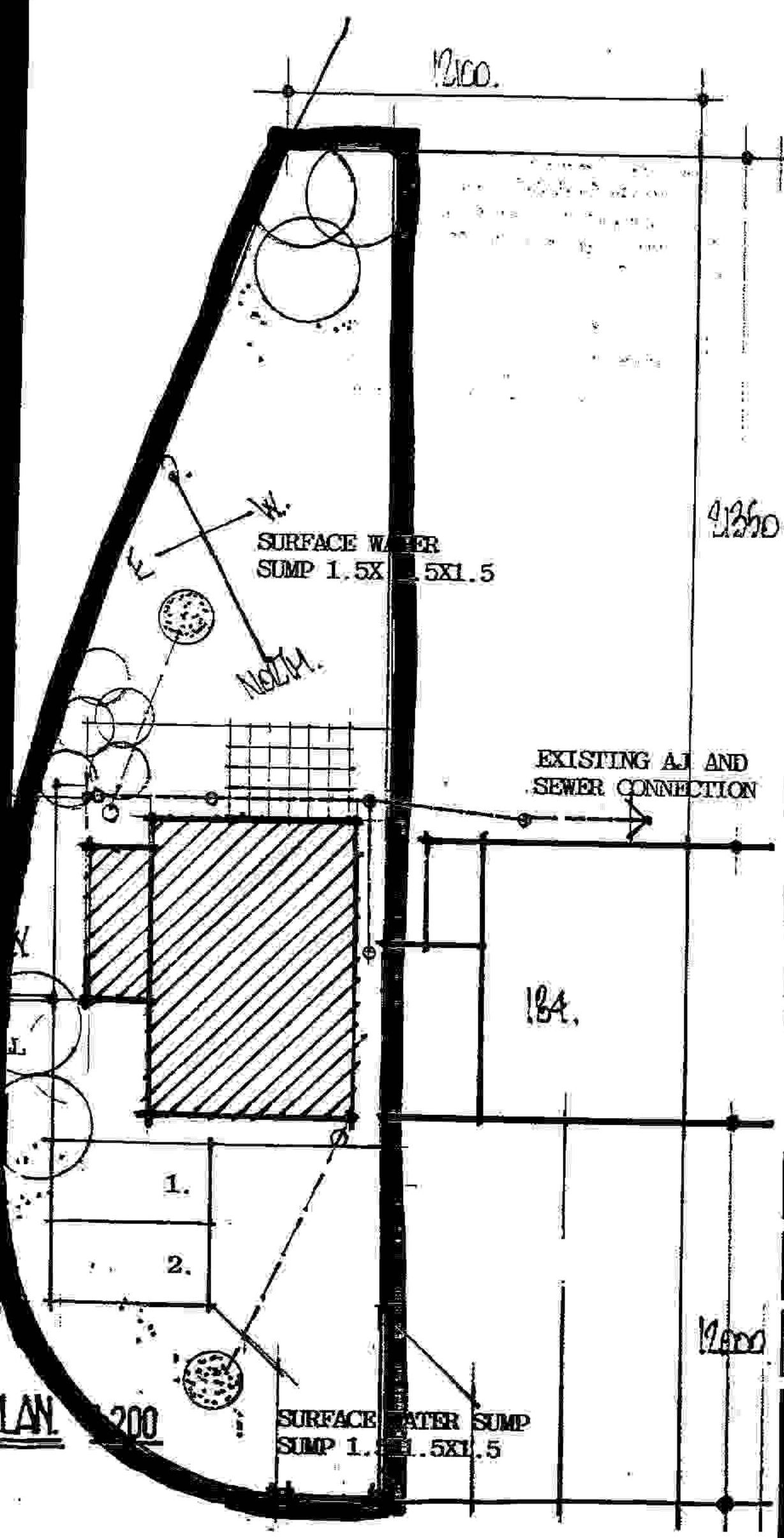
2 NO. CAR
PARKING
POSITIONS

Surface water
channel

LOCATION MAP 1:1250.

BLOCK P





NOTES

Location of main Drawn 26.10.89 B

REVISION	DATE	ISSUE

JOB HOUSE ADJOINING 184 BALLYROAN ROAD.

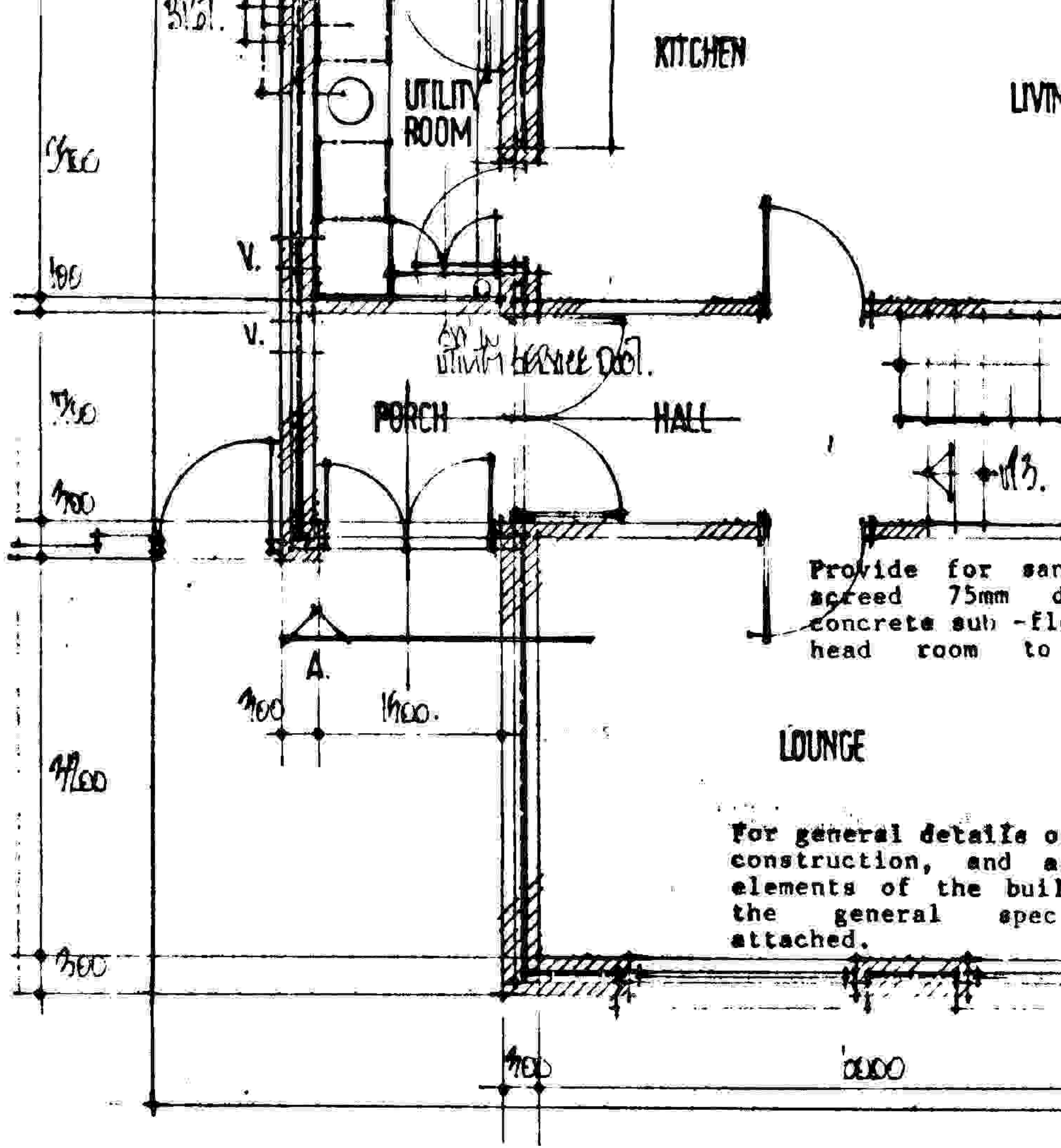
DRAWING LOCATION AND BLOCK PLAN.

SCALE	DATE	DRG NO	ISSUE
as shown	JULY 1989	89-30-01	a.

LOUIS BURKE ARCHITECT
 dip arch - b arch sc - m r i a i telephone 90-1832
 Mantua Studio, Templeogue Bridge Dublin 6

THE COPYRIGHT OF THIS DRAWING IS VESTED IN THE ARCHITECT AND IT MUST NOT BE COPIED OR REPRODUCED WITHOUT HIS WRITTEN CONSENT. ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR TAKING AND CHECKING ALL DIMENSIONS THAT RELATE TO THE WORK. SOME DIMENSIONS MAY VARY FROM THIS DRAWING - DO NOT SCALE.

BALLYROAN ROAD



GROUND FLOOR LAYOUT PLAN.

Plan
1.5

Material having the same or greater insulation value but no insulation is to be laid under storage tank. The insulation is to be laid to the tank and dressed up along the sides. must also be fitted over the cover. The secondary tank is to be fitted as high up in the space as possible and this tank must be completely covered in 2" thick approved insulation material.

LUMBER

PLUMBER

CONNECTION:

Connection to water supply to be in 1/2" diam. copper or heavy gauge polythene with min. 2'0" cover. All details to be in accordance with Department of Local Government and Local Authority Regulations.

INTERNAL PLUMBING:

Internal pipe runs to be 19 S.W.G. copper tubing. All joints to be standard patent compression joints, all taps to be chromed pillar type. Pipe runs to be of the following sizes:

Cold and hot feed to sink 1/2" internal diam; cold and hot supply to wash-hand basin, 1/2" internal diam; cold and hot supply to bath 3/4" internal diam. Internal plumbing system to be tested on completion at twice the normal working pressure.

STOP COCKS:

Provide stop cocks in the following positions:

- Externally. Include for chamber and cover.
- Over floor level at sink.
- On feed to copper cylinder.
- Provide draw-off cock as near as possible to boiler for draining off system when necessary.

SADDLE CLIPS:

Provide saddle clips at max. 3'0" intervals.

FITTINGS:

Provide and fix all fittings shown and tabulated on the drawings. Colour of bathroom fittings to be white except by special arrangement which must be in writing.

FLASHING:

Manney flashing to be 23 S.W.G. Copper or 5 lbs. Lead properly fitted and dressed.

RAIN WATER PIPES:

Rain water pipes to be 3" diam. approved plastic. Provide and fix all necessary drops and fittings. Gutters to be close up to the roof edge in no instance more than 2" below and have slope of 1" in 30 feet.

RAINLAYER

DRAINLAYER

NOTES:

drainage details to comply with Department of Local Government and Local Authority regs

PREP
No p
clea
INTE
All
colo
JOIN
All
fint
GLAS
Glas
for
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FROST:

No concrete of any kind may be laid during a falling temperature of 36° Fahrenheit or below or until the temperature shall have risen above 34° Fahrenheit. No brick or block-laying to be carried out during frost weather without the written approval of the Architect being first obtained. This approval if obtained, shall not exonerate the Contractor from having to reinstate in an efficient manner and to the satisfaction of the Architect any work which may be damaged by frost, inclement weather etc.

REMOVAL OF WATER:

The Contractor to be responsible for all pumping that may be required to keep the several works dry down to the level of the bottom of the excavations from whatever source water may come as no accumulation of water will be permitted during the execution of the contract.

ATTENDANCE:

The Contractor to attend upon, cut away for and make good after, all trades mentioned in this Specification.

CLEANING ON COMPLETION:

All floors, pavings etc. to be scrubbed; all glass to be cleaned on both sides to windows, screens and doors; all gulleys, gutters, pipe heads etc. to be cleaned out and the premises left clean, perfect and water-tight upon completion.

CONTRACTOR TO VISIT SITE:

The Contractor shall be deemed to have made a thorough examination of the Drawings, Specification, the site and all the features thereof and all things affecting the proposed works and to have satisfied himself of the nature and extent of same and the conditions, under which they have to be executed, and in general the Contractor shall be deemed to have informed himself on all matters and things which could in any way influence his tender.

ORDER OF PROCEEDING WITH WORK:

The whole of the works must be proceeded with in such sections and at such times as may be ordered by the Architect.

SETTING OUT:

The Contractor shall be responsible for the true and proper setting out of the works and for the corrections of the position, levels, dimensions and alignment of all parts of the works. Errors in setting out shall be rectified at the Contractor's expense.

CARE OF WORKS:

The Contractor shall take entire charge of the works from their commencement to completion and he shall be responsible for and make good all injuries, damage and repairs occasioned or rendered necessary to same by any cause whatsoever and shall take all precautions to prevent such happenings.

TENDER:

The Employer will not be under any obligation to accept the lowest or any tender.

DEDUCTIONS FOR OMISSIONS:

Where any work is carried out not in accordance with the Specification, Drawings or Conditions of Contract and where the Architect at his discretion allows such work to remain for whatever reason, a deduction may be made from the contract figure and the amount of such deductions if any, shall be determined solely by the Architect.

PRELIMINARIES