

REF. NO.: 91A/0541

CERTIFICATE NO.: 14615^B

PROPOSAL: Dwelling + Septic Tank

LOCATION: Newton Td, Markt Venus Road, Rushmoreham

APPLICANT: C. Conlon

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	55	55	✓		
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: Paul Grade: S.O Date: 11/4/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0541

CERTIFICATE NO: 24892

Dwellings + Septic Tank

PROPOSAL:

LOCATION:

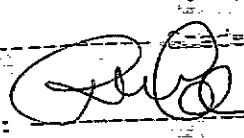
APPLICANT:

Newtown TD Mount Venus Road, Ruffienlem
C. Conlan

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€32	1/32	32	-		
	€316					
	€500 per M ² in excess of 500M ² Min. €40					
Garage	€21.75 per M ² of 240					
x .1 hect.	€225 per hect. of 2250					
x .1 hect.	€225 per hect. of 2250					
x .1 hect.	€225 per hect. of 2250					
	€100					
x 2000m ²	€10 per 1000m ² of 2000					
x 1000m ²	€10 per 1000m ² of 1000					
x .1 hect.	€225 per hect. of 2250					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified Signed:  Grade: S.O Date: 11/4/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

PL 6/5/86133

P/287/92

FINANCIAL CONTRIBUTION :-
AMOUNT € NIL

F | NOT |
CONDITIONED

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/0541

APPEAL by C. Conlon care of Architectural Planning and Design Services of 18 Terenure Road North, Terenure, Dublin against the decision made on the 28th day of May, 1991 by the Council of the County of Dublin to refuse permission for the erection of a four bedroomed dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the erection of the said bungalow and septic tank in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that the proposed house type would be consistent with the predominant house type in the area, would not be obtrusive in views and prospects in the area and, subject to compliance with the conditions set out in the Second Schedule hereto, would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. The house, when completed, shall first be occupied as a place of permanent residence by the applicant and/or members of her immediate family.

Reason: To meet the housing needs of the applicant or members of her immediate family.

2. The provision of a septic tank drainage system shall be in accordance with the standards set out in the drawing entitled Recommendations for Septic Tank Drainage Systems published by the Department of the Environment in November, 1980.

Reason: In the interest of public health.

Ann C. Quinn

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 12th day of December, 1991.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

PL 6/5/86133

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/0541

Order Noted: <u>LD.</u>	<i>[Signature]</i>
Dated: <u>16th JAN. 92</u>	<u>ASST. COUNTY MANAGER</u>
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.	
Dated <u>10th</u> day of <u>DECEMBER</u> 19 <u>91</u>	

COMHAIRLE CHONTAE ATHA CLIATH

TO: M. O'Shee
Executive Planner

REG. REF. 91A/541

RE: Proposed 4 bedroom dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham for Ms. C. Conlon.

I attach for your observations memo/letter dated 28th June, 1991 from An Bord Pleanala.

Please reply before: 2nd August, 1991

Shee
for Principal Officer

DATED: 19 July 1991

OBSERVATIONS:

*no further comments to add
to D.P.O report dated 9/4/91*

Signature of person making observations: Mosher

Countersigned: [Signature]
(S.E.D.C.)

DATE: 24/July 91

DATE: 24/7/91

P/2350/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0541

Date Received : 9th April 1991

Correspondence : F. L. Bent,
Name and : 18 Terenure Road North,
Address Terenure,
Dublin 6W.

Development : 4 Bedroom dormer bungalow and septic tank

Location : Newtown Td., Mount Venus Road, Rathfarnham

Applicant : M/s C. Conlon

App. Type : Permission

Zoning :

(MOS/AC)

Report of the Dublin Planning Officer dated 22 May 1991.

This is an application for PERMISSION for a four bedroomed dormer bungalow and septic tank at Newtown Td., Mount Venus Road, Rathfarnham for Ms. C. Conlon.

There is no record of any previous planning applications on this site.

The site is zoned 'B' in the 1983 County Development Plan where it is the objective of the Planning Authority "to protect and provide for the development of agriculture". There is a specific objective included in the Development Plan to protect views and prospects northwards across the city from Mount Venus Road.

The site which is just under 1 acre in area is part of a field where horses and sheep graze. A high hedgerow forms the south-western boundary of the site, while a wire fence and some trees form the roadside boundary. Access to the site is by means of a private laneway the metalled part of which is approx. 3 metres ^{wide}. This laneway presently serves approx. 5 no. houses and kennels, all of which are single storey. The land to the north of Mt. Venus Road slopes down away from the road. The rooves of several single-storey houses in the vicinity of the site are visible from Mount Venus Road.

The proposed house is a dormer bungalow with 1 no. window in each of the gable elevations to the south-west and north-east. The floor area of the house is stated to be 164 sq.m. (includes a possible garage). Proposed finishes include concrete roof tiles and a nap rendered external wall finish.

In support of this application it is stated that the applicant's family ^{owns} ~~has~~ c. 11.5 acres of land fronting Mt. Venus Road which have been in continuous agricultural use. The house is for the applicant who is currently living at

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0541

Page No: 0002

Location: Newtown Td., Mount Venus Road, Rathfarnham

home with her mother in Newbrook House (granted permission under Reg. Ref. M.2274).

The applicant has not submitted a map showing the extent of her landholding in the area.

There are no reports available from the Roads or Sanitary Services Departments or from the Supervising Environmental Health Officer at the time of writing this report.

Development in the immediate vicinity of this site is single-storey. The roofs of single-storey houses in the vicinity of the site (i.e. served by the private road) are visible from Mount Venus Road.

The proposed dormer bungalow is considered an unacceptable house design in this area. In the event of permission being granted for a house on this site it should be a single-storey house with a low pitch roof.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts 1963-1990, for the following (1) reasons:-

REASONS FOR REFUSAL

- 01 The proposed dormer bungalow is considered an unacceptable design in this area. The houses in the immediate vicinity of this site and served by the same private road are all single-storey. The proposed development would be visually obtrusive when viewed from Mount Venus Road, and would be contrary to the proper planning and development of the area.
- 02 The 1983 County Development Plan contains a specific objective to preserve views and prospects from Mount Venus Road. The proposed development would interfere with a view of special amenity value which it is necessary to preserve. The proposed development would be contrary to the proper planning and development of the area.

NOTE: The applicant is advised to consult with the Planning Authority prior to making a new application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0541

Page No: 0003

Location: Newtown Td., Mount Venus Road, Rathfarnham

HEZ

Richard Cremino SEP
.....
for Dublin Planning Officer
23.5.91

[Signature]
.....
for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to REFUSE PERMISSION for the above proposal for the (2) reasons set out above is hereby made.

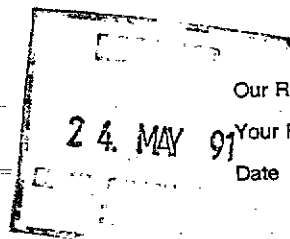
Dated : *28 May 1991* *K. O'Sullivan*
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 26th April, 1991.



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.



Our Ref. P.P. 7/6

Your Ref.

Date 20.05.1991

RE: Application for dormer bungalow at Newtown Townland, Mount Venus Road, Rathfarnham. Reg. Ref. 91A/541.

With regard to this application, the Parks Department's comments are:-

The applicant is applying for planning permission to develop a private dwelling on land zoned 'B' in the 1983 County Development Plan. Zone 'B' is to protect and provide for the development of agriculture. The proposed development is, therefore, not considered compatible with the objective of the County Development Plan and should be refused.

However, in the event of it being decided to grant planning permission the following should be included:-

1. The applicant has not provided any public open space in accordance with the 1983 Development Plan Standards. The applicant should, therefore, be requested to submit additional information on how it is proposed to meet these requirements. Alternatively, the applicant should be requested to pay a financial contribution of £1,000 towards the cost of provision and development of the public open spaces in the area.
2. A scheme of planting to reduce the impact of the house as viewed from the road should be submitted and agreed with Parks Department, prior to the commencement of development.
3. The applicant should submit and agree boundary treatment of the proposed site with the Parks Department prior to the commencement of development.

Handwritten signature

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 24.05.91
 Time 10.15

SENIOR PARKS SUPERINTENDENT

M.O'Shea

DUBLIN COUNTY COUNCIL

REG. REF: 91A/541.

LOCATION: Newtown Td., Mount Venus Rd, Rathfarnham.

APPLICANT: M/s. C. Conlon.

PROPOSAL: Dwelling.

DATE LODGED: 9.4.91.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 4.06.91
 Time 4.45

This application is for full permission for bungalow at Newtown Rd, Rathfarnham.

The site is located approximately 150m along a substandard rural road from Mt. Venus Road which serves approximately 5 dwellings, one of which being Wonder Kennels.

This proposal constitutes undesirable ribbon development on a substandard rural road which will lead to demands for uneconomic provision of resources and would set an undesirable precedence for further similar developments in the area.

However, if further consideration is given to this application, applicant should be conditioned as follows:

1. Any roadside drains interfered with shall be fully re-instated and shall where necessary be culverted with pipes of adequate size and strength.
2. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
3. The boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed at 45°. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Roads Department.
4. Parking for 2 cars to be provided within curtilage of site with turning area.
5. All works to be carried out prior to the house being occupied.
6. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
7. A financial contribution, in the sum of money equivalent to the value of ~~£300~~ as on 1st January, 1991, and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

MA/BMcC

4.6.91.

SIGNED: _____

DATE: _____

ENDORSED: *E. Madden* _____

DATE: *1st June 91* _____

DUBLIN COUNTY COUNCIL

REG. REF: 91A/541.
LOCATION: Newtown Td., Mount Venus Rd, Rathfarnham.
APPLICANT: M/s. C. Conlon.
PROPOSAL: Dwelling.
DATE LODGED: 9.4.91.

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	12.06.91
Time	12.25

This application is for full permission for bungalow at Newtown Rd, Rathfarnham.

The site is located approximately 150m along a substandard rural road from Mt. Venus Road which serves approximately 5 dwellings, one of which being Wonder Kennels.

This proposal constitutes undesirable ribbon development on a substandard rural road which will lead to demands for uneconomic provision of resources and would set an undesirable precedence for further similar developments in the area.

However, if further consideration is given to this application, applicant should be conditioned as follows:

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2. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
3. The boundary shall be set back 3 metres from the edge of the existing carriageway. Entrance gate to be recessed a further 1.5 metres from the new boundary with wing walls splayed at 45°. Strip between edge of carriageway and new boundary to be levelled and grassed to County Council standards. Entrance gate to be located to the satisfaction of Roads Department.
4. Parking for 2 cars to be provided within curtilage of site with turning area.
5. All works to be carried out prior to the house being occupied.
6. All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
7. A financial contribution, in the sum of money equivalent to the value of ~~£300~~ as on 1st January, 1991, and updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

MA/BMcC
4.6.91.
SIGNED: _____

ENDORSED: E. Madden

DATE: _____

DATE: 14th June '91

m.o's.

Register Reference : 91A/0541

Date : 18th April 1991

Development : 4 Bedroom dormer bungalow and septic tank

LOCATION : Newtown Td., Mount Venus Road, Rathfarnham

Applicant : M/s C. Conlon

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.O'SHEE

Date Recd. : 9th April 1991

DUBLIN COUNTY COUNCIL
22 APR 1991
ENVIRONMENTAL HEALTH

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul Tobin

PRINCIPAL OFFICER

The Proposal is unacceptable for the following reasons:

- There is no evidence of soil suitability for the disposal and treatment of septic tank effluent.
 - The percolation & Reserve perc. areas are not indicated as follows the contours of the land.
- Antoin Muller 14/6/91.*

for Ita Davine
John O'Reilly
SUPER-ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

13/6/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT.
Date... *17.06.91*
Time... *3.45*

Our Ref: PL 6/5/86133
P.A. Ref: 91A/0541

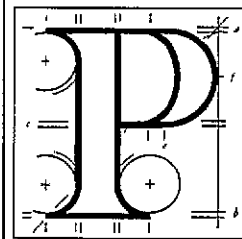
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Handwritten signature
16/12/91

12 DEC 91

Date: 12 DEC 1991

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Appeal Re: Erection of a four bedroomed dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1990. A copy of the order is enclosed.

Yours faithfully,

Handwritten signature of Miriam Baxter

Miriam Baxter.

Encl.

BP 352

AN BORD PLEANÁLA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

County Dublin

Planning Register Reference Number: 91A/0541

APPEAL by C. Conlon care of Architectural Planning and Design Services of 18 Terenure Road North, Terenure, Dublin against the decision made on the 28th day of May, 1991 by the Council of the County of Dublin to refuse permission for the erection of a four bedroomed dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham, County Dublin in accordance with plans and particulars lodged with the said Council:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1990, it is hereby decided, for the reason set out in the First Schedule hereto, to grant permission for the erection of the said bungalow and septic tank in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

It is considered that the proposed house type would be consistent with the predominant house type in the area, would not be obtrusive in views and prospects in the area and, subject to compliance with the conditions set out in the Second Schedule hereto, would be in accordance with the proper planning and development of the area.

SECOND SCHEDULE

1. The house, when completed, shall first be occupied as a place of permanent residence by the applicant and/or members of her immediate family.

Reason: To meet the housing needs of the applicant or members of her immediate family.

2. The provision of a septic tank drainage system shall be in accordance with the standards set out in the drawing entitled Recommendations for Septic Tank Drainage Systems published by the Department of the Environment in November, 1980.

Reason: In the interest of public health.

Ann Lw. Quinn

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 12th day of December, 1991.

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Our Ref: 91A/0541

Your Ref: PL6/5/86133

Date: 16th Sep. 1991

RE: Proposed 4 bedroom dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham, for Ms. C. Conlon.

Dear Sir/Madam,

I refer to your letter dated 28th June, 1991, enclosing correspondence regarding the above appeal.

It is considered that the grounds of appeal do not raise any new matter which in the opinion of the Planning Authority would justify a change of attitude to the proposed development. The points raised have been dealt with in the Planning Authority's decision order dated 28th May, 1991.

Yours faithfully,



for Principal Officer.

COMHAIRLE CHONTAE ATHA CLIATH

Tel. 724755
Ext. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.

Our Ref.

PL 6/5/86/33

91A-541

12.07.91

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1983

PROPOSAL : 4 BEDROOMED DORMER BUNGALOW AND SEPTIC TANK
AT NEWTOWN TOWNLAND, MOUNT VENUS ROAD,

APPLICANT : RATHFARNHAM
C. COWLOW

Dear Sir,

With reference to your letter dated 20th June 91 I enclose herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e. PROCESS 8/4/91
- (4) The plan(s) received from the applicant on 1st 28 9/4/91
- (6) & (7) A certified copy of Manager's Order P/ 2350 91 together with technical reports in connection with the application.

Yours faithfully,

M. Muntegh
for PRINCIPAL OFFICER

Encls.

Our Ref: PL 6/5/86133
Your Ref: 91A/541

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

03 JUL 91

Date: 28th June 1991.

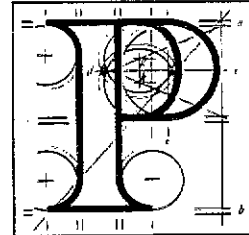
Planning authority decision re: Erection of a 4 bedroomed dormer bungalow and septic tank at Newtown Townland, Mount Venus Road, Rathfarnham, County Dublin.

Dear Sir/Madam,

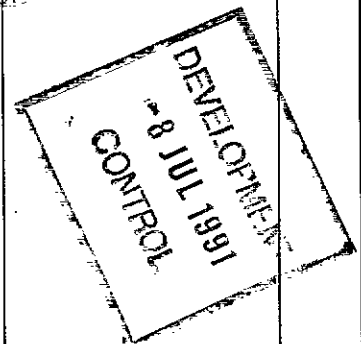
Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar development close by.

215
An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011



065


Please note that the other party/parties to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

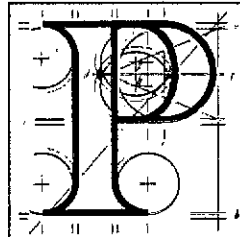
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6&7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

APDS
& DS

ARCHITECTURAL PLANNING AND DESIGN SERVICES

18, TERENURE ROAD NORTH, TERENURE, DUBLIN 6w.
TELEPHONE & AUTOMATIC FAX 908651 CELLULAR TELEPHONE 088 557288

21st June 1991.

An Bord Pleanála.
Irish Life Centre.
Lower Abbey Street,
Dublin 1.

By Hand
24/6/91
f50 Chq.
823436

RE: Proposed dwelling at Newtown Td., Mount Venus Road,
Rathfarnham, Dublin 16, for Ms. C. Conlon

Dear Sirs,

I herewith enclose copies of documents which formed a planning application for a dwelling at the above, together with a copy of Notification of Decision to Refuse to Grant Planning Permission issued by Dublin County Council under Register Reference No 91A/0541 Order No. P/2350/91 dated 28th May 1991, and prescribed fee of £50-00.

Dublin County Council gave two reasons for refusal in this instance:-

- a. That the dormer bungalow is considered an unacceptable design in this area and would be visually obtrusive when viewed from Mount Venus Road, and would be contrary to proper planning and development of the area.
- b. That the proposal would interfere with a view of special amenity value as laid down in the County Development Plan.

Prior to submission of this application to Dublin County Council discussions had taken place with the area planning official with regard to the type of dwelling proposed and it was understood that a dwelling with 'rooms in the roof' with either 'gable end' windows or 'Velux' style rooflights would be acceptable.

It is contended that the position, layout, height and elevational treatment of the dwelling is such that it would not be visually obtrusive when viewed from Mount Venus Road. The existing approximate six metre high hedge to the south of the dwelling would provide an effective screen. Mount Venus Road, by its narrow tortuous nature with high screening hedges and walls does not lend itself to sightseers availing of the view over Dublin. In fact the proposed dwelling located approximately fifty feet (15 metres) below the private lane junction with the road four hundred and fifty feet (135 metres) distant would be less intrusive than a number of other existing recently permitted structures in the vicinity a schedule of which I enclose.

I enclose a site location plan to a scale of 1:2500 marked "A" indicating thereon a number of residential structures in the near vicinity of the proposal which are two storey house, dormer or split level design which have all been granted Planning Permission by Dublin County Council as follows:-

cont.

cont.

SCHEDULE.

1. Two storey house half brick on exposed site within sight of road.
2. Modern white painted Dormer within sight of road.
3. Mount Venus House, old two storey farmhouse within sight of road.
4. Dormer dwelling within sight of road.
5. Dormer dwelling.
6. Dormer dwelling within sight of road.
7. Modern white painted Dormer within sight of road.
8. Split level dwelling within sight of road.
9. Two storey extension within sight of road.
10. Split level dwelling.
11. Split level dwelling.
12. Split level dwelling.
13. Split level dwelling.
14. Split level dwelling.
15. Two/three split level dwelling.
16. Split level dwelling.
17. Brick faced split level dwelling.
18. Dormer dwelling within sight of road.
19. two storey dwelling within sight of road.
20. Split level dwelling within sight of road.
21. Hill Lodge, new large two storey brick extension within sight of road.
22. Split level dwelling.
23. Two storey white painted dwelling within sight of road.
24. Location of proposal only visible from road at junction of private road.

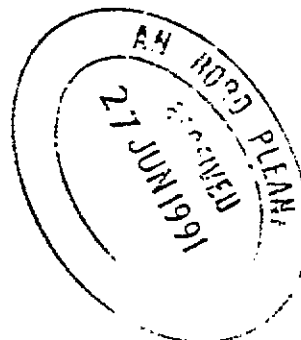
A number of these structures have been granted Planning Permission and erected within the last few years, the majority are closer to Mount Venus Road and much more exposed to the public view than the proposal which was refused Planning Permission by Dublin County Council. It would appear that the local authority have not been consistent with regard to interpreting their standards as laid down in the development plan.

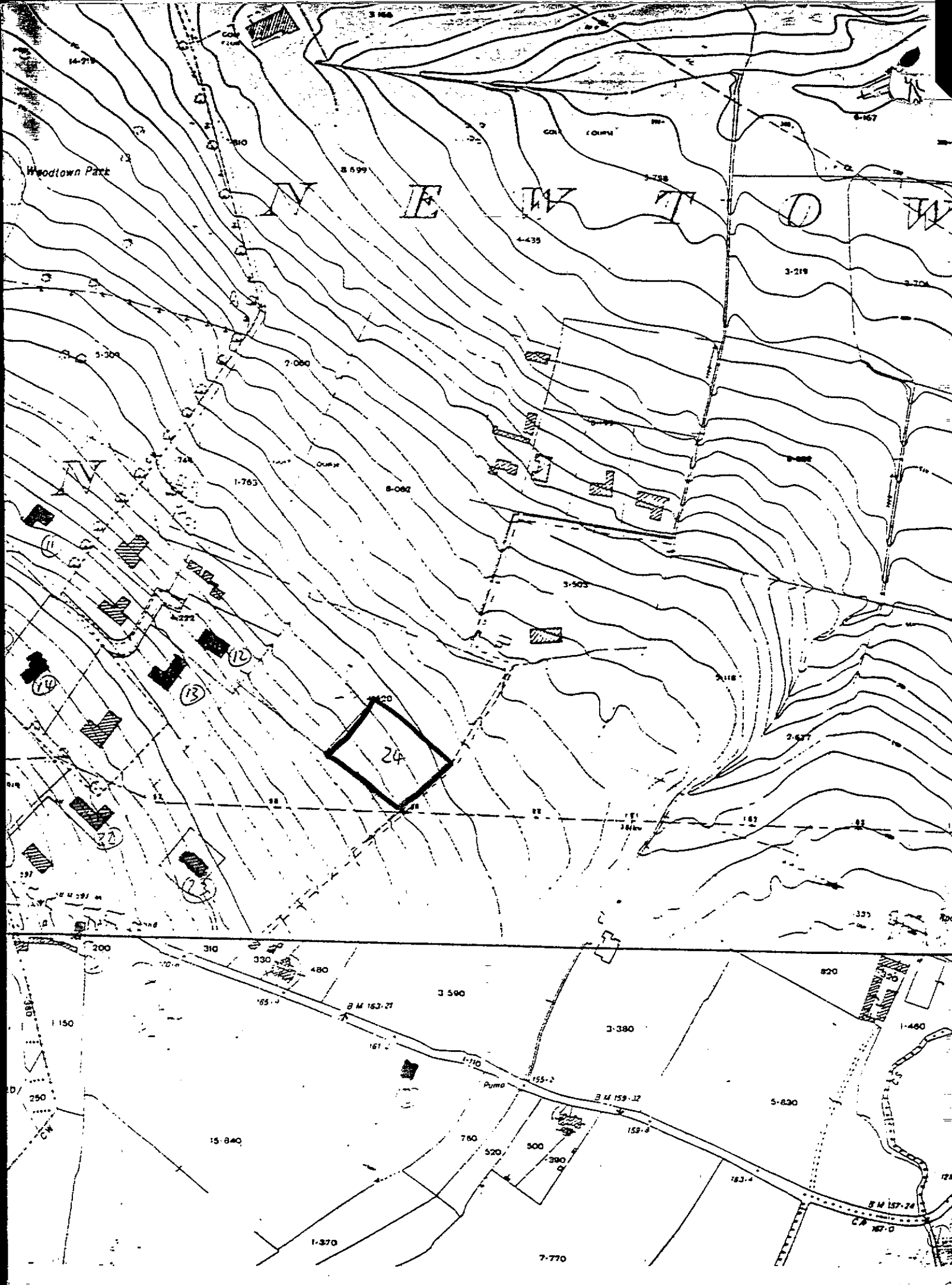
I trust that the Bord will consider that the proposal in its original form would be in accordance with proper planning of the area and issue a Planning Permission for the development.

Yours Faithfully



F. L. Bent.
ARCHITECTURAL PLANNING AND DESIGN SERVICES.







Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 2350 /91 . Date of Decision : 28th May 1991

Register Reference : 91A/0541 Date Received : 9th April 1991

Applicant : M/s C. Conlon

Development : 4 Bedroom dormer bungalow and septic tank

Location : Newtown Td., Mount Venus Road, Rathfarnham

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- 2.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 29/5/91.....

F. L. Bent,
18 Terenure Road North,
Terenure,
Dublin 6W.

Reg.Ref. 91A/0541
Decision Order No. P/ 2350 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

REASONS FOR REFUSAL

- 01 The proposed dormer bungalow is considered an unacceptable design in this area. The houses in the immediate vicinity of this site and served by the same private road are all single-storey. The proposed development would be visually obtrusive when viewed from Mount Venus Road, and would be contrary to the proper planning and development of the area.
- 02 The 1983 County Development Plan contains a specific objective to preserve views and prospects from Mount Venus Road. The proposed development would interfere with a view of special amenity value which it is necessary to preserve. The proposed development would be contrary to the proper planning and development of the area.

NOTE: The applicant is advised to consult with the Planning Authority prior to making a new application.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0541

Date : 10th April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : 4 Bedroom dormer bungalow and septic tank

LOCATION : Newtown Td., Mount Venus Road, Rathfarnham

APPLICANT : M/s C. Conlon

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 9th April 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

F. L. Bent,
18 Terenure Road North,
Terenure,
Dublin 6W.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
 Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Newtown Td, Mount Venus Road,
 (If none, give description Rathfarnham, Dublin 16.
 sufficient to identify)

3. Name of applicant (Principal not Agent) Mrs. C. Conlon

Address Newbrook House, Mount Venus Road Tel. No. 942312

4. Name and address of F.L. Bent (APESS) 18, Terenure Road North,
 person or firm responsible Terenure Dublin 6W Tel. No. 908651
 for preparation of drawings

5. Name and address to which F.L. Bent (APESS) 18, Terenure Road North,
 notifications should be sent Terenure, Dublin 6W

6. Brief description of Erection of Detached Dwelling & septic tank
 proposed development

7. Method of drainage septic tank 8. Source of Water Supply water main

9. In the case of any building or buildings to be retained on site, please state:
 (a) Present use of each floor
 or use when last used.
 (b) Proposed use of each floor

BYE LAW APPLICATION
 REC. NO. 55 N35429
 18/4/91

10 Does the proposal involve demolition, partial demolition
 or change of use of any habitable house or part thereof? No

11.(a) Area of Site 41040 Sq. m.

(b) Floor area of proposed development 140 + 24 garage Sq. m.

(c) Floor area of buildings proposed to be retained within site 32 Sq. m.

12.State applicant's legal interest or estate in site Freehold
 (i.e. freehold, leasehold, etc.) N35140

13.Are you now applying also for an approval under the Building Bye Laws?
 Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Insofar as they coincide with DCC Building Bye Laws

15.List of documents enclosed with application.
Location Plan, Block Plan, Detail Plans, Garage Plan, Septic tank Plan, Advant, Spec. Lee

CO. DUBLIN application for a 2 bedroom dormer bungalow and septic tank at Newtown Td, Mount Venus Road, Rathfarnham, for M. S.C. Conlon

16.Gross floor space of proposed development (See back) 140 + 24 garage Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development one

Fee Payable £ 87 Basis of Calculation Planning £32 RBL £55
 If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) F.L. Bent (Agent) Date 1st April 1991

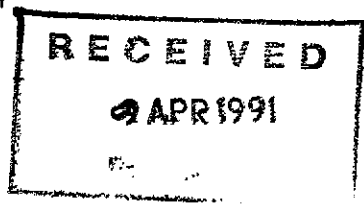
Application Type P/BOL FOR OFFICE USE ONLY

Register Reference 91A/0541 2.20.4

Amount Received £.....

Receipt No.....

Date 22/1/4



LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each
2.	Domestic extensions/other improvements.	£16.00
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8.	Petrol Filling Station.	£100.00
9.	Advertising Structures.	£10.00 per m ² (min £40.00)
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station Development or	£200.00
F	Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00 Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY

DUBLIN COUNTY COUNCIL

[Empty box for Receipt Code]

CASH

46/49 UPPER O'CONNELL STREET,

CHEQUE

DUBLIN 1.

BYE LAW APPLICATION.

M.O.

REC. No. N 35429

B.L.

I.T.

£55.00

Received this

24

day of

April

1991

from

F. J. Lint

18 Terenure Rd N

the sum of

55/-

Pounds

Pence, being

bye-law applic. at Newtown, 18 Terenure Rd.

Moelen De

Cashier

S. CAREY
Principal Officer

[Signature]

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the sum
tendered is the prescribed application
fee. N 35140

CHEQUE
M.O.
B.L.
I.T.

£32.00
91

Received this day of April 19 91

from F. J. Best
18 Terenure Rd. N.

the sum of Thirty two Pounds

Pence being 00

pl. application at Newton, W. Venus
Rd.
Mickie Deane Cashier
S. CAREY Principal Officer



ARCHITECTURAL PLANNING AND DESIGN SERVICES

18, TERENURE ROAD NORTH, TERENURE, DUBLIN 6w.
TELEPHONE & AUTOMATIC FAX 908651 CELLULAR TELEPHONE 088 557288

4th April 1991.

Dublin County Council.
Planning Department.
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

RE: Proposed dwelling at Newtown Td., Mount Venus Road,
Rathfarnham, Dublin 16, for Ms. C. Conlon

Dear sirs,

I herewith enclose copies of documents forming a detailed planning application for the erection of a dwelling and septic tank at the above.

The applicant's family owns approximately 11.5 acres fronting Mount Venus Road and which have been in continuous agricultural. The family also enjoys a right of access to the twenty foot wide private lane running north south from Mount Venus Road along the eastern boundary of the subject lands.

Dublin County Council granted Planning Permission to my client's family for a residential dwelling on portion of the lands near the road frontage in 1975 under Register Reference No. G2122 and Order No P/140/75, together with a later change of house plan granted in 1977 under Register Reference No. M2274 and Order No. P/3787/77. This dwelling was subsequently constructed and is known as Newbrook House.

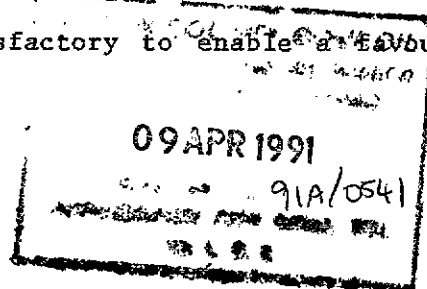
This application is being made by the daughter of the family still remaining at home, and is required at this location on the family lands so as to continue the use of the lands and to be near her widowed mother.

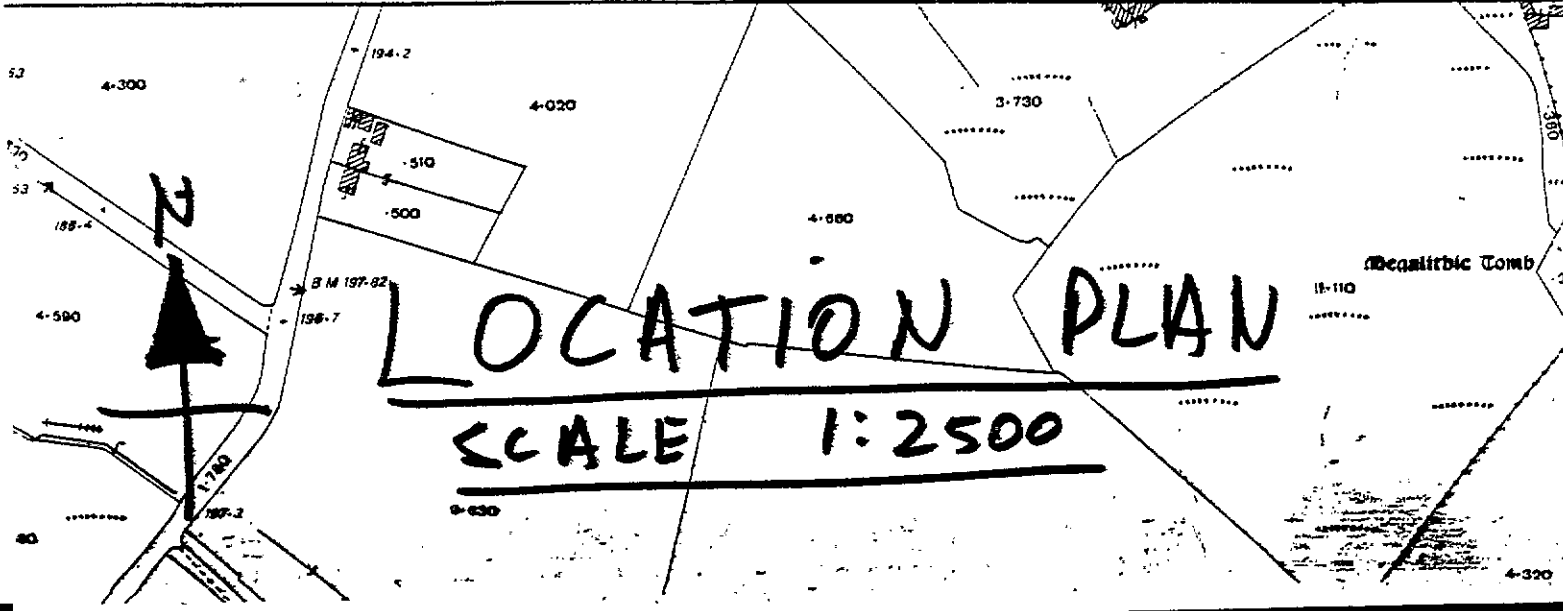
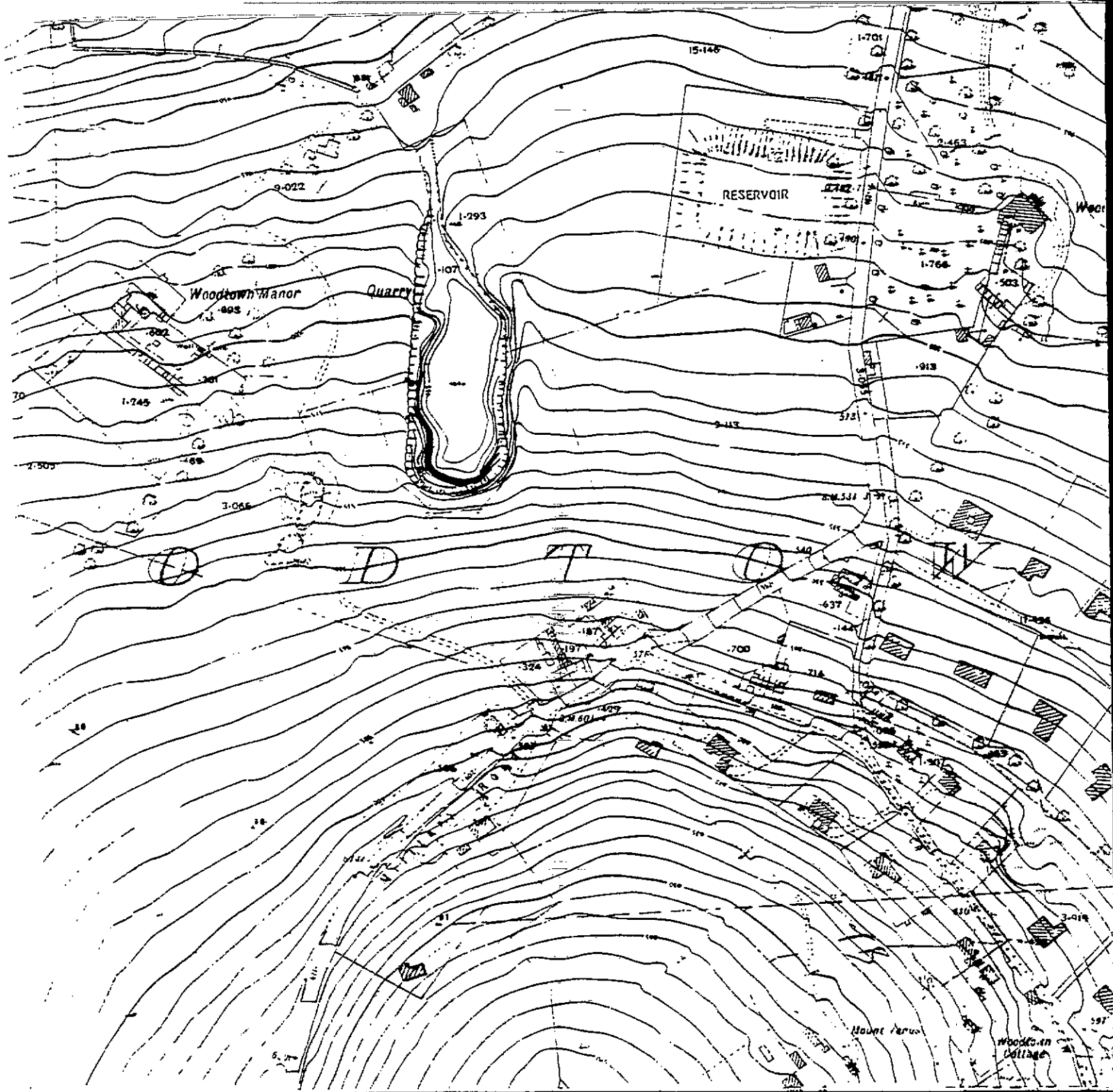
The application is for a dormer bungalow style dwelling on one acre of land fronting the private lane and located in the lower field of the property. Disposal of drainage is by way of septic tank and percolation areas in accordance with the requirements of the area environmental health officer. There is a piped water supply available in the adjacent laneway.

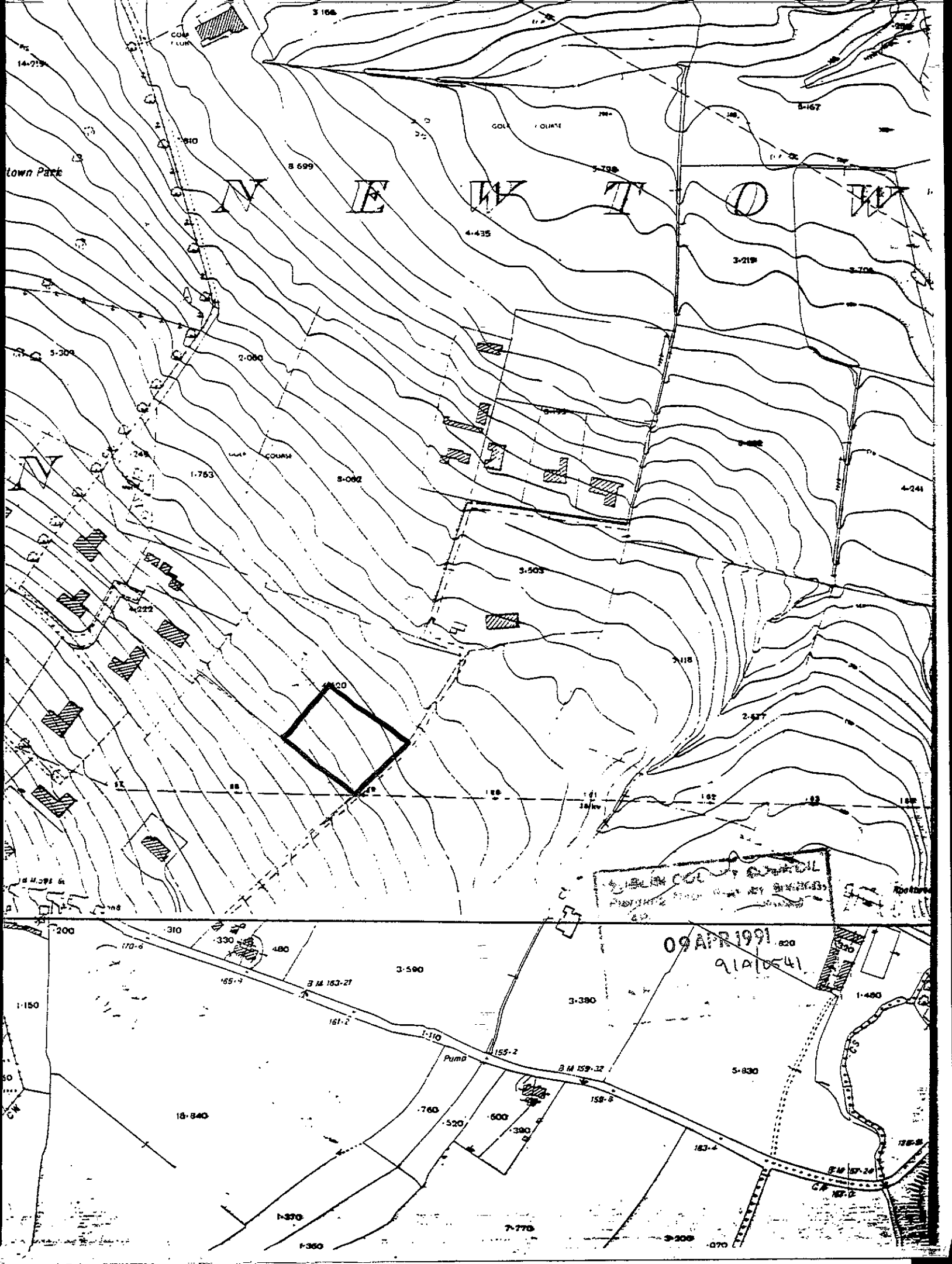
I trust that the enclosed information is satisfactory to enable a favourable decision to issue without undue delay.

Yours Faithfully

F. L. Bent.
ARCHITECTURAL PLANNING AND DESIGN SERVICES.







OUTLINE SPECIFICATION

PRELIMINARIES

- 1.1 Regulations, Byelaws, etc..
Notwithstanding anything to the contrary that may appear hereinafter or on the drawings, the whole works shall be executed in accordance with the Building Byelaws, Local Orders, Acts, Regulations, and Planning and other statutory provisions in force.
- 1.2 Irish Materials.
Materials of Irish manufacture to be used as far as possible within reason.
- 1.3 Dimensions.
Figured dimensions shall be followed in preference to scaled dimensions. All linear dimensions are in millimetres. Materials, fittings and fixtures of the sizes specified herein may become unavailable, obsolete or non standard due to the change from imperial to metric dimensions and/or the dimensional co-ordination programme. In such cases, the most appropriate alternatives may be chosen subject to approval by the Local Authority and the Architect.
- 1.4 Clean-up.
The dwelling shall be left in a clean, habitable condition. All plant, materials, debris, and rubbish shall be removed from the dwelling and garden.

EXCAVATOR AND DRAINLAYER

- 2.1 Vegetable Soil.
Remove vegetable soil from areas of dwelling to depth of at least 230mm.
- 2.2 Foundations.
Excavate trenches to depths necessary to secure firm bottom, of width as on drawings, and level to within one degree.
- 2.3 Foul and Surface Water Pipelines.
See site development drawings for layout size and invert levels of pipelines and layout of house drains. Excavate as necessary for pipeline beds to be laid to suitable falls. Note that invert levels of pipelines may determine DPC level in rising walls of dwelling.
- 2.4 Pipes.
Drain pipes to be P.V.C. of proper Irish Standard jointed with rubber ringed plastic couplers on concrete bed and haunched. All pipes under floors to be encased in 150mm concrete. Alternatively, concrete pipes may be used and laid to Local Authority specifications.
- 2.5 Armstrong Junctions.
To be 225x225mm glazed stoneware with galvanised cast iron cover and frame, set on and surrounded with 150mm concrete. P.V.C. type may also be used to Local Authority standards.
- 2.6 Gulley Traps.
To be 150x150mm glazed stoneware with galvanized cast iron cover and frame, set on and surrounded with 150mm concrete. P.V.C. type may also be used to Local Authority standards.

09 APR 1991 911/5561

2.7 Manholes.

To Be 750x600mm internal finished dimensions with 200mm solid concrete block walls bedded in cement mortar and finished with 25mm cement plaster, well haunched down to half round channels. Approved cast iron cover and frame all to Local Authority standards.

2.8 Septic Tank

To be constructed of 225mm solid concrete blockwork, plastered internally to size suitable for dwelling. Prefabricated patent type septic tank may be used. Drainage percolation area and reserve percolation area to be provided of suitable size and location after ground soakage tests. All works to comply with requirements of local authority

CONCRETOR AND BLOCKLAYER

3.1 Mixes.

The mixes shall be as follows:-

- Mix A 1 part Portland cement to 7 parts well graded gravel
(max dimension 40mm)
- Mix B 1 part Portland cement to 6 parts well graded gravel
(max dimension 20mm)
- Mix C 1 part Portland cement to 3 parts well graded gravel
(max dimension 5mm)

3.2 Uses.

The mixes shall be used as follows:-

- Mix A All foundations, drainage beds and haunching, wall of inspection chambers, 150mm sub floors and bottom 75mm layer of all external paving.
- Mix B All reinforced concrete, hearths, chimney cap and top 38mm layer of all external paving.
- Mix C 25mm facing to all steps and porch.

3.3 Reinforcement for Lintels.

Precast, prestressed concrete lintels shall be used throughout to span all openings in blockwork etc.. Alternatively, high tensile steel, hand drawn steel to B.S.4482/69 or cold worked steel bars to B.S. 4461/69 shall be used for work cast insitu. Galvanised steel cavity boot lintels may be used where shown on drawing.

3.4 Blocks, Bricks etc..

All clay and concrete bricks and blocks shall conform with the relevant Irish Standard Specifications and shall be used as follows:-
Blockwork to be carried up to underside of roof construction. External walls of dwelling to be hollow blockwork walling.
Blockwork walls to be at least 100mm in thickness. See drawing for locations.

3.5 Mortar.

Mortar for all blockwork shall be Roadstone Readymix or equivalent. Immediately before use it shall be gauged with 10% (by volume) Portland Cement.

3.6 Additives.

Approved additives may be used in mortar or concrete to improve workability, density, bond, waterproofing etc.. or to inhibit effects of frost etc.. Such additives shall be used strictly in accordance with the manufactures instructions. Mixes specified elsewhere herein may be varied as suggested by manufacturers of additives used to achieve equal or better results.

3.7

D.P.C.

Bituminous D.P.C. on a canvas or jute base, or plastic D.P.C. to B.S.S. 43/66 shall be used on all rising walls; under ground floors; under behind and at each end of window sills; in chimney stack in same joints as the external stepped metal flashings (which shall be tucked in immediately under the D.P.C.); immediately under chimney capping; above external wall lintels; and around external wall vents.

3.8

Fireplaces (where shown on drawing).

Provide concrete hearth Mix B, 450x900x150mm thick. From 100mm gathered throat over fireback, provide 200mm dia rebated and socketed clay flue liners well packed in mortar. Build chimney breasts in solid blockwork. Provide and install fire surrounds and hearths to all fireplaces.

3.9

Ventilators.

Fit ventilation grills of approved type and size in external walls where indicated on the drawing, to ventilate rooms. In rooms with neither fireplace or external vent, provide vent 0.064m sq opening between room and ventilated lobby, preferably over door.

CARPENTER AND JOINER

4.1

Timber

Well seasoned, free from sap, loose knots, waness and other defects. Moisture content shall not exceed 15% of dry weight.

4.2

Treatment of Timber.

All timber for use in roof and floors (other than T & G flooring boards) shall be treated with an approved timber preservative by vacuum immersion or other process by the timber merchant. Alternatively, the above specification shall apply only to wall plates, and the end 300mm of rafters, roof and floor joists. In all cases the surfaces exposed by cutting treated timber shall be treated before installation as recommended by timber merchant. All other timbers (other than T & G flooring boards used as such) shall be primed or treated with a timber preservative on at least those surfaces which will be inaccessible after installation (by reason of being built into or in contact with masonry, metal or timber, or otherwise). Under no circumstances shall untreated timber be used as grounds, plugs, liners, packing, spaces or likewise. P.V.C profile external cladding to be used on dormer sections, all to manufactures instructions.

4.3

Timber Sizes.

See drawing for sizes of timbers for roof and floors. Generally, flooring shall be at least 20mm (nom thickness) T & G boarding, fixed with 2 no. 50mm cut brads to each joist. Alternatively, flooring grade chipboard may be used to manufacturers installation recommendations. Skirtings shall be ex. 100x20mm bullnosed or otherwise profiled. Hardwood door saddles shall be ex. 150x20mm (min). tapered and rounded. Joint around door frames shall be covered by architraves or rebated.

4.4

Doors.

All doors shall be to the relevant I.S.S. Frames in external openings shall be ex. 100x75mm. Frames in internal openings shall be ex. 100x50mm or larger. Alternatively, proprietary door framing using metal or other material may be used subject to B.B.L. approval.

4.5

Stairs.

Treads ex. 32mm, risers ex. 22mm, strings ex. 38mm. Minimum distance between strings shall be 838mm. max pitch 42 deg.

- 4.6 Hot Press.
Construct in position shown on drawing, with two rows of 50x20mm slatted shelving.
- 4.7 Partitions.
Where timber studwork partitions are shown on drawing, they shall be as follows:- 100x50mm white deal studs at centres to suit plasterboard lining, spiked to sole and head pieces, securely fixed to floor and ceiling joists. All to be designed as loadbearing where necessary.
- 4.8 Door Furniture.
Hang external doors with one and a half pairs of 100mm butts. Hang internal doors on one pair ditto. Provide and fit combination cylinder rim latch and postal knocker set at front entrance. Provide and fit mortise locks with lever handles to all other doors. Provide and fit 150mm barrel bolts to inside of rear external door.
- 4.9 Windows.
All timber windows shall be made with standard storm proof sections, glazed, bedded and caulked to manufacturers specification. Optional Hardwood or Aluminium frames may be used.

ROOFER

- 5.1 Concrete Tiles.
Concrete interlocking tiles shall be fixed to 50x19mm battens on "untearable" quality roofing felt. Every other tile in each course shall be nailed with 50mm composition or galvanised flat headed nails. Tiles to lap at least 38mm beyond fascia. All flashings to be 1.8 Kg. Lead or 22 S.W.G. Super-purity Aluminium.
- 5.2 Rainwater Disposal.
125mm dia rigid P.V.C. gutters in rigid P.V.C. fascia brackets, discharging into 75mm dia rigid P.V.C. downpipes over gully traps, alternative aluminium extruded sections may be used, connected by surface water drains to outfall in adjacent soakaway.

PLUMBER

- 6.1 Water Services.
Water supply to be provided by bored well, sleeved where necessary, lay heavy gauge P.V.C. piping, 15mm bore, into house stopcock. From there, use P.V.C. piping for all cold water piping and 19mm S.W.G. copper piping for all hot water piping. Provide and install 300 litres galvanised steel or approved quality polythene water storage tank in attic space. Connect rising main to tank, with 15mm branch to kitchen sink.
- 6.2 Fittings.
Provide and install 1 no. white porcelain enamelled or stainless steel sink and drainer; 1 no. cast iron square end bath, in enamel or plastic with 30mm overflow, C.P. or brass taps, plug and chain, with 50mm Wavin plastic waste; 550x400mm wash hand basin on brackets with 38mm Wavin waste; and 1 no. white glazed earthenware combination W.C. suite with rigid P.V.C. cover and seat, 10 litre cistern with overflow with visible outlet. Joint between W.C. outlet and P.V.C. soil branch shall be made with proprietary neoprene gasket to manufacturers instructions. 150 litre hot water cylinder complete with boss for electric immersion heater of at least 2 Kw. rating.

6.3 Soil Wastes.

See drawing of dwelling for drainage layout. All work in connection therewith shall conform to the relevant B.S.S. for single stack drainage systems.

PLASTERER

7.1 Internally.

Scud, float and skim all walls, finishing in lime putty and plaster. Alternatively, use Gyplite bonding coat or under-coat plaster as recommended by manufacturer, and finish with Gyplite finishing plaster. Alternatively, gypsum-cored dry lining insulated system may be used, to manufacturers specification. Ceilings shall be gypsum-cored plaster boards, skim finished as specified by manufacturers. Timber stud partitions where used shall be finished as for ceilings. Alternatively, Proprietary gypsum-cored dry lining system may be used, to manufacturers specification.

7.2 Externally.

External blockwork walls shall be plastered thus: Scud in two and a half to one, sand/cement. Render in two separate coats of 1:1:6 cement, hydrated lime, sand. Finish as indicated on drawing or with roughcast of one part cement, two parts hydrated lime, three parts sand, and six parts pebbles between 10mm and 20mm. Patent reveals and plinth to be 2:1:9 cement, hydrated lime, sand, finished with wooden float.

GLAZIER

8.1 Glass.

Glass thickness and weights to be related to the size of pane as indicated on drawing. For 24oz., 22oz., and 1/4" read 4mm., 3mm., and 6mm respectively. Glass in metal sashes shall be bedded in purpose made glazing compound. Panes in excess of 3.0m sq in area shall be secured by appropriate glazing beads and joints sealed with appropriate glazing compound.

DECORATOR

9.1 Paintwork.

All visible timber shall be primed on all faces thereof. The rear faces of all such timber shall be primed before fixing. All visible planed timber shall, in addition to the priming coat, receive at least one undercoat and at least one finishing coat. The materials used shall be the best of their respective classes and applied in keeping with recognised good practice.

9.2 Colour Scheme.

The external colour scheme including colour of roof tiles, external walls etc., shall be decided by the architect. Take note of any specific local authority requirements with regard to external colours.

ELECTRICIAN

10.1 Electrician.

Provide at least one lighting point and at least two power sockets in each room of 6 sq m floor area or over. In addition provide all necessary wiring and switchgear for electric cooker in kitchen, and electric immersion group to hot water cylinder. Electric cooker point should be on separate circuit. Provide one light on landing controlled by two-way switches to be placed in hall and landing. The materials, fittings and workmanship in the complete installation shall conform to standards laid down by the E.S.B.

THERMAL INSULATION

11.1 Thermal Insulation.

The dwelling to be insulated to at least the minimum standard laid down by the Department of the Environment.

Whole house value to not exceed 0.85 W/m sq /deg. C.

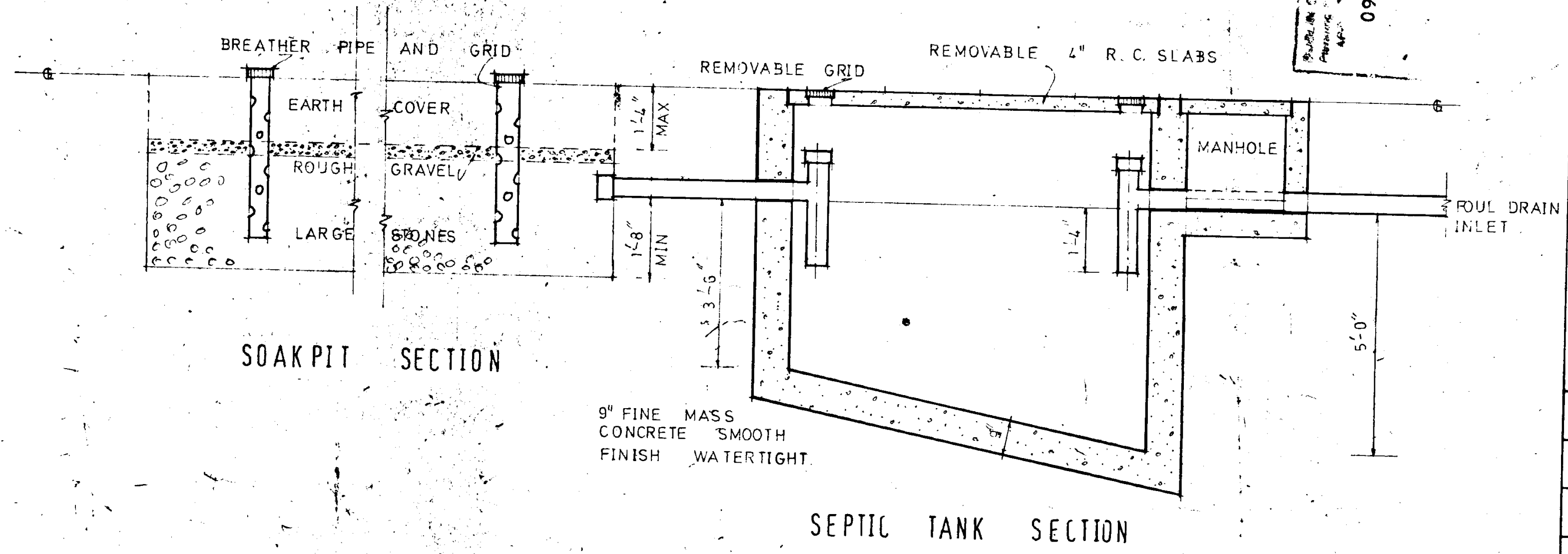
External walls, 0.60 W/m sq /deg. C.

Roof, 0.40 W/m sq /deg. C.

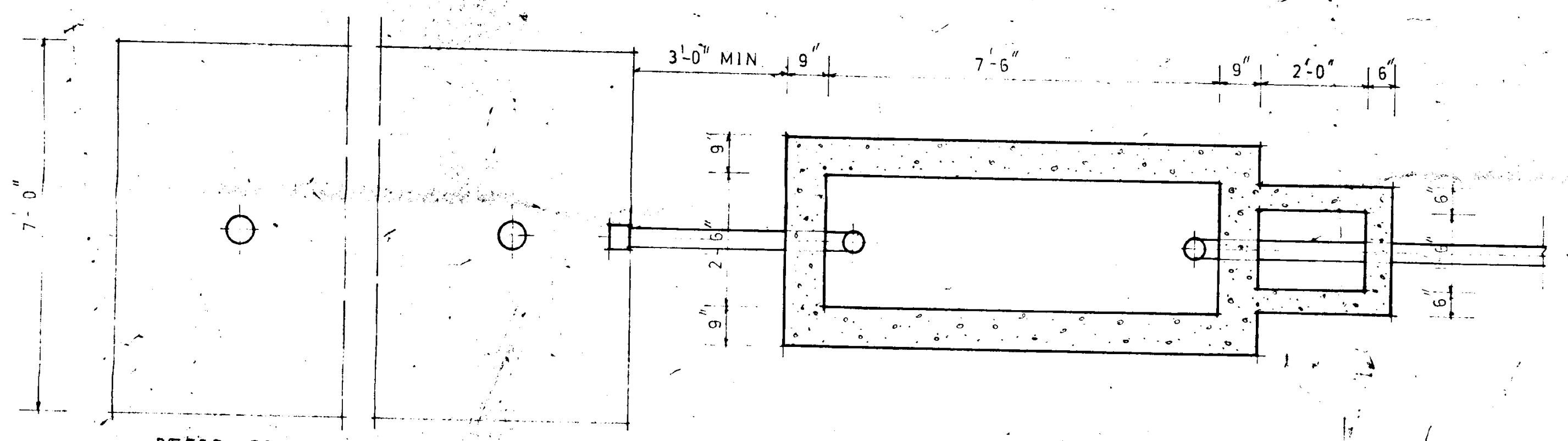
Ground floor, 60 W/m sq /deg. C.

Adequate through roof ventilation to be provided by vents to eliminate condensation forming in roof space.

TEST PERCOLATION BY DIGGING TRIAL HOLE ONE FOOT SQUARE AND TWO FEET DEEP. FILL HOLE WITH WATER TO A DEPTH OF 9". DIVIDE THE TIME FOR ALL THE WATER TO SOAK AWAY BY 9. THIS WILL GIVE THE AVERAGE TIME PER INCH OF DROP OF WATER LEVEL. FROM THE TIME THE SIZE OF SOAKPIT CAN BE OBTAINED FROM THE TABLE.



09 APR 1991
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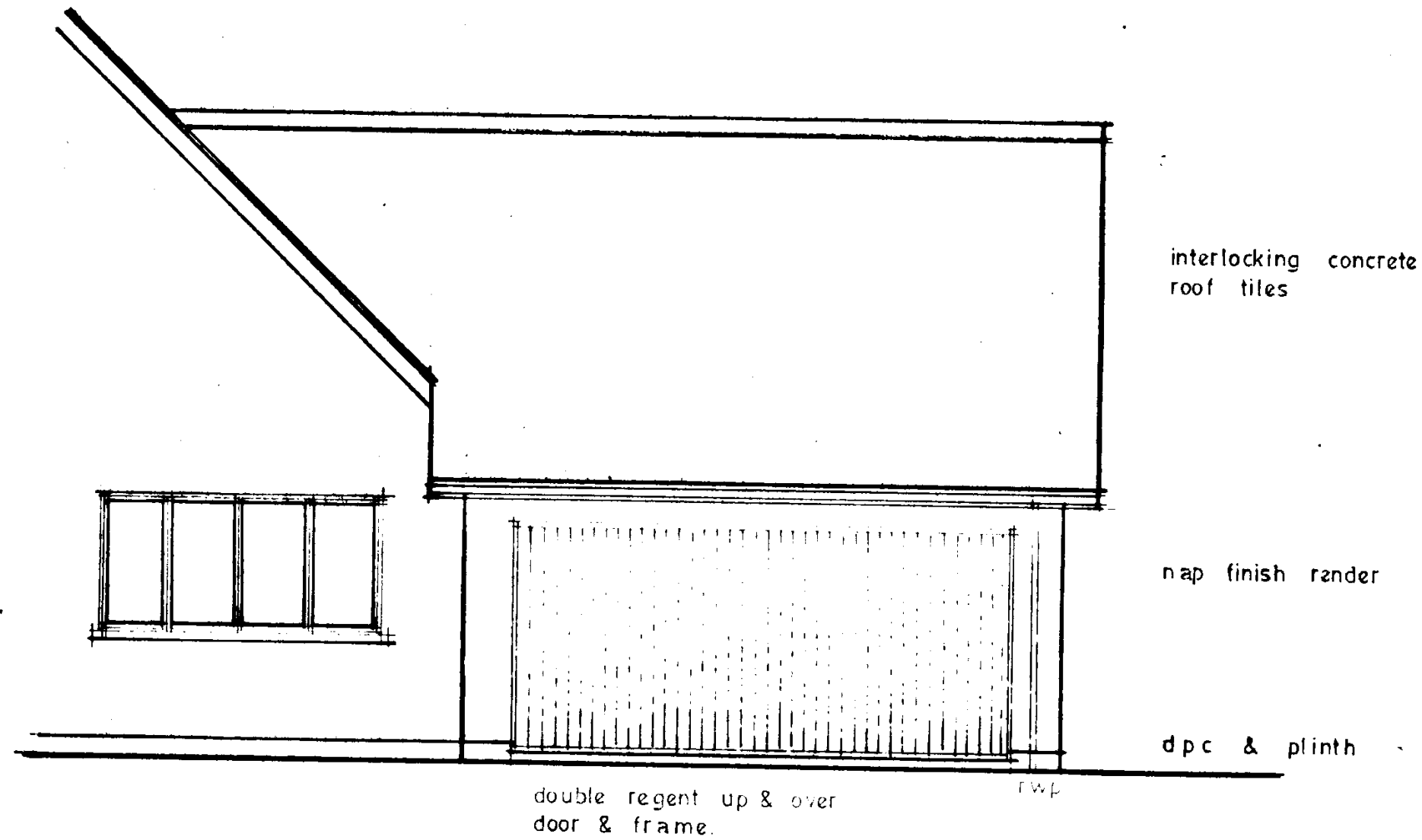


PLAN

TABLE	
TIME IN MINUTES	AREA OF SOAKPIT SQ FT
1	125
2	125
3	150
4	175
5	200
10	265
15	325
30	450
60	600

Amendments

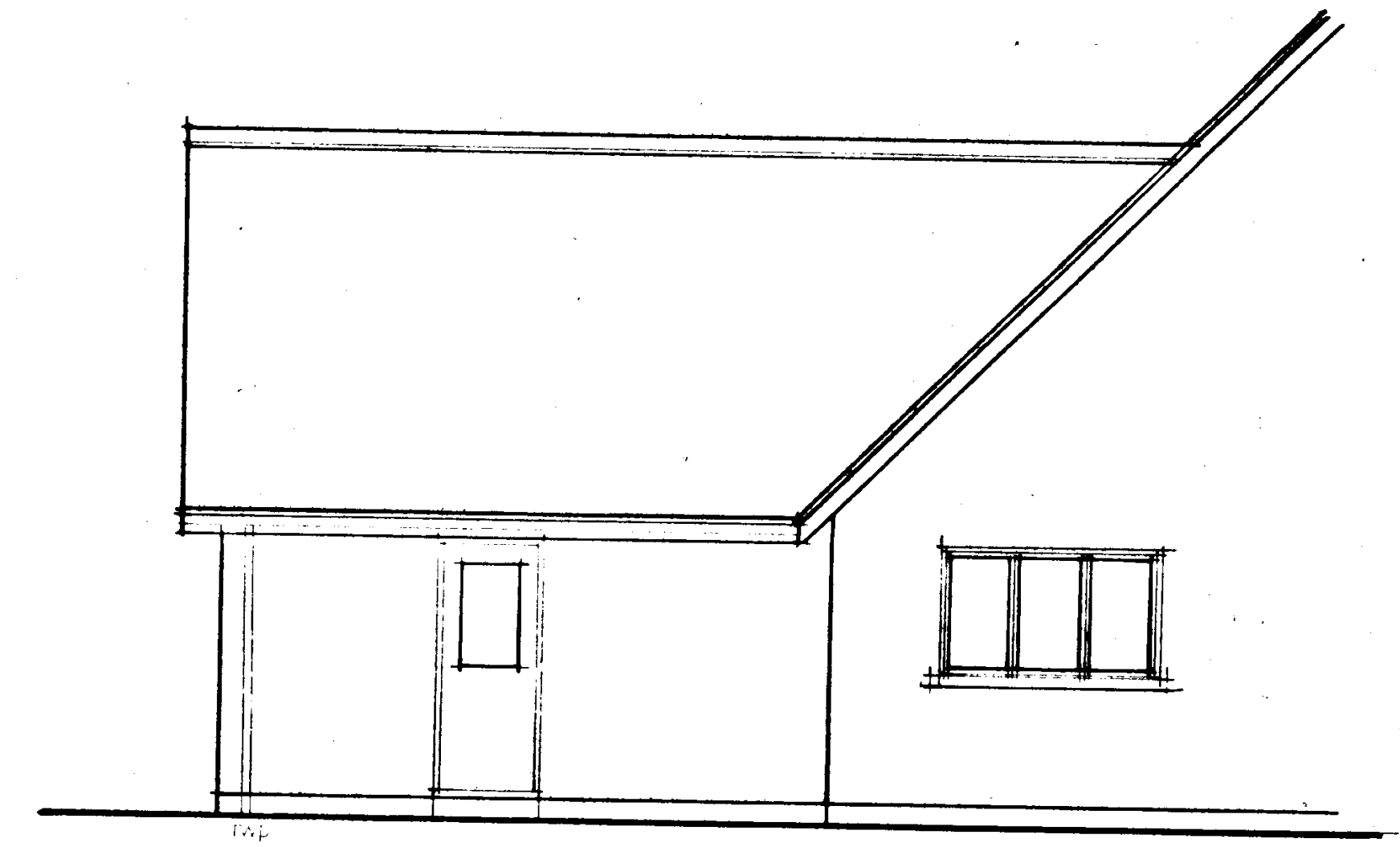
SEPTIC TANK DETAIL



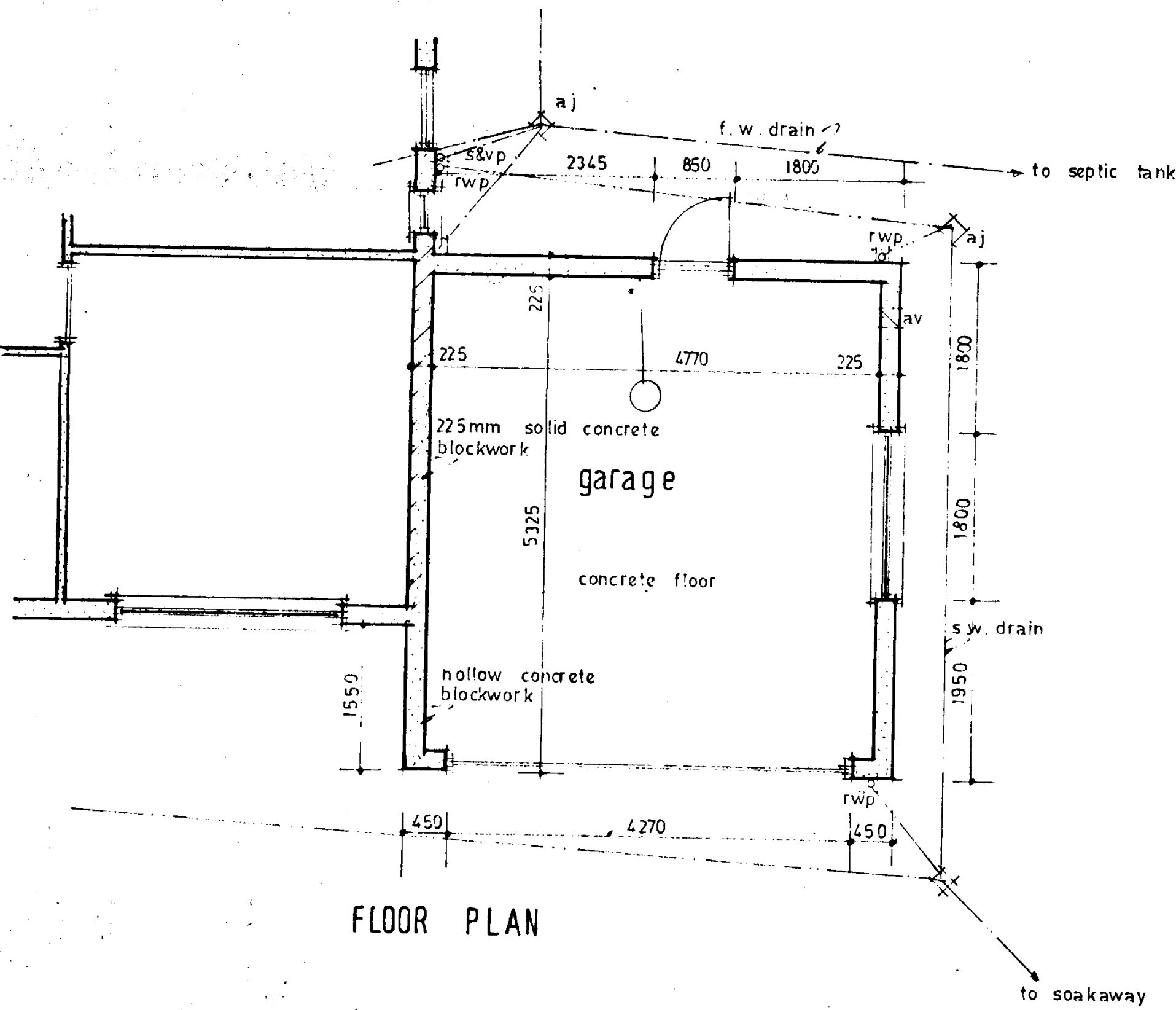
NORTH EAST ELEVATION



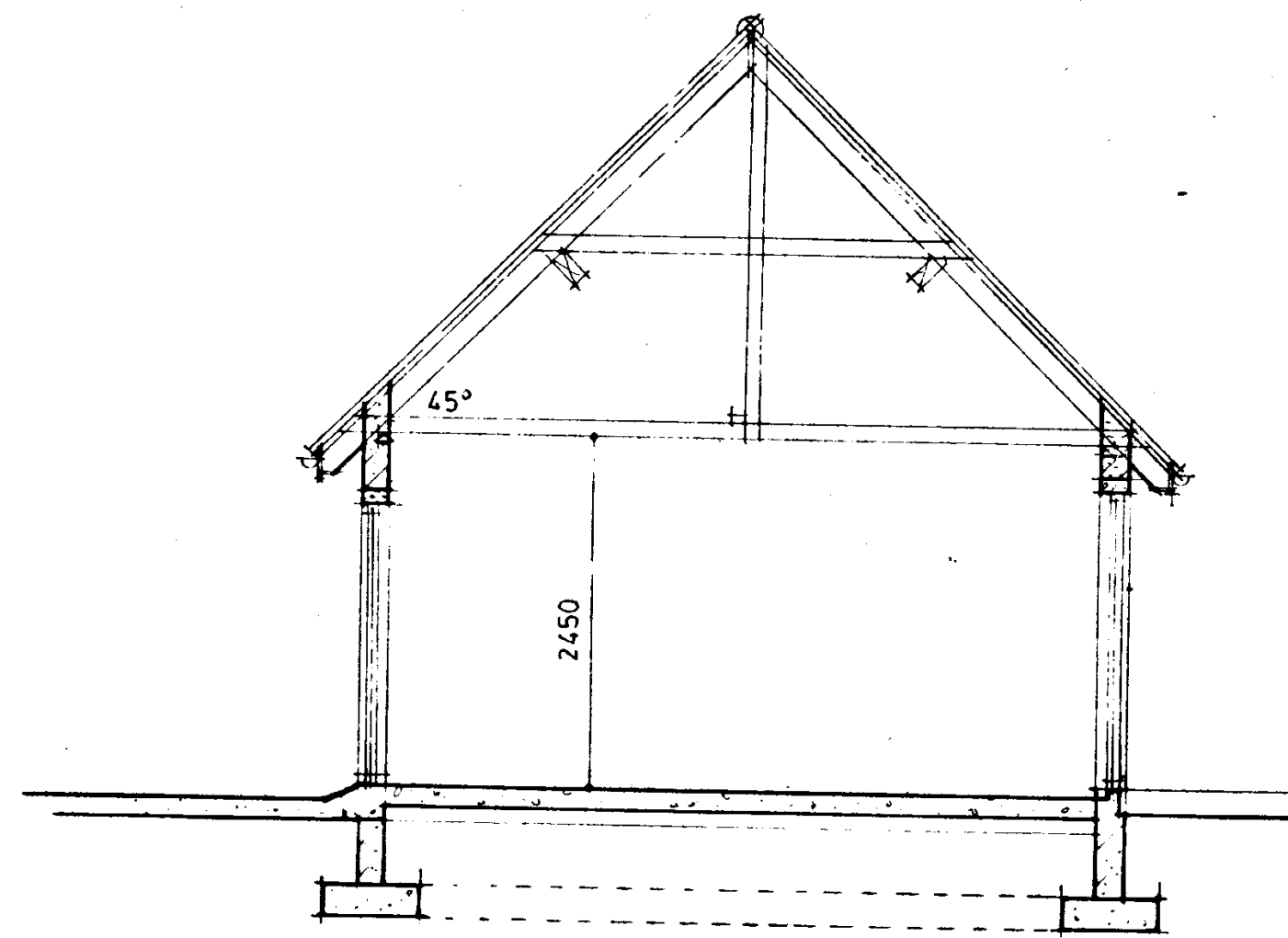
NORTH WEST ELEVATION



SOUTH WEST ELEVATION



FLOOR PLAN



SECTION

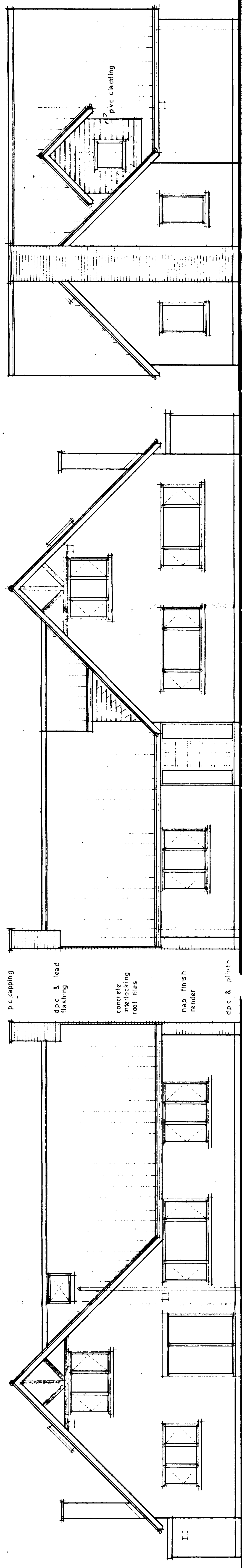
- ridge and hip tiles.
- concrete interlocking roof tiles on battens and roofing felt on 150x35mm rafters and ceiling joists at 400mm c/c.
- 275x75mm purlins and 100x25mm ties every third rafter.
- 100x75mm wall plates.
- 175x25mm ridge and hip rafter.
- timber fascia and soffit.
- 125mm dia. half round pvc gutters to 75mm dia. pvc rwp to 100mm dia. wavin s w drain.
- 225mm hollow concrete blockwork external walls with nap finish render.
- D P C and sand cement plinth.
- Garador type up and over door and frame.
- 150mm concrete floor on 1000 gauge polythene D P membrane on 100mm consolidated hardcore.
- 225mm solid concrete blockwork rising walls on 700x250mm concrete strip foundations.

9/11/00
09 APR 1991
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ARCHITECTURAL PLANNING AND DESIGN SERVICES
18, Terenure Road North,
Terenure, Dublin 6W.
telephone 908651 & 088-557288

PROPOSED DOUBLE GARAGE
AT NEWTOWN Td., MOUNT
VENUS ROAD, RATHFARNHAM,
DUBLIN 16.

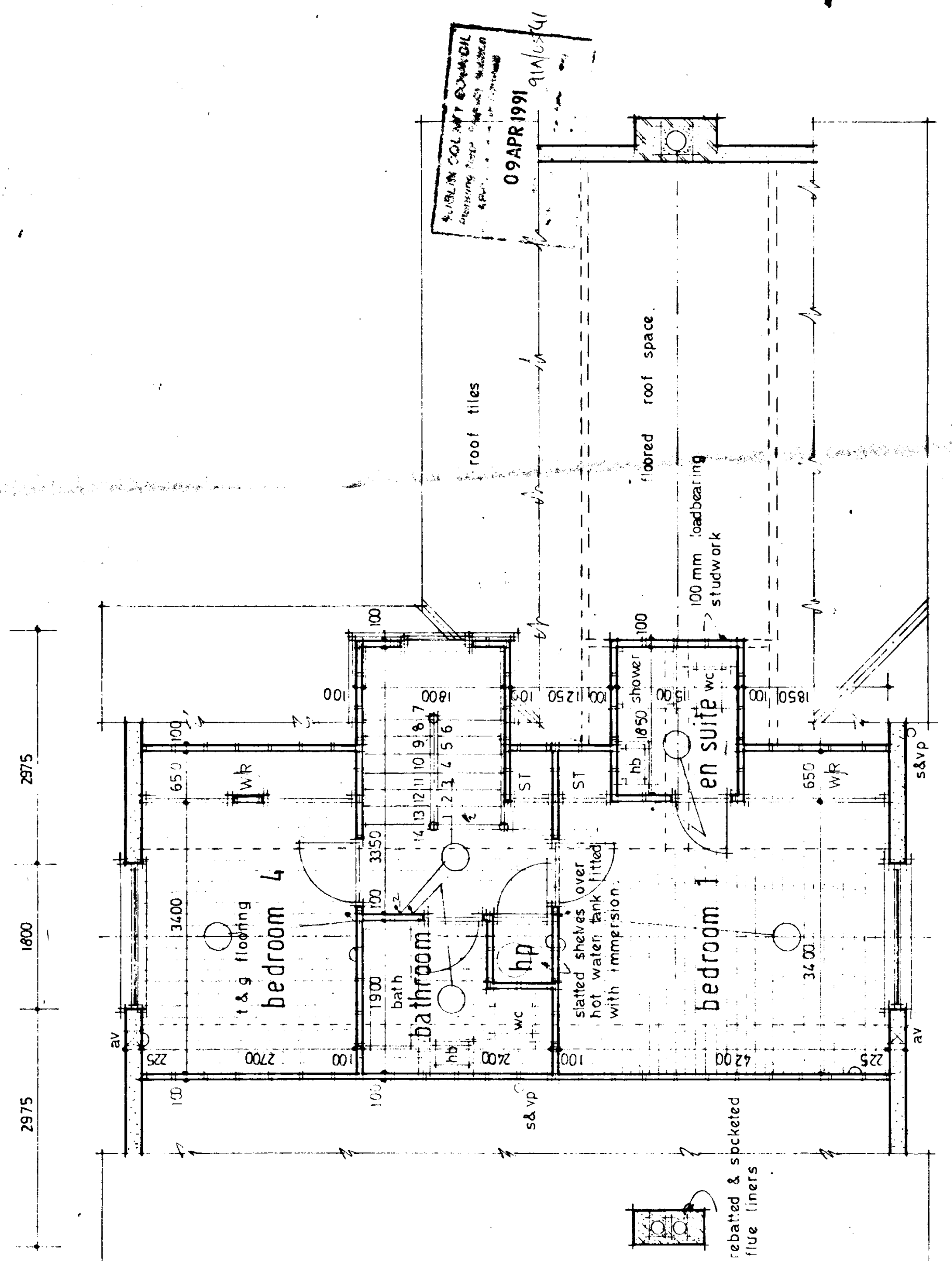
WORKING DRAWING
scale 1:50 date 4/91 no. 284/3



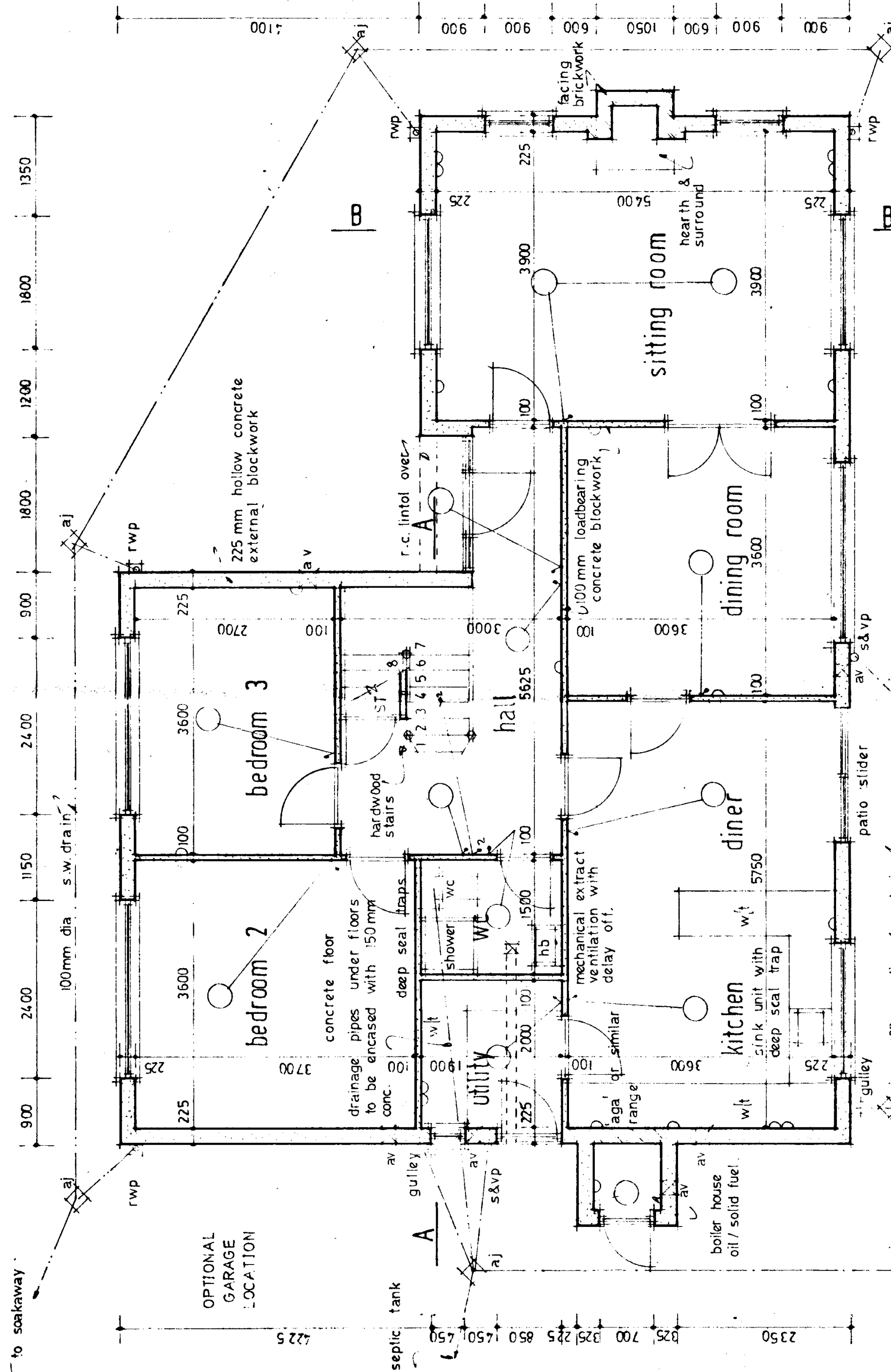
SOUTH EAST ELEVATION

NORTH EAST ELEVATION

SOUTH WEST ELEVATION



FIRST FLOOR PLAN



GROUND FLOOR PLAN

ARCHITECTURAL PLANNING
AND DESIGN SERVICES
18, Terenure Road North,
Terenure, Dublin 6W,
telephone 908651 & 088-55288

DWELLING AT NEWTOWN TD
MOUNT VENUS ROAD,
RATHFARHAM, DUBLIN 16.

WORKING DRAWING
sheet one
scale 1:50 date 3/91 no. 284/1