

19th July 1991

Mr. J. Barry,
309 Killinarden Estate,
Tallaght,
Dublin 24.

Dear Mr. Barry,

I refer to your telephone call concerning a planning application for a house and septic tank at Redgap, Rathcoole for Mr. B. Mansfield.

This application was lodged on 24th April 1991 and on 19th June Additional Information was requested from the applicant. A copy of the letter requesting this information is attached. The information sought has not yet been submitted to the Planning Authority.

Yours sincerely,

AS

PRINCIPAL OFFICER

Encl.

MH/UD

BYE LAW APPLICATION FEES

REF. NO.: 91A/066Z CERTIFICATE NO.: 14760 B
 PROPOSAL: House + Septic Tank
 LOCATION: Radgar Rathcool
 APPLICANT: B. Mansfield

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55	<u>55</u>	<u>55</u>			
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose	@ £3.50 per M ² or £70					
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: _____ Grade: _____ Date: _____

Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: 80 Date: 29/4/91

Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

91A/0662

CERTIFICATE NO.

25084

PROPOSAL: House + Seltic Tank
 LOCATION: Hedgep Rathcreele
 APPLICANT: B Mansfield

1	2	3	4	5	6	7
DEVELOPER/AREA LENGTH/STRUCT	RATE	PART. OF FEE REQ.	AMOUNT LODGED	BALANCE DUE	REMARKS	CITY RECEIPT NO.
		32	32			

City Engineer: [Signature] Date: _____
 County Engineer: [Signature] Date: _____
 State 2, 3, 4, 5, 6 & 7 Certified Signer: [Signature] Date: 29/4/91
 State 2, 3, 4, 5, 6 & 7 Endorser: [Signature] Date: _____

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/C662.
Proposed: House AND SEPTIC TANK.
At: RIDGE, RATHLOGLE.
For: B. MANSFIELD
Plans lodged: _____
Architect: _____

Observations and recommendations of Env. Health Officers and/or
Supervising Env. Health Officer.

I inspected a Trial Hole opened in a
revised location on this site. The soil was
very stoney and appeared unsuitable for septic tank
drainage. Trial hole 6'6" deep - dry a lot of shale.

SEE PREVIOUS
REPORT 2/7/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 18.09.91
Time 4.40

Ma Devine
for John O'Kelly SEHO
16/9/91

Peter Comeran
16/9/91

G.B.

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0662

Date : 25th April 1991

Development : House and septic tank

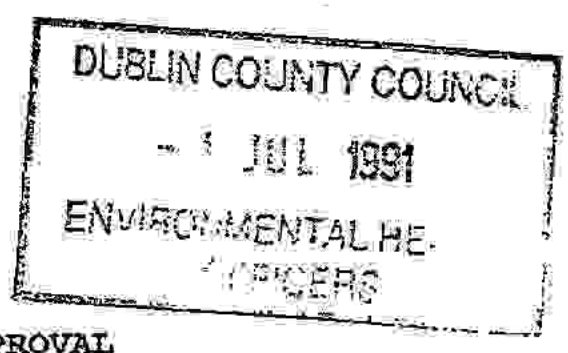
LOCATION : Redgap, Rathcoole

Applicant : B. Mansfield

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 24th April 1991



Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 24th April 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 08.07.91
Time 3.30

Yours faithfully,

PRINCIPAL OFFICER

The following additional information is required.

1. Location of any neighbouring septic tanks and wells.
 2. Evidence of availability and potentiality of water supply.
 3. Permanent air vents must be provided to all habitable rooms in the house
 4. I inspected a Trial Hole on this site on 26/6/91.
 - * The soil was very stony and appeared unsuitable for septic tank drainage. Percolation tests have not been carried out to date. H. Waller - 2/7/91
- John Hall 3/7/91

Mary Darley.

SS + CMA

DUBLIN COUNTY COUNCIL

®

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/0662

Date : 25th April 1991

Development : House and septic tank

LOCATION : Redgap, Rathcoole

Applicant : B. Mansfield

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 24th April 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Date received in Sanitary Services

DUBLIN Co. COUNCIL
- 9 MAY 1991
SAN SERVICES

DUBLIN Co. COUNCIL
SANITARY SERVICE
27 JUN 1991
Returned: J.G.

FOUL SEWER

Septic tank proposal - refer to B.M.O.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 7.07.91
Time 9.10

SURFACE WATER

Septic pit proposal - refer to D.O.L. Dept.

L. Sullivan 14/6/91

*J. Rice
18/6/91*

Register Reference : 91A/0662

Date : 25th April 1991

ENDORSED _____ DATE _____

WATER SUPPLY. No to to water main in this area
well proposed

[Signature]
10/5/91

ENDORSED

[Signature]
DATE 21/4/91

PLANNING DEPT,
DEVELOPMENT CONTROL SECT
Date 7.07.91
Time 9.40

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0662

Date Received : 24th April 1991

Correspondence : Charles Hulgraine, Architect,
Name and : 6 Orchard Avenue,
Address : Clonsilla,
Dublin 15.

Development : House and septic tank

Location : Redgap, Rathcoole

Applicant : B. Mansfield

App. Type : Permission

zoning :

B

^{n/0}
(MD/AC) Report of the Dublin Planning Officer dated 7 June 1991.

This is an application for PERMISSION for a house and septic tank on a 1.5 acre site at Redgap, Rathcoole for Miss Bernie Mansfield. The floor area of the proposed development is 1,325 sq.ft. The site is stated to have been given as a gift to the applicant by her parents who farm adjacent land.

The site is located in an area which is zoned with the objective 'B' in the 1983 Dublin County Development Plan "to protect and provide for the development of agriculture". Within this use class zoning the application would be permitted as the applicant wishes to live close to her relations.

The site is an elevated one and is covered in gorse. The land falls steeply to the north from the site. Access to the site is from a laneway which leads to the applicant's family farm. No indication of the landholding in the area has been given.

The proposed dwelling is a 3-bed house. It has a high pitched roof with proposed blue/black concrete tiles or slate and plaster finish.

No report has been received from the Supervising Environmental Health Officer.

In order to assess this application I recommend that additional information be requested from the applicant.

I recommend that Additional Information be requested from the applicant with regard to the following:-

- 01 The applicant is requested to submit evidence of the soil suitability for septic tank drainage to meet the requirements of the Supervising

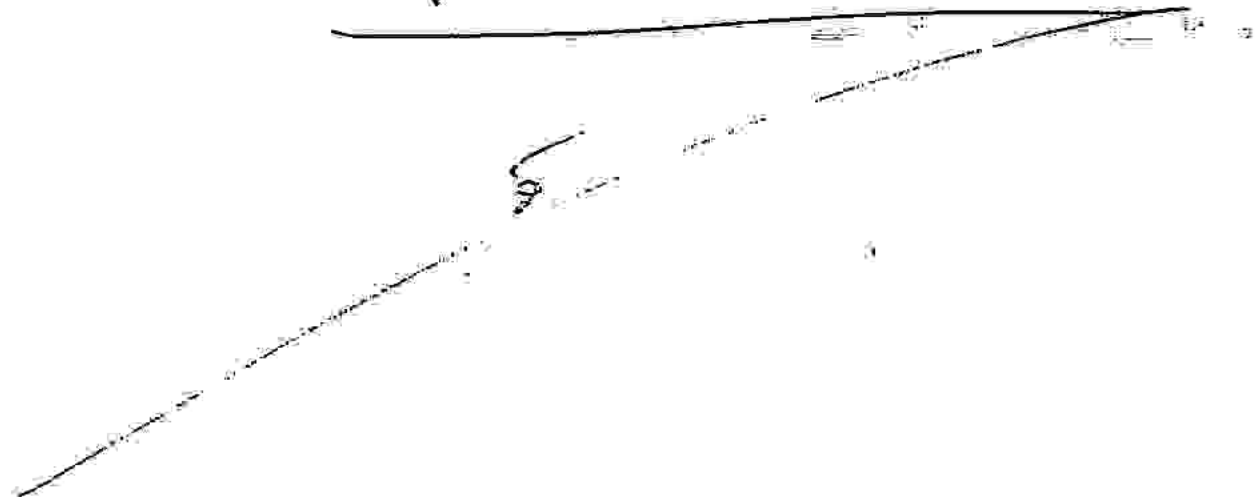
COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Environmental Health Officer.

02 Applicant is requested to submit, outlined in blue on a scaled map, the family landholding in the area of which this site forms a part together with

the location of the family home.



Richard Cremino SEP

for Dublin Planning Officer 10.6.91

Endorsed:--

J. Hanlon
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated :

17 June 1991

K. O'Sullivan
ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 26th April 1991.

17 June

M.D.



Bosca 174
P. O. Box 174
5 Rae Gardiner,
5 Gardiner Row,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)727777
Fax. (01)727530

Mr. D. Drumgoole,
Senior Administrative Officer,
Planning Department,
Dublin County Council.



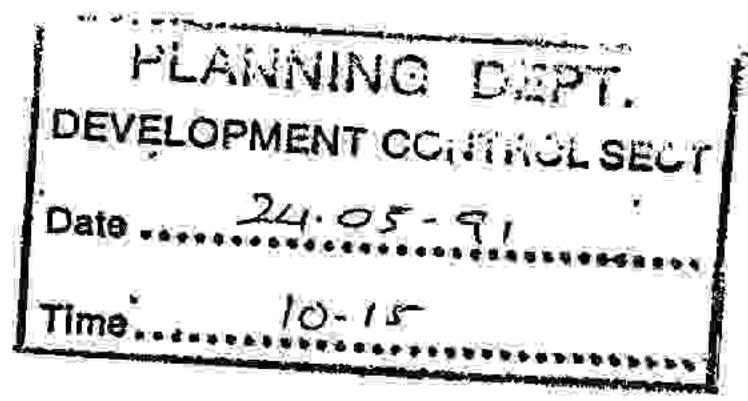
Our Ref. P.P. 328
Your Ref.
Date 20.05.1991

RE: Application for house at Redgap, Rathcoole.
Reg. Ref. 91A/662.

With regard to this application, the Parks Department's comments are:-

- 1) The applicant is applying for planning permission to develop a private dwelling on land zoned 'B' in the 1983 County Development Plan. Zone 'B' is to protect and provide for the development of Agriculture. The proposed development is, therefore, not considered compatible with the objective of the County Development Plan and should be refused.

[Handwritten signature]



SENIOR PARKS SUPERINTENDENT

Seol sun fhreagra chun
(R6. iv to):

AN RÚNAÍ
(The Secretary)

faoin uimhir seo:—
(Quoting)



AN ROINN COSANTA
(Department of Defence)

TEACH NA PÁIRCE
(Park House)

BAILE ÁTHA CLIATH, 7
(Dublin, 7)

2/50719

Teileafón 01/309788 771881 Ext. 2485

15 May, 1991.

Dear Sir,

Re: Planning Applications which might affect the use
of Casement Aerodrome, Baldonnell, Co. Dublin

17 MAY 1991

I am directed by the Minister for Defence to refer to applications:

- 91A/528 - Patrick McDermott, Slade, Saggart.
- 91A/561 - Rathcoole Boys F.C., Forrest Hills, Rathcoole.
- 91A/583 - S. Farrell, Main Street, Rathcoole.
- 91A/584 - Dr. L. Lynch, Coolmine, Saggart.
- 91A/652 - Thomas Grimes, Lyons Road, Newcastle.
- 91A/662 - B. Mansfield, Redgap, Rathcoole.
- 91A/665 - Vera Harty, Blessington Road, Saggart.
- 91A/667 - S. & P. Ryan, Redgap, Rathcoole.

No objection is seen to these proposed developments provided they do not exceed 11M in height above ground level.

Yours sincerely,

JOHN P. MORAN

EXECUTIVE OFFICER

The Secretary,
Dublin County Council,
Planning Department,
Irish Life Mall,
Lower Abbey Street,
Dublin 1.

PLANNING DEPT.
DEVELOPMENT CONTROL SEC:

Date 20.05.91

Time 10:40

Register Ref 91A/0662.
Bernadette Mansfield.

Redgap
Rathcoole
Co Dublin
14/9/91

17. SEPT 91

Dear Sir/Madam,

We are having difficulty with achieving satisfactory filtration on our site and we are looking into other techniques to achieve this. In the circumstances I would request to further the time limit up to and including 13th December, as it takes time to gather this information together

Yours faithfully

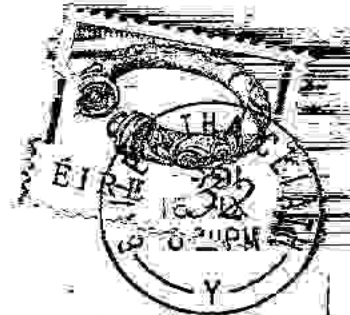
Bernie Mansfield.

Planning Dept.

Block 2 Irish Life Center

Lower Abbey St.

Dublin 1





Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Decision Order Number : P/ 2672 /91 Date of Decision : 17th June 1991

Register Reference : 91A/0662 Date Received : 24th April 1991

Applicant : B. Mansfield

Development : House and septic tank

Location : Redgap, Rathcoole

Dear Sir/Madam,

With reference to your planning application, received here on 24.04.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

- 01 The applicant is requested to submit evidence of the soil suitability for septic tank drainage to meet the requirements of the Supervising Environmental Health Officer.
- 02 Applicant is requested to submit, outlined in blue on a scaled map, the family landholding in the area of which this site forms a part together with the location of the family home.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,

PRINCIPAL OFFICER

Date : 19/6/91

Charles Hulgraine, Architect,
6 Orchard Avenue,
Clonsilla,
Dublin 15.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0662

Date : 25th April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : House and septic tank
LOCATION : Redgap, Rathcoole
APPLICANT : B. Mansfield
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 24th April 1991.

Yours faithfully,

.....
PRINCIPAL OFFICER

Charles Hulgraine, Architect,
6 Orchard Avenue,
Clonsilla,
Dublin 15.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building (If none, give description sufficient to identify) Redgap Rathcoole Co Dublin **BYE LAW APPLICATION**
REC.N 55 N 35636

3. Name of applicant (Principal not Agent) Miss Bernie Mansfield
Address Redgap Rathcoole Co Dublin Tel. No. 010-088-577160

4. Name and address of person or firm responsible for preparation of drawings Charles Hurlane Architect 6 Orchard Ave
Clonsilla Dublin 15 Tel. No. 202552

5. Name and address to which notifications should be sent Architect

6. Brief description of proposed development House + Septic Tank

7. Method of drainage septic tank on site 8. Source of Water Supply well on site

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used —

(b) Proposed use of each floor 32 24/4

10. Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No

11.(a) Area of Site 1.50 acres approx N 35 361 Sq. m.

(b) Floor area of proposed development 1325 Sq. ft. Sq. m.

(c) Floor area of buildings proposed to be retained within site — Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) owner (by gift)

13. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal: Considered in full

15. List of documents enclosed with application: 4 site plans 4 working docs 4 specifications Tom Planning App



16. Gross floor space of proposed development (See back) NA Sq. m.

No of dwellings proposed (if any) 1 Class(es) of Development 1 + A

Fee Payable E. 82 Basis of Calculation PP 32 + BBL 55

Signature of Applicant (or his Agent) Charles Hurlane (Arch) Date 16/4/91

Application Type P/BBL FOR OFFICE USE ONLY

Register Reference 91A/0662

Amount Received E. 21-13 2,24.4

Receipt No —

Date —



Irish
Res
12/4/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1:2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
1	Provision of dwelling — House/Flat.	£32.00 each
2	Domestic extensions/other improvements.	£16.00
3	Provision of agricultural buildings (See Regs.)	£40.00 minimum
4	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)
5	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)
6	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)
7	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)
8	Petrol Filling Station.	£100.00
9	Advertising Structures.	£10.00 per m ² (min £40.00)
10	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)
11	Any other development.	£5.00 per 0.1 ha (Min. £40.00)

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE
A	Dwelling (House/Flat)	£55.00 each
B	Domestic Extension (improvement/alteration)	£30.00 each
C	Building — Office/ Commercial Purposes	£3.50 per m ² (min. £70.00)
D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
E	Petrol Filling Station	£200.00
F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
		Min. Fee £30.00
		Max. Fee £20,000

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

ISSUE of this receipt is not an
order for the issue of the fee
tendered in the prescribed application
No. 35361

CASH
CHEQUE
M.O.
B.L.
I.T.

£ 32.00

Received this 24th day of April 1991
from Gnamtron Ltd.

the sum of thirty two Pounds

Pence, being 00 for

planning application of Redgoup

Kethcoole

Maele Deane Cashier

S. CAREY
Principal Officer

10/11/91

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No N 35636

CASH
CHEQUE
M.O.
B.L.
I.T.

£55.00

Received this 24th day of April 1991

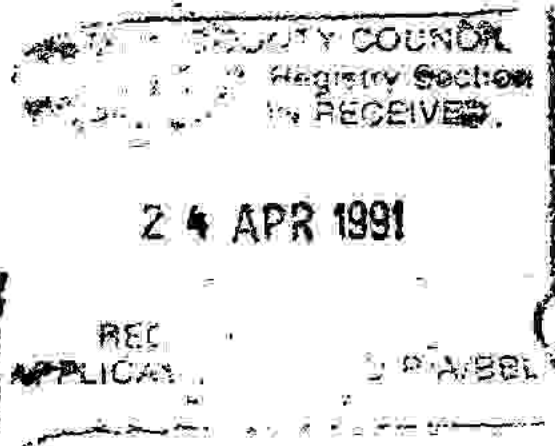
from Stantron Ltd.

the sum of fifty five Pounds

Pence being 00 for
bye-law application at Redgaps Rathcoole

Madeen Deane Cashier

S. CAREY Principal Officer



Rodgar
Kothicool
Co Dublin
10/4/91

Dear Sir/Madam,

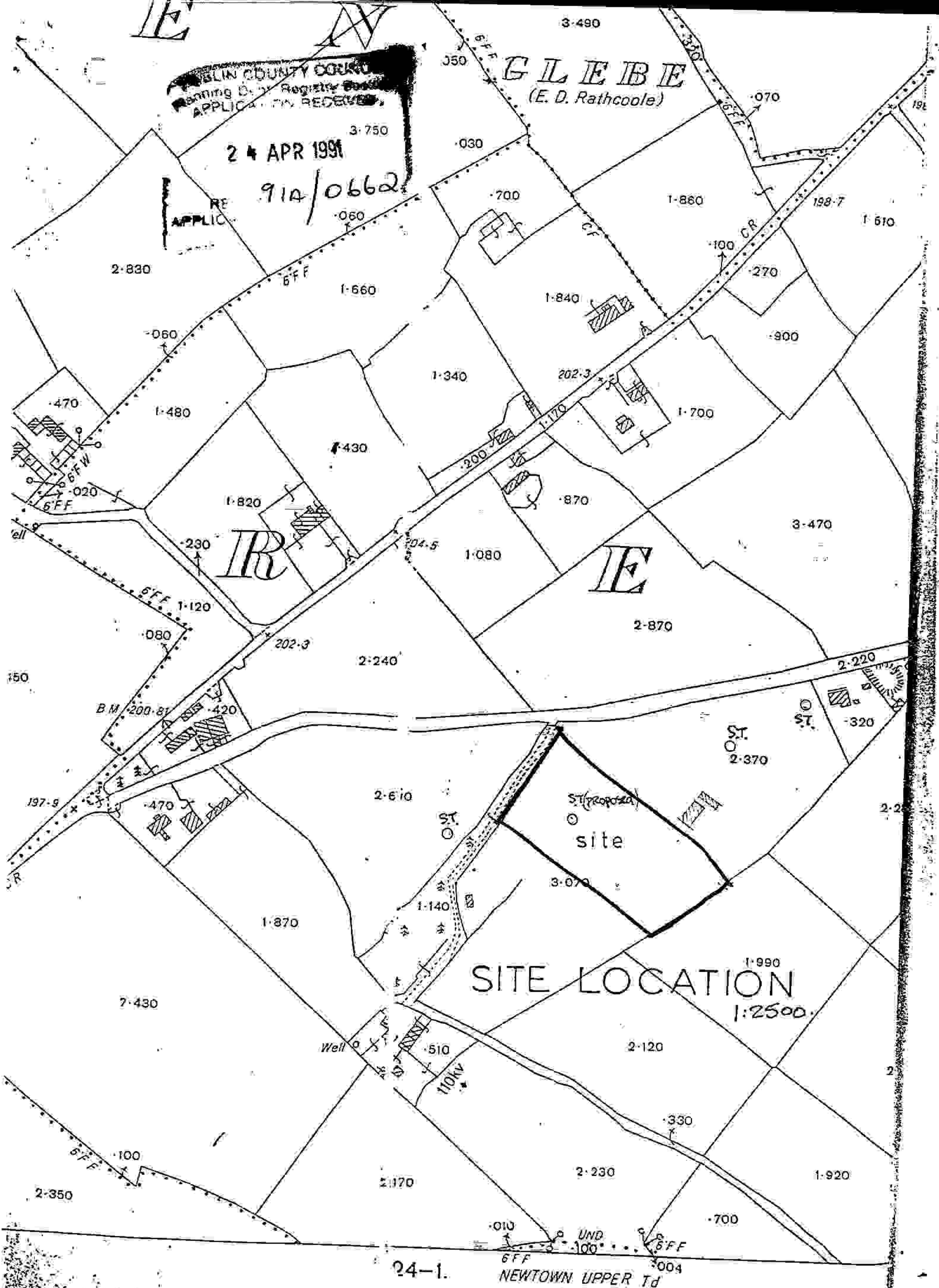
I would like you to consider the building of a house for me on my parents' land. I was born and raised up on these lands where I still live with my parents. I intend to get married in the near future. I am an only child and my parents and circles are very advanced in age and it would be important that I live close at hand. We have discussed the matter with my immediate neighbours and none of them have any problem with the plans lodged.

Yours Sincerely

Bernadette Mansfield

DUBLIN COUNTY COUNCIL
Planning Dept. Register
APPLICATION RECEIVED
24 APR 1991
91A/0662

GLEBE
(E. D. Rathcoole)



DRAWINGS
SPECIFICATION
MATERIALS

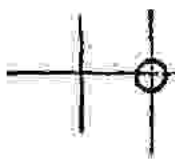
JOB HOUSE
LOCATION REDGAP RATHCOOLE
CLIENT B. Mansfield

PH 088 577160

Charles Hulgraine MIAS Architect
ST. MOCHTAS 6 ORCHARD AVE. CLONSILLA DUBLIN 15

TELEPHONE 202552

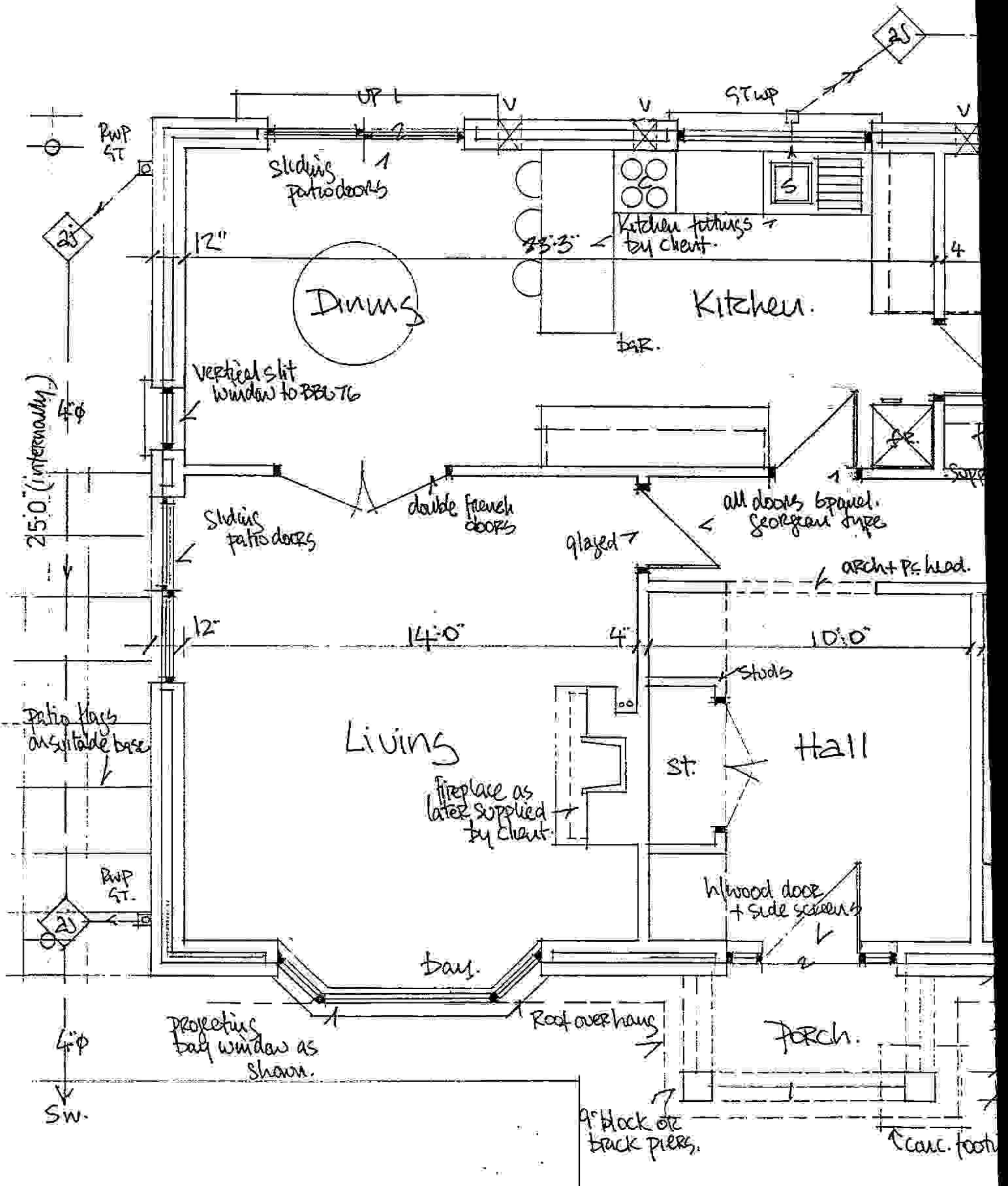
april 91



4" conc. paths
 and h/core →
 Steps as necessary.



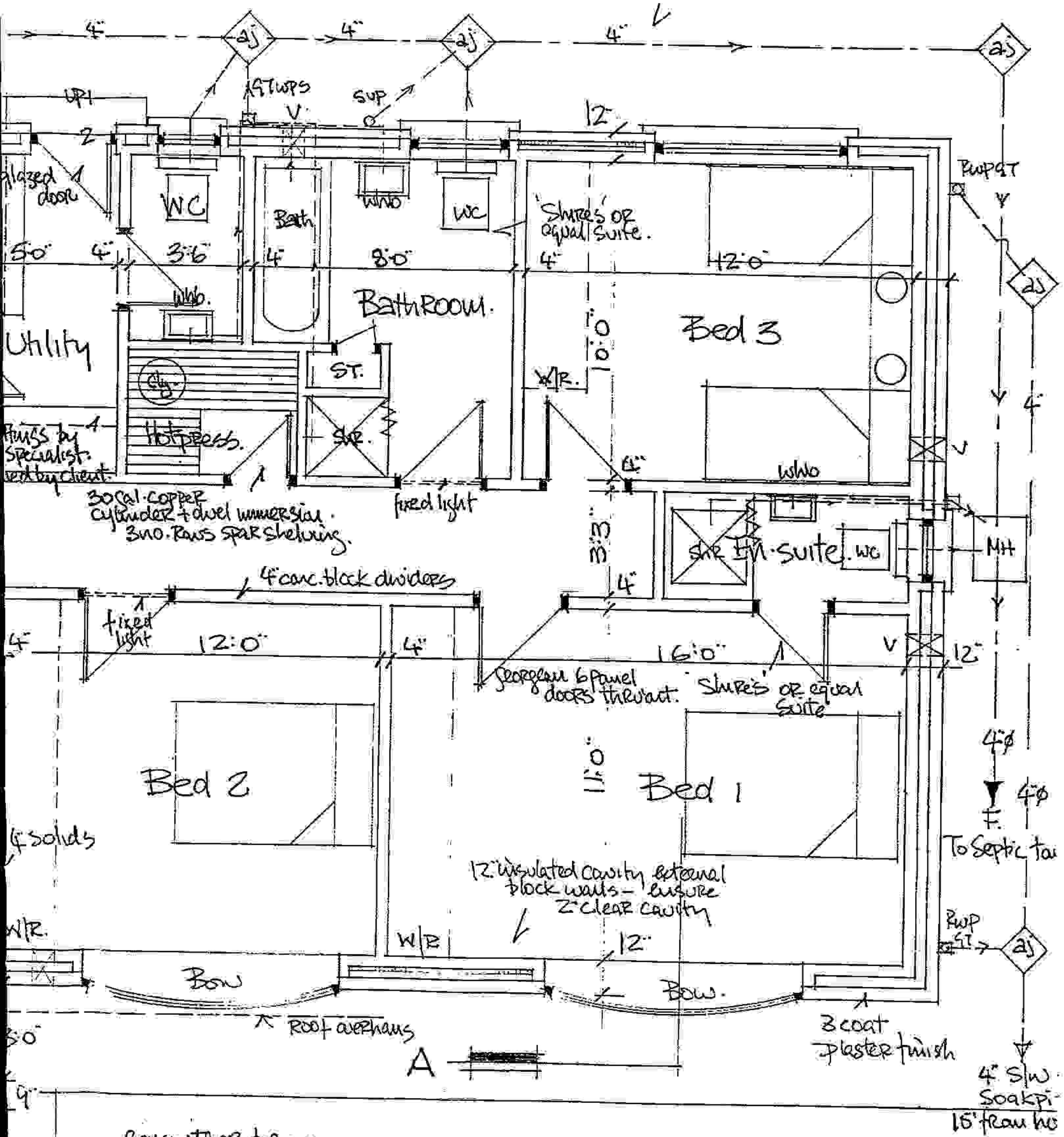
Raise earth not more
 than 45"



53'-0" (internally)

section

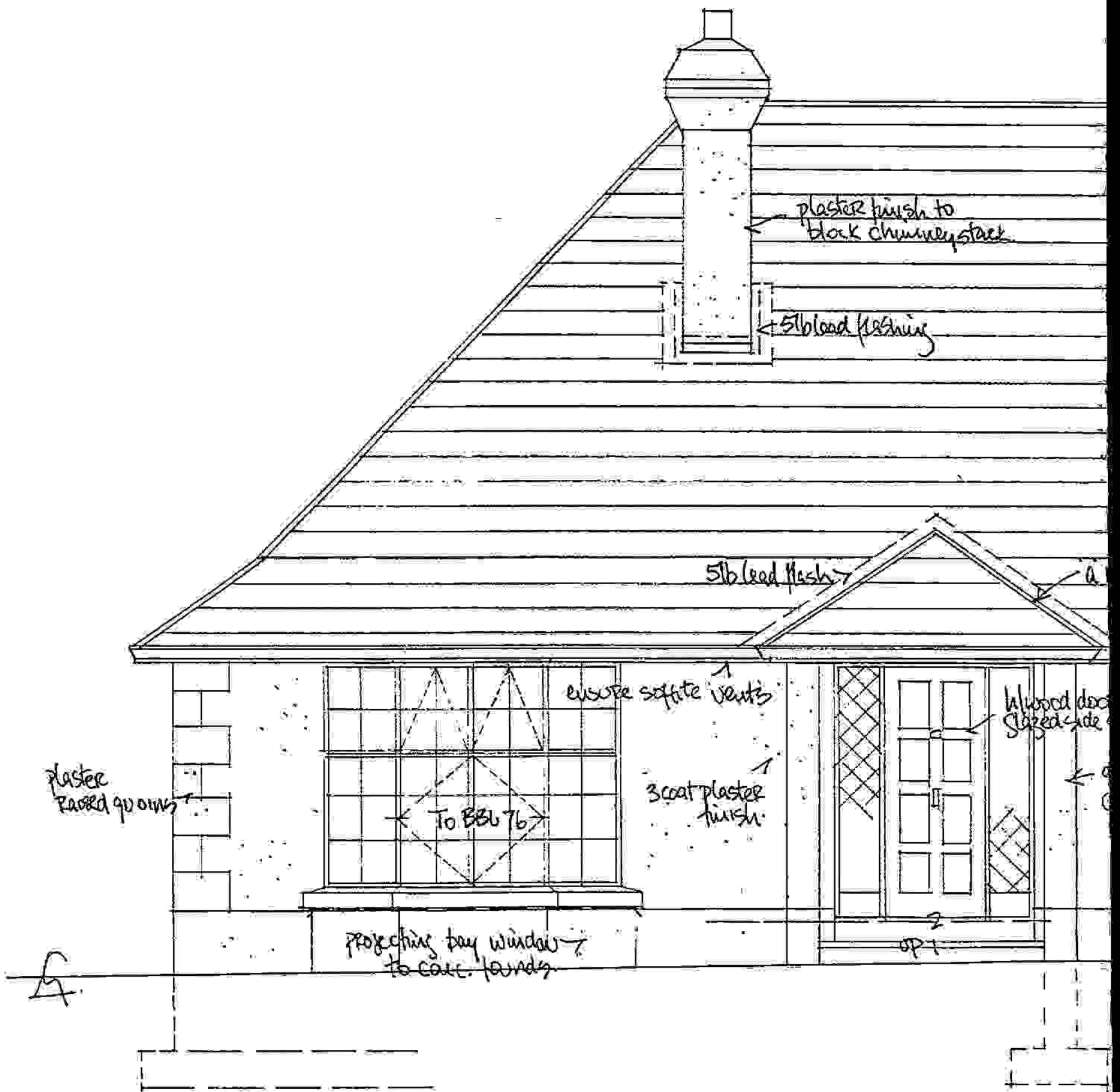
4" Ø PVC drains @ 1/40
hatched in conc.

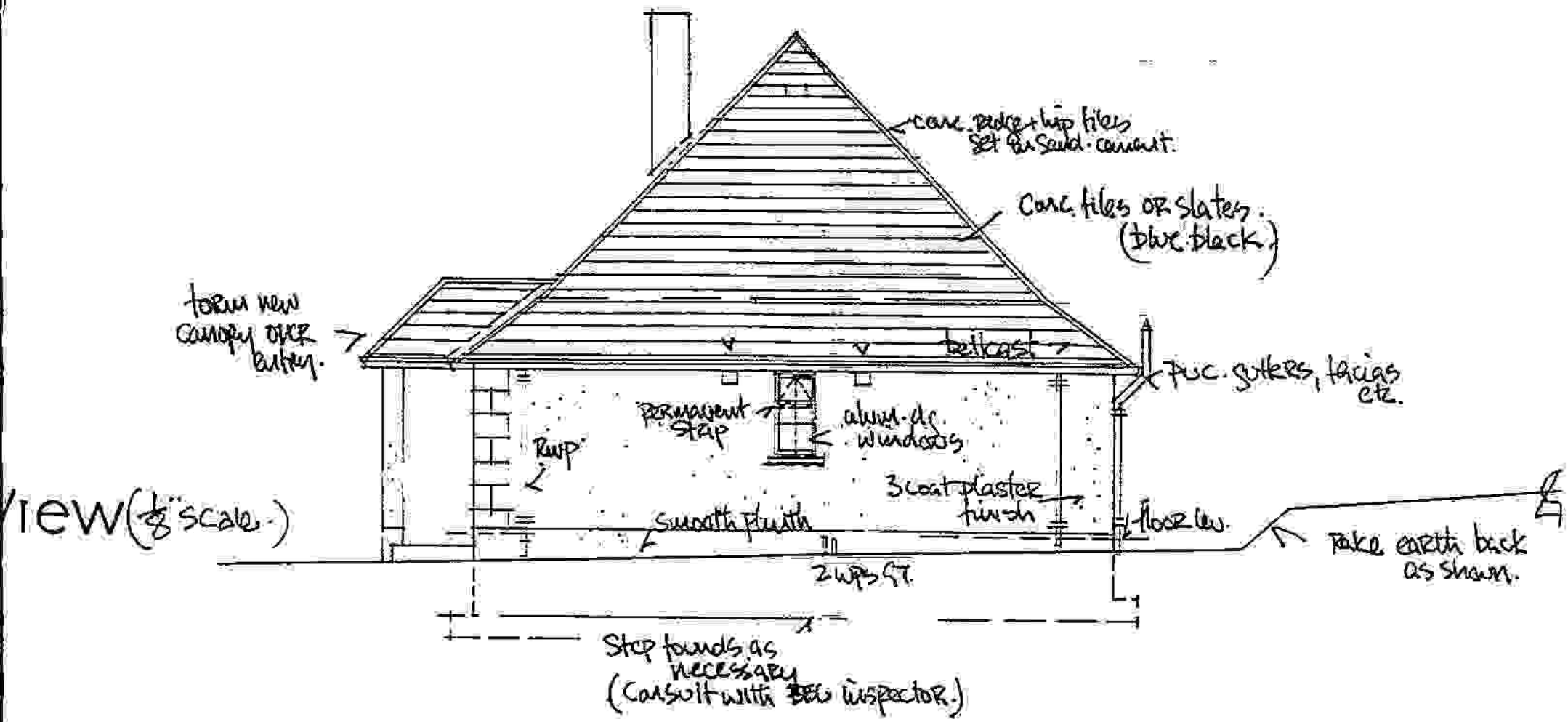


concrete or tubular
drill

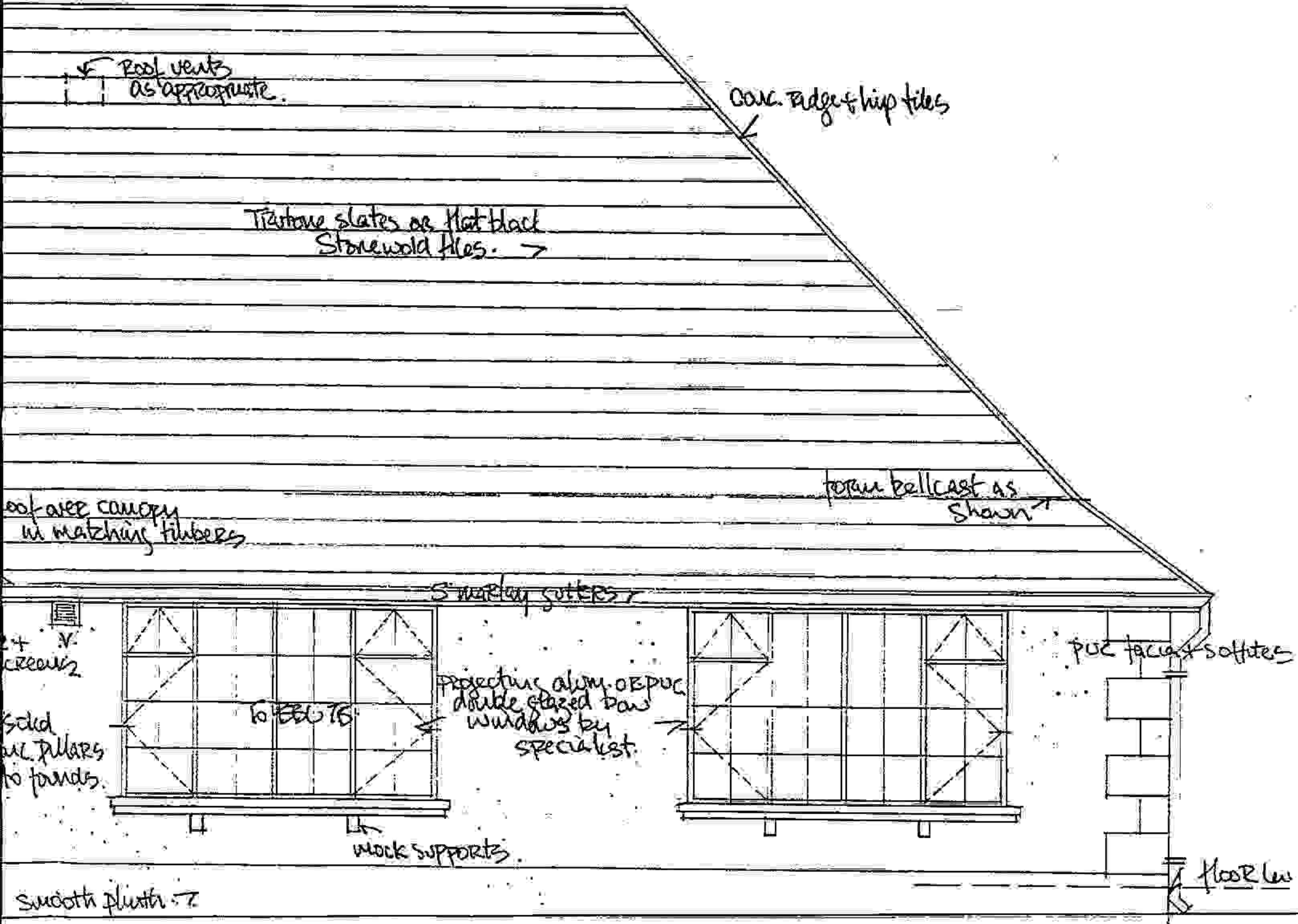
FLOOR LAYOUT PLAN (1/4" scale)
Rev. 4/91

End V





View (1/8" scale)



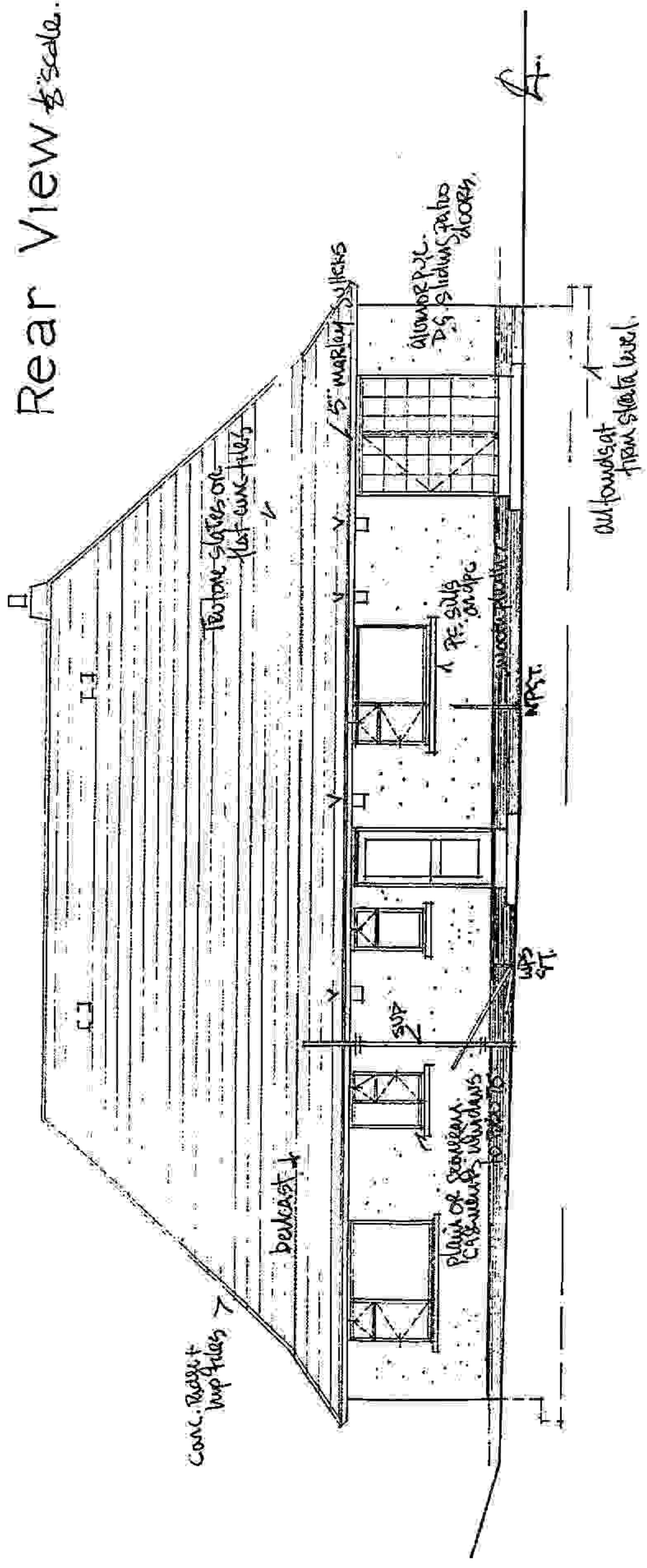
FRONT VIEW (1/4" scale)

all founds at frame sheet level (stepped as necessary)

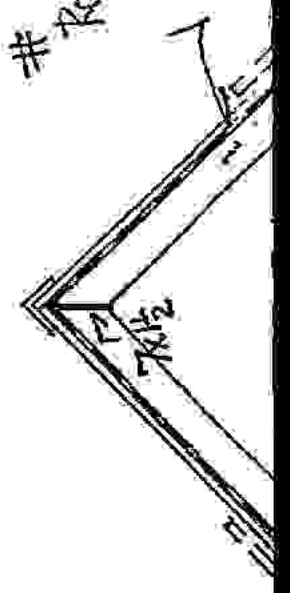
Discuss clients requirements regarding:

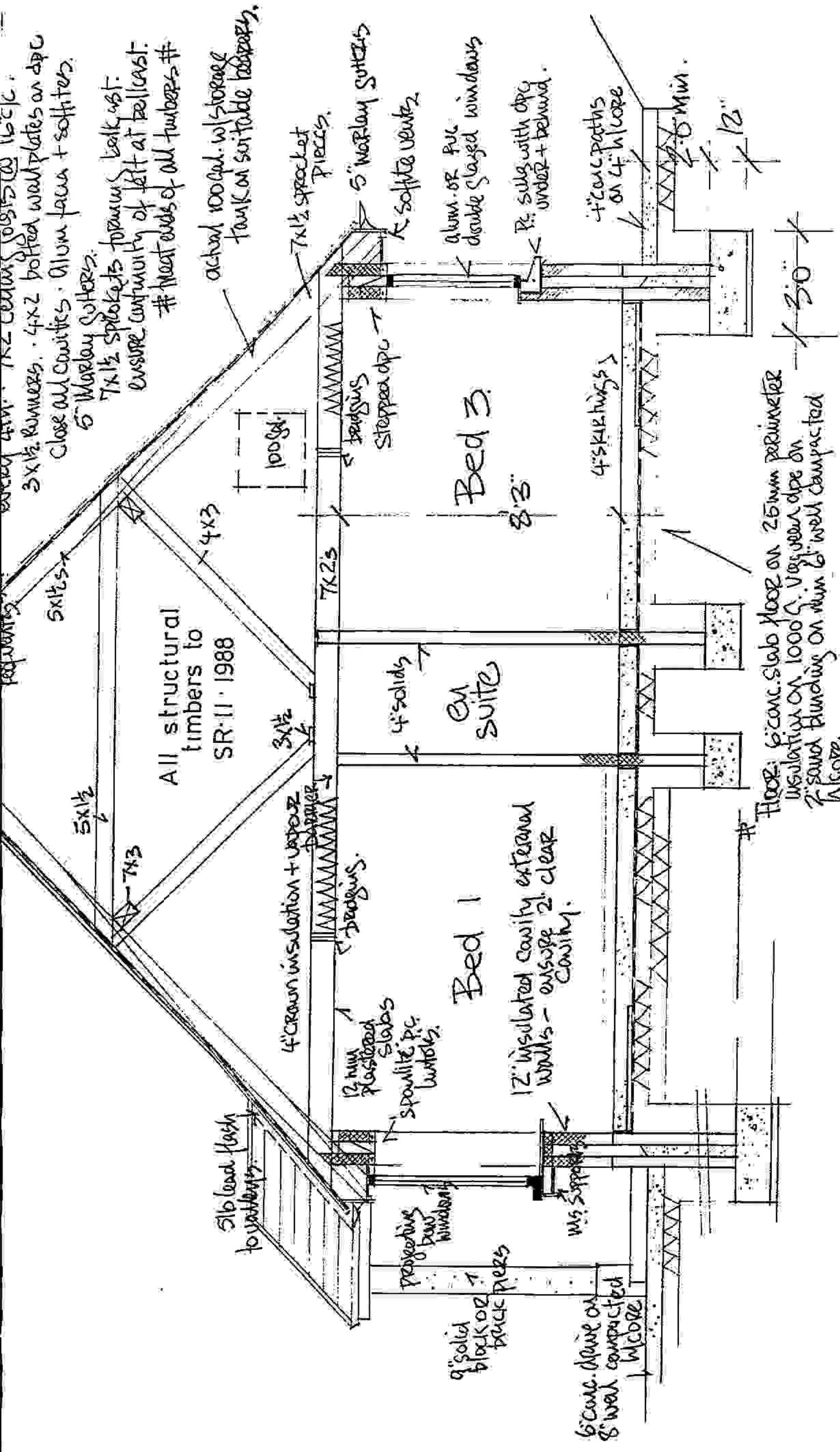
- 1) Electrical installation.
- 2) Central heating & boiler.
- 3) Windows & door types.
- 4) Floor & wall tiling.
- 5) Extent of ceiling cornices & skirting.
- 6) Eaves & rainwater goods.
- 7) Extent of porches & patios.
- 8) Kitchen fittings.
- 9) Bathroom suites.
- 10) Extent of site works.

Rear View $\frac{1}{8}$ " scale.



Roof: Treasure slates on stone-wold flat conc. tiles on 2x12 timber treated battens on 1 layer blizzard felt on 5x12's @ 16' o.c. 7x1 1/2 ridge. 7x3 potwms. 4x3 struts + 5x12 collars





3x1/2 Runners. 4x2 bolted wall plates on dpc.
 Close all cavities. Alum. fascia + soffits.
 5" Warbay Soffits.
 7x1/2 Sprocket trusses bolted to st.
 Ensure continuity of left at bellcast.
 # meet ends of all timbers #

actual 100 gal. w/ storage
 tank on suitable base.

All structural
 timbers to
 SR 11 1988

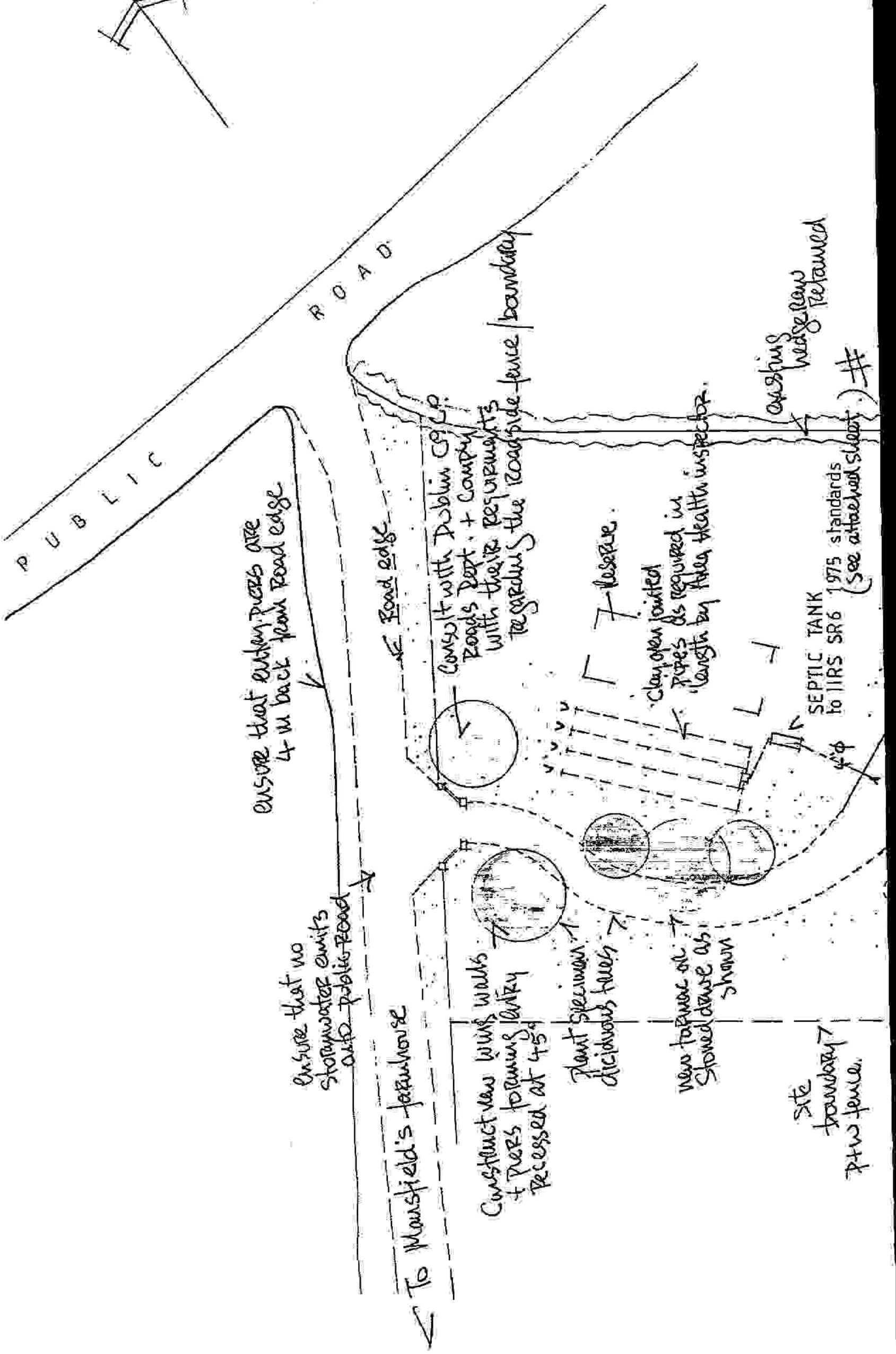
Bed 3

en suite

Bed 1

Floor: 6" conc. slab floor on 25mm perimeter
 insulation on 1000 C. Vapour dpc on
 sand blinding on min 6" well compacted
 W core.

SECTION 'A'



Ensure that entry pipes are 4m back from Road edge

Ensure that no stormwater emits onto public Road

To Mansfield's farmhouse

Construct new bins walls + pipes forming entry recessed at 45°

Plant specimen

new farmore oil storage base as shown

Site boundary p+w fence.

Consult with Dublin CIP Roads Dept. + Comply with their requirements regarding the roadside fence boundary

Clay open jointed pipes as required in length by Area Health Inspector.

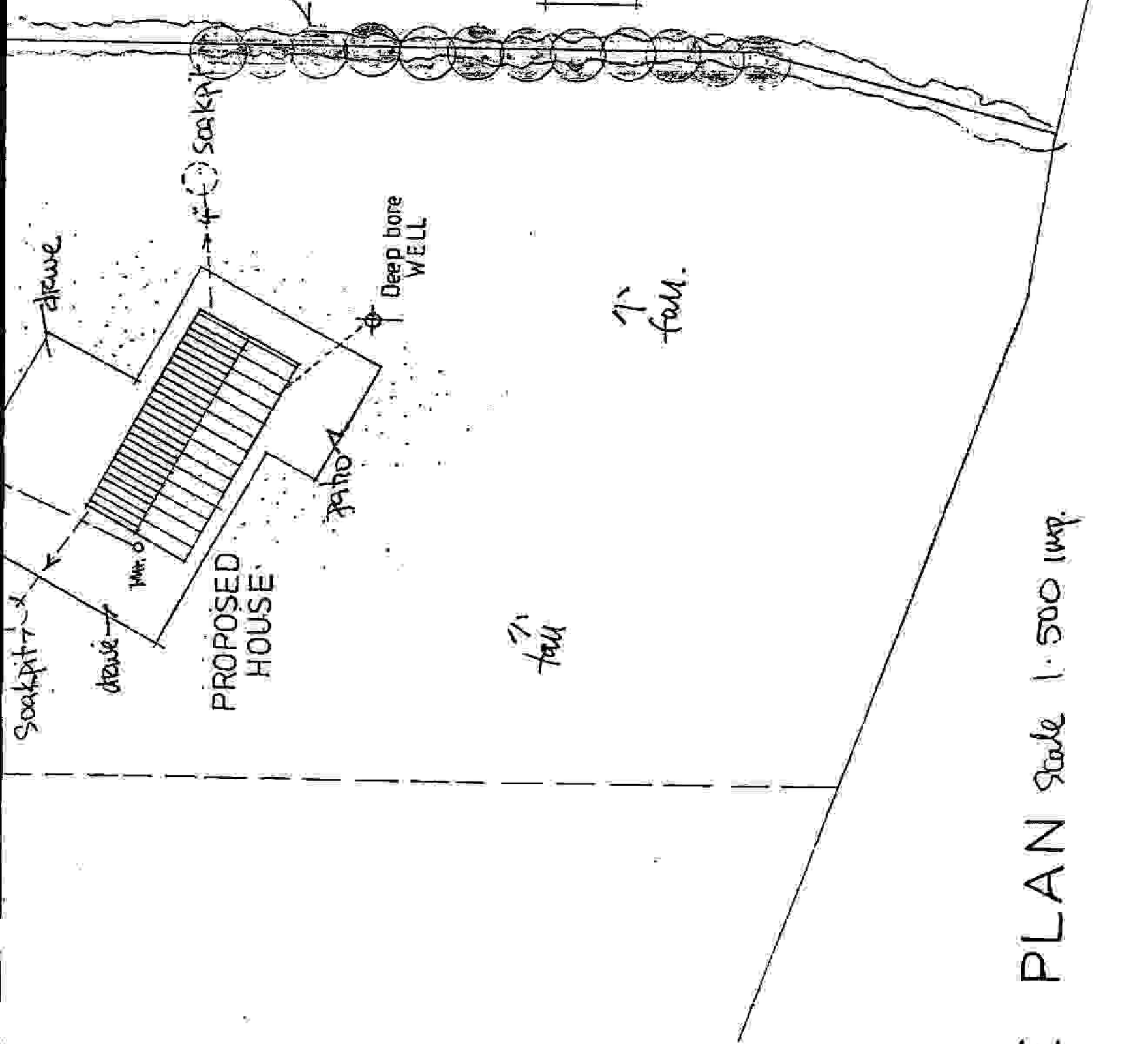
SEPTIC TANK TO IIRS SR6 1975 standards (See attached sheet)

existing hedge row retained

Note: see Location Map
scale 1:2500 —
for location of adjoining
septic tanks. #

Plant row of
conifers forming
screen to adjoining house

Adjoining House



SITE PLAN Scale 1:500 imp.

THIS SPECIFICATION shall be read strictly in conjunction with the detailed drawings and all addenda to each section shall be read as part of the Specification.

CONTRACT. The latest edition of the Building Agreement as issued by the Incorporated Law Society or the R.I.A.I shall be used.

ALTHOUGH we take extreme care in the preparation of our Drawings and Specifications IT SHOULD BE NOTED that where we provide a design service only, the successful implementation of our plans and specifications depend entirely on the particular site conditions pertaining, the materials used, the skill of the persons erecting the structures and the supervision by qualified personnel of that construction. These matters are outside our control. THEREFORE, we cannot accept any responsibility or liability for any defect or loss arising from the use of our plans and specifications and such documents are supplied strictly on that basis.

CONTRACTOR. The Contractor shall visit the site and ensure that he is familiar with all features that affect the proposal. All drawings, maps and other documents that affect the works, including the necessary Planning Approvals shall be examined by the Contractor and provision shall be made for all works shown or which can reasonably be inferred therefrom and for all incidental works which are necessary for the completion of the project.

DIMENSIONS & LEVELS. The Contractor shall be held responsible for the true and accurate setting out of all parts of the works. All dimensions shall be checked and the Architects will accept no responsibility whatsoever for errors in dimensions, whether same occur on the drawings or not.

CLEANING OF WORKS. The premises shall be left in a clean and tidy condition on completion and the site shall be left tidy. All Builder's material and plant shall be removed from the site.

QUALITY OF WORK. The highest standard of workmanship shall be insisted on throughout the contract. All materials shall be of first quality and of Irish manufacture where available. In all cases materials shall conform to the latest accepted Standards.

SECTION 1. EXCAVATIONS AND SUBSTRUCTURES.

1-1. THE SITE shall be adequately drained and have no features likely to render the structure unstable or un-inhabitable.

1-2. CLEAR and grade the area for the new buildings and remove and divert any existing drains. Clear of all vegetable soil to a min. depth of 150mm. Where the bearing quality of the ground is suspect, the foundations shall be strictly in accordance with the recommendations of a fully qualified structural Engineer, the Employer being responsible for the engagement of the Engineer.

1-3. TRENCHES shall be excavated to the depths and the widths required to accommodate the footings necessary to ensure stability of the structure and in no case lesser in dimension

than stated on the drawings. Trench bottoms and foundations shall be levelled off in horizontal benches, the bottoms not less than 450mm below finished ground level. All trenches to be kept clear of water before concreting. Extreme care must be taken where excavations are un-avoidable close to or under the foundations.

1-4. FOUNDATIONS are to be of concrete mix A to widths and depths agreed. Reinforce as required to suit ground conditions with approved overlaps.

1-5. FINISHED FLOOR LEVEL over finished ground level 350mm in the case of joisted floors and 175mm in the case of concrete floors, minimum dimension.

1-6. RISING WALLS as indicated on the drawings. Cement shall be normal Portland, to I.S.1, and hydrated lime to I.S.8, stored under dry conditions. All water used shall be clean and free from all harmful impurities.

1-7. SAND AND AGGREGATES; fine aggregate shall be clean sharp pit or river sand, free from impurities to I.S.5; and coarse aggregate shall be suitably graded hard clean pit gravel or crushed stone to I.S.5.

1-8. CONCRETE MIXES.

MIX.A. 40mm Agg.1 cement,3 fine Agg.6 course Agg graded,28 day st.per sq.mm.14.

MIX.B. 20mm Agg.1 cement,2 fine Agg.4 course Agg graded,28 day st.per sq.mm.21.

MIX.C. 14mm Agg.1 cement,3 fine Agg.6 course Agg graded,28 day st.per sq.mm.-

Water-Cement ratio shall be kept to a minimum needed to ensure workability and shall not exceed 35litres per 50Kg of cement.

1-9. MORTARS. Cement mortar shall be 1part cement to 3parts sand; Lime mortar shall be 1part hydrated lime to 6 parts sand; gauged mortar shall be 10parts lime mixed with 1part cement just before use and strong gauged mortar shall be 5parts lime mortar mixed with 1part cement immediately before use. All plasticisers,waterproofers,and bonding agents shall be used strictly in accordance with the instructions of the Manufacturer.

SECTION 2. BLOCKLAYING AND CONCRETING.

2-1. THERMAL INSULATION. All walls, floors and roofs shall be insulated strictly in accordance with the latest D.O.E. recommendation. See drawings also.

2-2. BLOCKWORK. Concrete blocks to I.S.20, Bricks,if clay to I.S.91.All blockwork and brickwork properly coursed, bonded; and bedded in gauged mortar. All walls to be carried up regularly not leaving any part 1M lower than another.

2-3. FORM WALLS of two solid 100mm leaves of block or brick, with 100mm clear cavity between. Cavity to take approved wall insulation. Outer and inner leaves to be tied together with approved ties, not less than 4 per sq.M.with extra at all opes. Cavities to be kept clean. Head of cavities to be closed in the solid. All window and door opes in cavities to be sealed and arranged so as to prevent passage of moisture. Cavities to extend 150mm below DPC level and be drained to outside at base. 225mm hollow concrete blocks shall not be used. Where any duct etc., is to penetrate an external wall, it shall be so arranged as to

prevent the passage of moisture inwards.

2-4. PARTY WALLS shall be 225mm solid blockwork density not less than 1,500Kg/M², plastered both sides and carried to plane of roof, properly finished to seal.

2-5. SOLID PARTITION walls shall be as described on the drawings.

2-6. D.P.C. shall be in accordance with B.S.743 for polythene or I.S.57 for bitumen sheeting on hessian or canvas base. Lay to prevent passage of moisture and lap adequately at joints. In all ground floor walls and breasts to full widths and stepped as necessary; in cavity walls, in both leaves separately; not less than 150mm over finished ground level or paved area; or highest ground within 1.5M of buildings. At sides of cavity walls, at open and over all open 250mm longer than same, stepped down and outwards. Under and turned fully up at back of all sills and external room vent grids. In all chimney stacks immediately above the level of the flashing and under all cappings and copings. Under lowest ground floor timbers and not lower than wall D.P.C. Where the D.P.M. in a concrete floor is not level with the wall D.P.C., ensure continuity of dampproofing by stepping, turning up and lapping as necessary.

2-7. LINTELS AND SILLS. Where precast lintels are used, they shall be of approved manufacture and have 225mm bearing at each side of opening. In-situ concrete lintels shall be to Structural Engineer's detail only. Accepted patent lintels may be used to B.S.1239, laid in accordance with the manufacturer's instructions. Window sills to I.S. 89, 65mm thick on front face, 120mm thick at back, and 225mm wider than opening. Sills must be properly seated, reinforced, rebated, weathered and throated. Set in gauged mortar on D.P.C.

2-8. CHIMNEY BREASTS AND STACKS. Chimney stacks shall be built of, solid concrete or decorative blocks, bricks or stone of course width 100mm minimum, bedded in gauged mortar with approved patent and splayed flue gatherer over opening. Each fireplace recess shall have 225mm solid and incombustible material to sides and back excluding any fireback, carried up to full height of recess. Each fireplace shall have an independent flue, separated by not less than 100mm of incombustible solid material, from any other flue. Each flue shall be lined with approved socketed linings to I.S. 51. Socketed bends shall be used to form bends in flue. Back linings with lean mortar and fit approved terminal pot to project 150mm above capping. Stacks over roof to be of 100mm solid concrete block, bedded in gauged mortar and plastered; or where special precautions are taken, of approved materials as set out on the drawings. Special attention shall be given to D.P.C. Cappings shall be of reinforced concrete weathered and throated; flanchued up around pots. Top of stack, excluding chimney pots shall be 600mm over ridge line. The Contractor shall take responsibility for all flues drawing properly.

2-9. FIREPLACES, COOKERS AND HEATING UNITS. Fireplaces shall have a fireclay back and incombustible surround. Enclosed cookers and heating units shall be fitted in accordance with the manufacturer's instructions, with incombustible flue ventilated as required and shall stand on a concrete hearth, projecting at

least 150mm from face of appliance, all around.

2-10. HEARTHES. Ground floor hearths 125mm finished fine on required hardcore. All hearths to be 150mm wider than opening on each side and project 500mm from face of breast.

2-11. CONCRETE FLOORS as described on the drawings, with 50mm fine screed on 125mm concrete. 50mm Aeroboard insulation on DPM on sand blinding on required hardcore.

2-12. SUBFLOORS to joisted timber floors shall be 100mm concrete mix A and finished to a level not lower than the highest adjoining ground.

2-13. DWARF WALLS of 100mm thick concrete block or brick, honeycombed for ventilation shall be built on subfloors at maximum 2M centres.

2-14. SUSPENDED CONCRETE FLOORS shall be to the detailed instruction of the manufacturer in the case of precast units.

SECTION 3. CARPENTRY AND JOINERY.

3-1. ALL TIMBER shall be sound and free from disease, any infestation, large loose knots or waney edges, and having a moisture content within the limits set out in I.S. 96. Timber sizes are set out on the drawings.

3-2. PRESERVATIVE. Soft wood used externally to be pressure impregnated with coloured preservative. Soft wood in contact with concrete shall be treated with coloured preservative. Frames, bargeboards and fascia, shall be primed before fixing.

3-3. ROOF TIMBERS, shall be as set out on the drawings.

3-4. ROOF TRUSSES, shall be in strict accordance with I.S. 193P, adequately braced diagonally and horizontally and at centres not greater than 600mm.

3-5. FLOOR JOISTS, trimming joists, trimmers, tassels etc., shall be as set out on the drawings.

3-6. VENTILATION shall be provided under all timber ground floors. 225x150mm louvered ventilators shall be fitted in walls. Form sealed ducts in cavities in external walls. Leave openings in tassel walls and rising walls. Provide piped ducts in intervening concrete floors. Space from surface of subfloor to underside of bottom of ground floor joists to be not less than 125mm.

3-7. FLOORING. All subfloors to be cleaned off prior to flooring. Use 22mm t&g flooring well cramped, twice nailed with 60mm cut brads, in narrow widths. Where chipboard is used same shall be 18mm flooring grade with density of 700KgM³ on joists at 400mm crs, with 44x44mm noggins to support cross joints. All long joints shall be made across a joist centre. Leave 3mm expansion gap between adjacent sheets and 20mm gap between edges of sheets and adjoining walls. Treat same edges with approved fungicide. Fix sheets at 300mm crs and not nearer than 12mm to edge of sheet. Seal exposed chipboard floor surfaces with approved resinous sealer. Where soffit of suspended floor is exposed externally, insulate and sheet with suitable material. All floors are more fully described on the drawings.

3-8. STUD PARTITIONS: provide all stud partitions as fully described on the drawings.

3-9. STAIRS: as described on the drawings provide for 2M headroom measured vertically from the pitch line and 1.5M clearance measured at right angles to the pitch line width,

860mm; going 220mm min. and rise 200mm max. Stairs shall have 32mm treads, round nosed; 22mm risers all glued, blocked, bracketed, checked and wedged into 44mm strings. Newel posts, balusters and handrails as described on the drawings. Open treads not less than 44mm hardwood. Every flight shall be adequately protected on each side and have at least one handrail secured at a height not less than 84mm and not more than 1M measured vertically from the pitch line. Closed string stairs shall be to I.S.158. Provide proper lighting to stairs from window or borrowed lighting from rooms.

3-10 WINDOWS: Provide all windows as described on the drawings. Wood casement windows to I.S.63. Galvanised steel casement windows to I.S.6 Aluminium or PVC windows may be used in accordance with manufacturer's instructions. GLAZED AREA NOT LEES THAN 10% floor area of room OPENING AREA NOT LESS THAN 5% of floor area of room, Window boards shall in all cases match with timber used in the windows, moulded on edges and corners and secure to approved grounds.

3-11. EXTERNAL DOOR FRAMES, shall be machine prepared, 75x115mm selected timber, rebated in the solid, secured to grounds and dowelled at foot to heel blocks. Feet of external door frames shall not rest on or be set into concrete step.

3-12 INTERNAL DOOR FRAMES, to be 35mm thick selected timber with 16mm stops or 44mm thick rebated in the solid and secured to grounds.

3-13. DOORS, external door as described on the drawings, to I.S. 48 or 52, hung on 3 brass butt hinges, 100mm. Internal room doors to I.S.48 or 52 on 1 pair 100mm steel butt hinges, Sliding doors not less tha 44mm thick and hung on approved track. Trap door as indicated on the plan 500mm square and of half hour fire rating, to give access to roof space. Hot press as described on the plan with 25 x 50mm slatted shelving at 75mm crs. Support with 75 x 44mm battens. Space slatted shelving every 400mm. Insulate inner face of Hot Press Doors.

3-14. FITTINGS AND TRIMMINGS, include for all built in fittings as set out on the drawings. Skirtings shall be of 16x 100mm of selected timber well fixed to grounds or of other approved materials mentioned on the drawings. Architraves of 16 x 75mm selected timber, mitred at angles and firmly fixed to grounds. Saddles shall be of hardwood 22 x 150mm, splayed, scribed to door frames and secured properly to floor. Proprietary thresholds may be used for external doors.

SECTION 4. IRONMONGERS AND GENERAL:

4-1. GUTTERS AND RAINWATER PIPES, all to relevant I.S. Provide for all gutters and downpipes as described on the drawings in PVC or other approved material, PVC gutters to be supported by patent brackets at centres not more than 1M. Gutters to be set to falls. Provide downpipes secured by holder brackets and kept clear of wall. Fit all necessary matching stop ends, angles and drop nozzles, swannecks, hoppers and toes. Downpipes to discharge 50mm above gully grid.

4-2. SASH FITTINGS, All opening sashes shall be fitted with

strong metal fasteners. Centre pivot, side, top, or bottom hung sashes shall have proper stay gear. Where up and down sashes are described on the drawings, they shall be hung on brass bushed and faced steel sash pulleys. Provide suitable sash cords and weights or approved patent hanging gear.

4-3. DOOR FITTINGS. Internal doors shall be hung as set out in clause 3-13. Provide selected mortice type lock with lever or knob and all relevant furniture. Bathroom and Toilet doors shall incorporate a proper locking device. Front and rear entrance doors shall be fitted with a selected cylinder night latch, front entrance door shall be provided with a selected letter plate and external pull handle in brass design to be selected.

4-4. VENTILATOR GRIDS, external open to ventilators shall be fitted with galvanised cast iron, aluminium or PVC louvered grids.

SECTION 5. ROOFING:

5-1. FELT, untearable felt to I.S.36 shall be laid under all slates and tiles and lapped horizontally not less than 75mm for pitches greater than 25 deg. and 150mm for lesser pitches, carried down into eaves gutters. Side lap shall be not less than 150mm for pitches over 25 deg and 500mm for lesser pitches. Felt shall be carried fully over ridge board.

5-2. LATHS, laths shall be 44mm for rafter spacings not greater than 400mm. Spacings up to 600mm shall have laths of 44 x 44mm. Provide for tilting fillets at eaves where necessary, and allow for bellcast etc., if described on the drawings.

5-3. ASBESTOS CEMENT SLATES, shall be to I.S.7 or other approved standards and laid to the manufacturer's recommended pitch only. Each slate shall be fixed with 2 no 10 gauge 35mm galvanised nails and copper crampion at bottom and/or as directed by the manufacturer. Provide double course at ridge and treble course at eaves.

5-4. CONCRETE TILES. normal pitch (30 deg.) tiles shall be to I.S. 3, every tile in every alternative course to be fixed with 1,50mm 10 gauge galvanised nail. Lap 75mm clear of nail hole. Pantiles shall be closed at eaves with a course of slate under and coloured cement/sand pointing. Patent eaves closers and filler clips may be used. Low pitch concrete tiles may be used strictly in accordance with manufacturer's instructions and to the minimum pitch accepted by the D.O.E.

5-5. GENERAL. Slates and tiles shall be neatly trimmed where required. Part tiles and slates shall be properly secured. Provide drip overhang at eave and valley gutters. At verge, slates or tiles shall oversail wall or barge by at least 25mm in the case of slates, and 50mm in the case of tiles. Neatly point in coloured sand/cement mortar. Ridge and hip tiles shall be bedded in gauged mortar and pointed with cement mortar, suitably coloured. Bedding and pointing must be carried out in one operation. Provide suitable hip hooks secured to ends of rafters. Industrial atmospheres may require special nails. Over

party walls, the space between the laths shall be filled with mortar to complete the fire-stop.

5-6. FLASHINGS. Valley gutters, cover flashings to chimneys shall be No.5. lead to B.S.1178 or 22/24 gauge medium hard copper. If the Contractor intends to use Aluminium or other proprietary systems, the matter shall be discussed and approved by the Architect prior to works being carried out. Chimney flashings shall consist of aprons, soakers and cover flashings. The latter shall be secured in a chase in concrete block chimneys, wedged and pointed in with cement fillet formed over. To brick chimneys, cover flashings shall be stepped, wedged and pointed into brick joints. Saddle pieces shall be provided at all ridge and roof intersections. Valley gutters shall be laid on felt on 20 x 225mm wrot boarding treated with an approved preservative, and turned up at edges under roof felt tiles or slates.

5-7. FELTED FLAT ROOFS. as described fully on the drawings. Plywood, chipboard or woodwool decking must be kept dry at all times and must be felted immediately after fixing. First layer of felt, 1 ply close random nailed all over with galvanised clout nails. 2nd layer 2 ply stuck down all over with special mastic solution or hot bitumen. Final layer as for second. Each layer in reverse directions final layer parallel to eave carried over batten 22 x 44mm on fascia at eaves and carried down into gutter. Felt at verges shall be properly finished with welted apron dressed back over chamfered verge fillet. Final layer to be mineral surfaced and covered with stone pebbles. Pitched felted roofs where shown shall be as set out on the drawings, pitch not exceeding 20 deg. Insulate as required.

SECTION 6. PLASTERING.

6-1. EXTERNAL PLASTERING. 225mm solid block and chimney stacks:-

Scud walls with 3:1 sharp sand and cement. Apply 2 coats of plaster 1 cement 1 lime, 6 sand. Total thickness of plaster shall be 20mm minimum. Finishing coat shall be napped, combed for rough cast or dash or prepared for patent finish. (see drawings) 300mm cavity walling may be scud and one coat 1:1:6 plaster 13mm thick and finished as above.

6-2. ROUGHCAST, shall consist of 5-6 parts washed sand and pebbles, 1 part lime, 1 part cement.

6-3. REVEALS, plaster reveals to opes shall be 20mm thick and finished smooth with scored drip groove to soffit of head. All arrises shall be neatly finished.

6-4. PLINTHS, plaser plinths to be finished smooth neatly cut off or weathered at top edge.

PLASTER FINISH TO EXTEND BELOW FINISHED GROUND LEVEL.

6-5. INTERNAL PLASTERING. Scud walls and plaster one coat 12mm thick 1 cement, 1 lime, 6 sand. Finish with gypsum plaster skim. All reveals etc., shall be finished square in best workmanlike manner.

6-6. STUD PARTITIONS AND CEILINGS, shall be covered with 12.5mm plaster boards or slabs with skimmed plaster finish. 12mm plaster sheets patent type may be used, all erected, jointed and finished strictly in accordance with the manufacturer's instructions. All wall plastering to be carried behind all skirtings and architraves. All internal wall and ceiling finishes shall comply with the relevant local fire requirements and D.O.E. requirements.

6-7. GENERAL, proper precautions shall be taken to protect floors and surrounding work during plastering. Make good neatly to holes for pipework etc. Plasticisers, waterproofers, sealers and bonding agents shall be used strictly in accordance with manufacturer's instructions.

SECTION 7 PLUMBER:

7-1. SERVICE PIPE, incoming service pipe shall be 15mm diameter laid in trench 600mm deep suitably protected against frost and connected to internal stopcock.

7-2. COLD WATER SUPPLY, from stopcock take 15mm cold supply direct to sink with branch to high pressure ball valve in service tank, min. capacity 225 litres for 3 bedroom house or 360 litres for 4 or more bedroomed house and/or as required by the Local Authority. Tank shall be covered and properly supported over a partition if possible and at such height to ensure proper working. Provide a 22mm overflow to discharge externally. Connect to service tank 50mm over bottom of tank and take 22mm feed to 150 litre hot water cylinder to I.S.161 with 22mm branch over top of cylinder to bath and 15mm connections off wash hand basin and WC.

7-3. HOT WATER SUPPLY. An adequate hot water heating apparatus must be provided and fitted in accordance with the manufacturer's details. Flow and return pipes, where appropriate, shall be as recommended by the manufacturer of the heating apparatus. A 22mm copper expansion pipe to be taken from the top of cylinder to discharge over service tank with a 22mm copper branch to bath and 15mm connections off for hand basin, sink etc.,

7-4. Provide for any central heating system described on the drawing or agreed with the Employer. All works shall be left complete and in working order. All materials required including storage tanks, valves, thermostats, pipework, etc., shall be supplied. Type of radiators etc., shall be agreed prior to work being commenced. All underfloor pipework shall be insulated with Armaflex material. Provide for all expansion tanks etc., to leave the heating system in accordance with all D.O.E. regulations and proper practice.

7-5. GENERAL; fit full-way stopcock on cold feeds from service tank and fit draw off cock at lowest convenient point of system. On no account should a stop cock be fitted on an expansion pipe.

7-6. COPPER PIPING, shall be not less than 13 guage hard drawn.

7-7. PLASTIC PIPES, to I.S.123,134 or 135 where used shall be fixed min. 75mm clear of hot pipe runs. Pipes shall be fixed in straight lines where possible properly jointed with patent fittings and properly supported by patent clips.

Storage tanks and pipes shall be insulated properly against frost where necessary. Do not insulate under storage tank in roof space, insulate sides and top only. All other domestic water heating systems shall be competently designed by a heating Engineer, if used, and shall be properly insulated.

7-8. FITTINGS, all fittings described on the plan, bath, sinks, basins, showers, WC's, bidets etc., shall be supplied in selected colours. Include for the provision of all attachments, plugs, chains, traps, seats, covers etc., Where a shower is described, the fitting shall thermostatically controlled.

7-9. PIPES, shall not be jointed within the thickness of a wall.

SECTION 8. DRAINAGE:

8-1. TRENCHES, shall be excavated to the required depths, widths and falls to allow the drains to be properly laid. The water service shall be laid in a separate trench.

8-2. DRAINS, main and branch drains to be 100mm diameter or as described on the drawings. Falls, min. 1:60; max 1:30, with bends and junctions splayed in the direction of flow. Lay drains in straight lines between manholes. The drain shall be of PVC and conform to all local Authority and Government standards.

8-3. BACK FILL immediately over pipes with fine material and fill remainder of trench in excavated material; ram well and remove surplus soil etc.,

8-4. DRAINS UNDER ROADS AND BUILDINGS. Where drains pass under roads they should be fully encased in 150mm concrete, mix B. Drains passing under buildings shall be treated in similar fashion. In all cases under this clause, details shall be in accordance with Architects directions and local Authority requirements.

8-5. ARMSTRONG JUNCTIONS, MANHOLES ETC., Armstrong junctions, manholes etc., shall be provided as required at each change in direction or gradient of drain and also at Septic Tank. Dimensions shall be such as to provide for easy cleaning of the system. Manholes to be built with 225mm concrete walls on 150mm thick concrete floor, mix B with channels, bends and branches, suitably benched. Finish benching and internal walls with smooth cement mortar. Fit cast iron frame and cover of approved type. Form all outfall manholes with interceptor trap, cleaning eye and air inlet, if required by local Authority.

8-6. GULLY TRAPS, SOAKPIT. Gully traps to be set in dished concrete surround to take waste from bath, sink and wash basin; and discharge from rainwater pipes. Same shall be fitted with a proper grid of approved material. Where sewage disposal is to be a Septic Tank, rainwater shall be piped to separate soakaways, not less than 6M from the house; or to a suitable approved watercourse.

Where sewage disposal is to a public sewer, rainwater shall be taken to the public water surface drain. All connections to public services shall have the approval of the Local Authority.

8-7. SEPTIC TANK, where provided, must be located so as not to endanger any well or other source of water supply and shall be in accordance with S.R.6 1975. Approved precast septic tanks may also be used.

8-8. VENT SHAFT, carry up 75mm diameter vent pipe at head of drain, carry over eaves level and secure with brackets. Fit with cowl.

8-9. SINGLE STACK DRAINAGE, where provided must be in accordance with British Standard Code of Practice 304 (1968)

8-10. TESTING. plumbing and drainage must be properly tested on completion and as required by the Local Authority.

SECTION 9. ELECTRICAL WORKS.

9-1. INSTALLATION, shall be strictly in accordance with the National Rules for Electrical installations available from the Electro Technical Council of Ireland, latest regulations of the E.S.B., and Institute of Electrical Engineers. Provide all points in proper locations numbered according to the schedule set out on the drawings. Proper conduit shall be used where cable is buried in plaster. Joists shall not be notched; where necessary the cables shall be taken through centre holes bored in joists.

SECTION 10. PAINTER AND DECORATER.

10-1. PREPARATION. All surfaces to be painted or otherwise given a protective coat shall be prepared by wire brushing, sanding, planing etc., to obtain the best possible finish. Timber preservative shall be applied as previously specified.

10-2. CONTRACTOR shall be responsible for decorating the exterior of the buildings including windows, doors, reveals, fascia, barge, chimneys, plinth etc., and internally all woodwork shall be finished, including skirtings, doors, architraves, windows and window boards etc., Walls and ceilings shall be decorated at the expense of the Employer if required but is not normally included as part of the Contractor's estimate.

10-3. PAINTS. Thinners, sealers, primers paints varnishes and other brush spray or roller finishes shall be of suitable manufacture for the surface being covered and applied in accordance with the relevant manufacturer's instructions.

10-4. WOODWORK. all woodwork to be painted shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Alternatively finish with varnish as directed. Decorative hardwood may be treated traditionally internally and shall be oiled or treated with suitable preservative externally.

10-5. METALWORK. all metalwork, ironmongery, etc., shall be cleaned down properly primed given two undercoats and one finishing coat.

SECTION 11. GLAZIER.

11-1. GLASS, all window panes up to 0.5M/2 glazed in 3mm glass.
all window panes up to 1.5M/2 glazed in 4mm glass.
all window panes up to 1.5M/2 glazed in 6mm glass.
All panes less than 600mm over floor shall be 6mm glass.

11-2. FIXING, bathroom and wc windows may be glazed with selected obscure glass. Rere door may be fitted with georgian wiredglass. Front entrance glazed panels if provided may be glazed with selected pattern glass. Before glazing, timber rebates shall be painted and back puttied. Glass shall be springged and puttied with linseed oil putty to I.S.28 or other acceptable non hardning compound and neatly struck off .5mm glass and over shall be fixed with glazing slips pinned and bedded in mastic. All glass to be left cleaned on completion.

SECTION. 12. FIRE PRECAUTIONS:

12-1. GARAGE, under first floor rooms, gaage ceiling shall be 12.5mm plaster slab with skim coat finish or to Local Authority requirement. Garage directly under roof of house, separating wall to be taken to plane of roof and treatd as for a party wall to complete fire stop. Any door between garage and dwelling shall be self-closing and door and frame shall afford min. half hour fire rating. Garage floor shall finish 100mm under general finished floor level of house. Central heating units shall not be located within a garage.

SECTION 13. VENTILATION.

13-1. ROOMS, each habitable room shall have an opening window area not less than one twentieth of the room area, ventilated to open air.

BATHROOMS and wc apartments shall be ventilated as above subject to a minimum of 0.1M/2.

LOBBY, ventilated lobby shall be provided between any wc compartment and a living room, kitchen or scullery.

PRESSES, all built in cupboards, closets and wardrobes shall be properly through ventilated.

UNDERFLOOR, provide all through underfloor ventilation as previously specified.

GARAGE, shall have permanent ventilation.

SECTION 14. THERMAL INSULATION.

14-1. INSULATION, shall be in accordance with the maximum U-values laid down by the D.O.E.

Whole Building U value	>	0.85 W/M2	oC
Roof value	>	0.40 W/M2	oC
Walls value	>	0.60 W/M2	oC
Floors value	>	0.60 W/M2	oC

U-values shall be calculated in accordance with the 1975 guide book A of the Institute of Heating and Ventilating Engineers. The above standards set out for the whole building etc., shall be taken as recommendations only pending National Building Regulations.
Details of insulation specification can be seen on the drawings.

GENERAL NOTES:

The Contractor shall include for all works required to leave the building and its services complete. The Architects reserve the right to alter this specification and the several works shall in all cases comply with the latest D.O.E. specification. This specification is based on the D.O.E. outline specification for the erection of a grant type house.

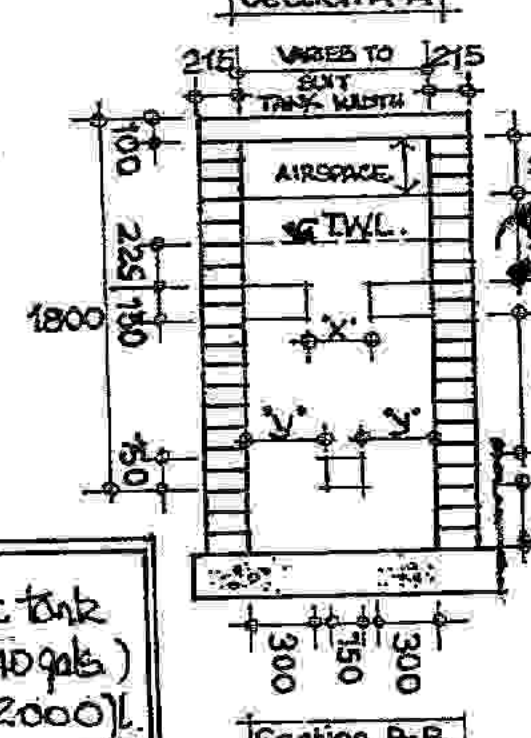
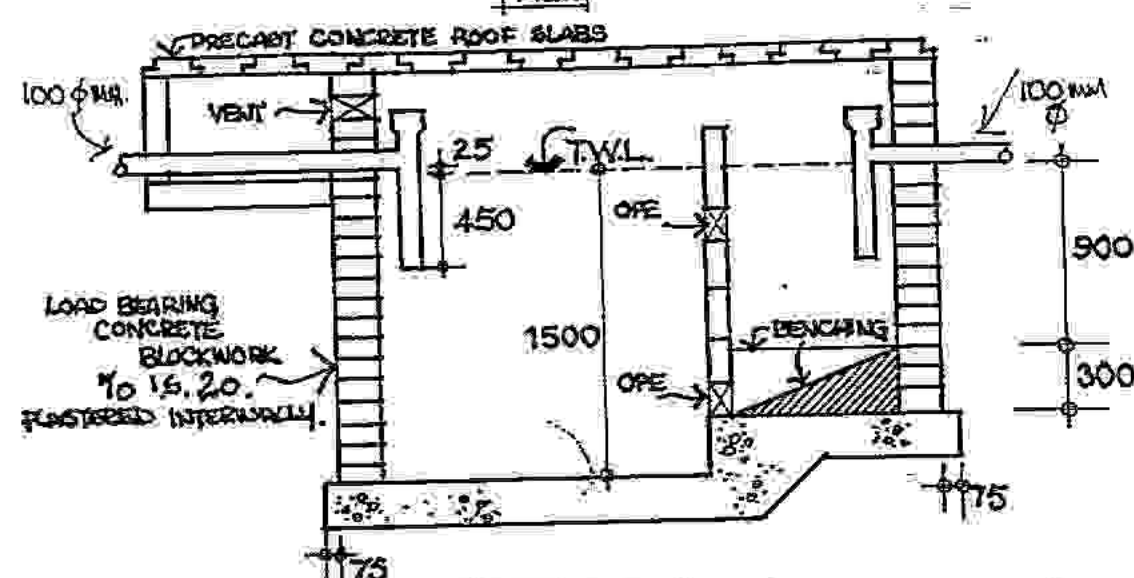
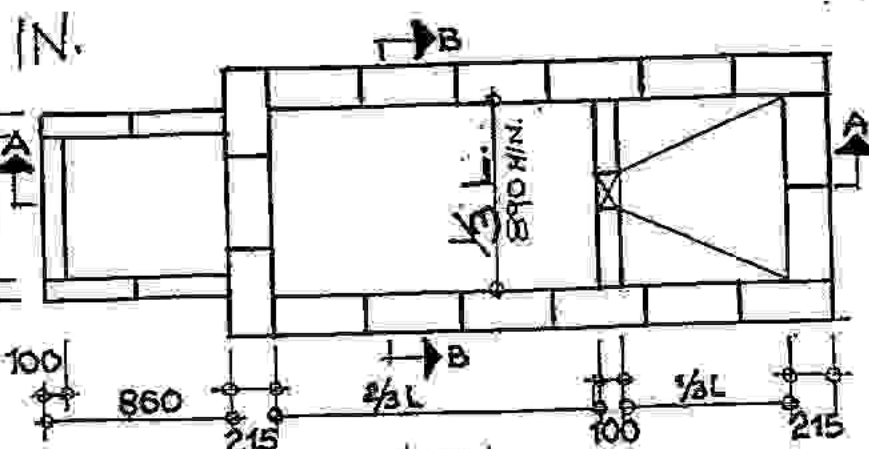
GROUND WORKS, the amount of ground works to be carried out on site including fences, gates etc., shall be as fully described on the site layout drawings and/or within the Building Agreement.

CHARLES HULBRAINE

ARCHITECTS

6 Orchard Ave., Clonsilla

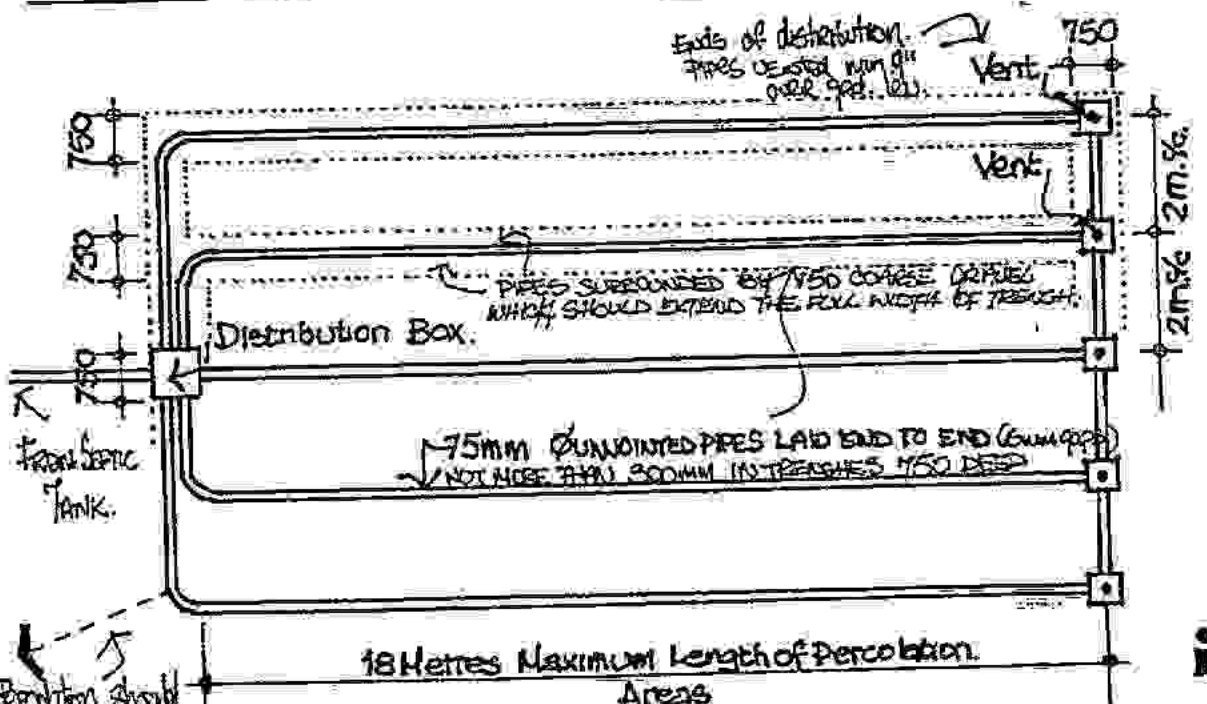
Dublin 15. - Phone 292552



Note: 'x' & 'y' vary to suit tank width.

Capacity (C) of septic tank
 $C = (40D + 440) qdls$
 OR $C = (180P + 2000) L$

DETAILS OF CONCRETE BLOCK SEPTIC TANK



GENERAL LAYOUT OF PERCOLATION AREA WHERE $T = 60$.

Percolation should be min. 30ft from road & stream or ditch. 10ft from adjacent site. 20ft from nearest dwelling & 20ft between septic tanks.

SITE SUSTAINABILITY
 OPEN TWO NO. TRIAL HOLES MIN. 30ft apart in the percolation & reserve percolation areas. Holes should measure 1M x 1M x 2M DEEP. Both holes should be covered & left for 48 hrs. & the Eastern Heath Board informed.
 depth of water: - 1M (max.) Jan, Feb, March.
 - 0.6 (max.) remainder of year.

PERCOLATION TEST
 A test hole to be dug 300mm 80 x 150mm deep below the invert level of the first percolation pipe. Lay 50mm sand bottom. Holes filled with water for 300mm over sand & left for 24 hrs. Next day refill with water to a depth of 25mm. And the time in minutes for this water to seep completely away observed. Divide this time by 9 to get the average time required for the water to drop 25mm. Two test holes each for the percolation & reserve percolation areas and the average time for 25mm water drops for each of the four tests shall in turn be averaged giving the value 'T'. The relationship between 'T' & the length of distribution pipes is indicated below.

Value 'T'	LENGTH OF DISTRIBUTION PIPE IN FT
1	17
2	21
3	26
4	30
5	35
10	47
15	56
30	78
60	105

WHERE 'T' is more than 60, the test is a failure.
CONSTRUCTION OF TREATMENT WORKS
 septic tanks generally should be 3 times the width. This length should be divided in two by a partition & the water compartment should have a length of approx. $\frac{2}{3}$ the total length of the tank.

POPULATION SERVED	VOL. (L)	L (MM)
4	2860	2370
6	3120	2600
8	3290	2820
10	3780	3150

- septic tank design -
 in accordance with HRS. SR.6 1975

DUBLIN COUNTY COUNCIL
 Planning Dept Registry Section
 APPLICATION RECEIVED
 675 24 APR 1991
 REG. NO. 91A/0662
 APPLICATION TYPE: P.P.S.