



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0619

Date : 25th April 1991

Dear Sir/Madam,

Development : Extension to warehouse, together with associated site
development works

LOCATION : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 18th April 1991

Your application in relation to the above was submitted with a fee of
213.67 .

On examination of the plans submitted it would appear that the
appropriate amount should be 252.00 .

I should be obliged if you would submit the balance of 38.33
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

.....

PRINCIPAL OFFICER

John F. Santry, Architect,
Belvedere,
Newtown,
Waterford.

EF.: 9/12/09

CERTIFICATE NO: 24997

PROPOSAL: Extension

LOCATION: Ballymont road, D.22

APPLICANT: Commercial Refrigeration Ltd

1	2	3	4	5	6	7
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE	DATE/ RECEIPT NO
Dwellings	€232					
	€232					
	€232					
	€232					
matress 144.0m ²	€157.75	€252	21367	€38.33		
x .1 feet.	€232					
x .1 feet.	€232					
x .1 feet.	€232					
x matress	€157.75					
x 1,000m ²	€157.75					
x .1 feet.	€232					

38.33 24/4/91
N20024

Ann 1 Certified: Signed: *[Signature]* Date: 24/4/91

Ann 1 Endorsed: Signed: _____ Grade: _____ Date: _____

Ann 2,3,4,5,6 & 7 Certified Signed: Mollara Grade: CP Date: 23/4

Ann 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

REF. NO.: 910/0619

CERTIFICATE NO.: 14676B

PROPOSAL: Extension

LOCATION: Ballymank road, D.22

APPLICANT: Commercial Refrigeration Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Afts.)	@ £50					
C	Building for office or other comm. purpose <i>144.0m²</i>	@ £3.50 per M ² or £70	<i>504</i>	<i>N.I.</i>	<i>504</i>		<i>£504.00 paid 19/2 257445</i>
D	Building or other structure for purposes of agriculture	@ £2.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the foregoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: *J. G.* Grade: *DFTL* Date: *24/4/91*
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: *MD'LAN* Grade: *CP* Date: *23/4*
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.: 91A/619

CONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER/SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL: 1550 FT²

MEASURED BY:

J.Y.
24/4/91

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

Standard

387 1/2
1162 1/2
1163

1550

1000 @ 750

DEVELOPMENT CONTROL ASSISTANT GRADE

1162.50

1163

no reports on file
as date of agreement
contributions entered
as at 85A/884



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
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Baile Atha Cliath 1.
Dublin 1.
Telephone: (01)724755
Fax: (01)724896

Register Reference : 91A/0619

Date : 25th April 1991

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development works

LOCATION : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 18th April 1991

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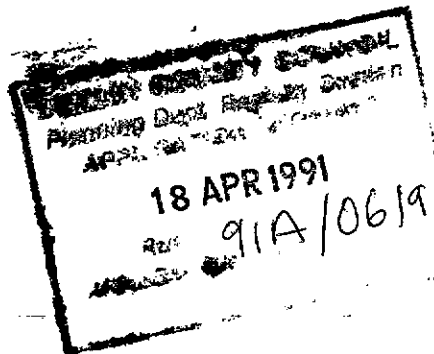
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I should be obliged if you would submit the balance of 38.33
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

PRINCIPAL OFFICER

John F. Santry, Architect,
Belvedere,
Newtown,
Waterford.



DUBLIN COUNTY COUNCIL

PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/0619

Date : 19th April 1991

Development : Extension to warehouse, together with associated site
development works

LOCATION : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 18th April 1991

Attached is a copy of the application for the above development .Please
ensure that your report is received within 5 weeks from 18th April 1991.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 09.07.91
Time 12.25

Yours faithfully,

.....
PRINCIPAL OFFICER

I have no objections to this proposal.

*Julie Kelly EHO
4/7/91.*

*for Ma Devine
John O'Reilly SBHO
5/7/91*

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0619.
DEVELOPMENT: Ext. to warehouse, together with associated site development works.
LOCATION: Ballymount Road, Dublin 22.
APPLICANT: Commercial Refrigeration Ltd.
DATE LODGED: 18.4.91.

Vision at the existing access is obscured by hedges to the north.

Additional Information should be requested to:-

- 1) Applicant to state if he can relocated the access to the southern end of site frontage to improve vision.
- 2) 5 extra car parking spaces to be shown on site plans.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 24.06.91
Time 3.30

TR/BMcC
18.6.91.

SIGNED: James Fogarty
DATE: 19/6/91

ENDORSED: C.P. Smith
DATE: 18/6/91

Mary D.

SS + CWS.

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/0619

Date : 19th April 1991

Development : Extension to warehouse, together with associated site development works

LOCATION : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer :

Date Recd. : 18th April 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Date received in Sanitary Services

DUBLIN Co. COUNCIL
SANITARY SERVICES
MAY 1991

DUBLIN Co. COUNCIL
SANITARY SERVICES
-6 JUN 1991
Returned *GJ*

FOUL SEWER

No foul sewer requirements indicated.

SURFACE WATER

Available.

J. Quinn 20/5/91.

J. Rice 30/5/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

Date *7.06.91*

Time *12.00.*

Register Reference : 91A/0619

Date : 19th April 1991

ENDORSED _____ DATE _____

WATER SUPPLY *See previous report enclosed*.....

refer to C.F.O.

J. H. Jones
10/5/91

ENDORSED *J. H. Jones* _____ DATE *10/5/91*
J. H. Jones *20/5/91*

DUBLIN COUNTY COUNCIL

REG. REF: 91A/0619.

DEVELOPMENT: Ext. to warehouse, together with associated site development works.

LOCATION: Ballymount Road, Dublin 22.

APPLICANT: Commercial Refrigeration Ltd.

DATE LODGED: 18.4.91.

Vision at the existing access is obscured by hedges to the north.

Additional Information should be requested to:-

- 1) Applicant to state if he can relocated the access to the southern end of site frontage to improve vision .
- 2) 5 extra car parking spaces to be shown on site plans.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date .. 19.06.91 ..
 Time .. 11.00 ..

TR/BMCC
18.6.91.

SIGNED: *James Rogers*
 DATE: 19/6/91

ENDORSED: *C.P. Smith*
 DATE: 18/6/91

- 7) All works to be carried out prior to the house being occupied.
- 8) All work to be carried out at the applicant's expense according to the Specification and Conditions of Dublin County Council.
- 9) A financial contribution, in the sum of money equivalent to the value of £800 per house as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
 Date 19.06.91
 Time 11-00

SIGNED: Michael Andrews

ENDORSED: E. Madden

DATE: 19-6-91

DATE: 19-6-91

P/2600/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/0619

Date Received : 18th April 1991

Correspondence : John F. Santry, Architect,
Name and : Belvedere,
Address : Newtown,
Waterford.

Development : Extension to warehouse, together with associated site
development works

Location : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : Permission

Zoning : E

MD
(MD/BB)

CN 6828

CONTRIBUTION:
Standard: <i>1163</i>
Roads:
S. Sers:
Open Space:
Other:
SECURITY:
Bond / C.I.F.:
Cash:

Report of Dublin Planning Officer dated 4th June, 1991.

This application for permission for an extension to warehouse, together with associated site development works at Ballymount Road for Commercial Refrigeration Ltd.

The site is stated to be 800 sq. metres, the floor area of proposed development is 122.1 sq. metres. The site is located in an area which is zoned with the objective "E" in the 1983 County Development Plan, "to provide for industrial and related uses. The site is located between the Ballymount Road roundabout and the Naas Road. It is adjacent to an existing site where a unit is under construction.

The proposal is to erect a single storey extension to the warehouse as a showroom for refrigeration equipment.

In support of the application the agent for the applicants state that planning permission was granted in 1985 for an extension and alterations to the warehouse as above. This is a repeat application of that submitted in 1985.

The proposal appears to give a site coverage of 93.58% on this site. There is no indication on the layout of any car parking proposals.

Taking into consideration the grant of permission by decision order P/3075/85 Reg. Ref. 85A/884 ^{and the small scale of the extension.} this proposal is acceptable.

I recommend that a decision to GRANT PERMISSION be made under the Local Government (Planning and Development) Acts, 1963-1990 subject to the following (6) conditions:-

7

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0619

Page No: 0002

Location: Ballymount Road, Dublin 22.

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 04 That the proposed structure be used for showroom purposes in connection with the existing refrigeration equipment warehouse and any change of use shall be subject of approval by Planning Authority or An Bord Pleanala on appeal. Retail sales and supermarket activities are not permitted.
- 04 REASON: In the interest of the proper planning and development of the area.
- 05 That a financial contribution in the sum of £ 1163 be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 06 That the boundary treatment of the site is agreed in writing with the Planning Authority before any development commences.
REASON: In the interest of visual amenity.

Note: Complained with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and accordingly may require the submission of a further planning application.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/0619

Page No: 0003

Location: Ballymount Road, Dublin 22.

ME
Endorsed:.....
for Principal Officer

Richard Cernius
.....
for Dublin Planning Officer 7.6.91

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (6) conditions set out above is hereby made.

Dated : (2 June 1991)
ASSISTANT CITY AND COUNTY MANAGER APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin city and County Manager dated 26th April, 1991.

12th June

M. DARLEY

100
30/5/91

Reg Ref 91A/0619

WAREHOUSE EXT.
BALLYMOUNT RD.
D 22

SITE BEHIND
Total area of Building LINE. 577 sq m²
Total area of Buildings - 540 sq m²

$$\text{SITE COVERAGE} = \frac{540 \times 100}{577} = 93.58\%$$

Ryall
Room 114

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

PAID BY *6 draft*

57445

Received this

from *Seller Bldg Contractors*

Butter's house

Water for

the sum of

two hundred and

Pounds

Pence being

ten and

S. CAREY

Principal Officer

Cashier

Mr. Dick Whelan,
Registry Planning Dept.,
Irish Life Centre,
Dublin 1.

15th February 1992.

Re: Byelaw fee ref no. 91A-619 Log date 18/4/91.

Dear Mr. Whelan,

I enclose bank draft for £504.00 as payment of
byelaw fee for extension to Commercial Refridgeration, Ballymount
Road, reference number 91A-619, log date 18/4/91.

Could you please send the byelaw approval to
Mr. Tom Reid, Commercial Refridgeration, Canada Street, Waterford.

Yours sincerely,


Maurice Keller.

John F. Santry

dip. arch, m.r.i.a.l. r.i.b.a. f.i.a.a.

architect

fax 70370

phone 73181

BELVEDERE

NEWTOWN

WATERFORD.

Attached please find typed copy of handwritten letter of October 30th 1991.

date: 1/11/91

WITH COMPLIMENTS

Enclosed — further copies of drg 857/1 a (Notes added.)

- For your information.
- For your approval.
- For your comments.
- For your follow-up.
- As you requested.
- Kindly return.

john f. santry

dip. arch., m.r.i.a.i., r.i.b.a., f.i.a.a.

architect

fax 70370

phone 73181

BELVEDERE

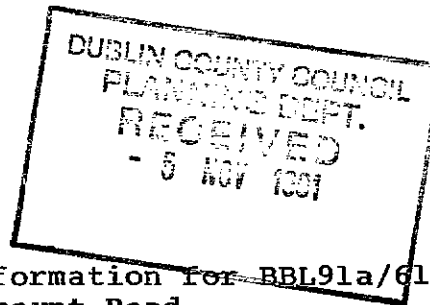
NEWTOWN

WATERFORD.

date. 30th October, 1991
ref. JFS/bm

Dublin County Council,
Building Control Section,
Block 2, Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

91A/619
1.2.0
A.I. for BBL



Re : Time extension. Additional information for BBL91a/619
Extension to warehouse @ Ballymount Road

Dear Sirs,

With reference to your letter of July 23rd and discussions between your Mr. John Kearney and the builder - Maurice Keller - Accordingly the following points are now covered -

- 1) Location of Block Plan forwarded through our submission of September 12th.
- 2) Specification forwarded through our submission of September 12th.
- 3) Confirmed through our submission of September 12th.
- 4) Structural details are now enclosed - (By Frank Fox & Associates).
- 5) Details confirmed through our submission of September 12th.
- 6) Sub-structure details are enclosed - (by Frank Fox & Associates). The existing slab is being retained and finished with a meshed screed of a minimum 3".

Form for Notice of Agreement to "Extension of Time" is returned herewith.

/...

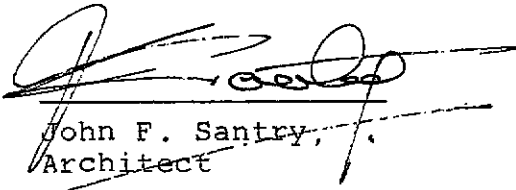
It is confirmed that there is no watermain under the extent of the application building.

The storm waste is to discharge as existing on site. There is no foul drainage from the application building.

It is hoped that this covers for the information which is required in this matter. -- Accordingly we would now look forward to having approval at your convenience.

Hope this is in order.

Yours faithfully,


John F. Santry,
Architect

P.S/ Enclosed are further details engrossed on Engineers Drg 857/1A.
(Notes added.)



DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
05 NOV 1991
REG No. 91A/2619...

BELVEDERE

NEWTOWN

WATERFORD.

91A/619

2.2.0.2

A.I. for BBL

Dublin County Council
Building Control Section

date. 30th Oct 91 04. NOV 91

ref.

Plum Extension - Additional Information for BBL 91A/619.
Extension to Warehouse @ Ballymoost Road.

Dear Sirs

With reference to your letter of July 23rd and discussions between your John Heaney and the builder Maurice Heller - Accordingly the following points are now covered :-

- (1) Location & Block Plan forwarded thro our submission 12th Sept.
- (2) Specification forwarded thro. our submission 12th Sept.
- (3) Confirmed thro. our submission 12th Sept
- (4) Structural Details are now enclosed - (By Frank Fox & ASS)
- (5) Details confirmed thro. our submission 12th Sept.
- (6) Sub-structure details are enclosed - (By Frank Fox & ASS)

The existing slab is being retained and finished with a washed screed of a min. 3"

Form for Notice of Agreement to 'Extension of Time' is returned herewith. It is confirmed that there is no watermain under the extent of the application building.

The storm waste is to discharge as existing on site. There is no foul drainage from the application building.

It is hoped that this cover for the information which is required in this matter - Accordingly we would now look forward to having approval of your convenience.

It is in order.

Your Faithfully

John Heaney

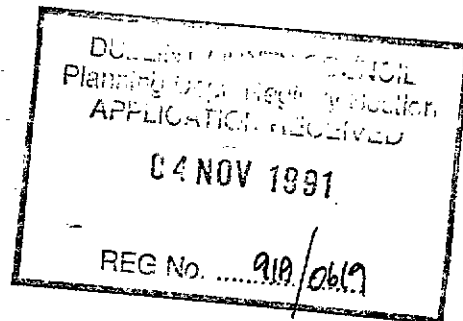
Typed copy will follow to you. JH

Enquiries/Personal Callers:
 Liffey House
 24 28 Tara Street, Dublin 2
 Telephone (01) 773066
 FAX: 711056



Correspondence:
 Building Control Section
 Block 2, Irish Life Centre
 Lr. Abbey Street, Dublin 1

Principal Officer,
 Planning Department,
 Building Control Section,
 Block 2, Irish Life Centre,
 Lr. Abbey St.,
DUBLIN 1.



NOTICE OF AGREEMENT TO 'EXTENSION OF TIME'

B.B.L. APPLICATION DATED: 18/4/1991 REG. REF.: 91A/619

PROPOSAL: Extension warehouse @ Ballymount Road.

I John Forster for (Applicant/Agent) agree to the
Commercial Refurbishment
 terms, as set out in the Council's letter dated 21.10.91, for the
 extension of time for considering the above application.

DATED: 30.10.91

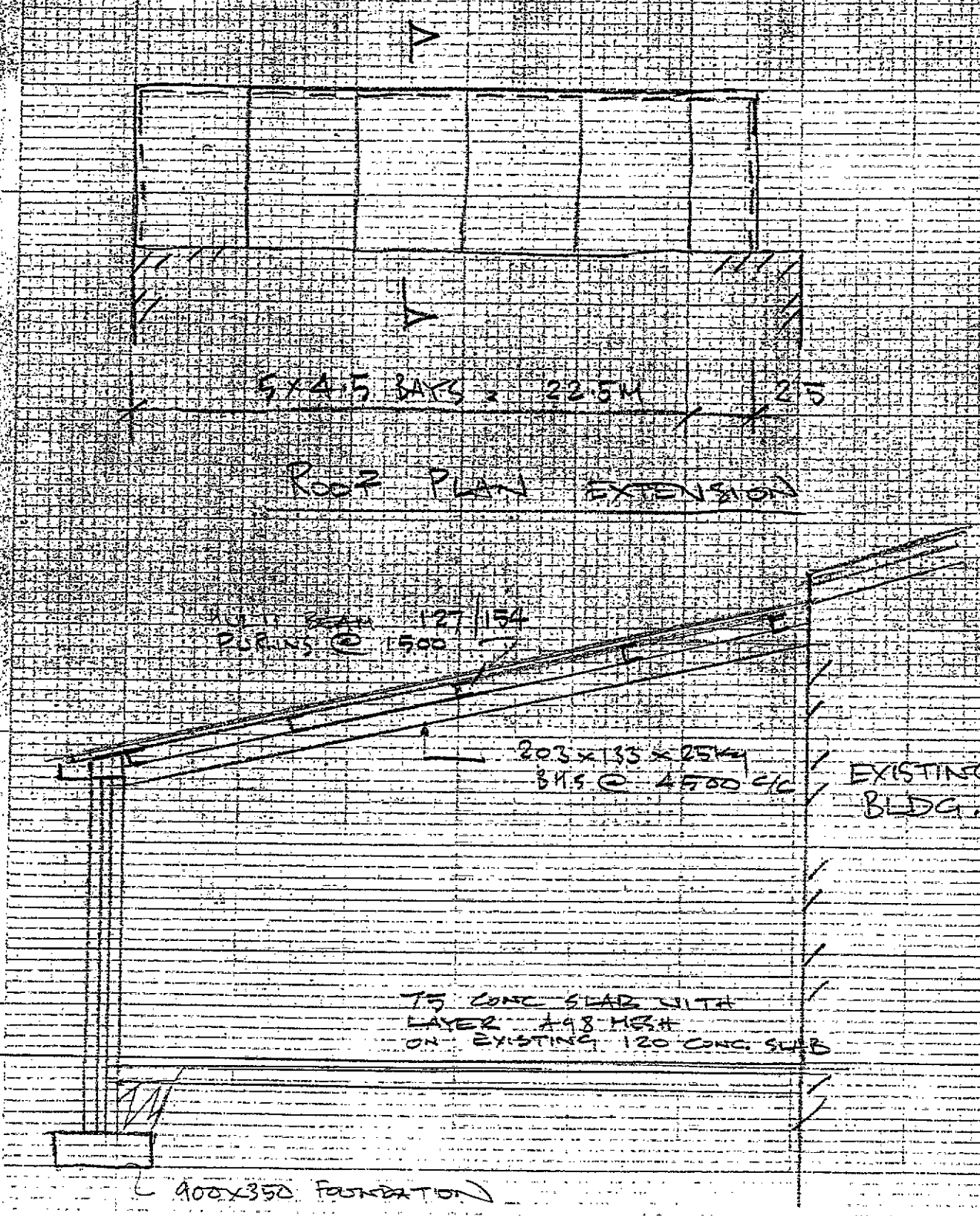
N.B. Please forward this Notice to the Council, by return of post, to allow for the due process of the 'Time Extension'.

FRANK FOX & ASSOCIATES
Consulting Engineer
31 The Mall
Waterford

DUBLIN COUNTY COUNCIL
REG No: 919/06/1

Job No. 857
Title
Date Oct 1991
Sheet No. 1
Drawn By FJF

COMMERCIAL REFRIGERATION
EXTENSION DUBLIN



9 x 4.5 BAYS = 22.5M

ROOF PLAN EXTENSION

127 154
DURING @ 1500

203 x 135 x 25mm
B.M.S @ 4500 c/c

EXISTING
BLDG.

75 CONC SLAB WITH
LAYER A98 MESH
ON EXISTING 120 CONC SLAB

900 x 350 FOUNDATION

DESIGN STRUCTURAL STEEL → BS 449
 STEEL GRADE → A3

REINFORCED CONCRETE

Manual for design of
 Reinforced concrete
 building structures 1985

CHARACTERISTIC STRENGTHS

CONCRETE	f_{cu}	25 N/mm^2
HIGH TENSILE REINFORCEMENT	f_t	460 N/mm^2
MILD STEEL	f_y	250 N/mm^2

LOADING TO CP 3 CHAPTER V

LOADS

<u>DL</u>		<u>LL</u>	
ROOF DECK	0.1	SNOW	0.15
SW STEELWORKING	0.15		
SW SERVICES	0.25		
	0.50 kN/m^2		0.75 kN/m^2
			1.25 kN/m^2

WIND LOADING

BASIC WIND SPEED 48 m/sec

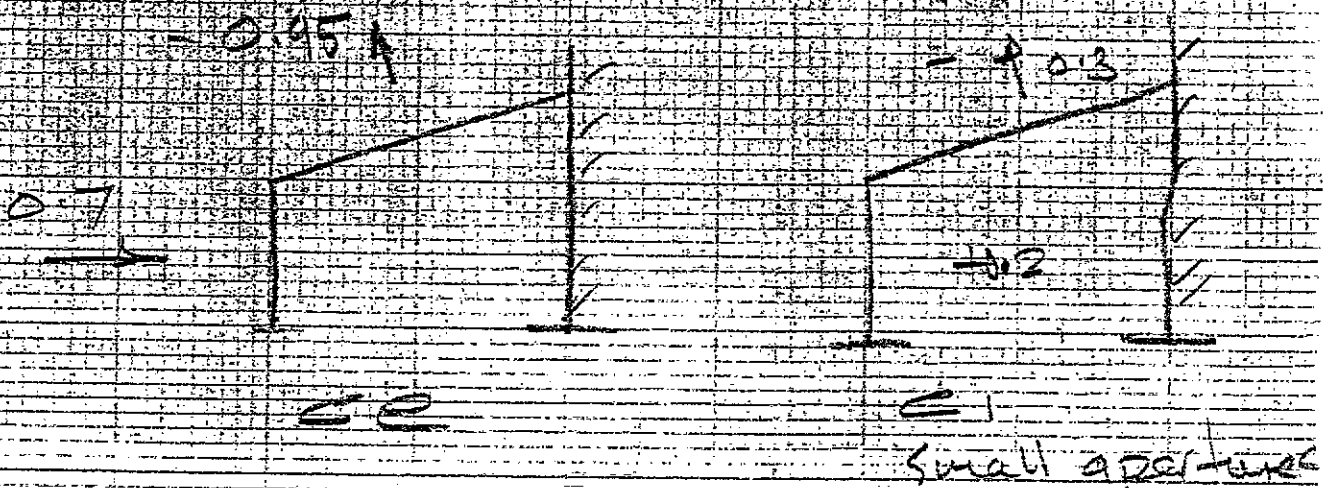
S_1 EXPOSURE = 1.0

S_2 HEIGHT $> 5 = 0.88$

S_3 Life Bldg 50 YEARS = 1.0

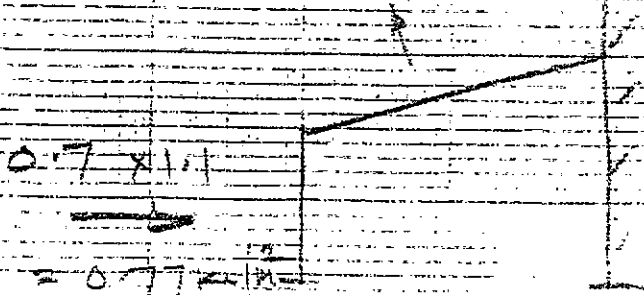
Design Wind Speed = $48 \times 1 \times 0.88 \times 1 = 42.24 \text{ m/sec}$

Characteristic Wind Pressure = $\frac{42.2^2 \times 0.63}{10^2} = 1.1 \text{ kN/m}^2$



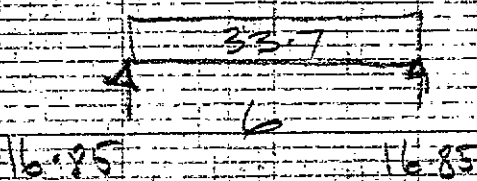
WORST WIND SITUATION

$1.25 \times 1.1 = 1.37 \text{ kN/m}^2$



MAIN BEAM 6 m span @ 4.5 m c/c

TL / BEAM = $1.25 \times 4.5 \times 6 = 33.7 \text{ kN}$



$M_T = \frac{33.7 \times 6}{8} = 25.3 \text{ kNm}$

$\geq \text{REQ'D} = \frac{25.3 \times 10^6}{165 \times 10^3}$

$= 153.3 \text{ cm}^2$

USE 203 x 133 x 25 kg 2 * (231.9 cm²)

DEFLECTION

$\Delta = \frac{5}{384} \times \frac{33.7 \times 10^3 \times 6^3 \times 10^9}{21 \times 10^6 \times 2.57 \times 10^7}$

$= 17.5 \text{ mm}$

$= \frac{1}{342} \text{ OK}$

$\rightarrow \frac{1}{360} \text{ L.L ONLY}$

$\neq \frac{1}{250} \text{ TL}$

PERLINS DOUBLE SPAN

FROM KINGSPAN PERLIN TABLES

USE 127/157

SPACING @ 1.5 m c/c SPAN 4.5 m
 $= 1.3 \text{ kN/m}^2$

$\rightarrow \text{T.L } 1.25 \text{ kN/m}^2 \text{ OK}$

Check Beam & Purlins
For Wind Reverse Loading

Max BM,

wind DL

$$\text{Wind uplift} = 1.37 - 0.5 = 0.87 \text{ kN/m}^2$$

$$\text{BEAM Loading} = 0.87 \times 4.5 = 3.92 \text{ kN/m}$$

$$M_f = \frac{3.92 \times 6^2}{8} = 17.6 \text{ kNm}$$

$$f = \frac{M}{Z} = \frac{17.6 \times 10^6}{231.9 \times 10^3} = 76 \text{ N/mm}^2$$

BEAM Restained at ENDS.

$$\text{effective depth} = 600 \times 0.85 = \underline{510 \text{ cm}}$$

$$f_{ty} = \frac{510}{3.1} = 165$$

$$\frac{D}{t} = 26$$

$$\text{Allowable stress in Bending } P_{cb} = 93 \text{ N/mm}^2$$

→ 76 N/mm^2 OK

FROM KINGSPAN TABLE

PURLINS ARE OK in REVERSED
LOADING ON BOTH
L.R.L. & T.L. CONDITION

FOUNDATIONS

Load on

Roof

TL

Reactive MAIN BEAM

$$= \frac{16.85}{4.5} = 3.75 \text{ KN/M}$$

SW Wall

3.5 x 0.2 x 20

2 4.00

$$= 7.75 \text{ KN/M}$$

Load on NOMINAL

$$* 19.5 \text{ KN/M}^2$$

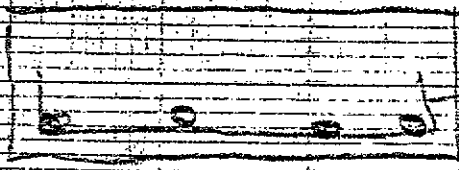
$$= (2.18 \text{ TON/FT}^2)$$

+ width of FOUND

$$\frac{17.5}{2} = 8.75 \text{ KN/M}$$

PROVIDE

900 x 350 GRADE 25 CONC STRIP
 WITH NOMIN STEEL

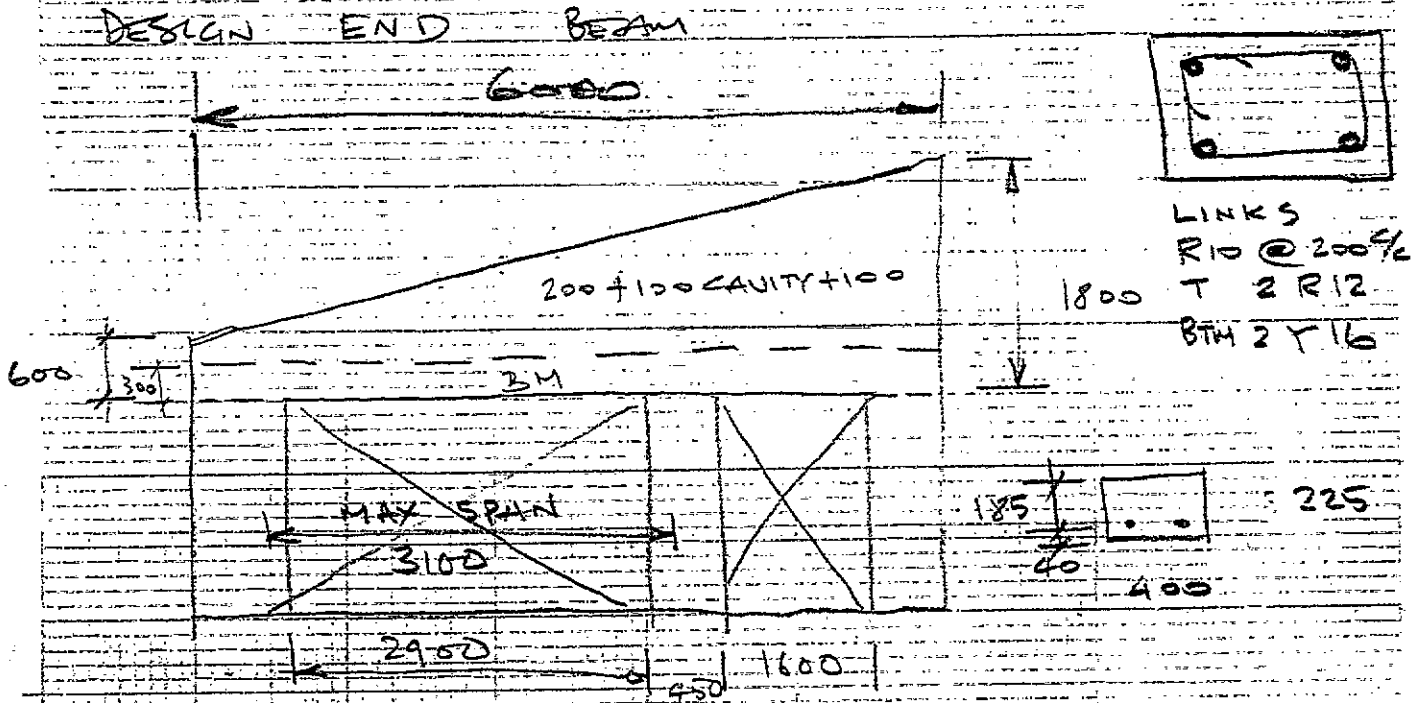


R10 @ 300 G/C

4 R12 8TH

COVER TO STEEL

50 mm



Roof Loading $\frac{4.25 \times 1.25}{2} = 2.65 \times 6 = 16 \text{ KN}$
 SW Wall $13 \times 13 \times 20 \times 6 = 10.8$
 $1.2 \times 13 \times 20 \times 6 / 2 = 21.6$
 SW Br Soy $3 \times 0.4 \times 24 \times 6 = 17.3$

Mainly D.L. \downarrow $9_k = 10.9 \text{ KN/m} = 65.7 \text{ KN}$
 AVERAGE UDL

ULTIMATE DESIGN LOAD = $10.9 \times 1.4 = 15.4 \text{ KN/m}$

$U_M = \frac{15.4 \times 3.1^2}{8} = 18.5 \text{ KN}$

$M_U = 15.4 \times 25 \times 10^3 \times 1.4 \times 1.85^2 = 53 \text{ KNm OK}$

$A_{ST} = \frac{18.5 \times 10^6}{0.87 \times 460 \times 185 \times 85} = 293 \text{ mm}^2$
 USE 2 Y16 (402)

TABLE 27
 Shear = $\frac{15.4 \times 1.5 \times 10^3}{400 \times 185} = 0.3 \text{ N/mm}^2$

$\frac{100 A_s}{b w d} = \frac{100 \times 402}{400 \times 185} = 0.54 \therefore U_c = 0.66 \text{ N/mm}^2 > 0.3 \text{ N/mm}^2$
 PROVIDE NOMINAL LINKS

BELVEDERE

NEWTOWN

WATERFORD.

12/9/91

91A/0619

1.2.1

A.L. for BPL

date. 12th September, 1991
ref. JFS/bm

Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re : Extension to warehouse, together with associated
site development works at Ballymount Road, Dublin 22
22 Planning ref no. 91A/0619
"Time Extensin/additional informatin B.B.L."

Dear Sirs,

Further to your letter of July 23rd 1991 and my subsequent
acknowledgment of August 30th, I would now like to reply and
would submit the following information as requested.

- (1) Copy of location plan and block plan are included herewith.
- (2) Copies of the specification are included herewith.
- (3) Detail of the stormwater drain are included on the
block plan. These are shown as altered and discharging
through to the existing stormwater disposal system from
the site.

The watermain is not altered or interfered with in any
way by the proposal of the showroom extension, forming
the subject matter of this application.

- (4) A Structural Engineer is not engaged or retained. Against
this background we would confirm that the proposals as
set out on the drawing are adequate for the extension
as being provided. A roofing contractor will submit
details, including engineering calculations, for his
proposal in supplying and fitting the roof and these
will be submitted to you when they come to hand.

/...

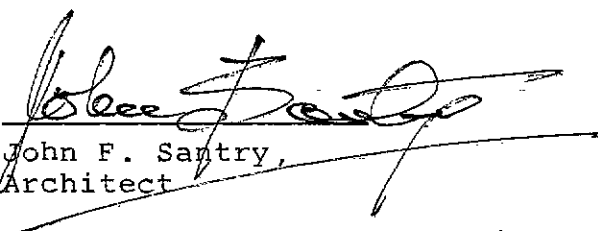
- (5) Ventilation is by the three opening sections on the front window. Mechanical ventilation will not be introduced. Two ventilators will be provided on the back wall to provide the necessary through ventilation from the opening sections as mentioned above.
- (6) The floor slab to be provided will be a 100 mm and will be reinforced with mesh. It will be a power floated slab, on 25mm rigid insulation, on 1000 gauge Visqueen D.P.M. on consolidated hardcore fill.

The foundation will be 3' in width by 1' 2" in depth. It will be laid on sand blinding and will be reinforced with 3 $\frac{1}{2}$ " bars and tied with a light mesh over.

The details in relation to the above may be more specifically included in the specification, copies of which are enclosed.

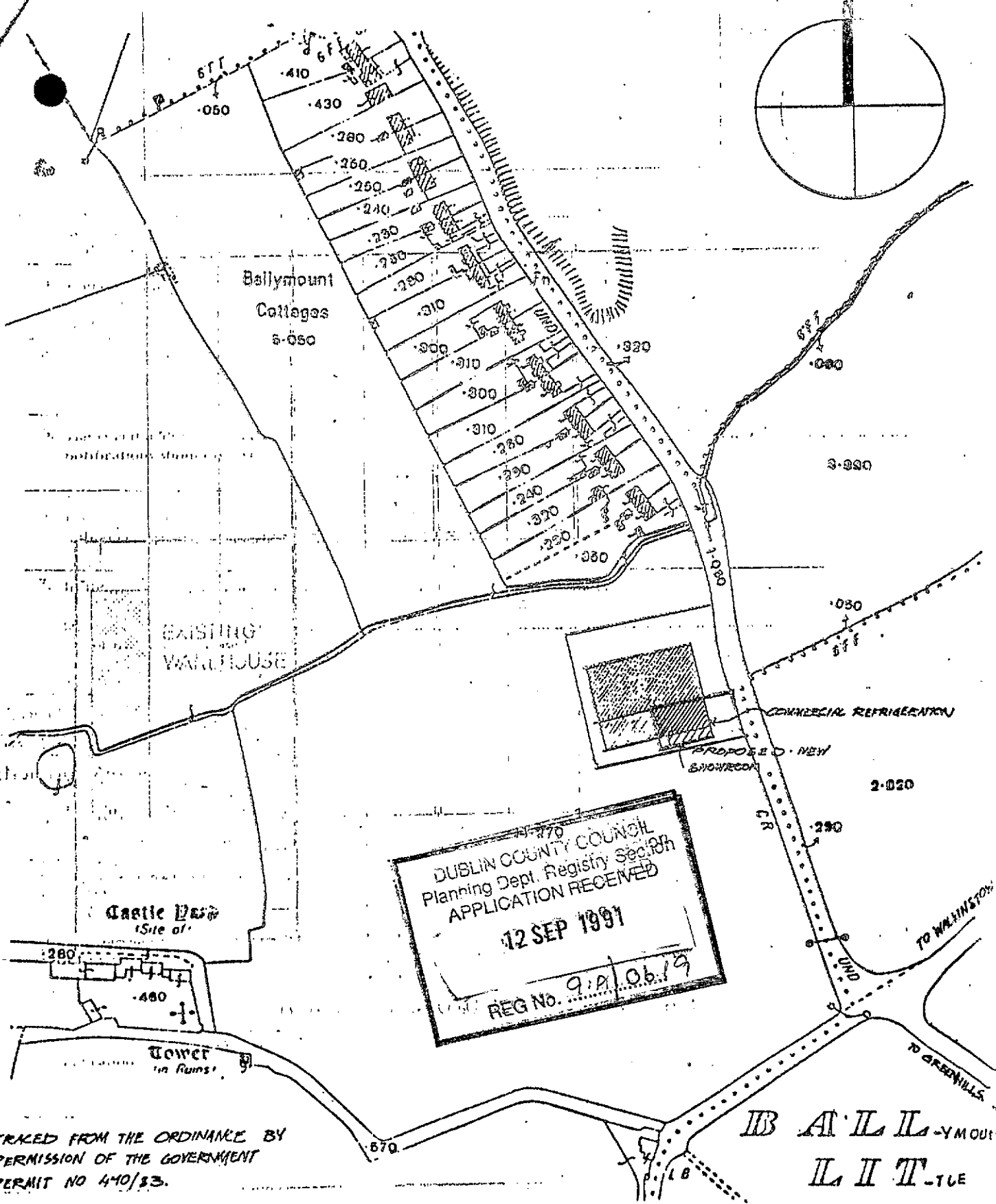
It is hoped that this now covers the information which you require in this matter at this time. If we can be of further assistance please do not hesitate but contact the undersigned. However, it is hereby confirmed that we will take no further action in the matter, unless we hear further from you. Accordingly we would now look forward to receiving the Approval, at your convenience.

Yours faithfully,



John F. Santry,
Architect

Encs.

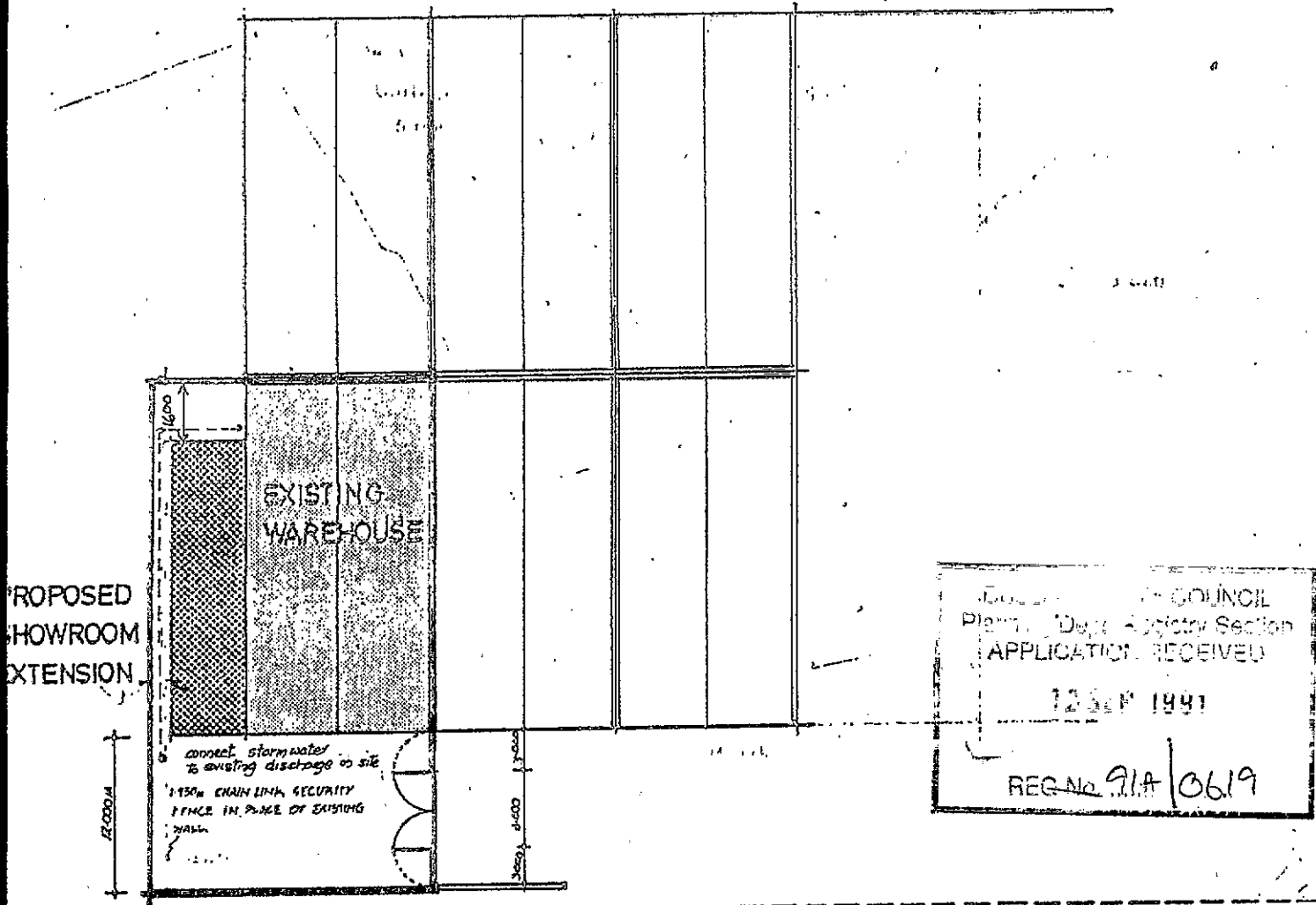
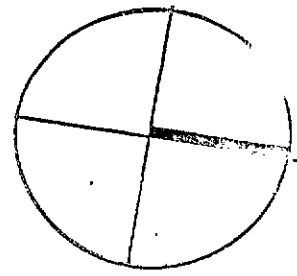


TRACED FROM THE ORDINANCE BY
 PERMISSION OF THE GOVERNMENT
 PERMIT NO 440/83.

IB A I L I L - Y M O U T
 I L I T - T L E

SHOWROOM AT BALLYMOUNT ROAD DUBLIN 22 COMMERCIAL REFRIGERATION LIMITED	Drawn: <i>AB.</i>	1336/004.
	Scale: 1:2500	
	Date: <i>Ap'91.</i>	
Title: SITE LOCATION MAP - Ref. Dublin Sheet 21-4.		

john f santry. dip arch mriat riba fira — architect — belvedere newtown waterfor



DUBLIN CITY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 12 SEP 1991
 REG No 91A/0619

BALLYMOUNT ROAD

SHOWROOM AT BALLYMOUNT ROAD DUBLIN 22. COMMERCIAL REFRIGERATION LTD.	Drawn: <i>T.B.</i>	1336 // 003.
	Scale: <i>1:500</i>	
	Date: <i>Apr '91.</i>	

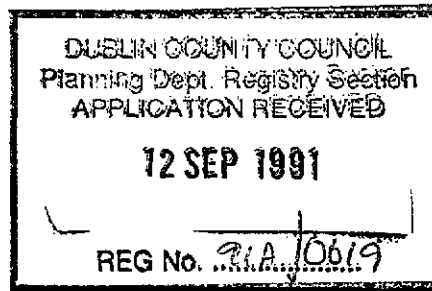
Title: BLOCK PLAN.

John F. Santry dip arch mriai riba fiaa architect belvedere newtown waterford

SPECIFICATION OF WORK TO BE DONE AND MATERIALS
TO BE USED IN THE ERECTION OF A SHOWROOM EXTENSION
AT BALLYMOUNT ROAD

FOR:

COMMERCIAL REFRIGERATION LIMITED



JOHN F. SANTRY. ARCHITECT - WATERFORD

S P E C I F I C A T I O N

1 General Description

- 1.1 The work consists of the erection of a single storey extension to the side of an existing warehouse building.
- 1.2 Work carried on in the extension does not involve any industrial effluent, smoke or excessive noise.
- 1.3 The purpose of the extension is to provide a showroom for refrigeration equipment for the catering industry.

2 Excavation and Earth Works

- 2.1 Hard filling shall consist of broken stone, broken concrete pit rejects of pitrun gravel, with a maximum size of 100 mm. All hard filling shall be laid in layers of not more than 225 mm and each layer shall be thoroughly compacted. Hardcore under slabs shall be 200 mm thick consolidated with a ten ton roller.
- 2.2 All excavations and earth works shall be carried out in general to comply with B.S. Code of Practice 2003.
- 2.3 All soil and vegetable matter to a minimum depth of 225 mm over the site of the construction works to be removed and seperately stacked.
- 2.4 All back filling to be in well consolidated layers not exceeding 300 mm and well rammed in.

3 Concrete work

- 3.1 The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of the B.S. Codes of Practice CP 110 and BS 5328 and in addition concrete supplied from a centrally batching plant shall be batched, mixed and delivered in accordance with BS 1926 except where superseded by this Specification.
- 3.2 The cement used on this Contract shall be manufactured in Ireland and shall be normal Portland or Rapid Hardening to comply with the Current Irish Standard 1 or B.S. 12.
- 3.3 The mixing water shall be clean and uncontaminated obtained from an approved source.
- 3.4 The aggregates shall comply with the latest edition of Irish Standards 5 or BS 882 provided the grading is approved by the Consultant.
- 3.5 All concretes shall be "designated mix" concrete in accordance with BS 5328 1976 and CP 110 1972.
- 3.6 Rolled mild steel bars, cold twisted bars and high tensile fabric reinforcement shall comply with the requirements of BS 4449, 4461, and 4483 respectively.

contd/....

- 3.7 The ground floor slab shall be cast on a bed of 200 mm blinded with sand and consolidated with a 10 ton roller over existing external slab. The damp proof membrane shall be 1,200 gauge polythene sheet, lapped a minimum of 225 mm at joints. The floor shall be power floated.
- 3.8 Expansion joints in the floor slab shall be formed with 20 mm bars 600 mm long at 300 mm to centre with joint formed with 20 mm wide compressible filler topped with high duty sealer.

4 Steelwork

- 4.1 Structural sections in mild steel shall be in accordance with B.S. 4, Part 1, 1962 and B.S. 15, 1961.
- 4.2 Welding shall be in accordance with B.S. 449, 1969. All welding shall be prepared and ground to a smooth finish.
- 4.3 All galvanizing shall be by the hot dip process to the standards set out in B.S. 729, Part 1, 1971. All sherardizing shall be as set out in B.S. 729, Part 2, 1961, after fabrication.
- 4.4 Before touching up painting of steel on site is commenced all surfaces to be touched up shall be dry and thoroughly clean from all loose scale and rust, and other contaminations. All bolt heads and site welds after de-slagging shall be cleaned before being given the full paint treatment. Damaged or deteriorated paint surfaces shall be made good with the same type and thickness of paint as the shop coat.

Site painting should not be done in frosty or foggy weather or when humidity is such as to cause condensation on the surface to be painted.

5 Blockwork

- 5.1 Concrete blocks shall be made with materials and of the quality described in I.S. 20, 1971, of the thickness specified and made by an approved manufacturer.
- 5.2 Internal pointing shall be carried out as the work proceeds with a semi-circular recessed 'bucket handle' finish.
- 5.3 Cement shall be as specified under Concrete Work.
- 5.4 Sand shall be as specified under Concrete Work.
- 5.5 Lime shall be hydrated lime as I.S. 8.
- 5.6 Mortar shall consist of 1 : 2 : 9 cement/lime/sand mix, with the addition of an approved water-proofer.
- 5.7 Concrete blocks shall be delivered on pallets by the manufacturer. They shall be carefully unloaded and stacked on a strong, reasonably level surface cleared of any material which might be likely to damage the blocks.

contd/....

Blocks shall not be in contact with the ground, but shall be placed on a surface formed of clean old planks or a layer of clean concrete blocks or other approved surface, which is not likely to become saturated.

- 5.8 Cements and limes shall be stored off the ground, under cover and away from damp and in such a manner as to enable them to be used in rotation separately according to type, on clean, hard, dry standings and protected from contamination.
- 5.9 Bitumen based damp proof courses shall be fibre or asbestos based to the minimum specification set out in B.S. 743, 1970, Ref B or C or polythene to span full thickness of wall less 12 mm set back on facework unless otherwise noted on the drawings. Damp proof course to be laid in mortar, with minimum 150 mm end laps on solid walls and full laps and nags. Laps in cavity walls to be burned or bonded with cold bitumen rubber compound.

6 Flashings

- 6.1 All metal flashings shall be in no. 4 milled lead sheet complying with B.S. 1178, 1969, or super purity (Grade S1) 20 gauge sheet aluminium. Cover flashings shall be turned into the blockwork at least 25 mm under the wall damp proof course and shall be built in as the work proceeds.

7 Roofing

- 7.1 The main roof to the extension shall consist of Tegral Double Six asbestos cement sheeting used in conjunction with asbestos cement inner lining sheets fixed to Multibeam purlins at 1800 mm c/c with hook bolts. The inner and outer skins will be separated with treated timber battens on the lines of the fixings and the void filled with glass fibre mat. All end and side laps will be sealed. The insulation U value of the roof shall be maximum 0.4 W/m² deg. C.
- 7.2 Smoke vents shall be Wasco double flap automatic units, activated by means of a fusible link. They will be provided with an internal manual release. Overall dimensions shall be 3000 mm x 1000 mm.
- 7.3 Gutters shall be 16 s.w.g. galvanized pressed steel box gutters with 12 mm heraperm insulation laid to falls.

8 Carpentry

- 8.1 Timber shall be first quality complying with B.S. 1860. Timber shall be Whitewood of Northern European origin, or alternatively of native origin if it meets the standards

contd/....

required by this Specification.

- 8.2 All timber for carpentry work shall be taken as having a sawn finish unless otherwise stated.
- 8.3 When ready for fixing in position, the moisture content of timber shall be in accordance with I.S. 96, 1958, even though preservative-treated timber is not included in the I.S.
- 8.4 Jointing of timber shall be as normally carried out in good quality carpentry

9 Joinery

- 9.1 Timber used for joinery shall comply with the requirements of B.S. 1186 Part 1 Appendix C Class 3.
- 9.2 Finished dimensions, after surfacing, shall have an allowance of 3 mm off nominal dimensions for each wrought surface. All joinery shall be taken as wrought on each surface unless otherwise stated.
- 9.3 When ready for fixing in position, the moisture content of a timber shall be in accordance with I.S. 96, 1958, even though preservative treated timber is not included in the I.S.
- 9.4 Unless otherwise stated, joinery timber shall be Redwood, of Northern European origin.
- 9.5 Jointing shall be as normally carried out in good quality joinery for the particular position. Joints generally shall comply with B.S. 1186, Part 2. Joints shall be glued.
- 9.6 Plywood shall be W.B.P. grade or better and shall have a moisture content of between 10% and 15%.
- 9.7 Skirtings shall be ex 100/25 mm softwood.
- 9.8 1 hour fire resistant doors between existing warehouse and new showroom shall be constructed in timber in accordance with the details contained in B.S. 476 Part 8 and shall be rated 60/60.

10 Wall and Ceiling Finishes

- 10.1 Cement shall be as specified under Concrete Work.
- 10.2 Sand shall be as specified under Concrete Work.
- 10.3 Water shall be clean and free from harmful matter.
- 10.4 Building paper shall be waterproof, as B.S. 1521, Class B.
- 10.5 The internal ceiling over the showroom area shall be a suspended system using aluminium grid with wire hangers. Ceiling shall be Armstrong or similar approved 600 x 600 textured mineral fibreboard lay-in panels suspended from an exposed metal 'T' suspension system with matching angle trim to all perimeters. Tiles to conform to Class 1, B.S. 476, and to be fully clipped in position. Grills

contd/....

to be provided under smoke fence. Lighting to be recessed in the grid.

11 Painting and Decoration

11.1 The following Irish Standard Specifications shall apply:-

Emulsion Paint : I.S. 129 : 1964

Knotting : I.S. 6 : 1968

Oil Paint : I.S. 115 : 1963

Metal Primer : I.S. 33 : 1962

11.2 All woodwork to be properly primed before being fixed in position. All woodwork not previously painted or from which defective paint has been removed to be given a coat of approved primer, well brushed on.

11.3 All iron and steelwork to be primed with selected with primer, or paint conforming to B.S. 2521/4, 1966.

11.4 All surfaces specified to be painted shall, after priming, receive 2 undercoats and one gloss coat.

11.5 Hardwood, including veneered doors, shall receive 3 coats of matt polyurethane varnish.

12 Glazing

12.1 All glass shall comply with the appropriate section of B.S. 952.

12.2 Sealing strip shall be best quality wash leather or patent self adhesive glazing strip.

12.3 All rebates and beads in wood shall be sealed or primed before glazing is commenced.

12.4 All glass shall be clean cut edges.

13 Services

13.1 Heating for the showroom shall be by an extension of the existing heating system.

13.2 Mechanical air supply will be provided in the showroom at the rate of four air changes per hour.

13.3 A minimum lighting level of 300 lux will be provided in the showroom. External lighting will be provided to the front of the building.

13.4 Electrical installation shall be in accordance with the requirements and standards of the E.S.B.

contd/....

14 External Works

- 14.1 Surface water drainage from the new roof shall be connected to the existing surface water drainage system.
- 14.2 A 1950 mm chain link security fence shall be provided in place of the existing wall at the boundary to Ballymount Road. A pair of 1950 mm high gates fabricated in M.S. angle with diagonal bracing and finished with chain link fencing shall be provided.

john f. santry

dip. arch., m.r.i.a.i., r.i.b.a., f.i.a.a. architect

fax 70370

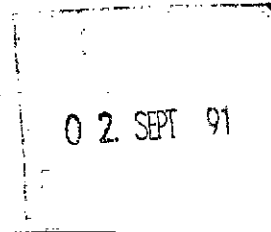
phone 73181

BELVEDERE

NEWTOWN

WATERFORD.

date. 30th August, 1991
ref. JFS/bm



91A/619
20.0
A-1. for BBL

Dublin County Council,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re : Extension of warehouse, together with associated
site development works at
Ballymount Road, Dublin 22
Commerical Refrigeration Limited
Ref to. Time extension/additional information
BBL reg ref. no. 91a/619

Dear Sirs,

I have been out of my office for a 3 week period and on my return I read both your letters dated July 18th and July 23rd last.

I note the content but more importantly I note the request for an extension of time within which your authority may deal with this matter.

I now have a further problem in that I cannot deal with this matter for a little over a week and because of this, I would suggest that I accept the principle as set in your letter for the extension period but that the timing schedule be altered to run as of say, Monday August 26th. If this were allowable, then the matter can be dealt with and information submitted to your authority and hopefully be dealt with within the time restraints.

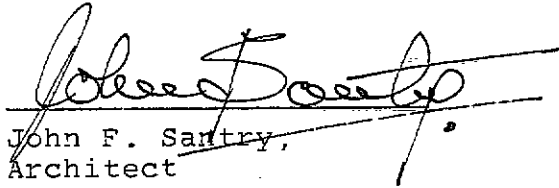
On the assumption that this would be acceptable I have now put an addendum of this time restraint on the notice of agreement and I am returning it to duly signed and dated herewith.

/...

In the event of this not being acceptable I would like to hear from you and in the interest of priority you might make contact by Fax - 051 70370. However, if I do not hear from you I will understand that the form as returned is acceptable.

Trust that this is in order.

Yours faithfully,



John F. Santry,
Architect

Enc.

Enquiries/Personal Callers:
Liffey House
24/28 Tara Street, Dublin 2
Telephone (01) 773066



Correspondence:
Building Control Section
Block 2, Irish Life Centre
Lr. Abbey Street, Dublin 1

Principal Officer,
Planning Department,
Building Control Section,
Block 2, Irish Life Centre,
Lr. Abbey St.,
DUBLIN 1.

02 SEPT 91

NOTICE OF AGREEMENT TO 'EXTENSION OF TIME'

B.B.L. APPLICATION DATED: 18/4/1991

REG. REF.: 91A/619

PROPOSAL: Extension to warehouse, together with assoc. site dev. works @
Ballymount Road, Dublin 22.

I John P. O'Shea (Applicant) agree to the terms, as set out in the
Council's letter dated 23/07/91, for the extension of time for
considering the above application.

The two month period will commence on receipt of information by Dublin County
Council from the applicant and the information is to be submitted to the
Planning Authority within one month commencing on the 26th August, 1991.

DATED: 30.08.91

N.B. Please forward this Notice to the Council, by return of post, to allow for
the due process of the 'Time Extension'.

John P. O'Shea - On behalf of
Commercial Refrigeration



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 2600 /91 Date of Decision : 12th June 1991

Register Reference : 91A/0619 Date Received : 18th April 1991

Applicant : Commercial Refrigeration Ltd

Development : Extension to warehouse, together with associated site
development works

Location : Ballymount Road, Dublin 22.

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ...⁶....ATTACHED.

signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 13/6/91.....

John F. Santry, Architect,
Belvedere,
Newtown,
Waterford.

Reg.Ref. 91A/0619
Decision Order No. P/ 2600 /91
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the sanitary Services Acts, 1878-1964.

03 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

04 That the proposed structure be used for showroom purposes in connection with the existing refrigeration equipment warehouse and any change of use shall be subject of approval by Planning Authority or An Bord Pleanala on appeal. Retail sales and supermarket activities are not permitted.

04 REASON: In the interest of the proper planning and development of the area.

05 That a financial contribution in the sum of £ 1163. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

06 That the boundary treatment of the site is agreed in writing with the Planning Authority before any development commences.

REASON: In the interest of visual amenity.

NOTE: Compliance with one or more of the conditions of this permission may result in material alterations to the development as initially proposed and, accordingly, may require the submission of a further planning application.

john f. santry

dip. arch, m.r.i.a.c., r.i.b.a., f.i.a.a.

architect

fax 70370

phone 73181

BELVEDERE

NEWTOWN

WATERFORD.

date: 29/4/91

WITH COMPLIMENTS

- For your information.
- For your approval.
- For your comments.
- For your follow-up.
- As you requested.
- Kindly return.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0619

Date : 25th April 1991

Dear Sir/Madam,

Development : Extension to warehouse, together with associated site
development works

LOCATION : Ballymount Road, Dublin 22.

Applicant : Commercial Refrigeration Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 18th April 1991

Your application in relation to the above was submitted with a fee of
213.67 .

On examination of the plans submitted it would appear that the
appropriate amount should be 252.00 .

I should be obliged if you would submit the balance of 38.33
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

A handwritten signature in dark ink, appearing to read 'Richard M. O'Connell', written over a dotted line.

PRINCIPAL OFFICER

30 APR 91

John F. Santry, Architect,
Belvedere,
Newtown,
Waterford.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/0619

Date : 19th April 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Extension to warehouse, together with associated site
development works

LOCATION : Ballymount Road, Dublin 22.

APPLICANT : Commercial Refrigeration Ltd

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received
on 18th April 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

John F. Santry, Architect,
Belvedere,
Newtown,
Waterford.

COMHAIRLE CHONTAE ÁTHA CLIATH
(DUBLIN COUNTY COUNCIL)

PLANNING APPLICATION FORM

PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM - ALL QUESTIONS MUST BE ANSWERED

See p 3075
(29.8.85)

1. Application for Permission Outline Permission Approval Place in appropriate box
Approval should be sought only where an outline permission was previously granted.
Outline Permission may not be sought for the retention of structures or continuance of uses.

2. Postal address of Site or Building... BALLYMOUNT ROAD DUBLIN 22...
(if none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent)..... COMMERCIAL REFRIGERATION LIMITED
Address..... Canada STREET, WATERFORD..... Tel. No. (051) 75441

4. Name and address of John Footy..... DIP ARCH, M.R.I.A.I., F.I.A.A.
person or firm responsible for preparation of drawings..... Belvedere Newtown WATERFORD..... Tel. No. (051) 73181

5. Name and address to which John Footy..... DIP ARCH M.R.I.A.I. ARCHITECT
notifications should be sent..... Belvedere Newtown Waterford.....

6. Brief description of..... ERECTION OF SINGLE STOREY EXTENSION TO
proposed development..... WAREHOUSE AS SHOWROOM FOR REFRIGERATION EQUIPMENT

7. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor..... N/A
or use when last used
(b) Proposed use of each floor.....

FEE PAID: 213.67 18/4
REG. NO. N35274

8. Does the proposal involve demolition, partial demolition, or change of use of any habitable house or part thereof? No

Grid
Res
12/4/91

9. (a) Area of Site..... 300 Sq. m.
(b) Floor area of proposed development..... 122.1 Sq. m.
(c) Floor area of buildings proposed to be retained within site..... N/A Sq. m.

10 State applicant's legal interest or estate in site. (i.e. freehold, leasehold etc.)..... FREEHOLD OWNER

11. Are you now applying also for an approval under the Building Bye Laws? Yes No Place in appropriate box

12. Please state the extent to which the Draft Building Regulations have been taken into account in your proposal:
SEE ATTACHED NOTE ISSUED BY THE R.I.A.I. These are considered and are being included where appropriate.

13. List of documents enclosed with..... Plan, Elevations & Section
Site location Plan
Paper Advert. + Fee Cheque
1.8 APR 91

14. Gross floor space of proposed development (See Back)..... 501.75 Sq. m.
No. of dwellings proposed (if any)..... N/A..... Class(es) of Development.....
Fee Payable £ 213.67 Basis of Calculation..... 122.1 x £1.75/m²
If a reduced fee is tendered details of previous relevant payment should be given.....

Signature of Applicant (or his Agent)..... John Footy..... Date..... 10.4.91

APPLICATION TYPE..... P/BPL FOR OFFICE USE ONLY
REGISTER REFERENCE..... 91N0619
Amount Received..... 21/4
Receipt No.....
Date.....

COMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET
DUBLIN 1.

Issue of this receipt is not an acknowledgment that the fee tendered is the prescribed application fee. N. 35274

CASH
CHEQUE
M.O.
B.L.
I.T.

£213.67

18th

day of

April

1991

Received this

from

J. M. Lantry,
Belvedere

Newtown Waterford

the sum of

two hundred and thirteen

Pounds

sixty seven

Pence, being

100 pence

planning application at Ballymount Rd.

Noelene O'Connell

Cashier

S. CAREY
Principal Officer

Class 4

john f. santry

dip. arch., m.r.i.a.i., r.i.b.a., f.i.a.a.

architect

fax 70370

phone 73181

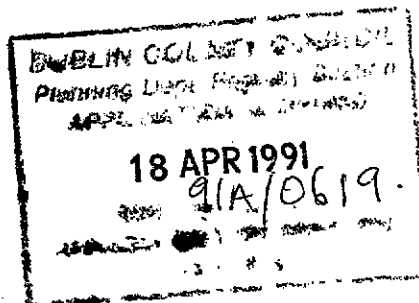
BELVEDERE

NEWTOWN

WATERFORD.

date. 17th April, 1991
ref. JFS/bm

Planning Department,
Dublin County Council
Irish Life Centre
Lower Abbey Street
Dublin 1



Re : Development at Ballymount Road, Dublin 22
Commercial Refrigeration Limited

Dear Sirs,

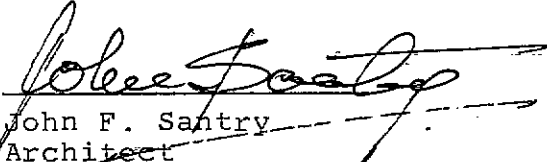
Planning permission was granted in 1985 for an extension and alteration to a warehouse at the above.

We are now retained to reactivate this permission and accordingly we are enclosing documents making up a planning application. This is a repeat application of that as submitted in 1985 and it was dealt with at that time under reference no. 3075.

It is hoped that the documents as enclosed are acceptable and accordingly I would look forward to hearing from you at your convenience.

Trust that this is in order.

Yours faithfully,


John F. Santry
Architect

18. APR 91

COMHAIRLE CHONTAE ATHA CLIATH
DUBLIN COUNTY COUNCIL

NO FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

Mr. John Santry,

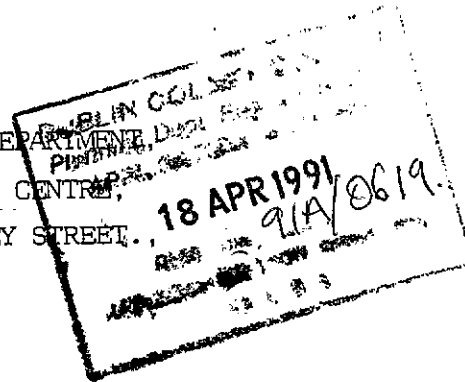
Belvedere,

Newtown,

Waterford.

PLANNING DEPARTMENT
IRISH LIFE CENTRE,
LOWER ABBEY STREET,
DUBLIN 1.

25/4/91



REG. REF.: 91A/0619

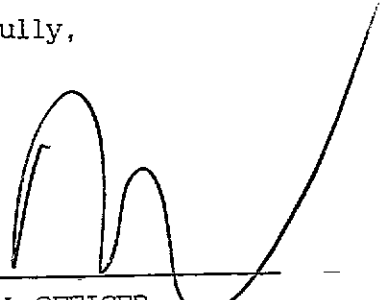
RE: Extension at Ballymount Road, Dublin 22, for Commercial Refrigeration Ltd.

Dear Sir/Madam,

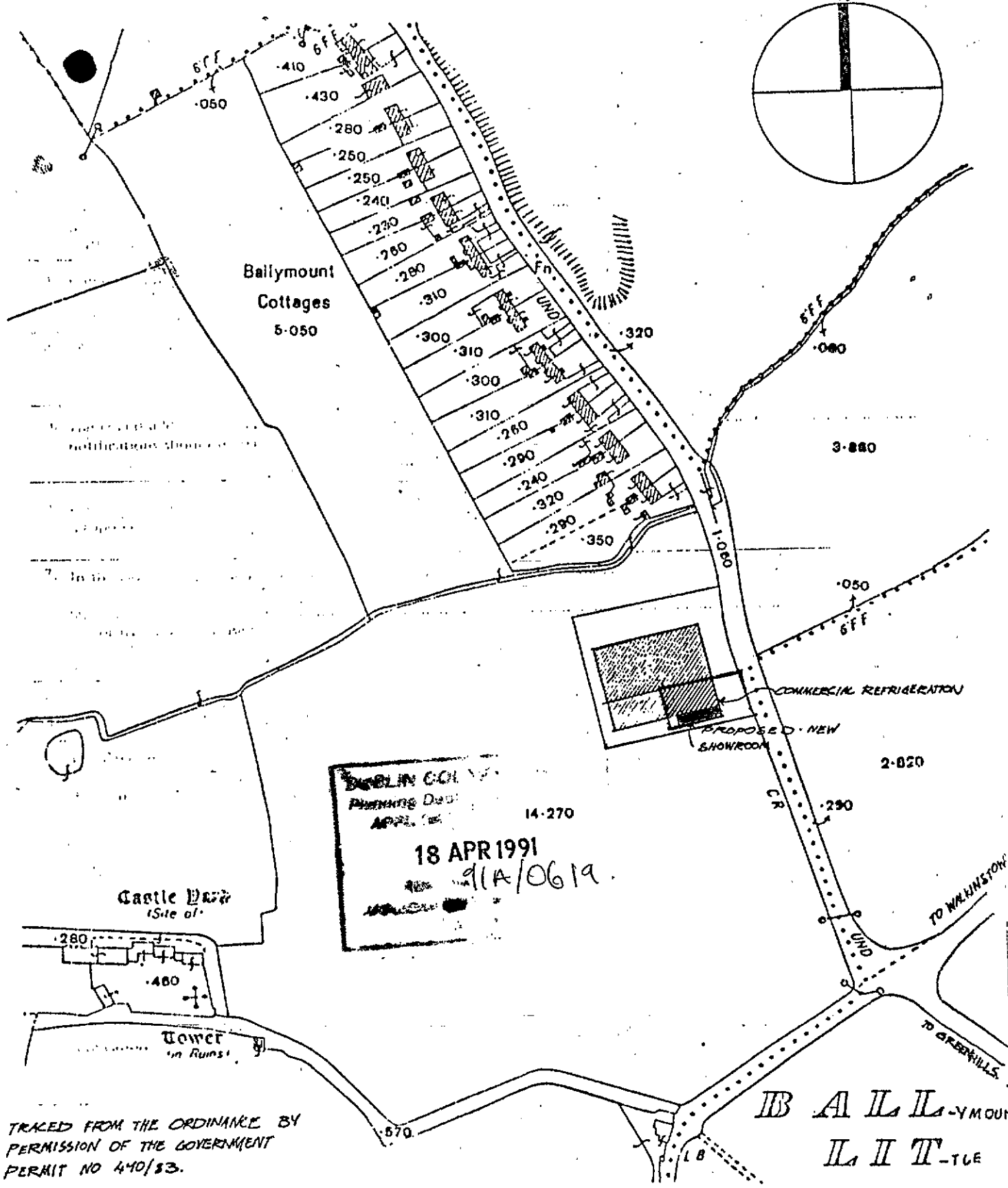
I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 504.00.
Please quote the Register Reference No. stated above when submitting the fee.

Yours faithfully,



for PRINCIPAL OFFICER

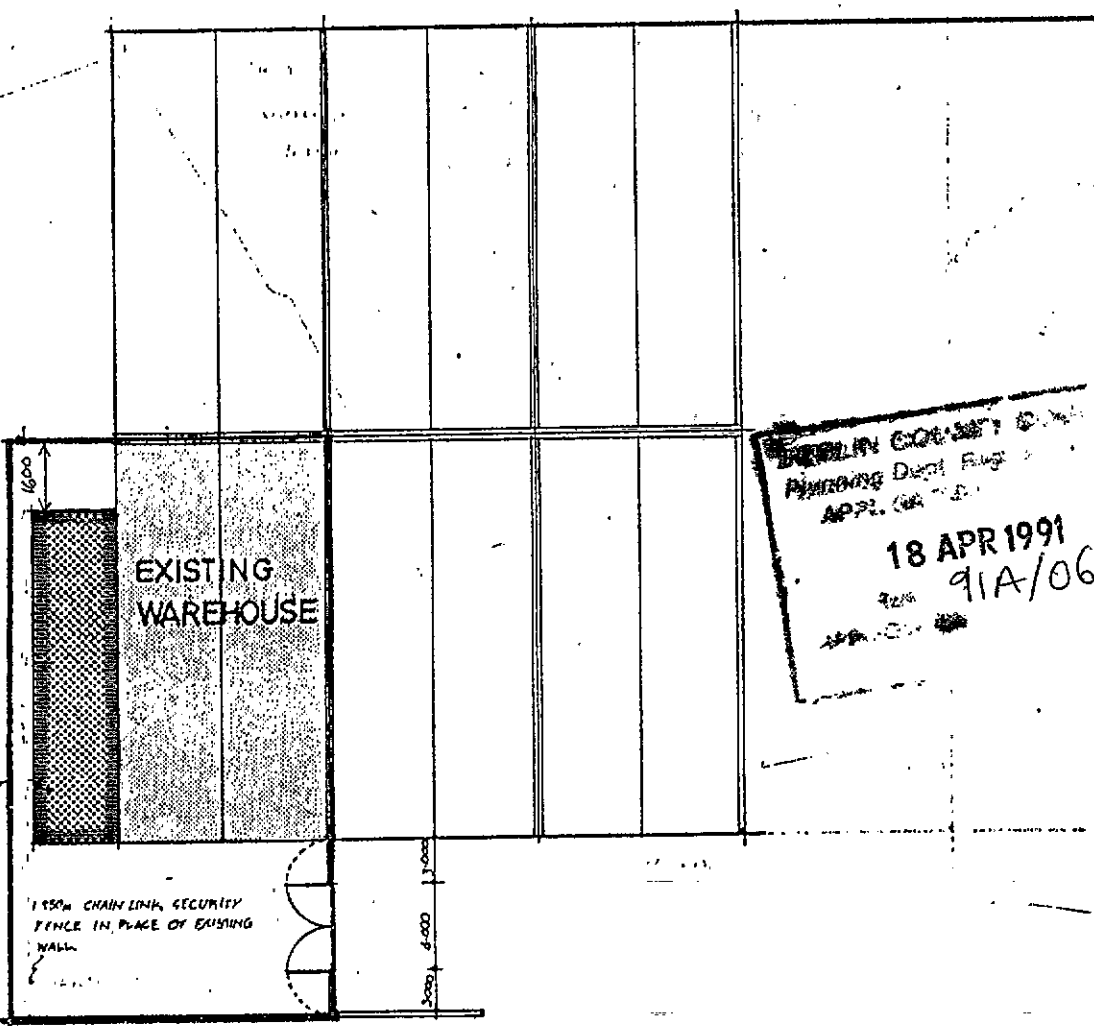
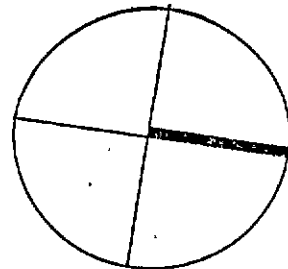


TRACED FROM THE ORDINANCE BY PERMISSION OF THE GOVERNMENT PERMIT NO 440/83.

BALLYMOUNT
LITTLE

SHOWROOM AT BALLYMOUNT ROAD DUBLIN 22 COMMERCIAL REFRIGERATION LIMITED	Drawn: RB.	1336//004.
	Scale: 1:2500	
	Date: Ap'91.	
Title: SITE LOCATION MAP. -- R.F. Dublin sheet 21-4.		

john f santry. dip arch mriat riba fraa — architect — belvedere newtown waterford



DUBLIN COUNTY DISTRICT
Planning Dept. Eng.
APPL. (G) 1.5
18 APR 1991
91A/0619.

PROPOSED
SHOWROOM
EXTENSION

EXISTING
WAREHOUSE

1.55m CHAIN LINK SECURITY
FENCE IN PLACE OF EXISTING
WALL

BALLYMOUNT ROAD

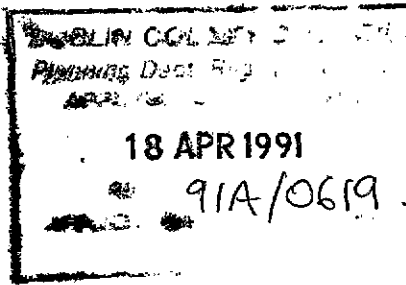
SHOWROOM AT BALLYMOUNT ROAD DUBLIN 22.
COMMERCIAL REFRIGERATION LTD.

Drawn: *FBS*
Scale: 1:500
Date: *AP-91*

1336	//	003.
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Title: BLOCK PLAN.

John F. Santry dip arch mriai riba fiaa — architect — belvedere newtown waterford —



SPECIFICATION OF WORK TO BE DONE AND MATERIALS
TO BE USED IN THE ERECTION OF A SHOWROOM EXTENSION
AT BALLYMOUNT ROAD

FOR:

COMMERCIAL REFRIGERATION LIMITED

JOHN F. SANTRY. ARCHITECT - WATERFORD

S P E C I F I C A T I O N

1 General Description

- 1.1 The work consists of the erection of a single storey extension to the side of an existing warehouse building.
- 1.2 Work carried on in the extension does not involve any industrial effluent, smoke or excessive noise.
- 1.3 The purpose of the extension is to provide a showroom for refrigeration equipment for the catering industry.

2 Excavation and Earth Works

- 2.1 Hard filling shall consist of broken stone, broken concrete pit rejects of pitrun gravel, with a maximum size of 100 mm. All hard filling shall be laid in layers of not more than 225 mm and each layer shall be thoroughly compacted. Hardcore under slabs shall be 200 mm thick consolidated with a ten ton roller.
- 2.2 All excavations and earth works shall be carried out in general to comply with B.S. Code of Practice 2003.
- 2.3 All soil and vegetable matter to a minimum depth of 225 mm over the site of the construction works to be removed and seperately stacked.
- 2.4 All back filling to be in well consolidated layers not exceeding 300 mm and well rammed in.

3 Concrete work

- 3.1 The quality of materials and the standard of workmanship for the reinforced concrete shall comply with the relevant clauses of the B.S. Codes of Practice CP 110 and BS 5328 and in addition concrete supplied from a centrally batching plant shall be batched, mixed and delivered in accordance with BS 1926 except where superseded by this Specification.
- 3.2 The cement used on this Contract shall be manufactured in Ireland and shall be normal Portland or Rapid Hardening to comply with the Current Irish Standard 1 or B.S. 12.
- 3.3 The mixing water shall be clean and uncontaminated obtained from an approved source.
- 3.4 The aggregates shall comply with the latest edition of Irish Standards 5 or BS 882 provided the grading is approved by the Consultant.
- 3.5 All concretes shall be "designated mix" concrete in accordance with BS 5328 1976 and CP 110 1972.
- 3.6 Rolled mild steel bars, cold twisted bars and high tensile fabric reinforcement shall comply with the requirements of BS 4449, 4461, and 4483 respectively.

contd/....

- 3.7 The ground floor slab shall be cast on a bed of 200 mm blinded with sand and consolidated with a 10 ton roller over existing external slab. The damp proof membrane shall be 1,200 gauge polythene sheet, lapped a minimum of 225 mm at joints. The floor shall be power floated.
- 3.8 Expansion joints in the floor slab shall be formed with 20 mm bars 600 mm long at 300 mm to centre with joint formed with 20 mm wide compressible filler topped with high duty sealer.

4 Steelwork

- 4.1 Structural sections in mild steel shall be in accordance with B.S. 4, Part 1, 1962 and B.S. 15, 1961.
- 4.2 Welding shall be in accordance with B.S. 449, 1969. All welding shall be prepared and ground to a smooth finish.
- 4.3 All galvanizing shall be by the hot dip process to the standards set out in B.S. 729, Part 1, 1971. All sherardizing shall be as set out in B.S. 729, Part 2, 1961, after fabrication.
- 4.4 Before touching up painting of steel on site is commenced all surfaces to be touched up shall be dry and thoroughly clean from all loose scale and rust, and other contaminations. All bolt heads and site welds after de-slagging shall be cleaned before being given the full paint treatment. Damaged or deteriorated paint surfaces shall be made good with the same type and thickness of paint as the shop coat.

Site painting should not be done in frosty or foggy weather or when humidity is such as to cause condensation on the surface to be painted.

5 Blockwork

- 5.1 Concrete blocks shall be made with materials and of the quality described in I.S. 20, 1971, of the thickness specified and made by an approved manufacturer.
- 5.2 Internal pointing shall be carried out as the work proceeds with a semi-circular recessed 'bucket handle' finish.
- 5.3 Cement shall be as specified under Concrete Work.
- 5.4 Sand shall be as specified under Concrete Work.
- 5.5 Lime shall be hydrated lime as I.S. 8.
- 5.6 Mortar shall consist of 1 : 2 : 9 cement/lime/sand mix, with the addition of an approved water-proofer.
- 5.7 Concrete blocks shall be delivered on pallets by the manufacturer. They shall be carefully unloaded and stacked on a strong, reasonably level surface cleared of any material which might be likely to damage the blocks.

contd/....

Blocks shall not be in contact with the ground, but shall be placed on a surface formed of clean old planks or a layer of clean concrete blocks or other approved surface, which is not likely to become saturated.

- 5.8 Cements and limes shall be stored off the ground, under cover and away from damp and in such a manner as to enable them to be used in rotation separately according to type, on clean, hard, dry standings and protected from contamination.
- 5.9 Bitumen based damp proof courses shall be fibre or asbestos based to the minimum specification set out in B.S. 743, 1970, Ref B or C or polythene to span full thickness of wall less 12 mm set back on facework unless otherwise noted on the drawings. Damp proof course to be laid in mortar, with minimum 150 mm end laps on solid walls and full laps and nags. Laps in cavity walls to be burned or bonded with cold bitumen rubber compound.

6 Flashings

- 6.1 All metal flashings shall be in no. 4 milled lead sheet complying with B.S. 1178, 1969, or super purity (Grade S1) 20 gauge sheet aluminium. Cover flashings shall be turned into the blockwork at least 25 mm under the wall damp proof course and shall be built in as the work proceeds.

7 Roofing

- 7.1 The main roof to the extension shall consist of Tegral Double Six asbestos cement sheeting used in conjunction with asbestos cement inner lining sheets fixed to Multibeam purlins at 1800 mm c/c with hook bolts. The inner and outer skins will be separated with treated timber battens on the lines of the fixings and the void filled with glass fibre mat. All end and side laps will be sealed. The insulation U value of the roof shall be maximum 0.4 W/m² deg. C.
- 7.2 Smoke vents shall be Wasco double flap automatic units, activated by means of a fusible link. They will be provided with an internal manual release. Overall dimensions shall be 3000 mm x 1000 mm.
- 7.3 Gutters shall be 16 s.w.g. galvanized pressed steel box gutters with 12 mm beraperm insulation laid to falls.

8 Carpentry

- 8.1 Timber shall be first quality complying with B.S. 1860. Timber shall be Whitewood of Northern European origin, or alternatively of native origin if it meets the standards

contd/....

required by this Specification.

- 8.2 All timber for carpentry work shall be taken as having a sawn finish unless otherwise stated.
- 8.3 When ready for fixing in position, the moisture content of timber shall be in accordance with I.S. 96, 1958, even though preservative-treated timber is not included in the I.S.
- 8.4 Jointing of timber shall be as normally carried out in good quality carpentry

9 Joinery

- 9.1 Timber used for joinery shall comply with the requirements of B.S. 1186 Part 1 Appendix C Class 3.
- 9.2 Finished dimensions, after surfacing, shall have an allowance of 3 mm off nominal dimensions for each wrought surface. All joinery shall be taken as wrought on each surface unless otherwise stated.
- 9.3 When ready for fixing in position, the moisture content of a timber shall be in accordance with I.S. 96, 1958, even though preservative treated timber is not included in the I.S.
- 9.4 Unless otherwise stated, joinery timber shall be Redwood, of Northern European origin.
- 9.5 Jointing shall be as normally carried out in good quality joinery for the particular position. Joints generally shall comply with B.S. 1186, Part 2. Joints shall be glued.
- 9.6 Plywood shall be W.B.P. grade or better and shall have a moisture content of between 10% and 15%.
- 9.7 Skirtings shall be ex 100/25 mm softwood.
- 9.8 1 hour fire resistant doors between existing warehouse and new showroom shall be constructed in timber in accordance with the details contained in B.S. 476 Part 8 and shall be rated 60/60.

10 Wall and Ceiling Finishes

- 10.1 Cement shall be as specified under Concrete Work.
- 10.2 Sand shall be as specified under Concrete Work.
- 10.3 Water shall be clean and free from harmful matter.
- 10.4 Building paper shall be waterproof, as B.S. 1521, Class B.
- 10.5 The internal ceiling over the showroom area shall be a suspended system using aluminium grid with wire hangers. Ceiling shall be Armstrong or similar approved 600 x 600 textured mineral fibreboard lay-in panels suspended from an exposed metal 'T' suspension system with matching angle trim to all perimeters. Tiles to conform to Class 1, B.S. 476, and to be fully clipped in position. Grills

contd/....

to be provided under smoke fence. Lighting to be recessed in the grid.

11 Painting and Decoration

- 11.1 The following Irish Standard Specifications shall apply:-
Emulsion Paint : I.S. 129 : 1964
Knotting : I.S. 6 : 1968
Oil Paint : I.S. 115 : 1963
Metal Primer : I.S. 33 : 1962
- 11.2 All woodwork to be properly primed before being fixed in position. All woodwork not previously painted or from which defective paint has been removed to be given a coat of approved primer, well brushed on.
- 11.3 All iron and steelwork to be primed with selected with primer, or paint conforming to B.S. 2521/4, 1966.
- 11.4 All surfaces specified to be painted shall, after priming, receive 2 undercoats and one gloss coat.
- 11.5 Hardwood, including veneered doors, shall receive 3 coats of matt polyurethane varnish.

12 Glazing

- 12.1 All glass shall comply with the appropriate section of B.S. 952.
- 12.2 Sealing strip shall be best quality wash leather or patent self adhesive glazing strip.
- 12.3 All rebates and beads in wood shall be sealed or primed before glazing is commenced.
- 12.4 All glass shall be clean cut edges.

13 Services

- 13.1 Heating for the showroom shall be by an extension of the existing heating system.
- 13.2 Mechanical air supply will be provided in the showroom at the rate of four air changes per hour.
- 13.3 A minimum lighting level of 300 lux will be provided in the showroom. External lighting will be provided to the front of the building.
- 13.4 Electrical installation shall be in accordance with the requirements and standards of the E.S.B.

contd/....

14 External Works

- 14.1 Surface water drainage from the new roof shall be connected to the existing surface water drainage system.
- 14.2 A 1950 mm chain link security fence shall be provided in place of the existing wall at the boundary to Ballymount Road. A pair of 1950 mm high gates fabricated in M.S. angle with diagonal bracing and finished with chain link fencing shall be provided.