

PLANNING DEPARTMENT
DUBLIN COUNTY COUNCIL
IRISH LIFE CENTRE

18th July 1991

NR. Prendergast / M. Galvin
28/7

John Bird,
Senior Planner.

RE: NO. 3 THE MALL, LUCAN, 2 STOREY EXTENSION.

I refer to application Reg. Ref. 91A1004 which is for a rear two storey extension to No. 3, The Mall, Lucan.

The Mall, Lucan is referred to in the Study prepared for the Lucan Conservation Area as follows:

"Nos 1 - 8 The Mall, Main Street - a distinguished terrace of mid Georgian houses set behind stone boundary walls".

The rear of the building overlooks the Liffey and forms a backdrop to the river from the road above the north bank bank. The proposed extension which is 26m² in area is designed largely in harmony with the existing building. The proposal should not diminish the amenity value of the Mall or the aspect to the river.

Mary Darley
MARY DARLEY,
A/EXECUTIVE PLANNER.

MD/JO'M.

- 1/ Access from the rear is for staff only.
Should they be asked for additional
Car parking spaces?
- 2/ There is a private Right of way to nos 1 & 2
the mall at the rear of the properties.
This should be clarified to the extent that
adjoining owners are agreeable to the proposal
given that extension comes out 3.4m from
the back of the property.
- 3/ Consent of adjoining owner is required
to allow for construction & maintenance of
the extension on the party boundary.
x2. 28/7/91

EYE LAW APPLICATION FEES

REF. NO.: 91A/1004 CERTIFICATE NO.: 15446^B
 PROPOSAL: Extension
 LOCATION: 3 The Mall Main St, Luca
 APPLICANT: Luca District Credit Union Ltd

	1	2	3	4	5	6	7
CLASS	DWELLINGS/AREA LENGTH/STRUCTURE	RATE	AMT. OF FEE REQUIRED	AMT. LODGED	BALANCE DUE	RED. FEE APPL.	AMT. OF RED. FEE
A	Dwelling (Houses/Flats)	@ £55					
B	Domestic Ext. (Improvement/Alts.)	@ £30					
C	Building for office or other comm. purpose <u>23.0m</u>	@ £3.50 per M ² or £70		<u>491</u>			
D	Building or other structure for purposes of agriculture	@ £1.00 per M ² in excess of 300 M ² Min. £70					
E	Petrol Filling Station	@ £200					
F	Dev. of prop. not coming within any of the forgoing classes	£70 or £9 per .1 hect. whichever is the greater					

Column 1 Certified: Signed: [Signature] Grade: D/TE Date: 21/6/91
 Column 1 Endorsed: Signed: _____ Grade: _____ Date: _____
 Columns 2,3,4,5,6 & 7 Certified: Signed: [Signature] Grade: S-O Date: 21/6/91
 Columns 2,3,4,5,6 & 7 Endorsed: Signed: _____ Grade: _____ Date: _____

914/1004

CERTIFICATE NO: 05696

Extension

3 Le Mall Main Street, Lucon

Lucon District Credit Union Ltd

1	2	3	4	5	6
DWELLINGS/AREA LENGTH/STRUCT	RATE	AMT. OF FEE REC.	AMOUNT LODGED	BALANCE DUE	BALANCE DUE
Dwellings	2352				
	2316				
	2300 2316 2316				
23.00m	2316 2316 2316		45.50		
x .1 hect.	2300 2316 2316				
x .1 hect.	2300 2316 2316				
x .1 hect.	2300 2316 2316				
x .1 hect.	2300 2316 2316				
x .1 hect.	2300 2316 2316				

EXEMPT

J. Young

D/TE

2/6/91

Simon

50

21691

Forms 2, 3, 4, 5, 6 & 7 Certified Signed
 Forms 2, 3, 4, 5, 6 & 7 Enclosed Signed

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

EG. REF.: 91A/1004

CONT. REF.:

SERVICES INVOLVED: WATER/POUL SEWER/SURFACE WATER

REA. OF SITE:

LOOR AREA OF PRESENT PROPOSAL: 248 FT²

MASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDER NO: P/ /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

6146
R

248

1000 @ 710

← 186

DEVELOPMENT CONTROL ASSISTANT GRADE

P/4842/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1004

Date Received : 29th August 1991

Correspondence : Fitzgerald Reddy & Associates,
Name and : 26 Upper Mount Street,
Address : Dublin 2.

Development : Erection of a two storey extension to the rear

Location : No. 3 The Mall, Main Street, Lucan

Applicant : Lucan District Credit Union Ltd

App. Type : Permission

Zoning : C1

Floor Area : 26 sq. metres

(MG/BB)

Report of Dublin Planning Officer dated 1st August, 1991.

This is an application for planning permission for a 2 storey extension to the rear of No. 3 The Mall, Lucan for Lucan District Credit Union.

The proposed site is located to the north of Main Street in an area zoned C1 "to provide and/or improve for local/neighbourhood centre facilities". It is also located within the area affected by the Lucan Conservation area. The existing building on site (No. 3 The Mall) is located in a terrace of similar buildings (Nos. 1-8 The Mall) which are proposed to be used (List 2) in the County Development Plan Review, 1991. *used (List 2)*

The proposed site has a stated area of 1491 sq. metres extends back from Main Street to the River Liffey. It is an open and exposed site and the existing building is prominent when viewed from Lucan Bridge and across the River.

The current application provides for the construction of a 26 sq. metre 2 storey extension to the rear of the existing building (at basement ground floor level) to provide extra staff facilities and office accommodation. This will extend some 3.5 metres from the rear wall of the existing building as such will not block the entrance to the adjoining site no. 2, The Mall. However, it is unclear whether rights of way which exist at this site are being infringed.

The proposed development involves removing an existing unsightly toilet annex attached to the existing return. This is to be replaced by a Georgian window to match existing.

The proposed extension is to have a slated pitched roof to match existing, one window is proposed, a Georgian arched window, which will mirror that existing on the return to the rear.

The proposed development provides for a modest extension, which will not

CONTRIBUTION
Standard / 186
Receipt
S. Sars
Open Space
Other:
SECURITY:
Bond / C.I.F.:
Cash:

DR

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1004

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Location: No. 3 The Mall, Main Street, Lucan

detract from the character of the existing building.

Forward Planning report notes that the proposal will not diminish the amenity value of the Mall or the aspect to the river. Report also notes that there is a right of way to nos. 1 and 2 through the rear of the property and states that it should be clarified as to whether adjoining owners are agreeable to the proposal.

The applicants were requested to submit Additional Information on 14th August, 1991, as follows:

1. The applicant is requested to submit documentary evidence to indicate that the proposed development will not interfere with existing rights of way through the proposed site to nos. 1 and 2, The Mall.
2. Details of off-street car parking facilities are required.

A response to the Additional Information request was submitted on 29th August, 1991. No documentary evidence has been submitted regarding existing rights of way across the site. However, the applicant has submitted a revised block plan which indicates the location of the proposed extension vis a vis the entrance to the adjoining site, no. 2 The Mall. From this drawing (and from measurements taken on site) it is noted that the proposed extension does not obstruct this existing entrance. A condition can be included requiring that no rights of way be infringed.

The proposed layout also indicates 7 no. car parking spaces to serve the development. It is noted that No. 7 encroaches on the existing garage on site. It is unclear if this is to be removed.

The proposed development is now considered acceptable.

I recommend that a decision to Grant Permission be made under the Local Government (Planning and Development) Acts, 1963-1990, subject to the following (8) conditions:-

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 29 August 1991 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1004

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Location: No. 3 The Mall, Main Street, Lucan

permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1978 - 1964.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

06 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

07 That off-street car parking area at rear of site, (as indicated on Drawing 91.06.04 lodged as Additional Information) be hard surfaced, lined in white paint and made available prior to the occupation of the proposed extension.

07 REASON: In the interest of the proper planning and development of the area.

Note (1) ~~08~~ ^{Applicant is advised that} That no part of the proposed development shall overail or encroachment on the adjoining property ^{without the} written consent of the adjoining owner(s) ^{is} obtained prior to commencement of development.

~~08~~ REASON: In the interest of the proper planning and development of the area.

Note (2) ~~09~~ ^{Applicant is advised in the event that} That the proposed development shall ~~not~~ ^{should not} interfere with any existing rights of way through this site unless the written consent of adjoining owner(s) is obtained prior to the commencement of development.

~~09~~ REASON: In the interest of the proper planning and development of the

In this regard applicant's attention is drawn to section 26(1) of the Government (Planning & Development) Act 1963 which states: A person shall not be entitled solely by reason of a permission or approval under this section to carry out any development.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

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Location: No. 3 The Mall, Main Street, Lucan

area.

10 That prior to the commencement of development, the applicant shall obtain the written agreement of the adjoining owner(s) to allow for construction and future maintenance of the proposed extension (eastern elevation) from the adjoining site to the east.

10 REASON: In the interest of the proper planning and development of the area.

8 10 That a financial contribution in the sum of £186. be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the proposed development and which will facilitate this development; this contribution to be paid prior to the commencement of development on site.

20 REASON: In the interest of the proper planning and development of the area.

Endorsed:
for Principal Officer

.....
for Dublin Planning Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1990 to GRANT PERMISSION for the above proposal subject to the (8) conditions set out above is hereby made.

Dated : 24th OCTOBER 1991

.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 23rd October 1991.

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1004.
DEVELOPMENT: Erection of a two storey ext. to the rear.
LOCATION: No. 3 The Mall, Main Street, Lucan.
APPLICANT: Lucan District Credit Union Ltd.
DATE LODGED: 18.6.91.

No Roads objection.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 16.07.91
Time 3.35

TB/BMCC
8.7.91.

SIGNED: *C.F. 2/2*

ENDORSED: _____

DATE: 8/7/91

DATE: _____

D
Mary G.

SS + 'cno's

Register Reference : 91A/1004

Date : 25th June 1991

Development : Erection of a two storey extension to the rear

LOCATION : No. 3 The Mall, Main Street, Lucan

Applicant : Lucan District Credit Union Ltd

(R)

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 18th June 1991

Attached is a copy of the application for the above development .Your report would be appreciated within the next 28 days.

Yours faithfully,

Paul Galvin

DUBLIN Co. COUNCIL

PRINCIPAL OFFICER

Date received in Sanitary Services ... 5 JUL 1991.

SAN SERVICES

FOUL SEWER

Available - existing system.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 22.08.91
Time 10.00

SURFACE WATER

Soakpit proposal - refer to S.S.L. Dept.

DUBLIN Co. COUNCIL
SANITARY SERVICES
20 AUG 1991
Returned *None*

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

W. Sullivan 17/8/91.

J.R.
19/8/91

6K.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 22.08.91
Time 10.00

Register Reference : 91A/1004

Date : 25th June 1991

.....
ENDORSED _____ DATE _____

WATER SUPPLY Existing metered supply.....

A. J. B. 15/7/91

[Signature]
18/7/91.....

ENDORSED [Signature] DATE 19/8/91

DUBLIN CO. COUNCIL
SANITARY SERVICES
20 AUG 1991
Returned [Signature]

Mary G.

Register Reference : 91A/1004

Date : 25th June 1991

Development : Erection of a two storey extension to the rear

LOCATION : No. 3 The Mall, Main Street, Lucan

Applicant : Lucan District Credit Union Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : M.GALVIN

Date Recd. : 18th June 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

DUBLIN COUNTY COUNCIL
21 AUG 1991
SUPERVISOR OF ENVIRONMENTAL HEALTH
OFFICE

Yours faithfully,

Paul Galvin

PRINCIPAL OFFICER

The proposal is acceptable subject to
① Compliance with Office Premises Act 1958
② Provision of suitable intake ventilation in the intervening lobby between ACS and tea station.

for *Aa Devine*
John O'Keilly
SUPER. ENVIRON. HEALTH OFFICER,
33 GARDINER PLACE,
DUBLIN 1.

21/8/91

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 26.08.91
Time 10.30

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed erection of a two storey extension to the rear of No. 3, The Mall, Main Street, Lucan for Lucan District Credit Union Ltd.

Fitzgerald Reddy & Associates,
26, Upper Mount Street,
Dublin 2.

Reg. Ref. 91A-1004
Appl. Rec'd: 18.06.1991
Floor Area: 26 sq. m.
Site Area:
Zoning:

Report of the Dublin Planning Officer, dated 12 August 1991

This is an application for PERMISSION for a two storey extension to the rear of No. 3, The Mall, Lucan for Lucan District Credit Union.

The proposed site is located to the north of Main Street in an area zoned C1 "to protect and/or improve local/neighbourhood centre facilities." It is also located within the area affected by the Lucan Conservation area. The existing building on site (No. 3, The Mall) is located in a terrace of similar buildings (Nos. 1-8 The Mall) which area proposed to be listed (List 2) in the County Development Plan Review.

The proposed site has a stated area of 1,491 sq. m. extends back from Main Street to the River Liffey. It is an open and exposed site and the existing building is prominent when viewed from across the River.

The current application provides for the construction of a 26 sq. m. two storey extension to the rear of the existing building (at basement ground floor level) to provide extra staff facilities and office accommodation. This will extend some 3.5 metres from the rear wall of the existing building and as such will not block the entrance to the adjoining site No. 2, The Mall. However, it is unclear whether rights of way which exist at this site are being infringed.

The proposed development involves removing an existing unsightly toilet annex attached to the existing return. This is to be replaced by a Georgian window to match existing.

The proposed extension is to have a slated pitched roof to match existing. One window is proposed, a Georgian arched window which will mirror that existing on the return to the rear.

The proposed development provides for a modest extension, which will not detract from the character of the existing building.

Forward planning report notes that the proposal will not diminish the amenity value of the Mall or the aspect to the river. Report also notes that there is a right of way to nos. 1 and 2 through the rear of the property and states that it should be clarified as to whether adjoining owners are agreeable to the proposal.

(Continued)

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Proposed erection of a two storey extension to the rear of No. 3, The Mall, Main Street, Lucan for Lucan District Credit Union Ltd.

(Continued)

I recommend that **ADDITIONAL INFORMATION** be requested from the applicant with regard to the following:-

1. The applicant is requested to submit documentary evidence to indicate that the proposed development will not interfere with existing rights of way through the proposed site to nos. 1 and 2, The Mall.
2. *Details of off street car parking facilities are required*

MS
(MG/DK)

PK

M. Kenderjost
For Dublin Planning Officer

Endorsed:-
for Principal Officer

Order:- I direct that **ADDITIONAL INFORMATION** be requested from the applicant for planning permission as set out in the above report and that notice thereof be served on the applicant.

Dated: *14* August, 1991.

A. P. O.
Approved Officer

to whom the appropriate powers have been delegated by Order of the Dublin City and County Manager, dated *6* August, 1991.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Fitzgerald Reddy & Assocs.,
26 Upper Mount Street,
Dublin 2.

Reg. Ref.: 91A/1004

25 October 1991

Re: Erection of a two storey extension to the rear of No. 3 The
Mall, Main St., Lucan for Lucan District Credit Union Ltd.

I, the undersigned, hereby acknowledge receipt of Notification
of Decision, dated 25 October 1991, in connection with the above.

Signed:

E. Crevey

On behalf of:

(Name)

(Address)

Fitzgerald Reddy & Associates			
<u>E. Crevey</u>			
OCT 1991			
PASS TO	ACTION	FILE	W/SO.

I hereby certify that the above Notification, dated 25 October
1991, was handed by me to the above signed today.

SIGNED:

DATED:

Paul Galvin
25/10/91

5-00



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 4842 /91 Date of Decision : 24th October 1991

Register Reference : 91A/1004 Date Received : 29th August 1991

Applicant : Lucan District Credit Union Ltd

Development : Erection of a two storey extension to the rear

Location : No. 3 The Mall, Main Street, Lucan

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received :140891//290891

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- ...8.....ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date:.....25/10/91.....

Fitzgerald Reddy & Associates,
26 Upper Mount Street,
Dublin 2.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.

Reg.Ref. 91A/1004
Decision Order No. P/ 4842 /91
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Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

C O N D I T I O N S / R E A S O N S

01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received on 29 August 1991 save as may be required by the other conditions attached hereto.

REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.

02 That before development commences, approval under the Building Bye-Laws be obtained and all conditions of that approval be observed in the development.

REASON: In order to comply with the Sanitary Services Acts, 1878-1964.

03 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON: In order to comply with the Sanitary Services Acts, 1878 - 1964.

04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of safety and the avoidance of fire hazard.

05 That the requirements of the Supervising Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON: In the interest of health.

06 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority.

REASON: In the interest of the proper planning and development of the area.

07 That off-street car parking area at rear of site, (as indicated on Drawing 91.06.04 lodged as Additional Information) be hard surfaced, lined in white paint and made available prior to the occupation of the proposed extension.

07 REASON: In the interest of the proper planning and development of the area.

08 That a financial contribution in the sum of £186.00 be paid by the proposer to the Dublin County Council towards the provision of public services in the area of the development and which facilitates this development. This contribution to be paid prior to the commencement of development on site.

REASON: In the interest of the proper planning and development of the area.

NOTES

1. An appeal against the decision may be made to An Bord Pleanala. The applicant may appeal within one month from the date of receipt by him of this notification. ANY OTHER PERSON may appeal within twenty one days beginning on the date of this decision.
2. An appeal shall be in writing and shall state the subject matter and grounds of appeal. It should be addressed to:-

An Bord Pleanala,
Blocks 6 and 7
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

3. An appeal lodged by an applicant or his agent with An Bord Pleanala will be invalid unless accompanied by the prescribed fee.

(a) An appeal against a decision relating to commercial development by the person by whom the application was made must be accompanied by a fee of £100 (one hundred Pounds).

"Commercial Development" means development for the purposes of any professional, commercial or industrial undertaking, development in connection with the provision for reward of services to persons or undertakings, or development consisting of the provision of two or more dwellings, but does not include development for the purposes of agriculture.

(b) An appeal other than an appeal mentioned at (a) above, including third party appeal must be accompanied by a fee of £50 (fifty pounds)

(c) A party to an appeal making a request to An Bord Pleanala for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanala a fee of £50 (fifty pounds).

(d) A person who is not a party to an appeal must pay a fee of £15 (fifteen pounds) to An Bord Pleanala when making submissions or observations to An Bord Pleanala in relation to an appeal.

4. If the Council makes a decision to grant permission/approval and there is no appeal to An Bord Pleanala against this decision, PERMISSION/APPROVAL will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If every appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/APPROVAL after the withdrawal.

5. Approval of the Council under the Building Bye-Laws must be obtained and the terms of the approval must be complied with in the carrying out of the work before any development which may be permitted is commenced.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1004

Decision Order No. P/ 4842 /91

Page No: 0003

NOTE 1: Applicant is advised in the event that the proposed development oversails or encroaches on adjoining property the written consent of the adjoining owner(s) should be obtained prior to commencement of development.

NOTE 2: Applicant is advised that the proposed development should not interfere with any existing rights of way through this site unless the written consent of adjoining owner(s) is obtained prior to the commencement of development.

In this regard applicants attention is drawn to Section 26(ii) of the Local Government (Planning and Development) Act 1963 which states:

"A person shall not be entitled solely by reason of a permission or approval under this section to carry out any development". ~~owner(s) is obtained prior to commencement of development.~~ *[Signature]*

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1004

Date : 3rd September 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Erection of a two storey extension to the rear
LOCATION : No. 3 The Mall, Main Street, Lucan
APPLICANT : Lucan District Credit Union Ltd
APP. TYPE : Additional Information

With reference to the above, I acknowledge receipt of additional information received on 29th August 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Fitzgerald Reddy & Associates,
26 Upper Mount Street,
Dublin 2.

CR/mh.

26th August 1991

Job Ref: 91-06

ADDITIONAL INFORMATION

Principal Officer,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

91A/1004
1.4.0
A.I.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
29 AUG 1991
REG No. 91A/1004

Re: Lucan Credit Union, Main Street, Lucan.

Reg. Ref. No. 91A-1004

Dear Sirs,

Further to your letter dated 14th August 1991 please find enclosed drawing number 91-06-04 in quadruplicate as requested.

DUBLIN COUNTY COUNCIL
PLANNING DEPT.
RECEIVED
29 AUG 1991

Since receipt of your letter we have made many attempts to contact the relevant planning officers with regard to the matter, having left numerous messages on your answering machine. To date we have had no reply. The information requested as additional information was discussed in late July with the Planning Officer, and at that stage no documentary evidence was requested. Therefore we feel that the application has been unnecessarily delayed to the detriment of our client.

We trust that the enclosed information will meet with your approval and that the application will be dealt with promptly.

Yours sincerely,



Colm Redmond

FITZGERALD REDDY & ASSOCIATES

Encl.



Fitzgerald Reddy & Assocs.,
26, Upper Mount Street,
Dublin 2.

Reg. Ref. No. 91A-1004

14 August 1991

Re: Proposed erection of a two storey extension to the rear of No. 3, The Mall, Main Street, Lucan for Lucan District Credit Union Ltd.

Dear Sirs,

With reference to your planning application, received here on 18th June, 1991, in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts, 1963-1990, the following additional information must be submitted in quadruplicate:-

1. The applicant is requested to submit documentary evidence to indicate that the proposed development will not interfere with existing rights of way through the proposed site to nos. 1 and 2, The Mall.
2. Details of off street car parking facilities are required.

Please mark your reply "Additional Information" and quote the Reg. Ref. No. given above.

Yours faithfully,


for Principal Officer.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone: 773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1004

Date : 19th June 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Erection of a two storey extension to the rear

LOCATION : No. 3 The Mall, Main Street, Lucan

APPLICANT : Lucan District Credit Union Ltd

APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to above, I acknowledge receipt of your application received on 18th June 1991.

Yours faithfully,

.....

PRINCIPAL OFFICER

Fitzgerald Reddy & Associates,
26 Upper Mount Street,
Dublin 2.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Lucan district Credit Union LTD
(If none, give description sufficient to identify) NO. 3 the mall main street lucan.

3. Name of applicant (Principal not Agent) Lucan district Credit Union LTD
Address NO. 3 the mall main street Lucan. Tel. No. 628 1642

4. Name and address of person or firm responsible for preparation of drawings Fitzgerald Reddy and associates
26 uppermount street Dublin 2 Tel. No. 764 127

5. Name and address to which notifications should be sent Fitzgerald Reddy and associates
26 uppermount street

BYE LAW APPLICATION
REL NO 91 N41645

6. Brief description of proposed development two storey extension to rear of existing credit union

7. Method of drainage existing 8. Source of Water Supply existing

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used. offices, banking
(b) Proposed use of each floor stores, banking

of 45.50 18/6

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? NO

N41222

11(a) Area of Site 1,491 m² Sq. m.

(b) Floor area of proposed development 26 m² Sq. m.

(c) Floor area of buildings proposed to be retained within site 230 m² Sq. m.

12 State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) Freehold

RECEIVED
18 JUN 1991
SEC.

13 Are you now applying also for an approval under the Building Bye Laws? Yes No Place / in appropriate box.

14 Please state the extent to which the Draft Building Regulations have been taken in account in your proposal see cover letter.

15 List of documents enclosed with application Architects drawings 9.1/106-107-105-4 copies
Architects specifications, 4 NO copies cover letter
and Engineers specifications 4 NO copies

DUBLIN COUNTY COUNCIL
Permission from Dublin Co. Council for the erection of a two storey extension to rear of No. 3, The Mall, Main Street, Lucan, Co. Dublin. For Lucan District Credit Union Ltd.

16 Gross floor space of proposed development (See back) 26 m² Sq. m.

No of dwellings proposed (if any) — Class(es) of Development 4

Fee Payable £ 136.50 Basis of Calculation (23.50 x 26) + (1.75 x 26) = 136.5

Signature of Applicant (or his Agent) Blm Redmond Date 18th 6th 91

Application Type P/B FOR OFFICE USE ONLY 18/6

Register Reference 91A/1004

Amount Received £ 2.20.8.4

Receipt No 17-6

Date 18/6/91

Irish
Lres
18/6/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Acts 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.

NB. Applications must be received within 2 weeks from date of publication of the notice.
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are.
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls. For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET, DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 41645

- PAID BY
- CASH
- CHEQUE ✓
- M.O.
- B.L.
- I.T.

£91.00

Received this 18th day of June 1991

from Lucan District Credit Union Ltd,
3 The Mall
Main St., Lucan

the sum of ninety one Pounds

Pence, being fee for
bye-law application at above address

Maureen Doane Cashier

S. CAREY
Principal Officer

Class C

CÓMHAIRLE CHONTAE ÁTHA CLIATH

PAID BY — DUBLIN COUNTY COUNCIL

CASH
CHEQUE
M.O.
B.L.
I.T.

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. N 41272

£ 415.50

Received this 18th day of June 1991

from Lucan District Credit Union Ltd,
3 The Mall,
Main St.

the sum of forty five Pounds

fifty Pence, being fee for
planning application at above address

Madge Deane Cashier

S. CAREY
Principal Officer Class 4

CR/mh

18th June 1991

Job Ref: 91-06(A3j)

The Planning Officer,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Mall,
Lr Abbey St.,
Dublin 1.

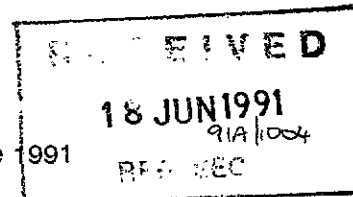
Re: Proposed Two Storey Extension to Rear of Lucan Credit Union, Main Street,
Lucan, Co. Dublin.

Dear Sirs,

On behalf of our clients, Lucan Credit Union, we wish to apply for Planning Permission and Building Bye-Law Approval for two storey extension to rear of Lucan Credit Union, Main Street, Lucan, Co. Dublin.

In support of our application, we hereby submit the following information:-

1. 4 No. Copies of our Drawings No's 91-06-01, 02, 03, 04, 05.
2. 4 No. Copies Outline Specification
3. Engineer's Specification
4. Completed Application Form
5. Newspaper Notice - Irish Press 18th June 1991
6. Cheque to Dublin County Council for £136.50



It is the practice of this office to take account of the Proposed Building Regulations, as issued by the Minister for the Environment in the design of buildings, but this is not to be interpreted as a guarantee that the provisions of the Proposed Building Regulations, have been implemented in full or in any particular respect in this proposal.

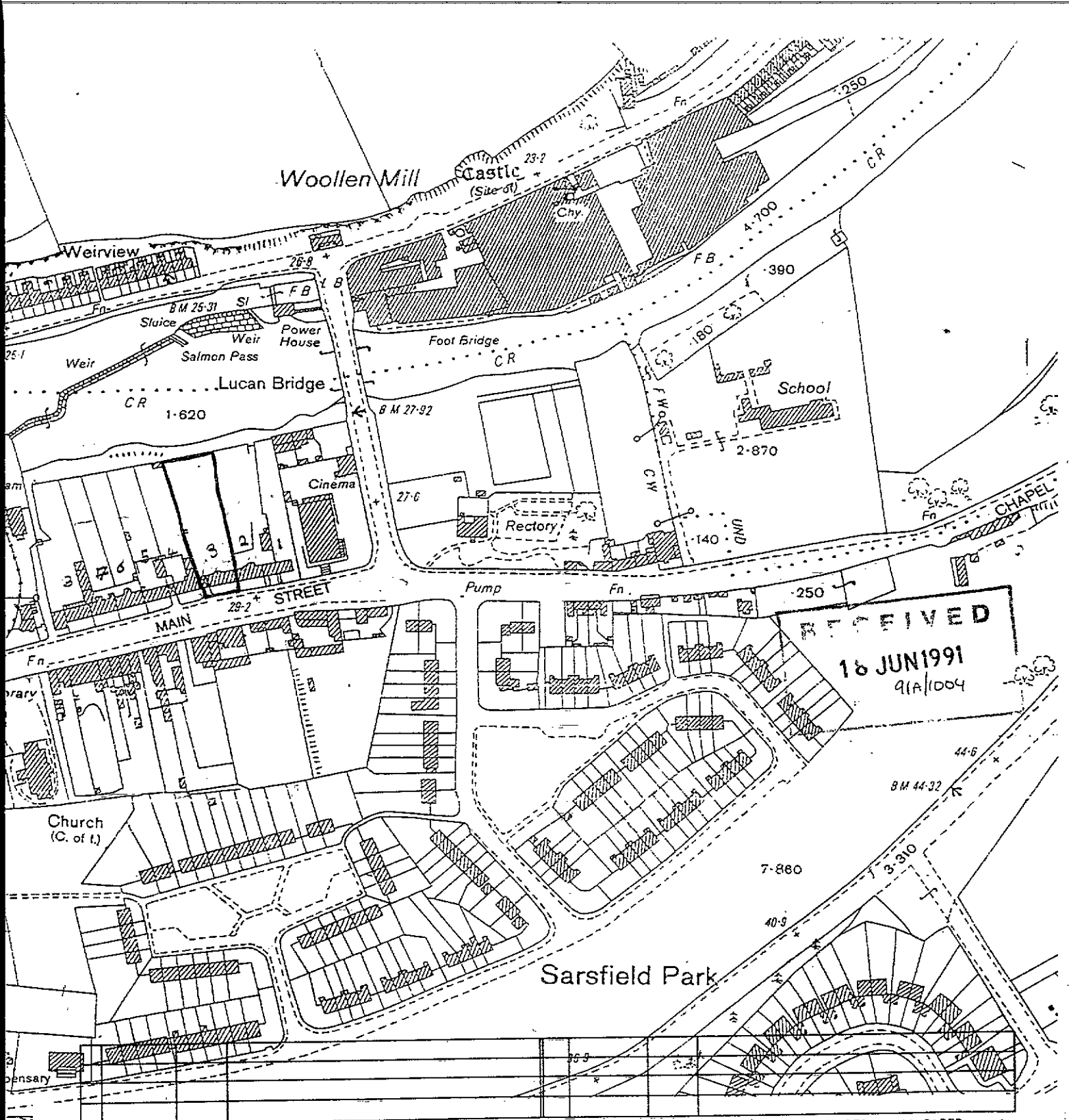
We trust the enclosed is in order and look forward to a successful resolution to this application.

Yours faithfully,


Colm Redmond

FITZGERALD REDDY & ASSOCIATES





RECEIVED
 18 JUN 1991
 91A/1004

THIS DRAWING IS COPYRIGHT

FIGURED DIMENSIONS TO BE USED IN ALL CASES

JOB		CLIENT	
SITE IN LUCAN VILLAGE		LUCAN CREDIT UNION	
TITLE		NUMBER	
SITE PLAN AT 1:2,500		91 06 105	
DATE 4.4.91	SCALE 1:2,500	DRN CR	CHECKED
Fitzgerald Reddy & Associates		26 Upper Mount St. Dublin 2	764127/8
		89 High St. Kilkenny	(056) 62697

JDH12921

O'CONNOR SUTTON CRONIN

Structural Engineers

25 LOWER MOUNT STREET, DUBLIN 2.

Telephone: 609877
Fax: 609414

**STRUCTURAL CALCULATIONS
FOR
LUCAN CREDIT UNION**

RECEIVED
18 JUN 1991
91A/1004

O'Connor Sutton Cronin and Associates Limited

<i>Directors:</i>	John V. O'Connor	Master of Science, Chartered Engineer, Fellow of the Institution of Structural Engineers Fellow of the Institution of Engineers of Ireland, Barrister at Law
	Pearse C. Sutton	Bachelor of Science (Engineering), Chartered Engineer, Member of the Institution of Engineers of Ireland, Member of the Association of Professional Engineers at Saskatchewan, Canada Member of the Institution of Structural Engineers
	Kevin A. Cronin	Bachelor of Science (Engineering), Chartered Engineer, Member of the Institution of Engineers of Ireland, Member of the Institution of Structural Engineers

O'CONNOR
SUTTON CRONIN

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract

LUCAN CREDIT UNION

Job ref.

F15

Part of structure

EXTENSION

Calc. Sheet No.

1

Drawing ref.

Calculations by

BL.

Checked by

Date

6-5-91

Members
ref.

CALCULATIONS

OUTPUT

TIMBER FLOOR AT GROUND FL LEVEL

SPAN = 4.5m CLEAR

LOADING: BOARDS & JOISTS = 0.35 kN/m²

SOFFIT = 0.15 kN/m²

0.50

LIVE LOAD = 3.5 kN/m²

JOISTS @ 400 c/c's

UPL = (0.5 + 3.5) x 0.4 = 1.6 kN/m

M = $\frac{wl^2}{8} = \frac{1.6 \times 4.5^2}{8} = 4.05 \text{ kNm}$

$f_{oc} = 5.6 \times 111 = 616 \text{ N/mm}^2$

SCB
GRADE
TIMBER

$F_{RED} = \frac{4.05 \times 10^6}{616} = 657468 \text{ mm}^3$

PROVIDE 75x275 @ 400 c/c's

DEFLECTION CHECK

75x275
@ 400 c/c's

MAX ALLOW = 0.003l = 13.5mm

ACTUAL = $\frac{5 \times 1.6 \times 4500^4 \times 12}{384 \times 8000 \times 75 \times 275^3} = 8.2 \text{ mm}$

✓OK



O'CONNOR
SUTTON CRONIN

25 Lower Mount Street, Dublin 2.
Tel: 609977 Fax: 609414

Contract

LUCAN CREDIT UNION

Job ref.

A5

Part of structure

EXTENSION

Calc. Sheet No.

2

Drawing ref.

Calculations by

BR

Checked by

Date

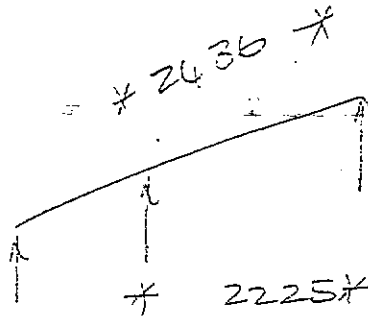
6-5-91

Members
ref.

CALCULATIONS

OUTPUT

LIMBER ROOF



LOADING

SLATE

$\sim 0.4 \text{ KN/m}^2$

BATTENS + FELT

~ 0.1

RAFTERS

~ 0.15

0.65

LIVE LOAD

~ 0.75

RAFTERS
35X125
@ 400gls

RAFTERS @ 400gls

PITCH $\approx 24^\circ$

PROVIDE 35X125 RAFTERS @ 400gls
OR SIMILAR APPROVED

O'CONNOR
SUTTON CRONIN

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract LUCAN CEMENT UNION

Job ref. F15

Part of structure _____

Calc. Sheet No. 3

Drawing ref. _____ Calculations by BC Checked by _____

Date 6-5-91

Members ref.	CALCULATIONS	OUTPUT
	<u>STRIP FOOTING</u>	
	LOADING : $BW = 0.2 \times 20 \times 7.5 = 30 \text{ kN/m}$	
	$F_2 = 0.5 \times \frac{4.5}{2} = 1.1$	
	$R_F = 0.65 \times 0.5 = 0.3$	
	<u>31.4 kN/m</u>	
	LIVE = $3.5 \times \frac{4.5}{2} = 7.9$	
	$0.75 \times 0.5 = 0.4$	
	<u>8.3 kN/m</u>	
	UDL = $1.4 \times 31.4 + 1.6 \times 8.3 = 57 \text{ kN/m}$	
	A.B.P. = 100 kN/m^2	
	WIDTH REQ'D = $\frac{(31.4 + 8.3)}{100} = 0.4 \text{ m}$	
	PROVIDE 750 W STRIP X 350 Dp. 750 X 350 Dp	
	$M_{MAX} = \frac{57}{8} (750 - 0.3) = 3.2 \text{ kNm}$	
	MIN $A_s = 0.13 \times 1000 \times \frac{300}{100} = 39 \text{ mm}^2/\text{m}$ A393 MESH	
	PROVIDE A393 MESH.	
	FORMATION LEVEL TO BE DETERMINED FOLLOWING OPENING UP ON SITE.	
	CARE MUST BE TAKEN NOT TO UNDERMINE EXISTING FOUNDATION.	

**O'CONNOR
SUTTON CRONIN**

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract LIVATI CREDIT UNION

Job ref. F15

Part of structure EXTENSION

Calc. Sheet No. 4

Drawing ref. Calculations by BR Checked by

Date 6-5-91

Members ref.

CALCULATIONS

OUTPUT

NEW BEAMS AT NEW OPE - SPAN 4.5m

LOADING

Roof : $DL = 0.85 \times \frac{5.3}{2} = 2.25 \text{ kN/m}$

$LL = 0.75 \times \frac{5.3}{2} = 1.99$

Attic : $DL = 0.3 \times \frac{5.3}{2} = 0.80$

$LL = 0.25 \times \frac{5.3}{2} = 0.66$

Block : $0.5 \times 20 \times 3.5 = 35 \text{ kN/m}$

Pastor : $0.3 \times 3.5 = 1.05 \text{ kN/m}$

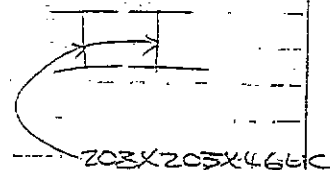
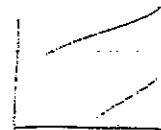
Floor : $DL = 0.5 \times \frac{5.3}{2} = 1.33$

$LL = 3.5 \times \frac{5.3}{2} = 9.3$

SW $= \frac{0.5}{53 \text{ kN/m}}$

$M = \frac{wL^2}{8} = \frac{53 \times 4.5^2}{8} = 784 \text{ kNm}$

$= 67 \text{ kNm / BEAM}$



TRY 2 NO 203 X 203 X 46 UB

$\frac{d}{r_y} = \frac{450}{57.1} = 88$ $\frac{D}{T} = 18.5$

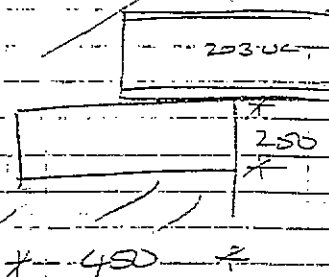
$P_{bc} = 165 \text{ N/mm}^2$

$f_{bc} = \frac{67 \times 10^3}{4492} = 149 \text{ N/mm}^2$ OK

O'CONNOR
SUTTON CRONIN

25 Leinster Mount Street, Dublin 2.
Tel: 01 9977. Fax: 609414

Contract LUCAN CREDIT UNION Job ref. F15
Part of structure Extension Calc. Sheet No. 5
Drawing ref. BL Calculations by BL Checked by BL Date 6-5-91

Members ref.	CALCULATIONS	OUTPUT
	<u>DEFLECTION CHECK</u>	
	$\delta = \frac{5 \times 53 \times 0.5 \times 4500^4}{384 \times 2.1 \times 10^5 \times 4564 \times 10^4} = 14.8 \text{ mm}$ $= \frac{l}{304} \checkmark \text{ OK}$	
	<u>BEARING</u>	
	$\text{REACTION} = \frac{53 \times 4.5}{2} = 119 \text{ kN}$	
	ASSUME LOCAL DESIGN STRESS	
	$= \frac{1.5 \text{ kN}}{\delta m} \approx \frac{1.5 \times 3.6}{3.5} = 1.54 \text{ kN/mm}^2$	
	$\frac{119 \times 10^3}{1.54 \times 500} = 155 \text{ mm DP}$	
	PROVIDE PAD	450 LONG x 250 DP x WIDTH OF WALL
		
	<p>BEAMS TO BE ENCASED IN 50MM CONCRETE OR PREPROF'GD TO ARCHITECTS DETAIL</p>	

OUTLINE SPECIFICATION

FOR

TWO STOREY EXTENSION TO REAR OF EXSITING BUILDING

AT

LUCAN CREDIT UNION

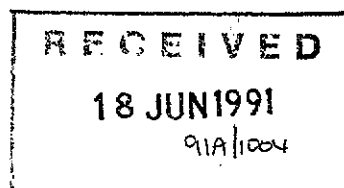
MAIN STREET

LUCAN

CO. DUBLIN

FOR

LUCAN CREDIT UNION



FITZGERALD REDDY & ASSOCIATES,
ARCHITECTS & PLANNING CONSULTANTS,
26, UPPER MOUNT STREET,
DUBLIN 2.

* REF: 91-06

DATE: JUNE 1991

C

CONTENTS

General	1
Excavator	2
Drainlayer	3
Concretor	4
Brick and Blocklayer	5
Roof and External Plumbing	6
Carpentry and Joinery	7
Plumbing	8
Electrician	9
Plasterer	10
Glazing	11
Painter	12
Ventilation	13

SECTION 1 - GENERAL

1.0 General Note :

This Specification is an outline Specification for Planning Application purposes only. It should be read in conjunction with the Architect's and Engineer's Drawings. It is not to be used for construction purposes except with the approval of the Architects as it may be necessary to be read in conjunction with further detailed Drawings and Specifications.

1.1 Location of Site : Main Street, Lucan.

1.2 General Description of the Development. The development consists of a two storey extension containing stairs, W.C.'s and tea station to rear of existing credit union.

SECTION 2 - EXCAVATOR

2.0 Excavation :
Excavate foundations to a good natural bottom, minimum of 700mm. below finished ground level to Structural Engineers satisfaction.

2.1 Keeping Excavations Free from Water :
All water that may accumulate on the site during the progress of the works, or in trenches and excavations, from springs, rain, drains or other causes, is to be baled or otherwise removed.

2.2 Hardcore :
Hardcore shall be properly compacted and shall form a freely draining bed. It shall be cleaned graded gravel or broken rock and shall be free from dust and any deleterious materials.

2.3 Backfill :
Backfilling to foundations, walls, trenches, etc., shall be spread in layers not exceeding 150 mm. thick and each layer shall be well compacted and consolidated. Filling around pipes not concreted and for a depth of 300mm/ over the pipes shall be fine materials free from stones, and placed and consolidated by hand.

SECTION 3 DRAINLAYER

- 3.1 **Concrete Beds:**
Lay concrete in trenches under drain pipes, gullies, junctions, etc., in accordance with Engineer's Specification. The concrete under pipes to be of a minimum thickness of 150mm. laid to falls and projecting at least 75mm. on each side of the drain. The concrete shall be filled in so that it shall extend to the full width of the concrete bed aforementioned and it shall be haunched up no less than half the external width of the pipe.
- 3.2 **Back filling :**
Pipes shall be back filled in fine material and fill remainder of trench in hardcore material, well rammed and remove surplus soil. Internal backfilling to be hardcore.
- 3.3 **Drain Pipes :**
Drain pipes to be used generally may be either of PVC, salt glazed stoneware or concrete to Irish Standard 6 (1949). All pipes under buildings and roadways to be encased in concrete, minimum 150mm. brick all round. Concrete or stoneware pipes to have joints packed with tar gaskin and filled with cement mortar, executed neatly. Ducts shall be formed through rising walls or foundations as necessary to avoid damage to drains.
- 3.4 **Laying Drains :**
All drains shall be laid to the necessary falls and connected to the gulleys, junctions, soil pipes and manholes, in such a manner that every line of drain is straight and true from point to point with a regular gradient throughout its length.
- 3.5 **Armstrong Junctions :**
To be 225 X 225mm. PVC or glazed stoneware with galvanised heavy cast iron cover and frame and set on and surrounded with 150 X 150mm. thick concrete to Engineer's Specification. Frame to be recessed to accommodate brick pavements or paving slabs.
- 3.6 **Gulley Traps :**
To be 150 X 150mm. PVC or glazed stoneware back inlet type gulleys with outlet jointed to drain and fitted with heavy galvanised grating and set on and surrounded with concrete, well dished down to grating.
- 3.7 **Manholes :**
Manholes shall be 750 X 600mm. inside concrete measurements, with 215mm. solid concrete block walls, bedded in cement mortar and finished with 25mm. cement plaster, well haunched down to half round white glazed channels. Roofs of manholes to be reinforced concrete 150mm. thick. Where manholes exceed 1.5m. deep, they are to be 900 X 600mm. inside and fitted with galvanised heavy cast iron foot irons built into walls. The bottoms to be benched in fine concrete finished in pure cement, average 200mm. thick. Outfall manholes shall be formed with interceptor trap, stoppered cleaning eye and air inlet to Local Authority requirements. For further information on Manholes, consult Structural Engineer's Specification.
- 3.8 **Manhole Covers :** Over each manhole set in the roof slab an approved deep seal pattern galvanised cast iron airtight cover and weighing a minimum of 114 KG. to BS 497 (1967) Grade "B". Frame to be bedded in mastic and seal 25 X 25mm. to be filled with tallow and grease. Manhole covers to be recessed to accommodate brick pavements or paving slabs, as necessary.

- 3.9 Access :
All soil and waste pipes to be accessible throughout entire length.
- 3.10 Single Stack Drainage :
Single stack drainage shall be in accordance with British Standard Code of Practice No. 304 (1968)
- 3.11 Vent Shaft :
At the head of each drain, a 100mm. diameter vent pipe shall be carried up over eaves level or to 1m. over head of highest window, within 4m. of vent, secured with proper brackets and fitted with cowl.
- 3.12 Testing :
Plumbing and drainage shall be tested on completion to ensure watertightness and efficient working of the system, as required by Local Authority.
- 3.13 General :
All drainage to be laid in accordance with structural Engineer's drawing and relevant standards and Codes of Practice.

SECTION 4 CONCRETOR

- 4.1 Cement :
Cement to be Portland Cement in accordance with I.S. 1 (1974) delivered to site in properly sealed bags, clearly marked with the brand name and stored, clear of the floor in a dry waterproof store and protected from damp.
- 4.2 Water :
Only clean fresh water free from impurities to be used.
- 4.3 Aggregate :
Course and fine aggregate shall be in accordance with I.S. 5 (1949).
- 4.4 Concrete Mixes :
Concrete mixes to be in accordance with Structural Engineer's Specification.
- 4.5 Transporting and Placing :
Concrete to be transported to avoid adulteration, segregation or loss of ingredients. All formwork and excavations to be cleaned out and have water removed immediately before pouring position as a continuous operation, so that between construction joints fresh concrete is not placed against concrete which has set. Concrete to be finally placed within 30 minutes of discharge from mixer (or agitated during transportation from delivery vehicle. The upper surfaces of concrete to be levelled so that components and elements will be suitable for subsequent surface working. In cold weather, concrete shall be placed with an initial temperature of at least 5 C. and shall not be placed against frozen surfaces. Concrete laid when frost is likely shall be protected immediately after laying with tarpaulins sacks, straw or other suitable material.
- 4.6 Curing :
During initial setting and curing, concrete to be protected from excessive heat, frost, shock or vibration and no traffic to be allowed on it until properly hardened.
- 4.7 Solid Flooring :
150 mm. thick concrete slab to Structural Engineer's Specification, on 150 mm. thickness of hardcore and cover with 1,000 gauge approved polythene membrane dressed under d.p.c. in laps to a minimum of 150 mm.
- 4.8 Perimeter Paving :
Paving shall be 600 X 600 X 50 mm. concrete hardcore paving slabs laid to falls on 50 mm, sand binding on 100mm. hardcore bed laid to falls.
- 4.9 Concrete Lintols :
The concrete lintols to window and door openings are to be reinforced in accordance with Structural Engineer's Specification. Lintels are to be constructed as shown of Structural Engineer's drawings and to have a minimum bearing of 225mm. at each end. The concrete lintels to the inner leaves of external cavity walls are to be splayed as shown. The splay to occur on the cavity side. Alternatively, precast prestressed concrete lintels, conform to B.S. 1239 (1956) and produced by an approved manufacturer may be used.

4.10

Pre-cast Concrete Cills :

Pre-cast concrete cills are to be extra smooth and to be rebated, weathered and throated. Cills are to have 100mm. minimum wall hold at each end, to project 100 mm. beyond the outer face of the blockwork and to be rounded at edge. All cills are to be reinforced to Structural Engineer's Specification and set on d.p.c. turned up full height at back and ends.

SECTION 5
BRICK & BLOCKLAYER

Note: This section to be read in conjunction with Structural Engineers Specification.

- 5.1 **Blocks:**
Solid concrete blocks are to comply with I.S. 20 (1971)
- 5.2 **Bricks:**
Bricks are to be sound, hard and well burnt and shall comply with I.S. 91 (1958)
- 5.3 **Mortar:**
Cement to be composed of one part cement to three parts of sand well mixed in small quantities and used fresh. Cement mortar shall be used for all brickwork and blockwork below damp proof course. Gauged mortar (plasticised mortar) to be composed of one part cement to six parts of sand with liquid mortar plasticiser added in the proportions recommended by the Manufacturers and to be used for brickwork and blockwork over damp proof course.
- 5.4 **Blockwork and Brickwork Generally:**
All walls shall be carried up regularly not leaving any part more than 1m. lower than another. Walls left at different levels to be properly raked back. Walls and partitions are to be bonded one to the other at right angles. "L" shaped blocks are to be used in the external leaf at jambs of openings. All perpend, quoins, etc., in walling are to be kept strictly true and square and the whole properly bonded together. No half bricks or bats are to be used except where necessary for bonding. The joints are to be raked out for flashings, aprons, etc., and afterwards pointed cement mortar 1 : 3.
- 5.5 **Damp Proof Course:**
The damp proof course shall be three ply bitumen on jute or canvas base to I.S. 57 (1953) or polythene to B.S. 643 (1970). Damp proof course to be lapped 150mm. at joints and angles and bedded on a layer of cement mortar. Damp-proof course to be a minimum of 150mm above finished ground level. Provide horizontal damp proof course to each leaf of cavity walls, under blockwork partitions, to chimney breasts and to chimney stack over roof level all as shown. Provide d.p.c. over all lintols to external opes of cavity wall construction stepped from top inner lintol to under inner lintol. Provide d.p.c. to all vertical joints at abutting of inner and outer leaves of cavity walls at reveals. Provide d.p.c. under window cills, turned up at ends and back. Provide d.p.c. to outer leaf of cavity wall under blockwork closing cavity at head.
- 5.6 **Cavity Walls:**
Cavity walls to be as shown on the drawings. Inner and outer leaves to be tied together with galvanised mild steel wall ties approved by the Department of the Environment at 900mm. intervals horizontally and 450mm. vertically. Closure of cavity at foot to be a minimum of 150mm. below d.p.c. level. Provide temporary openings at base of cavity for cleaning out after each days work and brick up on completion. 50mm laths to be placed on ties to catch mortar droppings and lifted out and cleaned off before inserting new row of ties. Every possible care to be taken to keep cavities free from mortar droppings. Provide drainage opes to bottom of cavity in cavity walls, 215mm. below d.p.c. level.

SECTION 6
ROOF AND EXTERNAL PLUMBING

- 6.1 Pitched roof with natural slate.
- 6.1.1 Fixing:
Hang tiles to sawn softwood battens as indicated on drawings and nail in accordance with Manufacturers Instructions.
- 6.1.3 Felt:
Cover rafters with untearable bituminous sarking felt to comply with I.S. 36 (1951). Felt to be lapped 150mm. at joints and at ridges. Felt to be carried over the tilting fillet and fascia sufficiently to give a drip into the gutter.
- 6.1.4 Ridges:
Ridge tile to be proprietary Redland Stonewold tiles to match colour of tiling, bedded in sand and cement 3 : 1. Rake out and point all exposed fair edged and vertical joints with the coloured sand and cement to match tiles.
- 6.1.5 Lead Flashing:
Lead to be No. 5 best milled lead to comply with B.S. 1178 (1969). At sides and front of chimney, neatly dress No. 5 lead. Form chase in chimney and return lead cover flashing into same, secure with lead wedges and point with cement mortar. When plastering, form bell cast over chase. Where chimney stack is not astride ridge, provide lead gutter at back in No. 5 lead laid on 19mm boarding carried up under tiles to a height of 150mm vertically, back over sole board and dressed 150mm up against back of stack and cover flashed in No. 5 lead. Provide No. 5 lead collar to vent pipe where passing through roof, neatly dressed into tile form and into joint in vent shaft.
- 6.2 Rainwater Goods:
Gutters to be 125mm square PVC galvanised heavy gauge steel to comply with I.S. 59 (1953) or other approved gutters secured on brackets to falls. Rainwater pipes to be 75mm square PVC or galvanised heavy gauge steel pipes or other approved pipes secured to holderbats or fitted lugs so as to stand 25mm. clear of the finished wall and having all necessary toes, etc.,

SECTION 7
CARPENTRY & JOINERY

- 7.1 Timber:
Timber used throughout the work to be well seasoned dry and free from sap, shakes, large or loose knots and waney edges and with a moisture content not exceeding the permitted maxima set out in I.S. 96 (1958). Structural timber for trusses to be of a quality as specified at 7.4 below.
- 7.2 Preservative:
Wall plates, end of joists and feet of rafters or feet of trusses, back of fascia, framed supports for fascias and soffits, barge board supports and back of barge boards to be treated with an approved preservative applied in an approved manner. The preservation of timber shall be carried out in accordance with B.S.C.P. 98 (1964).
- 7.3 Glue:
All glue to comply with B.S. 745 (1969)
- 7.4 Roof & Floor Construction:
Roof and Floor timbers to be to sizes specified on the Drawings.
- 7.5 External Doors:
Solid timber hardwood door
- 7.6 Internal Doors:
(a) Half hour self closing fire door
(b) 44 mm flush door
- 7.7 Skirtings:
To be 100 X 25mm. moulded Iroko Teak neatly mitred at all corners. Structural Timber Including Trussed Rafters.
- 7.8 For full details of timber sizes, refer to Structural Engineer's drawings and Specification.

SECTION 8 PLUMBER

8.1 Soil and Vent Pipes :

Shall be 100 mm. diameter PVC or cast iron jointed in accordance with Manufacturer's instructions with all necessary bends, etc., and connected to drain and W.C. Provide all vent pipes with cowls.

8.2 Traps and Waste Pipes :

Traps to sink, bath and wash hand basin to be solid copper deep seal with cleaning eyes 38 mm. diameter for bath and sink and 32mm. diameter for wash hand basin where wastes do not discharge directly to gulley traps, otherwise traps to be standard pattern. Waste pipes to be manufactured for unplasticised PVC conforming to BS 3506 (1962).

8.3 Water Services :

Provide and connect 16mm. heavy gauge PVC pipe 600mm. deep in ground from Local Authority mains to storage tank complete with ball valve and 32mm. overflow. Fit stop cock over floor level where supply enters house and provide connection to kitchen sink. Storage tank to be approved type PVC or galvanised steel to B.S. 417 (1964). Minimum total capacity to be 360 litres per dwelling unit.

8.4 Cold Water Supply :

Run 22mm. copper supply from storage tank to cylinder Run 22mm. separate copper supply to bath with 15mm. branches to W.C. and W.H.B. Fit 22mm. full way screw down stop cocks in accessible position to 22mm. cold feeds to cylinder and bath, etc.

8.5 Water Heating :

Provide 22mm. copper flow and return from boiler to cylinder (with high and low connections). Fit draw off cock in suitable position to empty system.

8.6 Hot Water Supply :

Provide 150 litre copper cylinder to comply with I.S. 161 (1968): run 22mm. copper expansion pipe, carry up and turn down over storage tank. Take off 22mm. copper supply to feed bath with 15mm. branches to wash hand basin and sink.

8.7 General :

Full details of plumbing installation is available on Mechanical Engineer's drawings and specification.

SECTION 9 ELECTRICIAN

9.1 General :

The electrical installation shall be carried out by competent experienced electricians. All electrical work shall be in accordance with the "National Rules for Electrical Installations" published by the Electro-Technical Council of Ireland. There shall be a minimum of one lighting outlet in every room, landing/stairway, hall and corridor. There shall be one double socket in every bedroom, three double sockets in Living room, two double sockets in kitchen, excluding any cooker point. There shall be one double socket in each other habitable room, entrance hall or landing.

9.2 Notice to E.S.B. :

The Electrical Supply Board shall be consulted at an early stage to arrange service and meter position.

9.3 Full details of electrical installation are available on Electrical engineer's drawings and specification.

SECTION 10 PLASTERER

- 10.1 Cement :
The Portland Cement shall be as described in Clause 4.1.
- 10.2 Sand :
The sand shall be natural or crushed stone and to comply with B.S. 1198 (1952) for plastering and graded to Class "A" requirements for both undercoats and finishing coats of "Gypsum" plasters only.
- 10.3 Cement Lime Mortar :
Cement Lime Mortar to be composed of 6 parts of sand, one part of lime putty and one part of Portland cement, well mixed for wall above damp proof course.
- 10.4 Water :
The water used for mixing shall be clean and free from set plaster and other impurities.
- 10.5 Internal Plastering:
All internal walls are to be scudded 3 to 1 sand and cement, scratch coat to be 1 lime and 3 sand gauged with 10% cement and finished in hard wall plaster. Alternatively, internal walls to be lined with approved proprietary dry lining executed in strict accordance with Manufacturer's instructions. Alternatively, other approved plastering specifications may be used. Ceiling plaster board where fixed to joints at 600 mm. centres to be 12mm. thick where fixed to joints of 450 mm. centres or less, to be 9mm thick.
- 10.6 External Plaster :
Scud in cement and coarse sand (1:3) and render in 1 part hydrated lime, 1 part cement and 3 parts sand finished 12mm. thick smooth and even. Finished coat to be 12 mm. 1:2:6 lime, cement, sand to a fine nap finish. Alternatively, 12 mm. rough cast finish in 3:1 sand and cement may be applied. Form true edges and rises, etc. Reveals to be finished as above keyed into rebates and finishing 25 mm. thick and 25 mm. proud of plaster work.

SECTION 11 GLAZING

- 11.1 General Glass to be the best of it's respective kind and conform to B.S. 952 (1964). Glass is to fit accurately into rebates, after priming and is to be well back puttied, sprigged and puttied. Outside putty is to finish to the full depth of rebate. Putty to be linseed oil putty to B.S. 544 (1969).
- 11.2 Clear Glass Clear glass to be sheet glass 4 mm. glass for all areas up to 1.0 sq.m. and 6 mm. for larger panes, all glass in doors to be minimum 6 mm. laminated. Glass to conform to B.S. 952 (1964) and shall be the best of it's kind, clear of all specks, waves, air bubbles and defects of every kind.
- 11.3 Glazing to Doors Glazing in panels to doors to be bedded in putty and held in position with glazing slips and bedded in mastic putty. All glass in doors to be min 6 mm. laminated.
- 11.4 Fixing Before glazing, timber rebates shall be painted and back puttied. Glass shall be sprigged and puttied with linseed oil putty to I.S. 28 or other acceptable non-hardening compound and neatly struck off. 5 mm. glass and over shall be fixed with a suitable glazing slip, pinned and bedded in mastic.

SECTION 12 PAINTER

- 12.1 General :
None other than skilled workmen, except apprentices, to be employed on the works. All paint, etc., is to be prepared and applied strictly in accordance with Manufacturer's instructions.
- 12.2 Workmanship :
All surfaces to be thoroughly dry before knotting, stopping or painting. No paint shall be applied externally in foggy or inclement weather and all necessary precautions are to be taken to prevent damage to paint by frost, etc., The surfaces of all new priming coats and under coats are to be properly filled and sanded down and dusted off between coats as required. Painting shall not be proceeded with in any room until it is free from dust and washed out. Walls to be rubbed down, filled and free from blisters and all blemishes before decoration. On no account is emulsion paint to be used as a primer to woodwork.
- 12.3 Materials :
All painting materials to be the best of their respective kinds. Approved proprietary brands to be applied in accordance with the Manufacturer's instructions.
- 12.4 Internal Painting : All ceilings and walls to be painted a minimum of 2 coats proprietary wall finish. All woodwork to be prepared, knotted, stopped and painted 2 undercoats and one finish coat of high gloss enamel.
- 12.5 External Painting :
All external woodwork to be prepared, knotted, stopped, primed and painted 2 under coats and one finish coat of high gloss enamel. Where external ironwork is used, it is to be cleaned and painted 2 under coats and one finish coat of high gloss enamel.

SECTION 13 VENTILATION

- 13.1 Natural Ventilation :
Every habitable room shall have an opening window area of not less than one twentieth of the room area, ventilated directly to open air.
- 13.2 Mechanical Ventilation :
Interanal bathrooms to be provided with a mechanical ventilation system with an extract fan triggered by an electric light switch. Fan to be fitted with delay action switch.



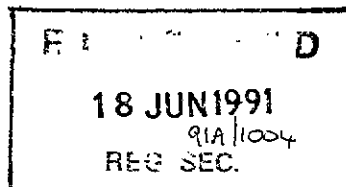
O'CONNOR SUTTON CRONIN

Consulting Civil and Structural Engineers

25 LOWER MOUNT STREET, DUBLIN 2.

Telephone: 609977
Fax: 609414

**STRUCTURAL CALCULATIONS
FOR
LUCAN CREDIT UNION**



O'Connor Sutton Cronin and Associates Limited

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	Pearse C. Sutton	Bachelor of Science (Engineering), Chartered Engineer, Member of the Institution of Engineers of Ireland, Member of the Association of Professional Engineers at Saskatchewan, Canada, Member of the Institution of Structural Engineers.
	Kevin A. Cronin	Bachelor of Science (Engineering), Chartered Engineer, Member of the Institution of Engineers of Ireland, Member of the Institution of Structural Engineers.



**O'CONNOR
SUTTON CRONIN**

25 Lower Mount Street, Dublin 2.
Tel: 609977. Fax: 609414

Contract

LUCAN CREDIT UNION

Job ref.

F15

Part of structure

EXTENSION

Calc. Sheet No.

1

Drawing ref.

Calculations by

Checked by

Date

BR.

6-5-91

Members
ref.

CALCULATIONS

OUTPUT

TIMBER FLOOR AT GROUND FL LEVEL

SPAN = 4.5m CLEAR

LOADING: BOARDS + JOISTS = 0.35 kN/m²

SOFFITE = 0.15 kN/m²

0.50

LIVE LOAD = 3.5 kN/m²

JOISTS @ 400 c/c's

UDL = (0.5 + 3.5) x 0.4 = 1.6 kN/m

$M = \frac{wL^2}{8} = \frac{1.6 \times 4.5^2}{8} = 4.05 \text{ kNm}$

$f_{oc} = 5.6 \times 111 = 6.16 \text{ N/mm}^2$

SCB
GRADE
TIMBER

$Z_{REQ'D} = \frac{4.05 \times 10^6}{6.16} = 657468 \text{ mm}^3$

PROVIDE 75x275 @ 400 c/c's

DEFLECTION CHECK

75x275
@ 400 c/c's

MAX ALLOW = 0.003l = 13.5mm

ACTUAL = $\frac{5 \times 1.6 \times 4500^4 \times 12}{384 \times 8000 \times 75 \times 275^3} = 8.2 \text{ mm}$

OK



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F15

Part of structure

EXTENSION

Calc. Sheet No.

2

Drawing ref.

Calculations by

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Date

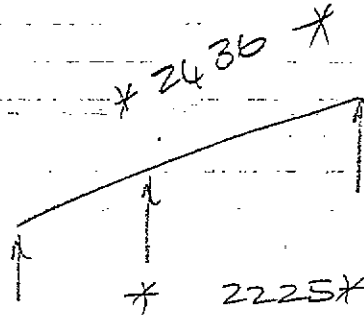
6-5-91

Members
ref.

CALCULATIONS

OUTPUT

TIMBER ROOF



LOADING

SLATE

$\approx 0.4 \text{ KN/m}^2$

BATTENS + FELT

- 0.1

RAFTERS

- 0.15

0.65

LIVE LOAD

- 0.95

RAFTERS
35X125
2400gls

RAFTERS 2400gls

PITCH = 24°

PROVIDE 35X125 RAFTERS 2400gls
OR SIMILAR APPROVED.



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Calc. Sheet No.

3

Drawing ref.

Calculations by

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Date

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6.5.91

Members
ref.

CALCULATIONS

OUTPUT

STRIP FOOTING

LOADING: $B_k = 0.2 \times 20 \times 7.5 = 30 \text{ KN/m}$

$R_k = 0.5 \times \frac{4.5}{2} = 1.1$

$R_k = 0.65 \times 0.5 = 0.3$

31.4 KN/m

LIVE = $3.5 \times \frac{4.5}{2} = 7.9$

$0.75 \times 0.5 = 0.4$

8.3 KN/m

UDL = $1.4 \times 31.4 + 1.6 \times 8.3 = 57 \text{ KN/m}$

A.B.P. = 100 KN/m^2

WIDTH REQ'D = $\frac{(31.4 + 8.3)}{100} = 0.4 \text{ m}$

PROVIDE 750 W STRIP X 350 DP.

750 X 350 DP

$M_{MAX} = \frac{57}{8} (750 - 0.3) = 3.2 \text{ kNm}$

A393 MESH

MIN $A_s = 0.13 \times 1000 \times \frac{300}{100} = 39 \text{ mm}^2/\text{m}$

PROVIDE A393 MESH.

FORMATION LEVEL TO BE DETERMINED
FOLLOWING OPENING UP ON SITE.

CARE MUST BE TAKEN NOT TO
UNDERMINE EXISTING FOUNDATION.



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Contract

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Job ref.

F15

Part of structure

EXPANSION

Calc. Sheet No.

4

Drawing ref.

Calculations by

Checked by

Date

BR

6-5-91

Members
ref.

CALCULATIONS

OUTPUT

NEW BEAMS AT NEW OPE - SPAN 4.5m

LOADING:

Roof : DL = $0.85 \times \frac{5.3}{2} = 2.25 \text{ kN/m}$

LL = $0.75 \times \frac{5.3}{2} = 1.99$

Attic : DL = $0.3 \times \frac{5.3}{2} = 0.80$

LL = $0.25 \times \frac{5.3}{2} = 0.66$

Block : $0.5 \times 20 \times 3.5 = 35 \text{ kN/m}$

Paster : $0.3 \times 3.5 = 1.05 \text{ kN/m}$

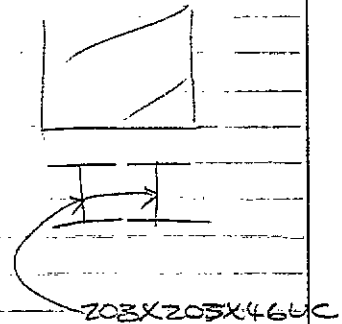
Floor : DL = $0.5 \times \frac{5.3}{2} = 1.33$

LL = $3.5 \times \frac{5.3}{2} = 9.3$

SW = 0.5
 53 kN/m

$M = \frac{wL^2}{8} = 53 \times \frac{4.5^2}{8} = 134 \text{ kNm}$

$= 67 \text{ kNm / BEAM}$



TRY 2ND 203x203x46 UB

$\frac{d}{r_y} = \frac{4800}{57.1} = 88 = \frac{D}{T} = 18.5$

$P_{bc} = 165 \text{ N/mm}^2$

$P_{bc} = \frac{67 \times 10^3}{449.2} = 149 \text{ N/mm}^2 \quad \checkmark \text{OK}$



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LUCAN CREDIT UNION

Job ref.

P15

Part of structure

Extension

Calc. Sheet No.

5

Drawing ref.

Calculations by

Checked by

Date

BR

6-5-91

Members
ref.

CALCULATIONS

OUTPUT

DEFLECTION CHECK

$$\delta = \frac{5 \times 53 \times 0.5 \times 4500^4}{384 \times 21 \times 10^5 \times 4564 \times 10^4} = 14.8 \text{ mm}$$

$$= \frac{l}{304} \quad \checkmark \text{ OK}$$

BEARING

$$\text{REACTION} = \frac{53 \times 4.5}{2} = 119 \text{ kN}$$

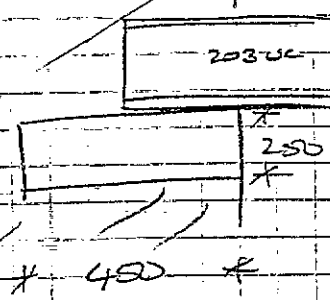
ASSUME LOCAL DESIGN STRESS

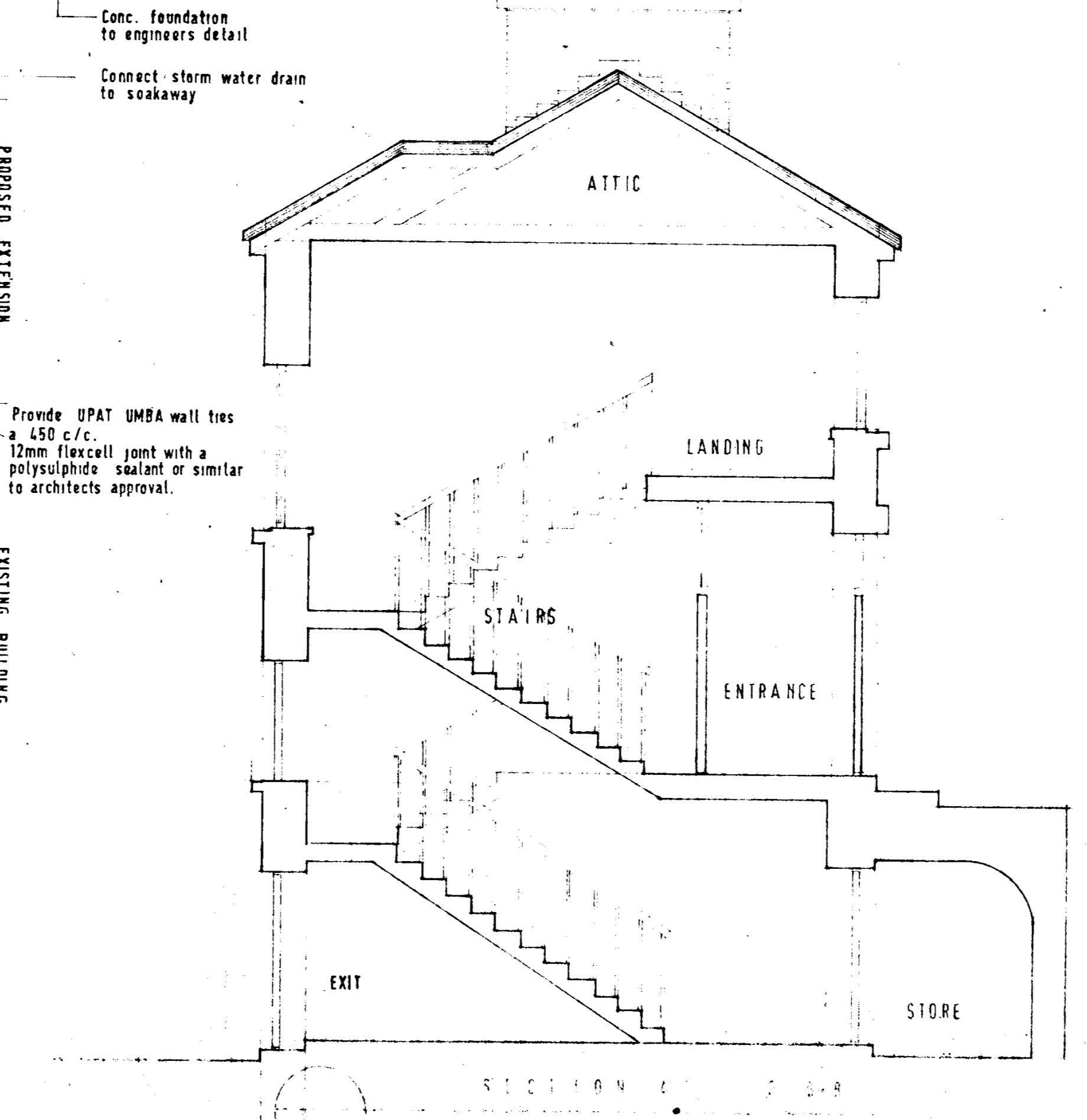
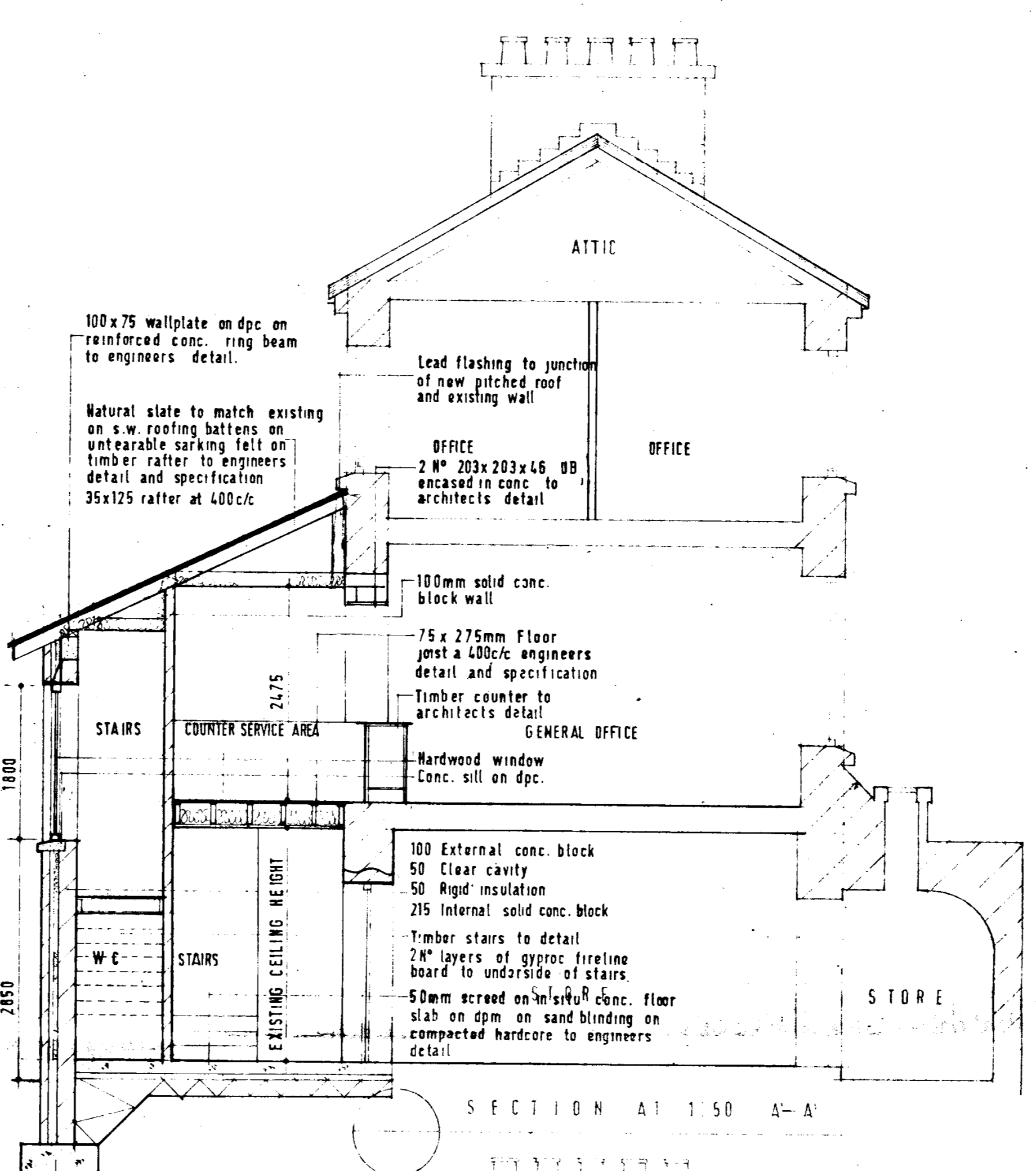
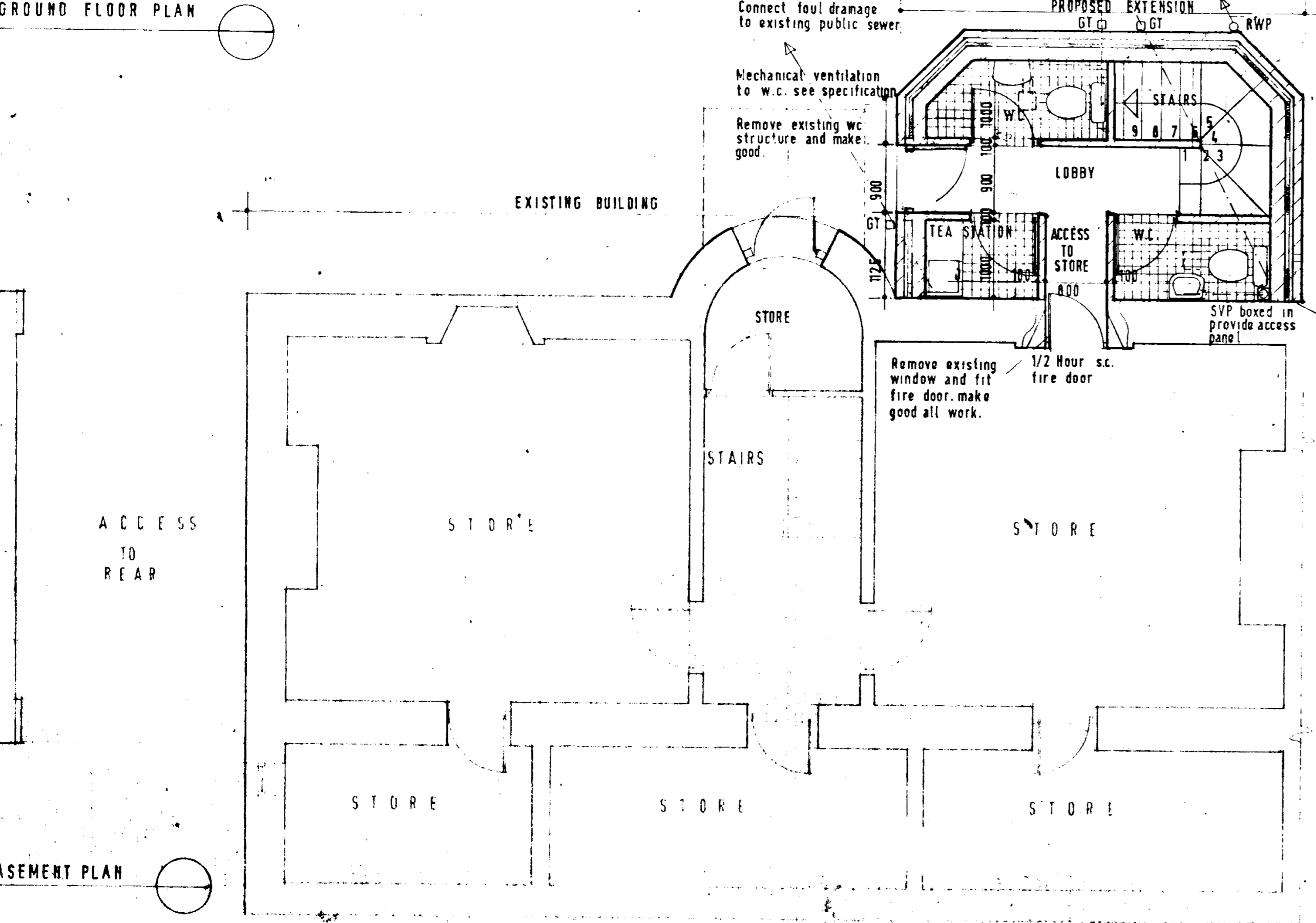
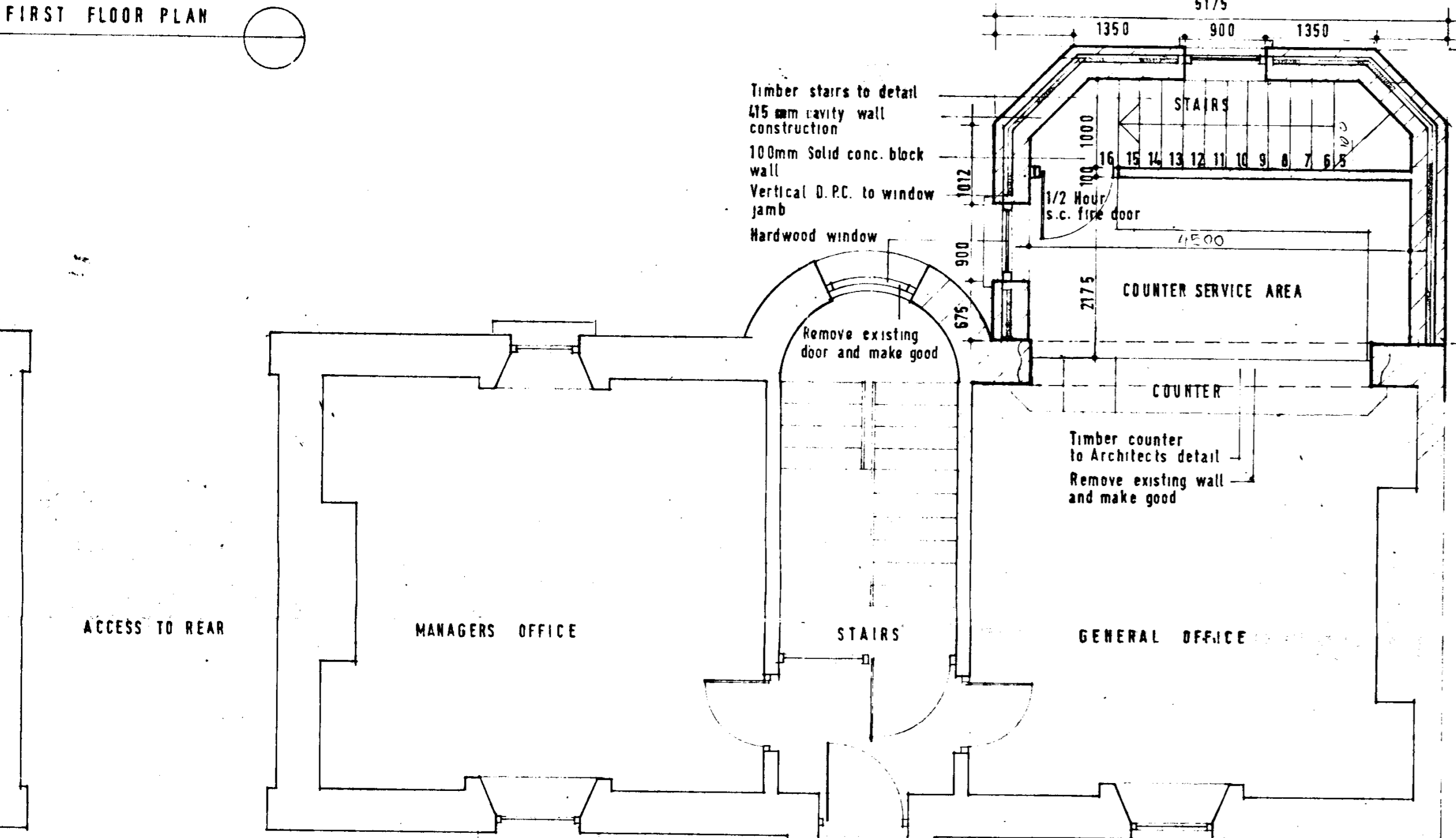
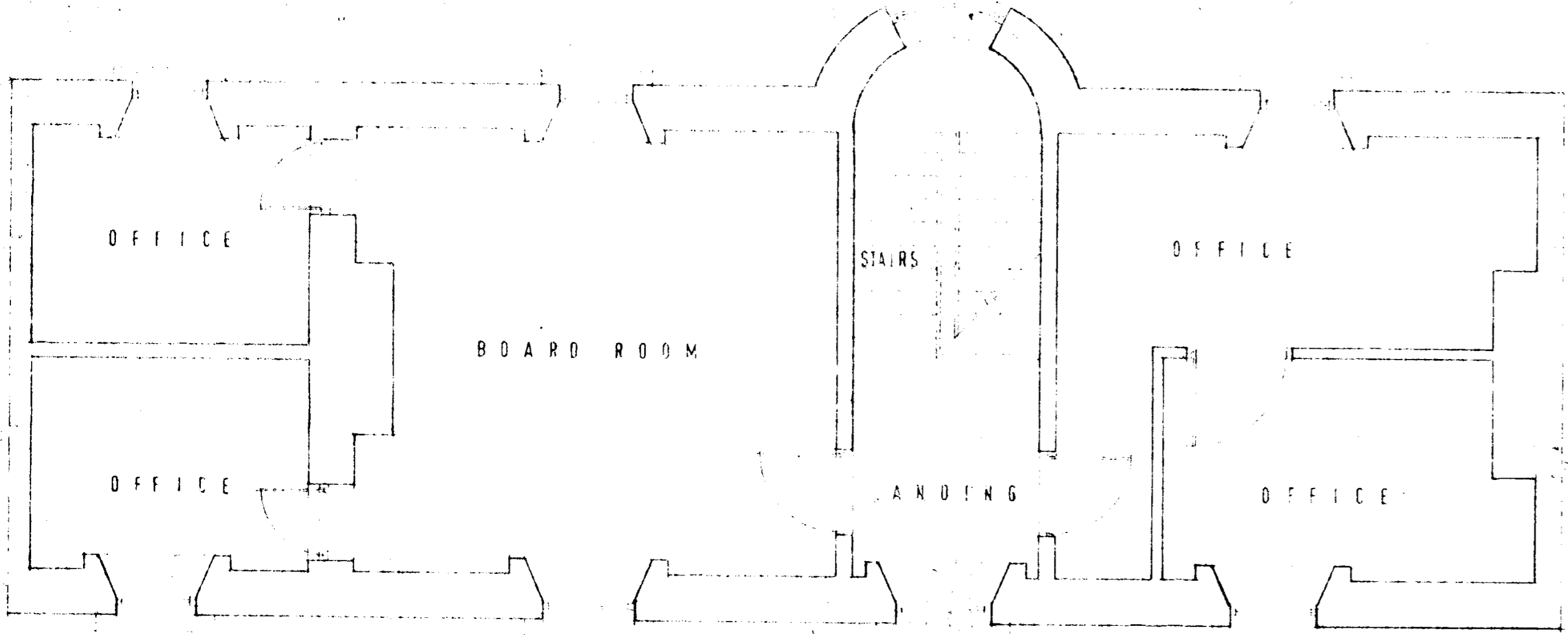
$$= \frac{1.5 f_k}{\gamma_m} \approx \frac{1.5 \times 316}{3.5} = 1.54 \text{ N/mm}^2$$

$$\frac{119 \times 10^3}{1.54 \times 500} = 156 \text{ mm DP}$$

PROVIDE PAD 450 LONG X 250 DP X WIDTH OF WALL

BEAMS TO BE ENCASED
IN 50MM CONCRETE OR
PREPROVED TO ARCHITECTS
DETAIL





OUTLINE SPECIFICATION NOTES

FOUNDATIONS
Strip foundations to engineers details.

GROUND FLOOR
50mm screed on 1000 gauge visqueen D.P.M. on insitu concrete floor slab on blinding and hardcore to engineers details.

SUSPENDED CONCRETE FLOORS
Insitu floor slabs to be used in accordance with Engineers Specification and tied to supporting walls in accordance with Engineers details. Sand and cement screed to be used where specified and reinforced to schedule.

DAMP PROOF COURSES
In all ground floor walls to full width of wall and lapped as necessary with d.p.m. and to be 200mm above ground level. Vertical d.p.c.'s to be inserted at all jambs to opens with a stepped d.p.c. to be carried over all heads to open and carried under and folded up at back and sides of all cills. D.p.c.'s fitted under all wallplates.

EXTERNAL WALLS
Cavity wall construction with 100mm brick outer leaf 50mm cavity 50mm insulation and 215mm concrete block inner leaf with stainless steel wall ties at 450mm cts horizontally and 450 mm cts vertically. See also engineers specification.

External render to be 3:1 sand/cement scud coat & float & finish coats of 1:2:3 sand/cement/lime, total thickness 22.5mm.

All cavity walls to be firestopped horizontally and vertically as required for Bye Law purposes.

INTERNAL WALLS
215mm solid concrete blockwork with 13mm internal bonding plaster with skim finish. 100mm solid concrete blockwork with 13mm internal bonding plaster with skim finish.

FIRE RATED PARTITIONS
One hour rated partitions to consist of 15mm gyproc fireline board each side of 70mm gyproc studs.

INTERNAL PARTITIONS
75 x 38mm stud partitions with 12mm plasterboard and skim both sides unless fire rated.

DOORS
Self closing fire doors to be one hour certified doorsets to BS476 Part 8.

LINTOLS
All lintols to be proprietary pressed metal lintols used in accordance with the manufacturer's instructions with minimum 225mm end bearings or Pre-cast, pre-stressed concrete in accordance with the manufacturer's instructions

ROOF
National slate on 44 X 25 mm roofing battens on untearable roofing felt on timber rafters to engineers specification.
All steelwork to be fire protected with 15mm Gyproc fireline board.

INSULATION
100mm fibre glass quilt on vapour barrier laid between joists in roof space and carried up sides and over top of water tanks.

ALL STRUCTURAL TIMBERS
to be pressure impregnated preservative treated.

RAINWATER GOODS
Ogee aluminium gutters and square downpipes all fixed with proprietary brackets.

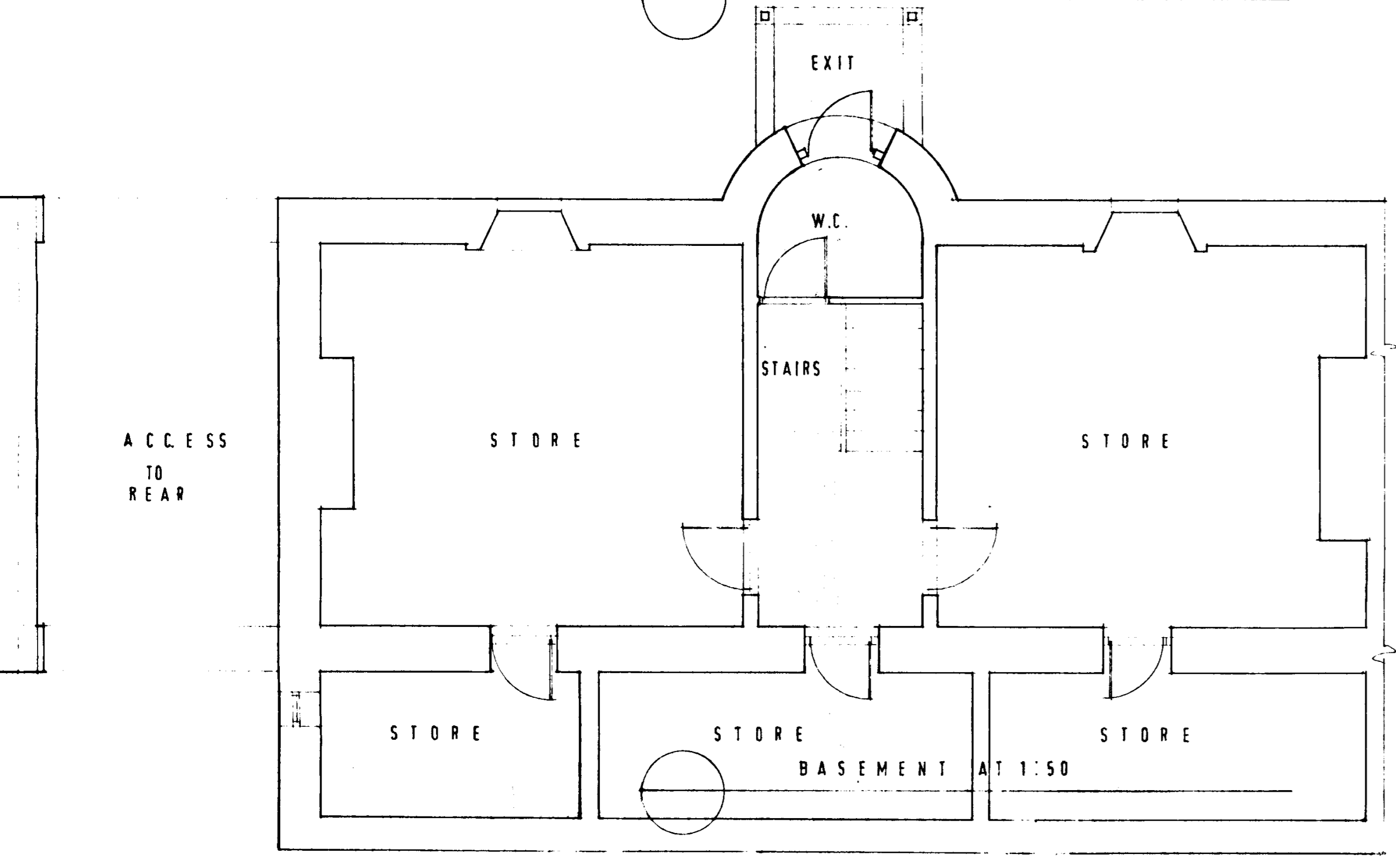
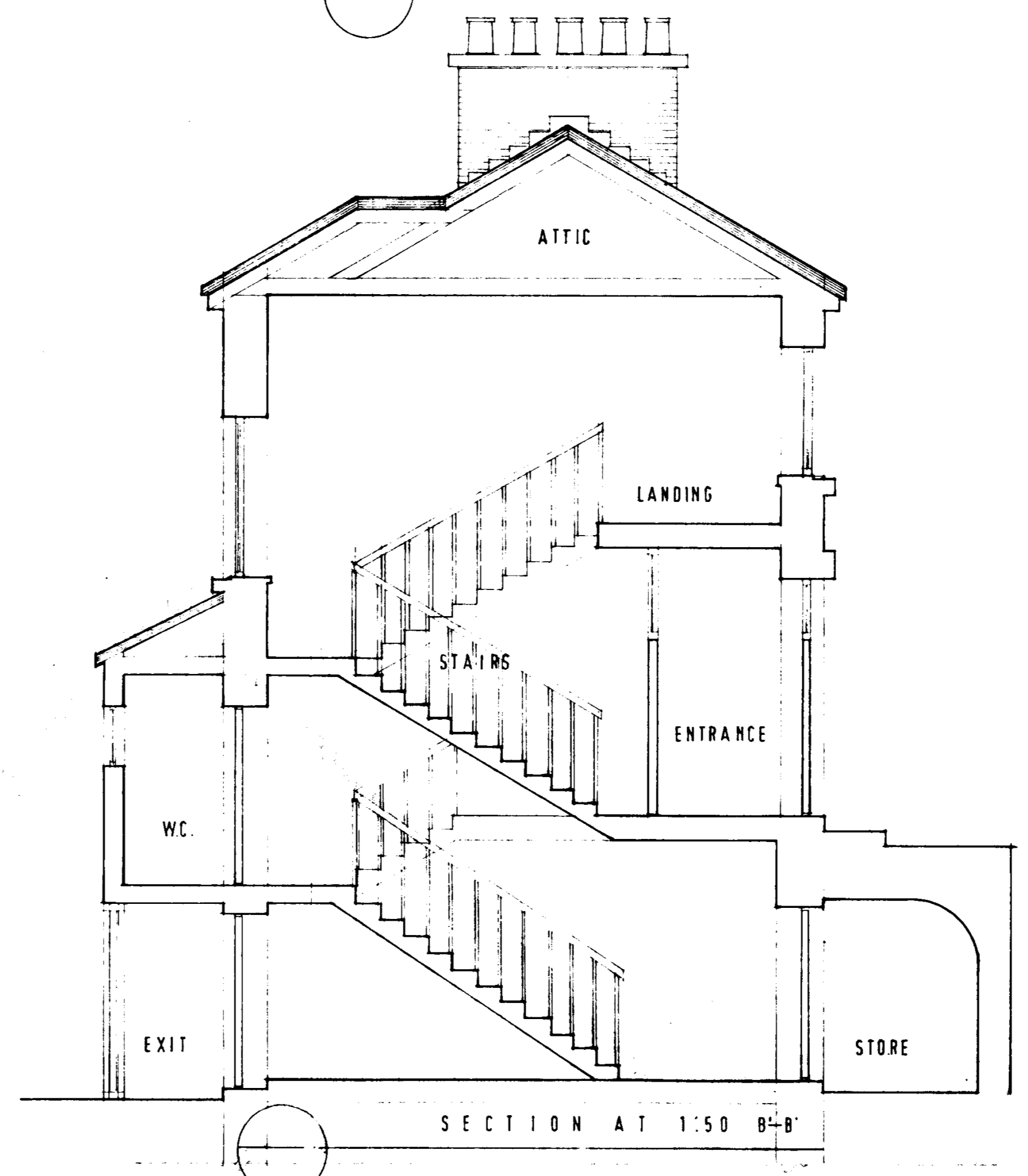
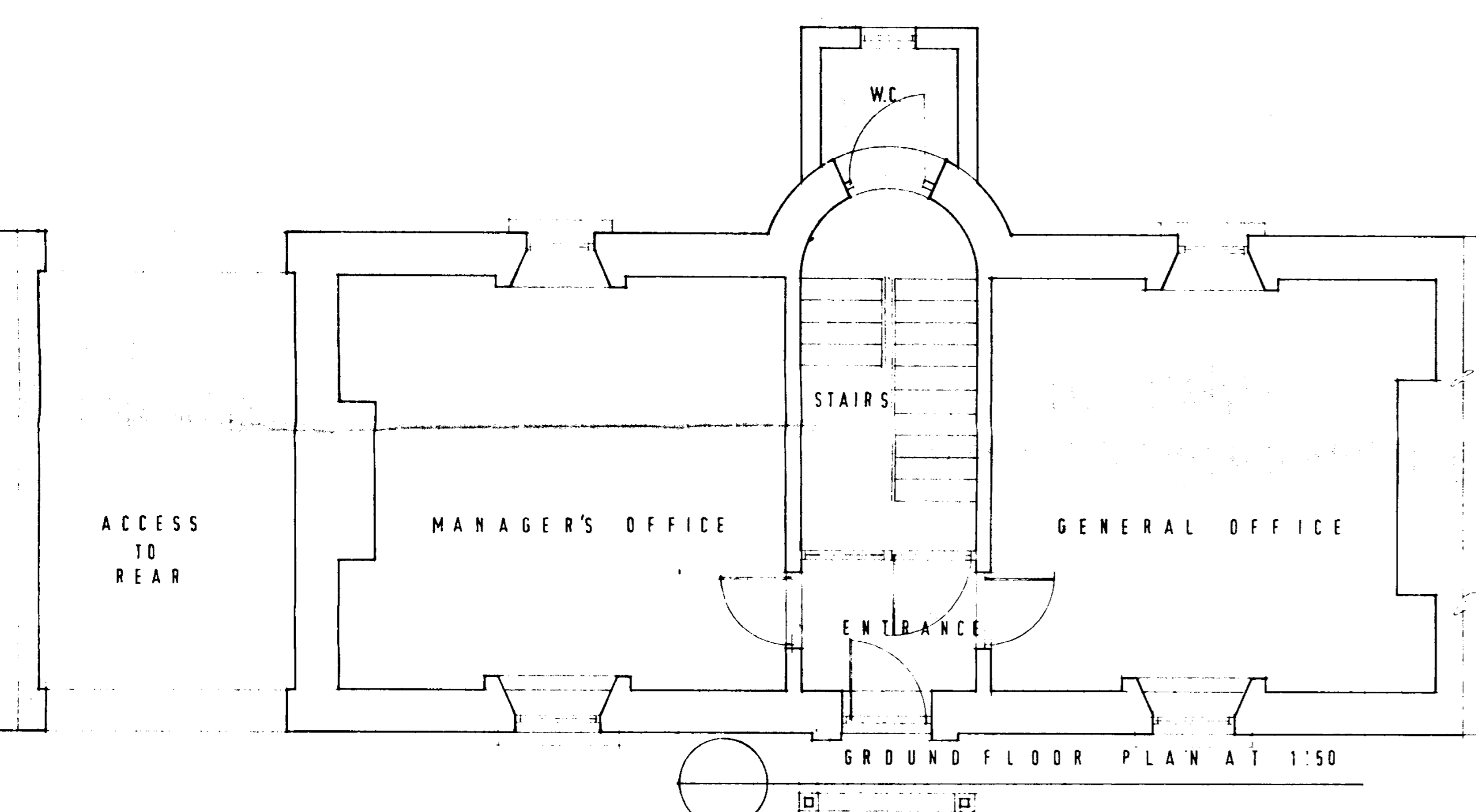
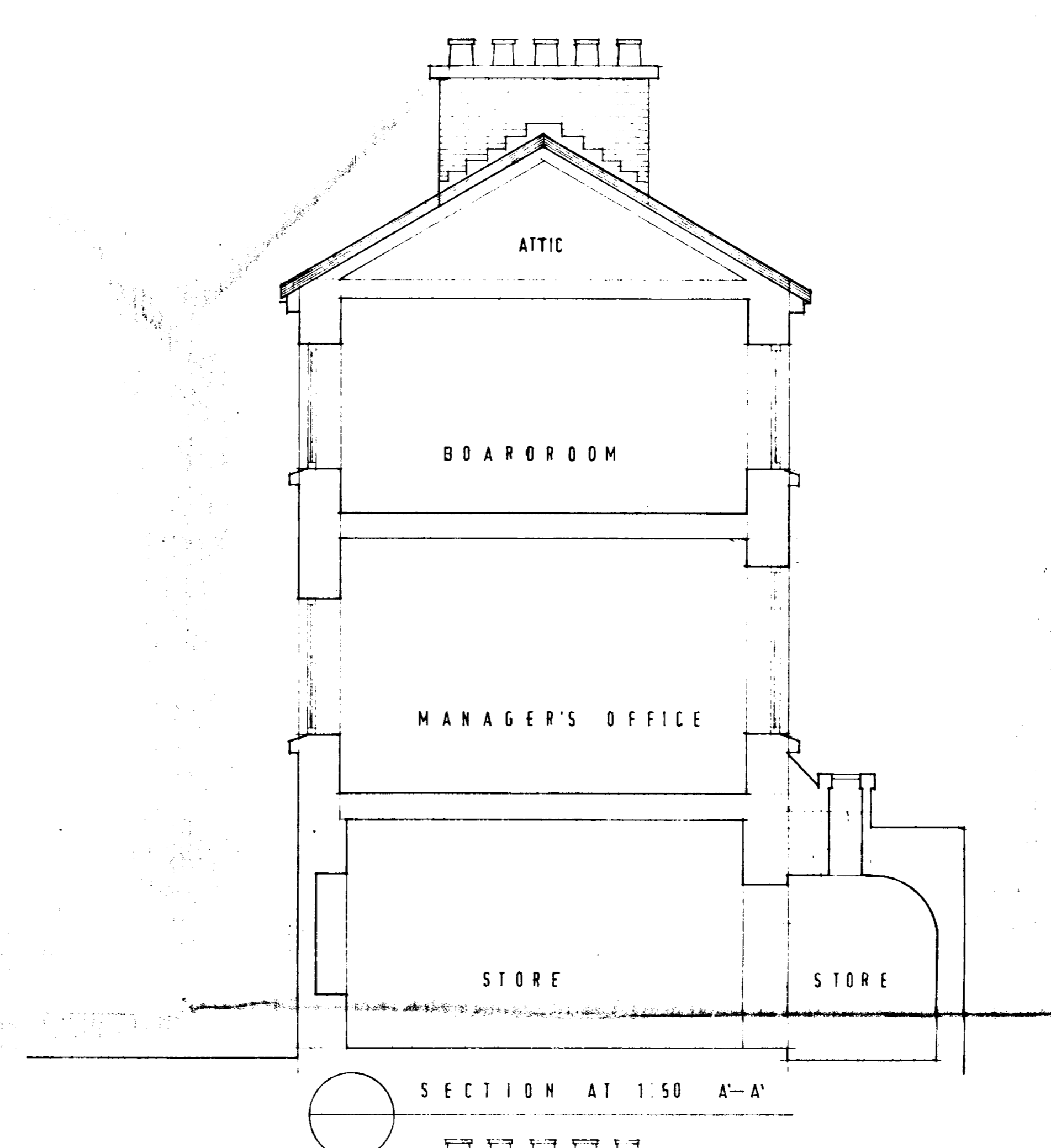
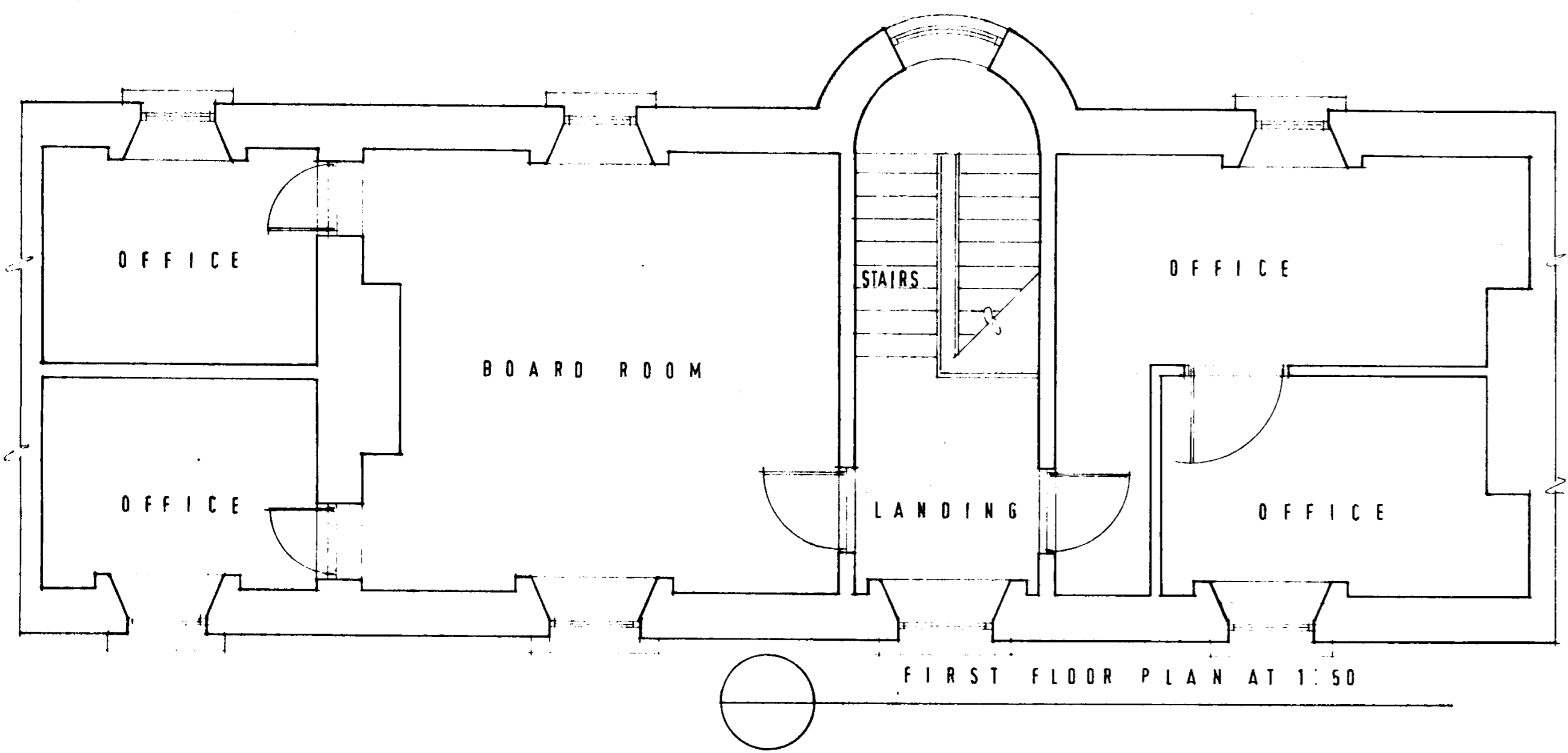
Entrance courts and patios to be finished with 600 X 600 concrete paving slabs laid on 75mm sand on 150 mm hardcore.

SANITATION NOTES
All sanitary fittings connected to single stack to have deep sealed traps fitted to them with anti-siphonage pipe located 75-100mm downstream of traps single stack drainage system designed in accordance with BS5572:1978, code of practice for sanitary pipework.

Access panels to be provided to all pipe work ducts.

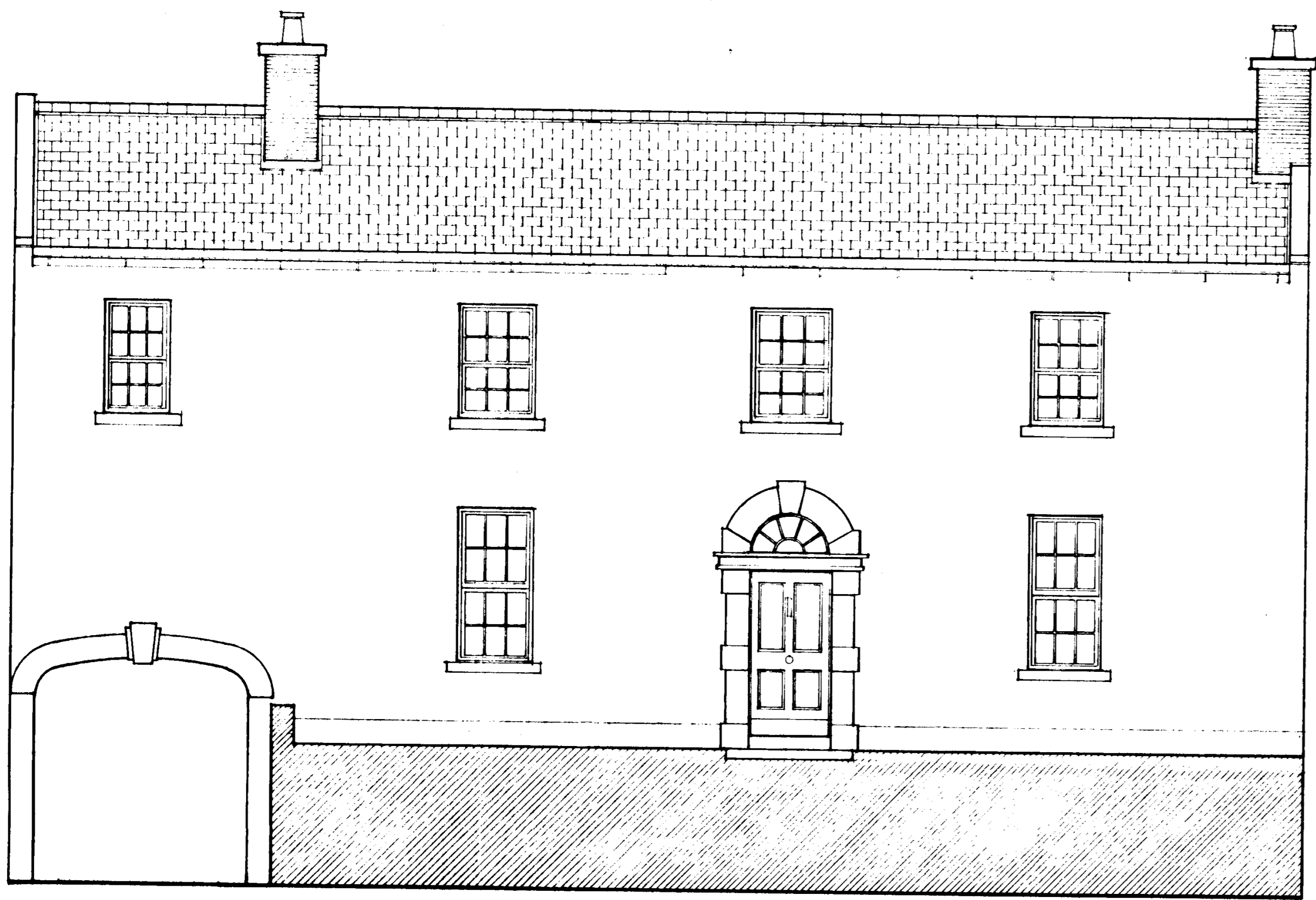
W.C.'s and kitchens to be mechanically ventilated by means of an extract fan with time delay switch providing 3 air changes per hour with time delay of 5 minutes.

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3 JUN 1991
Q/A Files



RECEIVED
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SITE IN LUCAN VILLAGE		LUCAN CREDIT UNION	
EXISTING PLANS AND SECTIONS AT 1:50		91.06 SV101	
DATE: 4.4.91	SCALE: 1:50	DRN: EP	CHECKED: []
Fitzgerald Reddy & Associates		26 Upper Mount St. Dublin 2 89 High St. Kilkenny	



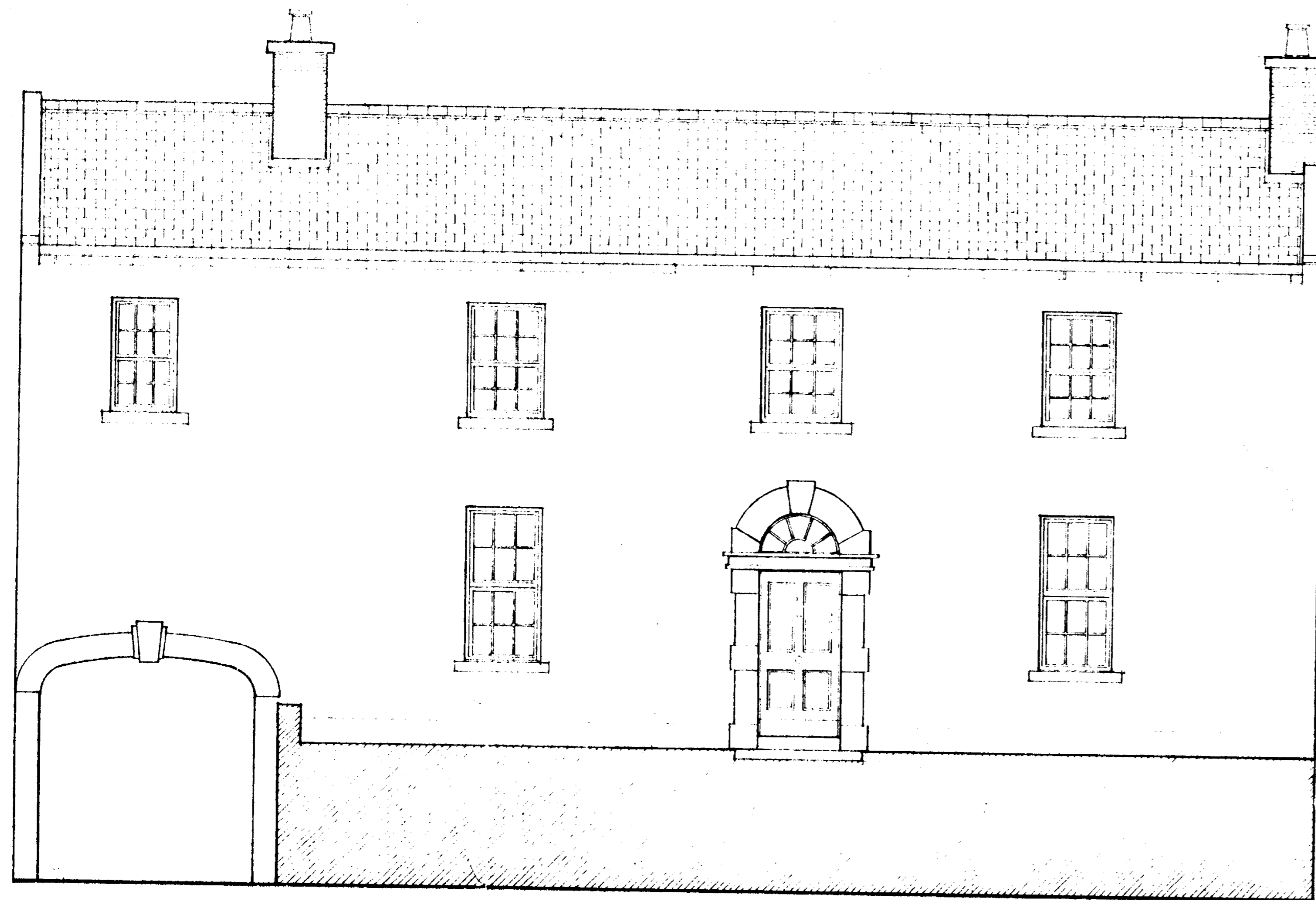
FRONT ELEVATION AT 1:50



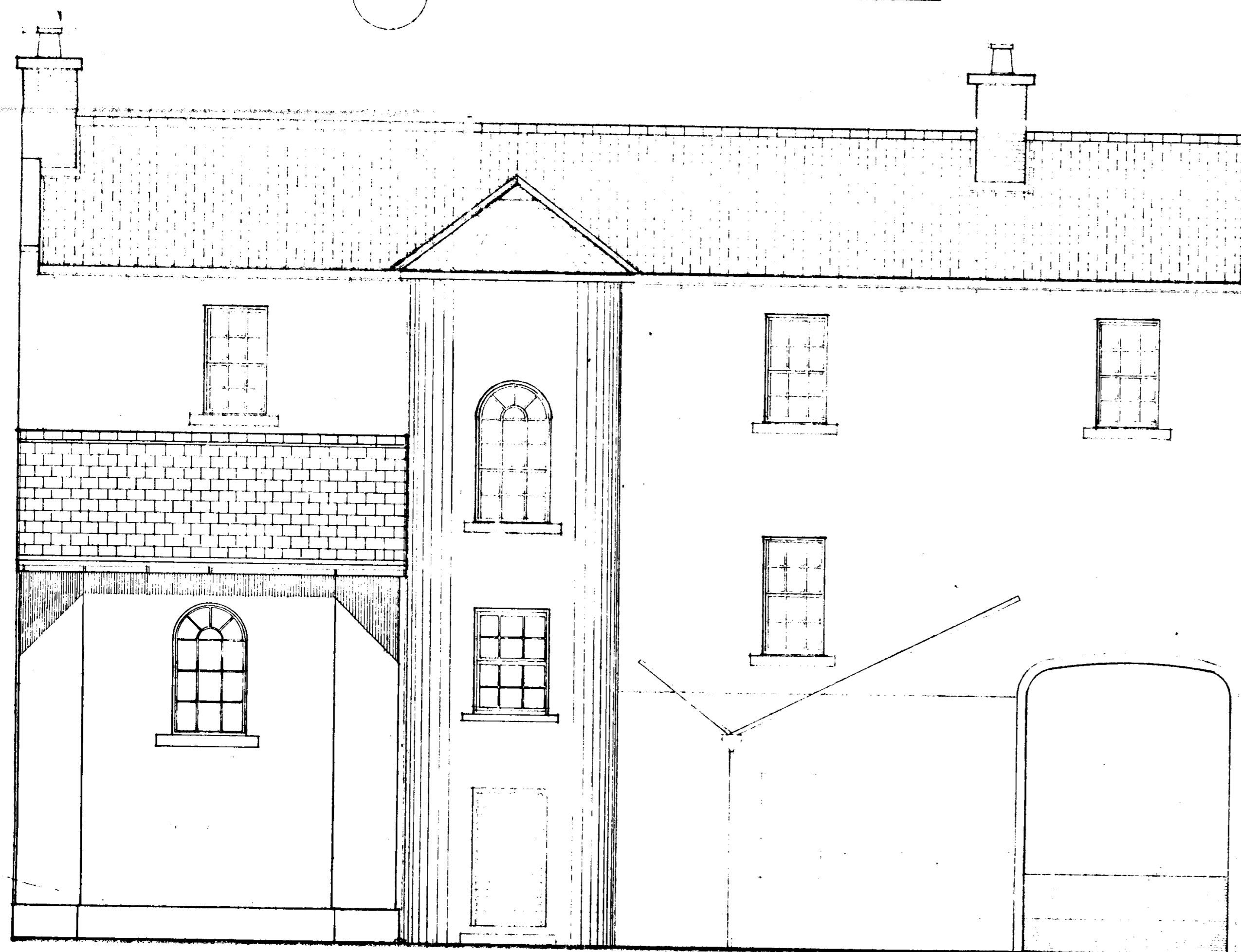
REAR ELEVATION AT 1:50

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JOB SITE IN LUCAN VILLAGE		CLIENT LUCAN CREDIT UNION	
DATE EXISTING ELEVATION TO FRONT AND REAR		DRAWN BY 91 06 SV 102	
DATE 4.2.91	SCALE 1:50	DRAWN BY CP	CHECKED
Fitzgerald Reddy & Associates		21 Upper Mount St. Dublin 2 88 High St. Kilkenny (056) 62697	

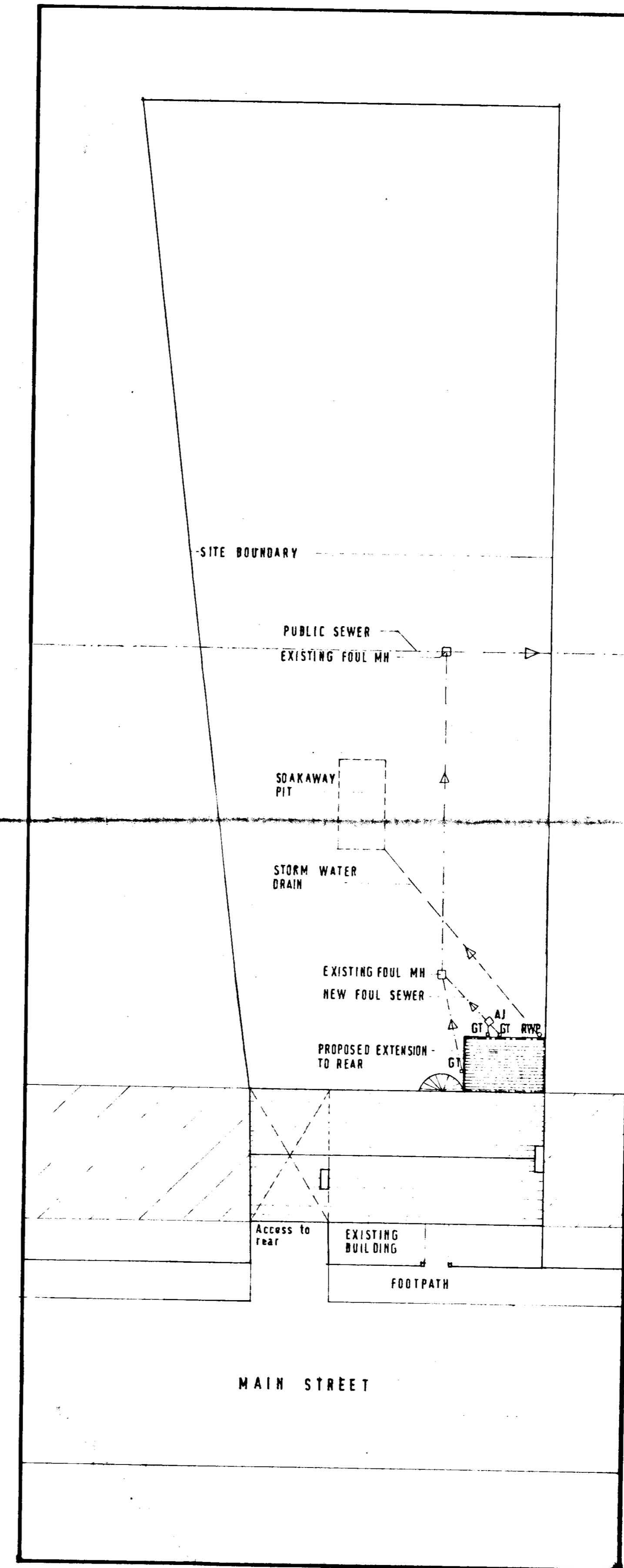


FRONT ELEVATION AT 1:50



REAR ELEVATION AT 1:50

Lead flashing to junction between new pitched roof and existing wall.
Natural slate finish to match existing.
Ogee aluminium gutter fixed to hardwood fascia board.
Maple render finish.
Hardwood window.
Concrete sill.



OUTLINE SPECIFICATION NOTES

FOUNDATIONS

Strip foundations to engineers details.

GROUND FLOOR

50mm screed on 1000 gauge visqueen D.P.M. on in situ concrete floor slab on binding and hardcore to engineers details.

SUSPENDED CONCRETE FLOORS

In situ floor slabs to be used in accordance with Engineers Specification and tied to supporting walls in accordance with Engineers details. Sand and cement screed to be used where specified and reinforced to schedule.

DAMP PROOF COURSES

In all ground floor walls to full width of wall and lapped as necessary with d.p.c. and to be 200mm above ground level. Vertical d.p.c.'s to be inserted at all jambs to open with a stepped d.p.c. to be carried over all heads to open and carried under and folded up at back and sides of all cills. D.p.c.'s fitted under all wallplates.

EXTERNAL WALLS

Cavity wall construction with 100mm brick outer leaf 50mm cavity 50mm insulation and 215mm concrete block inner leaf with stainless steel wall ties at 450mm cts horizontally and 450 mm cts vertically. See also engineers specification.

External render to be 3:1 sand/cement scud coat & float & finish coats of 1:2:3 sand/cement/lime, total thickness 22.5mm.

All cavity walls to be firestopped horizontally and vertically as required for Bye Law purposes.

INTERNAL WALLS

215mm solid concrete blockwork with 13mm internal bonding plaster with skim finish. 100mm solid concrete blockwork with 13mm internal bonding plaster with skim finish.

FIRE RATED PARTITIONS

One hour rated partitions to consist of 15mm gyproc fireline board each side of 70mm gyproc studs.

INTERNAL PARTITIONS

75 x 38mm stud partitions with 12mm plasterboard and skim both sides unless fire rated.

DOORS

Self closing fire doors to be one hour certified doorsets to BS476 Part 8.

LINTOLS

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SITE IN LUCAN VILLAGE

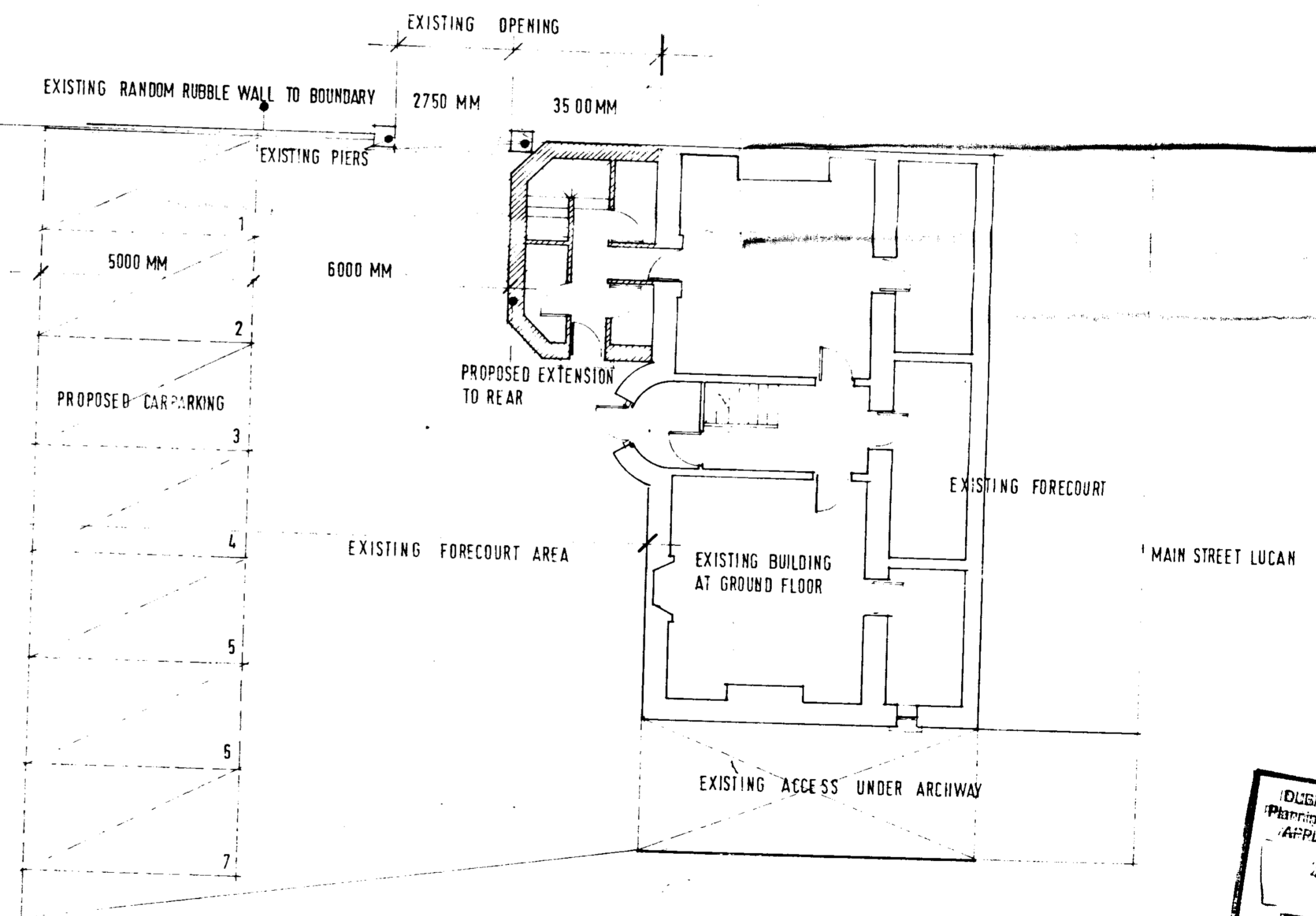
LUCAN CREDIT UNION

ELEVATION TO FRONT AND REAR

31 05 104

Fitzgerald Reddy & Associates

60 000 MM



DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
28 AUG 1991
REG No. 91A/201

SITE IN LUCAN VILLAGE		LUCAN CREDIT UNION	
SITE PLAN AT 1:100		91 06 04	
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