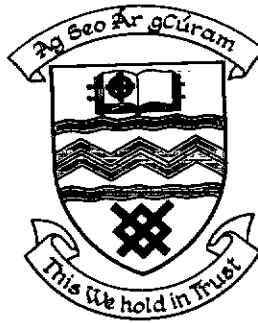


**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-462 0000
Facs: 01-462 0104

**PLANNING
DEPARTMENT**
P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-462 0000
Fax: 01-462 0104

Date : 14th September 1995

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963-1993

Register Reference : 91A/1685/C1

Development : Light industrial/starter units and demolition of cottages being used as offices.

Location : Site at Longmile Road with existing access off Robinhood Road, Walkinstown.

Applicant : Gilt Construction Ltd.,
"Jalna", Wayside, Kiltarnan, Co. Dublin.

App. Type : Compliance with Conditions

Dear Sir/Madam,

With reference to the above, I acknowledge receipt of your submission to comply with conditions received on 05/09/95.

Yours faithfully,


.....
for SENIOR ADMINISTRATIVE OFFICER

**Callan and Co., Solicitors,
Riverbank House,
Dodder Park Drive,
Dublin 14.**

Completion of 1st End 50003

CI

WS + M. Sudge

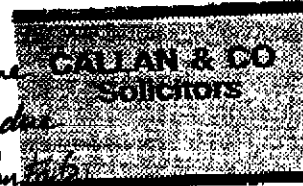
Bank House
Boulder Park Drive
Dublin 14

Tel: 01 490 0100
Fax: 01 490 0292

Our Ref:
Your Ref:

CRC/KR/AL

I think there is also some outstanding contributions due on this development. Contractors BY FAX - 462 0104 Section may not be aware that work has recommenced



South Dublin County Council
Planning Department
P.O. Box 4122
Town Centre
Tallaght
DUBLIN 24



September 5, 1995

Re: Development at Robinhood Road/Long Mile Road, Clondalkin
Reg Ref: 91A/1685
Our Client: Foraby Construction Limited

Dear Sir

We refer to your letter dated 25th August and would reply as follows:

1. Blocks A and B of the above development were constructed by Gilt Construction Limited (in liquidation). The bricks used are "Belfast Rustic" supplied by Kingscourt Brick Limited. Our Client proposes to use the same brick in Block C. Samples of brick are available for inspection, if required.
2. At the time Gilt Construction Limited (in liquidation) applied for Planning Permission, they submitted a landscaping drawing prepared by Jim McConville & Associates, Consultant Arborists/Landscape Designers, Grange, Dunboyne, Co. Meath. The drawing gave full specifications etc., and was approved by yourselves. Landscaping work is programmed to commence at the end of October. Mr John Ryan who owns Unit 1 assures our Client that the owners of Blocks A and B are happy to take over the Management Company which has been formed to upkeep and maintain the common areas. The Purchasers of units in Block C will also become members of Gilt Management Company Limited.
3. We are advised that work to construct a footpath is programmed to commence at the end of October.
4. The complete relocation of site access is also programmed to commence at the end of October. If the site access was relocated now it would effectively mean that all traffic would be directed into the path of the current building work which would be dangerous. At the moment the front access results in safer access for everyone. The relocation will take place when the major building works are completed.
5. We are advised that the container will be removed shortly. It has been used to store building materials which "disappear" if left unattended.

You should contact Mr John Ryan directly regarding the skip which was ordered for the benefit of the owners of units in Blocks A and B and has nothing whatsoever to do with our Client.

Please telephone the writer if you have any queries.

Yours faithfully

Katherine Ryan
Katherine Ryan
Callan & Co.

Ciaran R. Callan, Solicitor, B.A.
Commissioner for Oaths

V.A.T. No. 4724257



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1990.

Decision Order Number : P/ 5585 /91 Date of Decision : 18th December 1991

Register Reference : 91A/1685 Date Received : 23rd October 1991

Applicant : Gilt Construction Ltd

Development : Light industrial/starter units and demolition of
cottages being used as offices

Location : Site at Longmile Road with existing access off
Robinhood Road, Walkinstown

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to GRANT PERMISSION in respect of the above proposal.

D. McCarthy & Co.,
Lynwood House,
Ballinteer Road,
Dublin 16.



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/1685
Decision Order No. P/ 5585 /91
Page No: 0002

Subject to the Conditions on the attached Numbered Pages.

NUMBER OF CONDITIONS:- *4*.....ATTACHED.

Signed on behalf of the Dublin County Council.....
Joe Kanny
for Principal Officer

Date: *19/12/91*.....

Reg.Ref. 91A/1685
Decision Order No. P/ 5585 /91
Page No: 0003



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

CONDITIONS / REASONS

- 01 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 02 That before development commences, approval under the Building Bye- Laws be obtained and all conditions of that approval be observed in the development.
REASON: In order to comply with the Sanitary Services Acts, 1878-1964.
- 03 That the requirements of the supervising Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of health.
- 04 That the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON: In the interest of safety and the avoidance of fire hazard.
- 05 That a financial contribution in the sum of £4380. be paid by the proposer to the Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 06 That the selection of the colour of the brick to be used in the elevation treatment of each block shall be subject to the written agreement of the Planning Authority before development commences.
REASON: In the interest of the proper planning and development of the area.
- 07 That before development commences the applicant shall submit for the written agreement of the Planning Authority details for the landscape strip including full specification and a programme of implementation and maintenance. This landscaping strip shall extend across the Long Mile Road frontage of the site and shall be extended to include that part of the site to the west of Unit 1 of Block A.
REASON: In the interest of the proper planning and development of the area.
- 08 That the applicant construct a 2 metre footpath along his site frontage



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Reg.Ref. 91A/1685

Decision Order No. P/ 5585 /91

Page No: 0004

on a line to be agreed, on site, with Roads Engineer. Boundary fence to be setback to an agreed line.

- 08 REASON: In the interest of the proper planning and development of the area.
- 09 The applicant to make a financial contribution of €11,000 towards the costs of road improvements on Robinhood Road which works will facilitate the proposed development.
- 09 REASON: In the interest of the proper planning and development of the area.

D. McCarthy & Company

Consulting Engineers
Telephone: 984147, 988244
Fax: 951773

Lynwood House,
Ballinteer Road,
Dublin 16.

12th December 1991.

Principal Officer,
Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

Re: Light industrial/starter units and demolition of cottages
being used as offices at Longmile Road, with access off
Robinhood Road.
Reg. Ref: 91A/1685.

Dear Sir,

Further to the above Planning and Bye Law application, I now
submit 4 copies of first floor plans for Blocks A and B.

The additional fees for these areas are as follows.

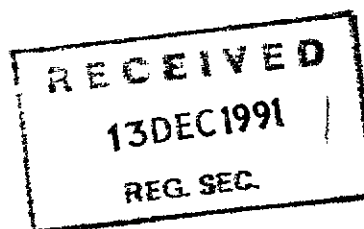
Block A	Areas	=	119.10	
Block B	Areas	=	72.06	
Block C	Areas	=	17.01	

			208.17 m ²	x £5.25
			=	£1092.92

91A/1685
1.4.0
Mul 1.1

Yours faithfully,

Duan O'Flanagan.
D. McCarthy & Co.



D.A. Terry B.E., M.I.E.I., F. Finnegan, B. O'Flanagan.

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

[Empty box for Receipt Code]

CASH
CHEQUE *B. Draft*

BYE LAW APPLICATION

M.O.
B.L.
I.T.

REC. No. N 51949

£ 731.34

Received this *13th* day of *December* 19*91*

from *D. McCarthy & Co.,
Lynwood House
Ballintar Rd.*

the sum of *seven hundred and thirty one* Pounds

thirty four Pence, being *£0.34*

bye-law application at 91A/1685

Noelene Deane Cashier

S. CAREY *Class C*
Principal Officer

MHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET

DUBLIN 1

ISSUE OF this receipt is not an acknowledgement that the fee tendered is the prescribed application fee. N 54097

€ 365.66

13th

day of December 19 91

Received this

from

De Mc Parthy & Co.
Lynnwood House
Ballinteer Rd.

The sum of

Three hundred and sixty five

Pounds

sixty six

Pence being

law application at 97A/16.55

Michael Deane

Cashier

E. CAREY
Principal Officer

Class 4

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET, DUBLIN 1. BYE LAW APPLICATION

PAID BY
CASH
CHEQUE
M.O.
B.L.
I.T.

draft

REC. No. N 51949

£ 731.34

Received this *13th* day of *December* 19*91*

from *D. M. Carthy & Co.,
Lynwood House
Ballintar Rd.*

the sum of *seven hundred and thirty one* Pounds

thirty four Pence being *two* for

bye-law application at 91A/1685

Maureen O'Connell Cashier

S. CAREY *[Signature]*
Principal Officer

RECEIPT CODE

COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Balance

PAID BY
✓
CHEQUE

EYE LAW APPLICATION

REC. No. N 51877

£ 28.80

Received this *11th* day of *December* 19*85*

from *Gift Const. Hd.*

The sum of *twenty eight* Pounds
eighty Pence being *Balance*

fee on 91A/1685

Madeline O'Connell Cashier

CAREY Principal Officer
Sal.

RECEIPT CODE

OMHAIRLE CHONTAE ÁTHA CLIAITH

DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL
DUBLIN 1.

Balance
Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee

N 51397

PAID BY
CASH
CHEQUE
M.O.
P.L.
I.T.

£ 14.40

21st

day of

December

1991

Received this

from *Gift Const. Hcl.*

Pounds

the sum of

fourteen

pence, being

Balance

forty

fee on 91A/1685

Class 4

Modae Deane

Cashier

S. CAREY
Principal Officer

Sub.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1685

Date : 27th November 1991

Dear Sir/Madam,

Development : Light industrial/starter units and demolition of
cottages being used as offices

LOCATION : Site at Longmile Road with existing access off
Robinhood Road, Walkinstown

Applicant : Gilt Construction Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 23rd October 1991

Your application in relation to the above was submitted with a fee of
1523.85.

On examination of the plans submitted it would appear that the
appropriate amount should be 1538.25.

I should be obliged if you would submit the balance of 14.40
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

14.40
28.92

43.22

Yours faithfully,

FOR PRINCIPAL OFFICER

D. McCarthy & Co.,
Lynwood House,
Ballinteer Road,
Dublin 16.

RECEIVED
04DEC1991
REG. SEC.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755
EXTENSION: 231/234
FAX.: 724896

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

D. McCarthy & Co.,

Lynwood House,

Ballinteer Road,

Dublin 16.

28/11/91

REG. REF.: 91A/1685

RE: Light industrial warehousing at site at Long Mile Road with access off
Robinhood Road, for Gilt Construction Ltd.

Dear Sir/Madam,

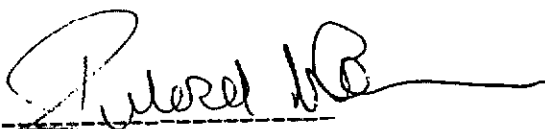
I refer to your application for Bye Law approval in respect of the above proposal. I wish to inform you that the Planning Authority will not commence to consider the application until the appropriate fee is paid. If no fee or a fee less than the appropriate fee has been received by the County Council on the expiration of two months, commencing on the day the application is received, the application will be regarded as having been withdrawn.

The correct fee for the above mentioned application is £ 3,076.50.

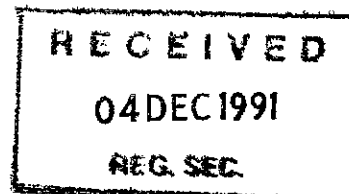
Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £3,047.68
AMOUNT DUE = £ 28.82

Yours faithfully,



for PRINCIPAL OFFICER





Bloc 2, Ionad Bheatha na hÉireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1685

Date : 27th November 1991

Dear Sir/Madam,

Development : Light industrial/starter units and demolition of
cottages being used as offices

LOCATION : Site at Longmile Road with existing access off
Robinhood Road, Walkinstown

Applicant : Gilt Construction Ltd

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Date Recd : 23rd October 1991

Your application in relation to the above was submitted with a fee of
1523.85.

On examination of the plans submitted it would appear that the
appropriate amount should be 1538.25.

I should be obliged if you would submit the balance of 14.40
as soon as possible as a decision cannot be made on this application
until the correct fee is received.

Yours faithfully,

A handwritten signature in dark ink, appearing to be 'M. J.', written over a dotted line.

for PRINCIPAL OFFICER

D. McCarthy & Co.,
Lynwood House,
Ballinteer Road,
Dublin 16.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

INCORRECT FEE WITH BYE LAW APPLICATION

TELEPHONE: 724755

EXTENSION: 231/234

FAX.: 724896

D. McCarthy & Co.,

Lynwood House,

Ballinteer Road,

Dublin 16.

PLANNING DEPARTMENT,
IRISH LIFE CENTRE,
LOWER ABBEY ST.,
DUBLIN 1.

28/11/91

REG. REF.: 91A/1685

RE: Light industrial warehousing at site at Long Mile Road with access off
Robinhood Road, for Gilt Construction Ltd.

Dear Sir/Madam,

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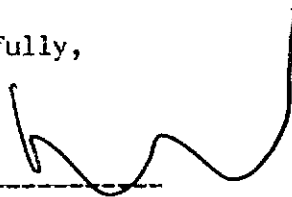
The correct fee for the above mentioned application is £ 3,076.50.

Please quote the Register Reference No. stated above when submitting the fee.

AMOUNT LODGED = £3,047.68

AMOUNT DUE = £ 28.82

Yours faithfully,



for PRINCIPAL OFFICER

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1685

Date : 24th October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Date

Dear Sir/Madam,

- DEVELOPMENT : Light industrial/starter units and demolition of cottages being used as offices
- LOCATION : Site at Longmile Road with existing access off Robinhood Road, Walkinstown
- APPLICANT : Gilt Construction Ltd
- APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 23rd October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

D. McCarthy & Co.,
Lynwood House,
Ballinteer Road,
Dublin 16.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED

1. Application for Permission Outline Permission Approval Place / in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building SITE AT LONGMILE ROAD, WITH
(If none, give description sufficient to identify) ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN.

3. Name of applicant (Principal not Agent) GILT CONSTRUCTION LTD.
Address: 'TALNA' WAYSIDE KILTERNAH, Co. DUBLIN. Tel. No. 955 623

4. Name and address of D. MC CARTHY & Co. CONSULTING ENGINEERS,
person or firm responsible for preparation of drawings LYNWOOD HOUSE, BULLINTEER Co. DUBLIN. Tel. No. 911244/911193

5. Name and address to which notifications should be sent AS IN ABOVE. 1523 85 23/10

6. Brief description of proposed development N 30959
A LIGHT INDUSTRIAL / WAREHOUSE.

7. Method of drainage EXISTING FLY & STN. 8. Source of Water Supply EXISTING.

9. In the case of any building or buildings to be retained on site, please state:
(a) Present use of each floor or use when last used. N/A
(b) Proposed use of each floor N/A

Grid
Pres
2/10/91

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No. (DEMOLITION BY COTTAGE OFFICER)

11. (a) Area of Site AREA OF SITE BEHIND BLD LINE 1912M² 2781.00 Sq. m.
(b) Floor area of proposed development (EXCLUDING PARTY WALLS) 858.00 Sq. m.
(c) Floor area of buildings proposed to be retained within site N/A Sq. m.

12. State applicant's legal interest or estate in site (i.e. freehold, leasehold, etc.) FREEHOLD.

13. Are you now applying also for an approval under the Building Bye Laws?
Yes No Place / in appropriate box.

14. Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
WHERE APPLICABLE.

15. List of documents enclosed with 2 COPIES OF SPECIFICATION, SITE LOCATION MAPS.
2 COPIES OF DRAWINGS S 289/1/2/3/4/5/6/7/8
COPY PUBLIC NOTICE 23/10/91. COPY COVERING LETTER

16. Gross floor space of proposed development (See back) 870.77 (INCLUDING PARTY WALLS)

No of dwellings proposed (if any) N/A Class(es) of Development COMMERCIAL.
Fee Payable £ 4571.53 Basis of Calculation 870.77M² x 21.75 x 3.50 = £4571.53.
If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Duncan O'Hanaghan. Date 23/10/91.

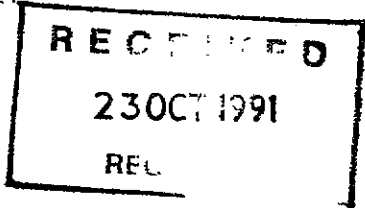
Application Type For Approval FOR OFFICE USE ONLY

Register Reference 91A/1625

Amount Received £ 18-13 236.4

Receipt No

Date



COMHAIRLE CHONTAE ÁTHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

Issue of this receipt is not an
acknowledgement that the fee
tendered is the prescribed application
fee. ~~N 50959~~

PAID BY —
CASH
CHEQUE ✓
I.O.
B.L.
L.T.

£1523.85

Received this 23rd day of October 1991

from Pitt Const Ltd,
Julna
Kitternan

the sum of one thousand five hundred & twenty three Pounds
eighty five Pence being for fee
planning application at Long Mile Road

Abeloe Deane Cashier

S. CAREY (Carey) 4
Principal Officer

COMHAIRLE CHONTAE ÁTHA CLIATH

RECEIPT CODE

PAID BY — DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 50425

CASH
CHEQUE
N.O.

£3047.68

Received this 23rd day of October 1991

from Giff Const. HD,
Tolna,
Kiltiernan

the sum of three thousand and forty seven Pounds

sixty eight Pence being for for

bye-law application at Long Mile Road

Madge Deane

Cashier

S. CAREY
Principal Officer

Wass C

D. McCarthy & Company

Consulting Engineers
Telephone: 984147, 988244
Fax: 951773

Lynwood House,
Ballinteer Road,
Dublin 16.

The Principle Officer,
Dublin County Council,
Planning Department,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.

23rd October 1991.

Re: Proposed light industrial/starter units and demolition of cottages being used as office at site at Long Mile Road with access off Robinhood Road, Walkinstown, Dublin 12.
Gilt Construction Ltd.

Dear Sir,

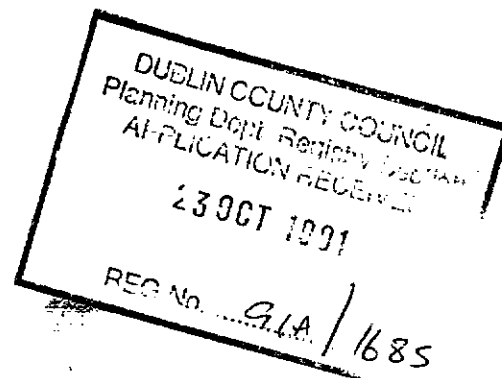
Further to the above application, I would like to comment as follows:-

1. The manufactures details and calculations for the portal frames etc. are being prepared at present and will be lodged during the course of this application.
2. The site is been used at present for trailer/container storage and is a totally tarmacadam surface.
3. There is an existing foul manhole connection on site and an existing surface water sewer outside the site.
4. The cottages to be demolished had a previous demolition order on same, but are presently been used as offices.

If you have any queries or require any further information please do not hesitate to contact me.

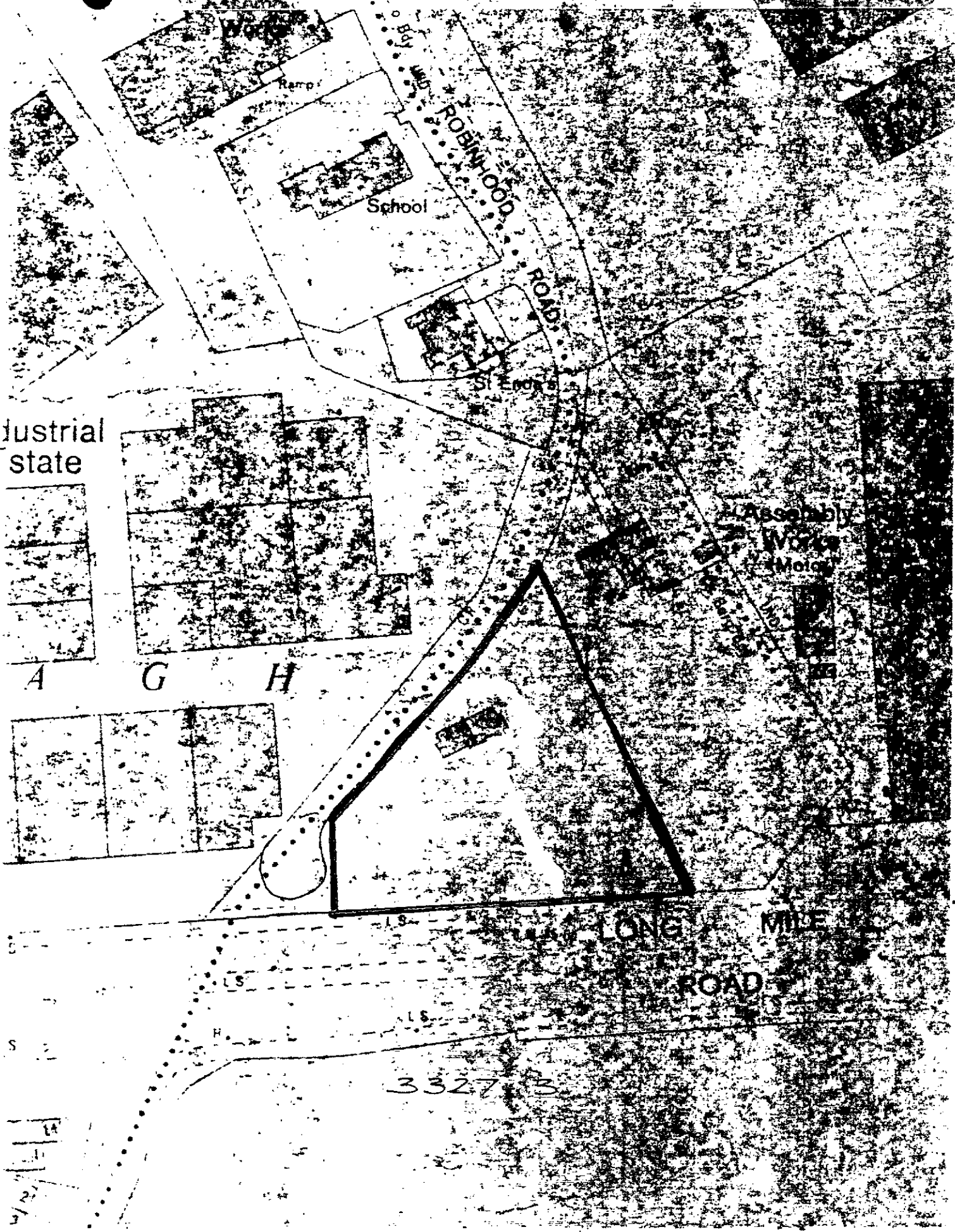
Yours faithfully,

Duan O'Hanagan.
D. McCarthy & Co.



MAP REFERRED TO:

D. Mc Garry & Co., Consulting Engineers, Lynwood House, Ballinteer Road, Dublin 16. Tel: 988244/984147.



Industrial state

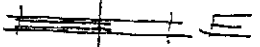
A G H

3327/3

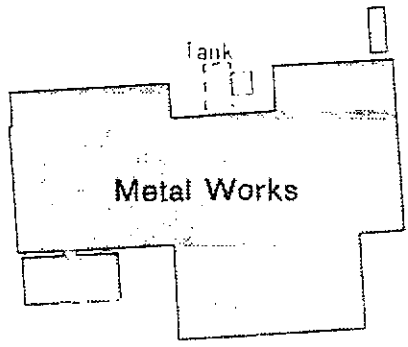
LKINSTOWN

Car Park

Assembly Works
(Motor)



13.0
AVENUE



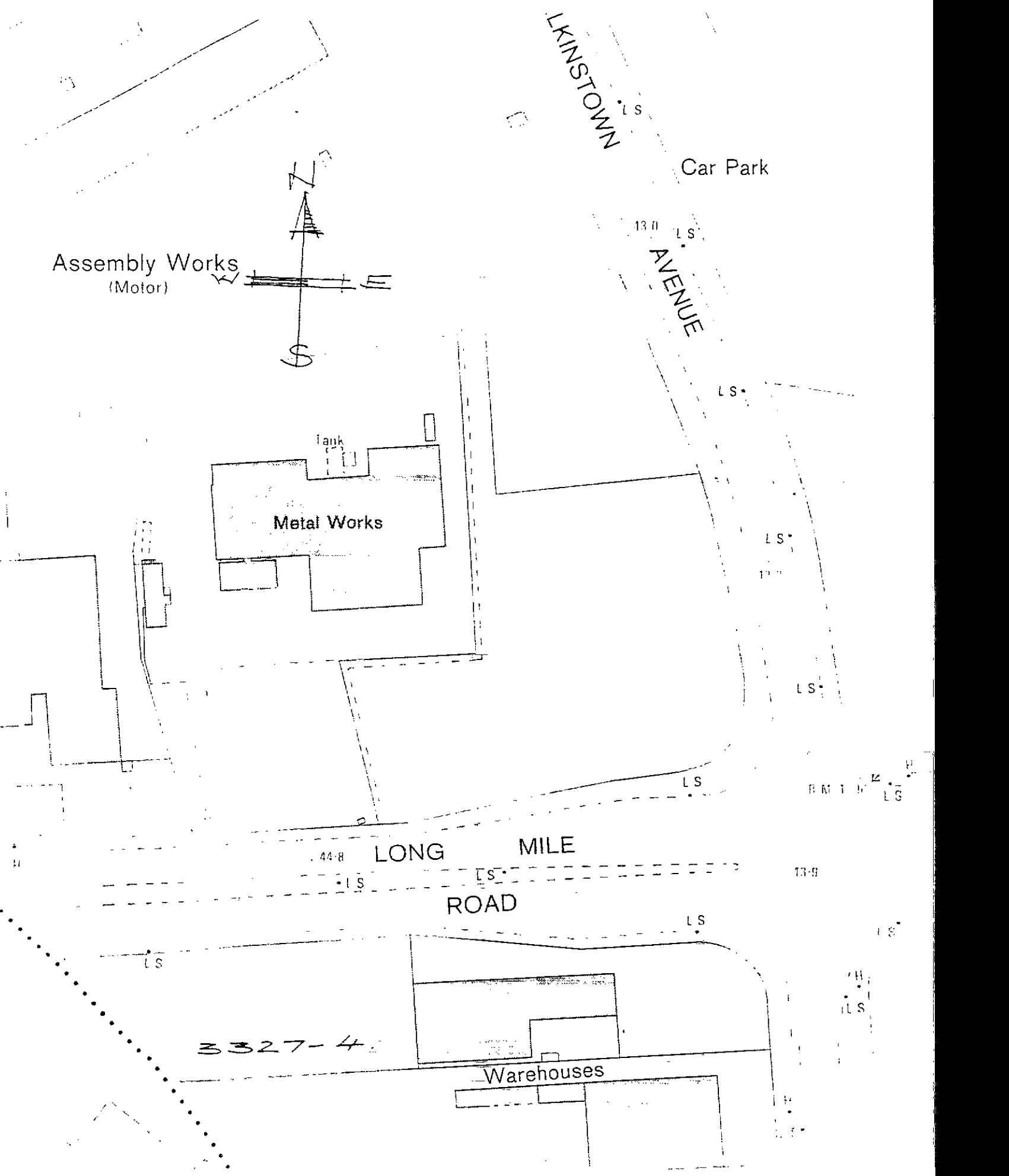
Metal Works

.44.8 LONG MILE

ROAD

3327-4

Warehouses



D. McCarthy & Company

Consulting Engineers
Telephone: 984147, 988244
Fax: 951778

Lynwood House,
Ballinteer Road,
Dublin 16.

SPECIFICATION OF WORK

AND

MATERIALS TO BE USED

FOR

LIGHT INDUSTRIAL/STARTER UNITS

TO SITE AT

LONG MILE ROAD

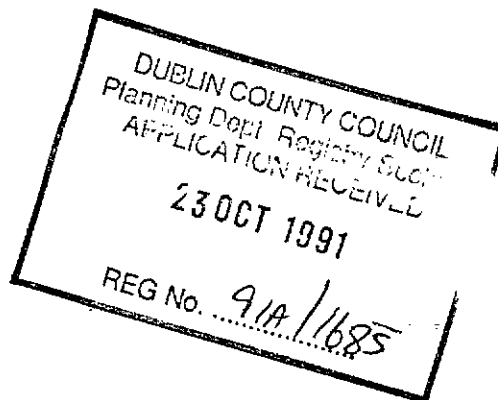
WITH ACCESS OFF

ROBINHOOD ROAD,

WALKINSTOWN, DUBLIN 12.

FOR

GILT CONSTRUCTION LTD.



D.A. Terry B.E., M.I.E.I., F. Finnegan, B. O'Flanagan.

PRELIMINARY ITEMS:-

Nature of Works:

The work comprises the clearing of site, construction of one number Unit together with ancillaries.

Irish Manufacture:

All materials used to be the best of their several kinds and all work is to be done in a proper and workmanlike manner in accordance with the drawings and specification. All materials and appliances are to be of Irish manufacture or production to the fullest extent possible.

Everything to be done which is usual, necessary and requisite of which can reasonable be inferred from the drawings or this specification to complete the works in a thoroughly satisfactory manner.

Materials:

Cement:

Normal Portland Cement shall be in accordance with I.S. 1 and to be stored in dry conditions.

Lime:

Hydrated lime to be to I.S. 8.

Water:

Shall be clean and free from impurities.

Sand and Aggregates:

Fine aggregate shall be clean, sharp pit or river sand, free from impurities and to I.S. 5.

Coarse aggregate shall be suitably graded pit run gravel or crushed stone and to be to I.S. 5.

Rock:

Loose rock where encountered to be removed in order to construct footings as per drawings.

Spillage:

All necessary measures will be taken to prevent the spillage of clay, rubble, etc., on to public roads.

EXCAVATION AND SUBSTRUCTURE:-

Preparing Site:

Clear and grade site for new buildings and remove or divert existing drains as required. The entire site of buildings and paved areas to be cleared of top soil and organic material. The soil to be stored for later use.

Excavation:

The trenches shall be excavated to the depths and widths required to accommodate the footings or to such depths and widths as may be required to ensure stability of the structure. The bottom of the trenches shall not be less than 450mm below the existing ground level.

Footings and Pads:

The foundations shall be filled with lean mix concrete where required in order to achieve correct heights. The strip footings shall be of 21 N concrete and the bases of 25 N concrete. Concrete to be properly vibrated.

Rising Walls:

Rising walls shall be of solid blocks, bedded in cement mortar to widths and heights as detailed on drawings.

Cement Mortar:

Shall be one part cement to three parts sand.

lime Mortar:

Shall be one part hydrate lime to six parts sand.

Additives:

Plasticisers, waterproffers, searers, etc., shall be used in strict accordance with manufactures instructions.

BLOCK AND BRICK LAYING:-

Insulation:

Walls, floors and roof to be insulation as specified.

Blockwork / Brickwork:

Concrete blocks shall be in accordance with I.S. 20. Clay bricks shall be to I.S. 91. All work shall be properly coursed and bonded and bedded in gauged mortar.

Cavity Walls:

Shall be formed of two solid leaves of block and brick with 0mm cavity. Outer and inner leaves to be tied together using metal ties at not less than four per square metre. Care should be taken to remove mortar droppings. All opes to be sealed. Cavity to extend a minimum of 225mm below d.p.c. level.

Opes in External Walls:

Where and ducts, pipes, etc., are required to pass through an external wall, proper care and attention is to be taken to seal these areas.

D.P.C.

The damp proof course under the floor slab shall be visqueen to B.S. 743. The d.p.c. under external and internal walls shall be either p.v.c. or Bitumen sheeting to I.S. 57. It shall be lapped and all joints and with the visqueen.

Cills:

Shall be precast concrete with d.p.c as recommended and shall be to I.S. 89.

Lintols:

To be precast and to B.S. 1239. To be laid and constructed in strict accordance with all the relevant codes.

Concrete Floor:

Ground floor slab shall be reinforced concrete slabs with joints as detailed. Concrete to be 25 N and to be properly vibrated.

Internal Walls:

Internal walls to be of concrete block construction and pointed where exposed.

ROOFING AND CLADDING:

Roof:

To be double skinned metal decking, insulated sheeting on purlins.

Roof Lights:

To be minimum 10% of the floor area of the unit.

Flashing:

Flashing to be either

- 1) No. 5lb lead flashing to B.S. 1178
- 2) 20 gauge super purity aluminium.

Roller Shutter Doors:

Galvanised steel roller shutter doors. P.V.C. coated only if required.

PRECAST UNITS:-

Columns:

External columns to be precast concrete, manufactured and erected by reputable supplier.

Beams:

Beams to be of precast concrete and supported on columns as indicated on drawings.

REINFORCED CONCRETE WORK:-

Strip Footings:

To be reinforced as indicated on drawings and concrete to be 21 N.

Pads:

To have high tensile steel as detailed. Pads to be tied into the leanmix concrete with reinforcement as detailed. Cover to steel to be min. 40mm. Concrete to be 25 N.

Access Areas:

Access areas to have ramps up to door ops and to be of 30 N concrete with mesh fabric reinforcement C-385.

IRONMONGERY AND GENERAL:-

Gutters:

Gutters to be supplied by suppliers of main structure and may be precast concrete or similar. To be set to falls and jointed to instructions. Downpipes to be 150mm P.V.C.

Door Fittings:

Internal doors to be fitted with suitable mortice type lock or catch and complete with furniture. Provide bolt or locking device to toilet doors.

External door shall be fitted with cylinder night latch and external pull handle. Provide and fit letter plate near door. Other external doors shall be fitted with bolt and rim or suitable mortice lock.

Sash Fittings:

All opening sashes to be fitted with strong metal fastners.

Ventilation Grids:

External openings to ventilators shall be fitted with metal louvred grids.

CARPENTRY AND JOINERY:

General:

Timber shall be sound and free from disease and infestation. Timber for carpentry work shall be of white deal and for joinery work shall be of red deal.

Moisture Content:

Shall not exceed,

Joinery in external areas	17%
Joinery in unheated rooms	15%
Joinery in partly heated rooms	13%
Joinery in centrally heated rooms	11%
Joinery near heat sources	9%

i.e as per I.S. 96.

Preservative:

Softwoods used externally to be pressure impregnated with colour preservative and when in contact with concrete to be treated. Frames, fascias, etc., to be primed.

Stud Partitions:

Studs, heads and sole plates to be 35 x 75mm. The studs at 400mm c/e's. The sole plates to be well spiked to the floor. Provide at least two rows of nogging.

Windows:

Sliding, hung or pivoted timber sashes and frames to be made from standard machine prepared sections, pressure impregnated with preservative. Wood casement windows shall be to I.S. 60. Aluminium or P.V.C. windows of acceptable make may alternatively be used. Window boards to be 32mm wrot, moulded on edges and corners and secured to grounds.

External Doors:

External doors shall be to I.S. 48 or I.S. 52 hung on one and a half pairs of 100mm butt hinges. Roller shutter doors shall be installed to manufactures instructions.

Internal Doors:

Internal doors shall be to I.S. 48 or I.S. 52, hung on one pair of 100mm butt hinges.

Skirtings:

To be 100 x 16mm deal fixed to grounds.

Saddles:

Saddles shall be hardwood, cut of 150 x 22mm splayed, scribed to fit door frames and secured to floor. For external doors, proprietary thresholds may be used.

PLASTERING:-

Reveals:

Plaster reveals to opes to be 20mm thick and finished smooth with scored drip groove to soffite of head. All arrises to be neatly finished.

Plinths:

Plaster plinths to be finished smooth and neatly weathered at top edge.

Dry Lining:

The internal areas of all offices shall be drylined with 9.5mm foilback plasterboard on battens secured to walls.

Stud Partitions:

Studded partitions to be covered with 10mm plasterboards and skimmed.

PLUMBING:-

Water Supply:

To be 20mm Hydrodaire laid in trench.

Cold Water Supply:

To be taken directly to toilet sink with a branch to high pressure valve in 1145 litre tank. Tank to be covered and adequately supported over a partition and at such a height as to ensure proper working of the system. Connect to the service tank 50mm above the bottom. A 22mm feed to heating unit and 15mm to W.H.B. & W.C. shall be included.

Insulation:

Storage tanks and pipes to be insulated against frost.

Water Tanks:

To be position next to support wall.

PAINTING:-

Preparation:

Surfaces that require painting are to be cleaned down and sanded.

Paints:

Thinners, sealers, primers, colour washes, paints, varnishes or other brius, roller or spray applied finishes shall be of suitable manufacture and shall be applied in strict accordance with manufactures instructions.

Woodwork:

Shall be knotted, stopped, primed and painted with two undercoats and one finishing coat. Hardwoods to have two coats of varnish.

ELECTRICAL:

Regulations:

The electrician shall execute the works in accordance with the current regulations of the E.S.B.

Circuits:

Every final sub-circuit shall be connected separately to the distribution fuse board. Sub-circuits for sockets, lighting, cookers, etc., to be in strict accordance with the E.S.B. requirements. Under no circumstances are the available maximum outlets per sub-circuit to be exceeded.

Sockets:

Sockets shall be above the skirting level and to have safety switches.

Cable:

All concealed cable shall be of 250 volts, grade P.V.C. insulated taped and braided type and shall be drawn into conduit attached to walls etc.

Cables to be adequately supported on effective insulators to prevent them from coming into contact with each other or any other metal conducting material.

When electrical connections are made between two or more cables, the joint shall be mechanically and electrically sound and also be readily accessible.

In the case of a light fitting mounted on the ceiling, connectors shall be recessed in timber and supported on a base.

Fixings:

All grounds to be secure and fittings to be properly fixed.

Fixings:

Sockets, switches, lighting points, etc., to be in accordance with the "National Rules for Electrical Installations".

SEWERS, DRAINAGE AND MANHOLES:-

Excavation of Trenches:

The ground shall be excavated to the line and levels shown on the drawings.

Trenches shall be excavated to a width appropriate to the laying of the concrete bed.

The sides of trenches shall be adequately supported with special attention taken in areas of deep excavation.

Adjoining structures and buildings to be adequately supported.

Pipe Types:

Foul sewer pipes shall be of Wavin P.V.C. laid in Class "D" concrete bed. Pipes to have rubber ring joints.

Surface water sewer pipes shall be concrete Ogee type laid in Class "D" concrete bed.

Haunching and Surround:

Pipes to be haunched and surrounded in Class "D" concrete.

Manholes:

All manholes shall be constructed on a 150mm or 225mm thick foundation floor slab of Class "C" concrete. They shall be of 225mm blockwork or of 225mm Class "B" mass concrete. Concrete to be vibrated.

Inlet and outlet pipes to be correctly built in. Roof covers to be in situ of Class "C" concrete 150mm thick, vibrated and reinforced. Open to be formed to facilitate cover and frame.

Ladder rungs shall be built into walls every third course.

Adams type heavy duty round covers to be fitted to all manholes on carriageways.

Medium type covers to be fitted to manholes on grass margins or footpaths.

Covers to be 550mm diameter.

Testing:

All foul sewers shall be air or water tested and not backfilled until passed by the Engineer.

Backfilling:

Only suitable material shall be used in backfilling pipes. In backfilling trenches under carriageways and paths 100mm down broken stone or similar shall be used.

Cleaning:

All manholes and sewers shall be left clean on completion.

Benching in Manholes:

Benching in manholes shall be constructed in Class "C" concrete and finished with a 2 to 1 mortar.

Channels:

Channels shall be formed with concrete and smoothed over with mortar mix 2 to 1.

Drains:

The branch drains shall be 100mm P.V.C. laid to falls of 1/40 to 1/60 with bends and junctions and connected to existing mains. Drains to be laid on 100 x 300mm wide concrete bed and haunched. Pipes to be backfilled with selected material.

Surface Water:

Surface water to be 150mm P.V.C. pipes laid on 300 x 100mm concrete bed and haunched. Pipes to be backfilled with selected material.

Armstrong Junction:

P.V.C. A.J.'s to be used on pathways and splayed to facilitate the floor.

Gullies:

Gullies to be set level on concrete bed and connected to A.J. or drain. Concrete surround to be dished.

WATERMANS:-

Pipe types:

Shall be unplasticised P.V.C. pipe complying with I.S. 123 Class "C".

Cover to Pipes:

The watermain shall have a minimum cover of 900mm and services shall have a minimum of 600mm.

Pipe Laying:

Maximum trench width shall be 600mm plu the dia. of the pipe. Pipes shall be laid on 50mm sand. Similar material shall be placed around and over the pipe. Minimum cover to pipe to be 100mm and backfilling to be of selected material.

Anchorage:

Concrete anchorages shall be placed at dead ends, trees, bends and around all valve and hydrant fittings.

Surface Boxes:

For sluice valves and stopcock shall be to B.S. 1426 and 3461 respectively. Hydrant surface boxes shall be of B.S. 497.

Service Fittings:

All ferrules shall comply with Dublin County Council specification.

Water Conections:

The existing County Council supply shall be taped. A 20m hydroaire connection taken to a stopcock.

Stopcock Chambers:

Shall be of 215 x 110 x 75mm bricks on 150mm concrete bed. Internal dimensions to be 150 x 150mm.

Alternatively a 150mm liner may be used.

LIGHTING AND DUCTING:-

Lighting:

Lighting columns to be located as per Architects recommendations.

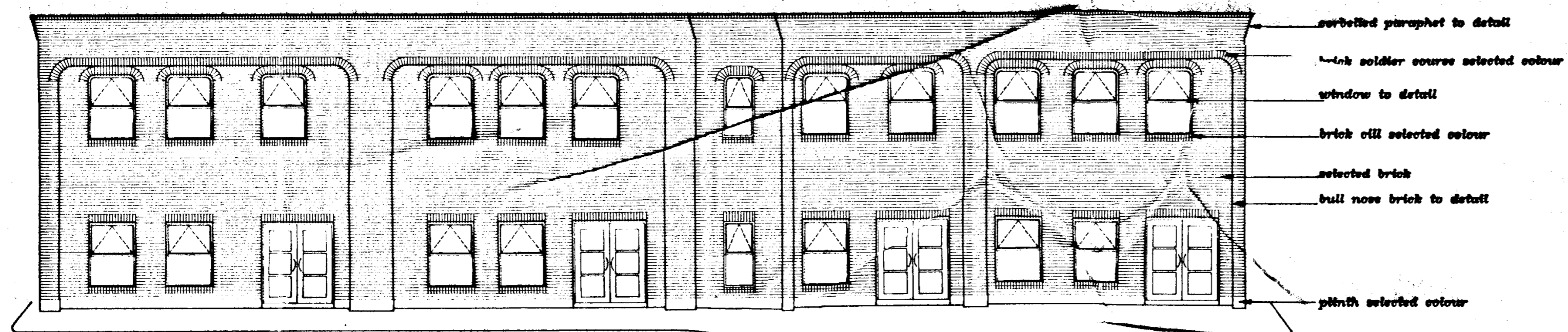
External Wall Lights:

As per Architects detail.

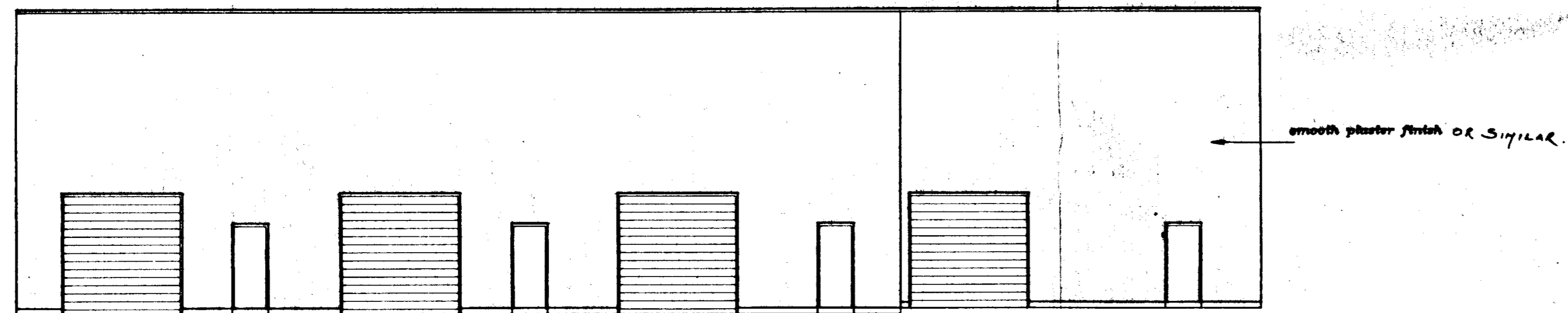
Ducts:

Ducts to be laid internally and externally for

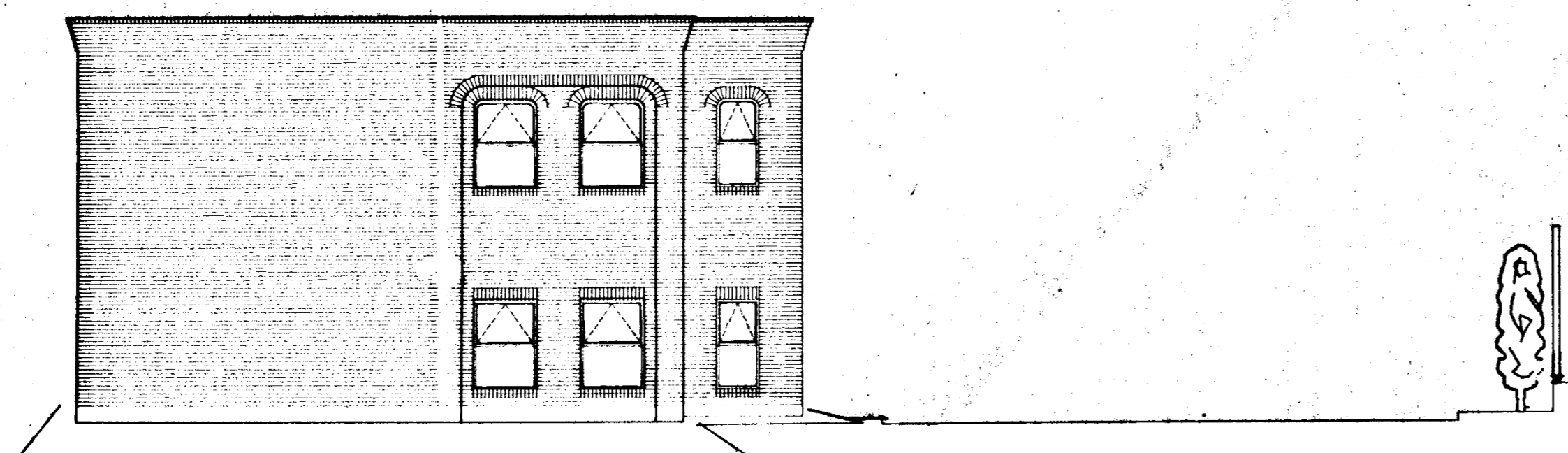
- 1)E.S.B. supply.
- 2)Water supply.
- 3)Telephone supply.
- 4)Electrical connection.



FRONT ELEVATION.



REAR ELEVATION.

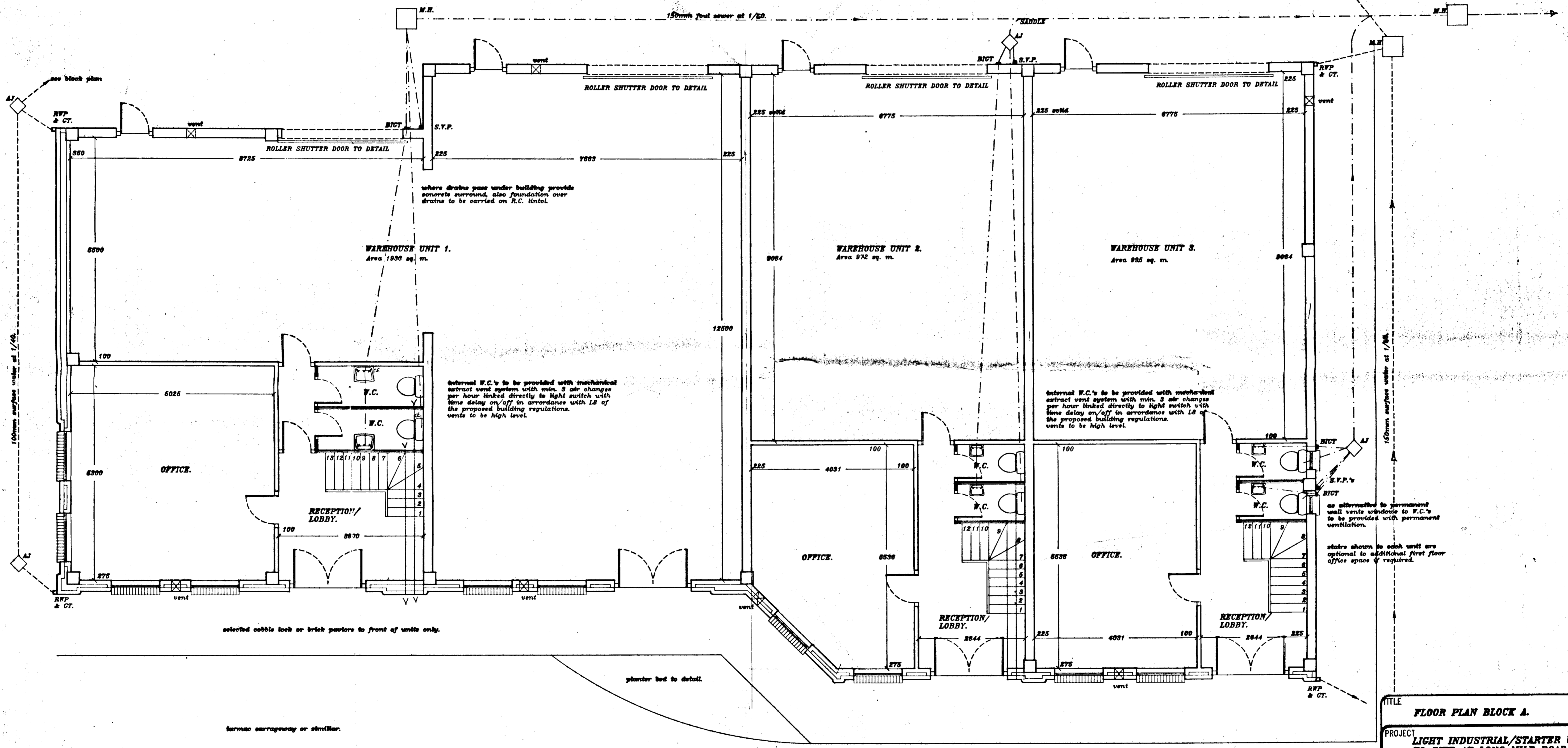


GABLE ELEVATION.

TITLE ELEVATIONS BLOCK A.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. McCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
SCALE AS STATED.	PHONE 984147/988744
DRAWN BY D.C.	DATE OCT. 1991.
DRG No. S 289/S.	
<small>Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be used. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.</small>	

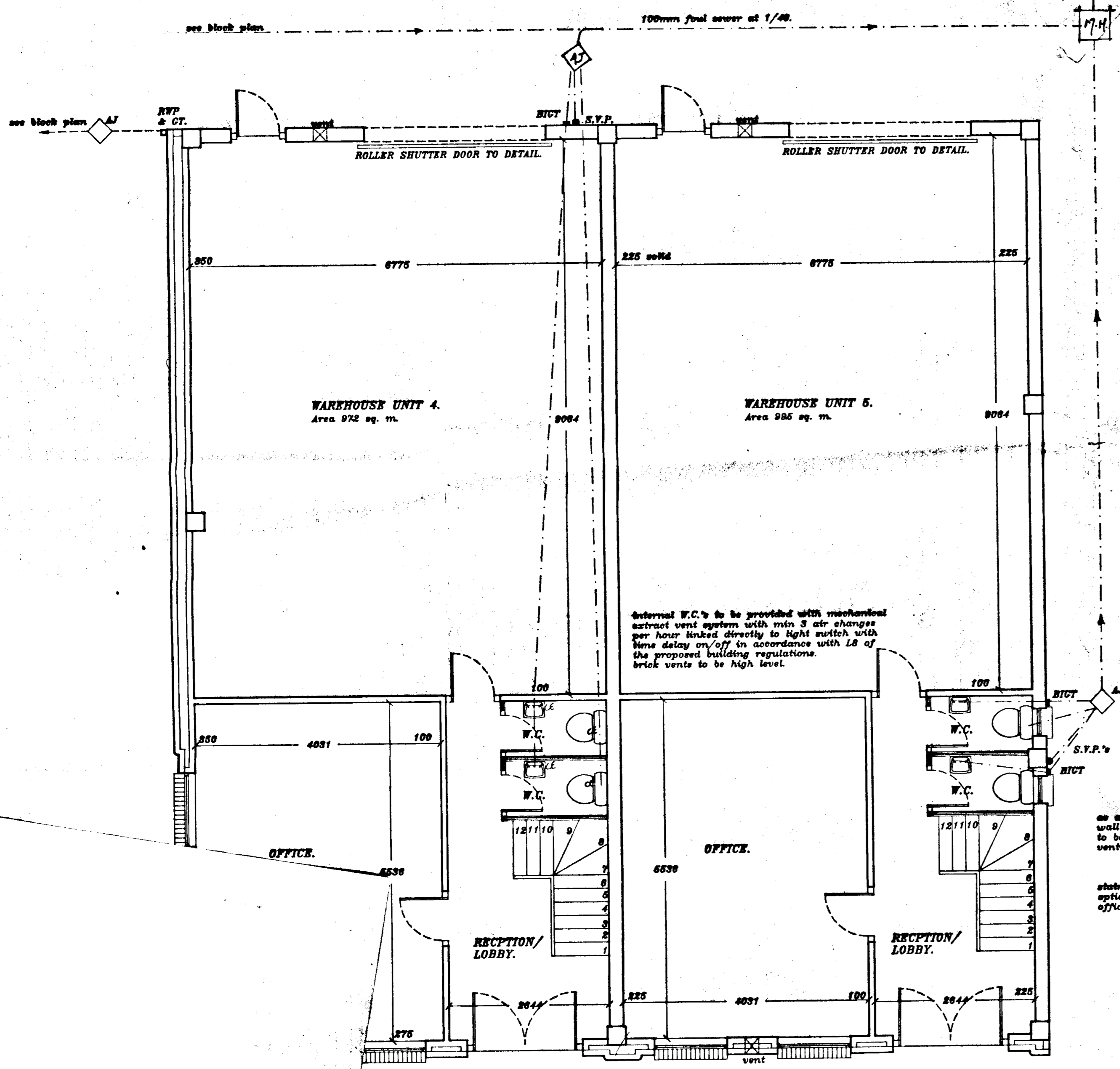
DUBLIN COUNTY COUNCIL
Planning Dept. Register No.
APPLICATION RECEIVED
23 OCT 1991
REG No. 91A/1625

NOTES:
 As an alternative to permanent wall vents windows may be provided with permanent ventilation.
 Vertical d.p.c. to all open in earth walls.
 where drains pass under building provide concrete surround, also foundations over drains to be carried on R.C. lintol.
 Drainage shown diagrammatically only, for details see drainage layout.
 Water sought of B.B.L. No. 100 with regard to internal W.C.'s.

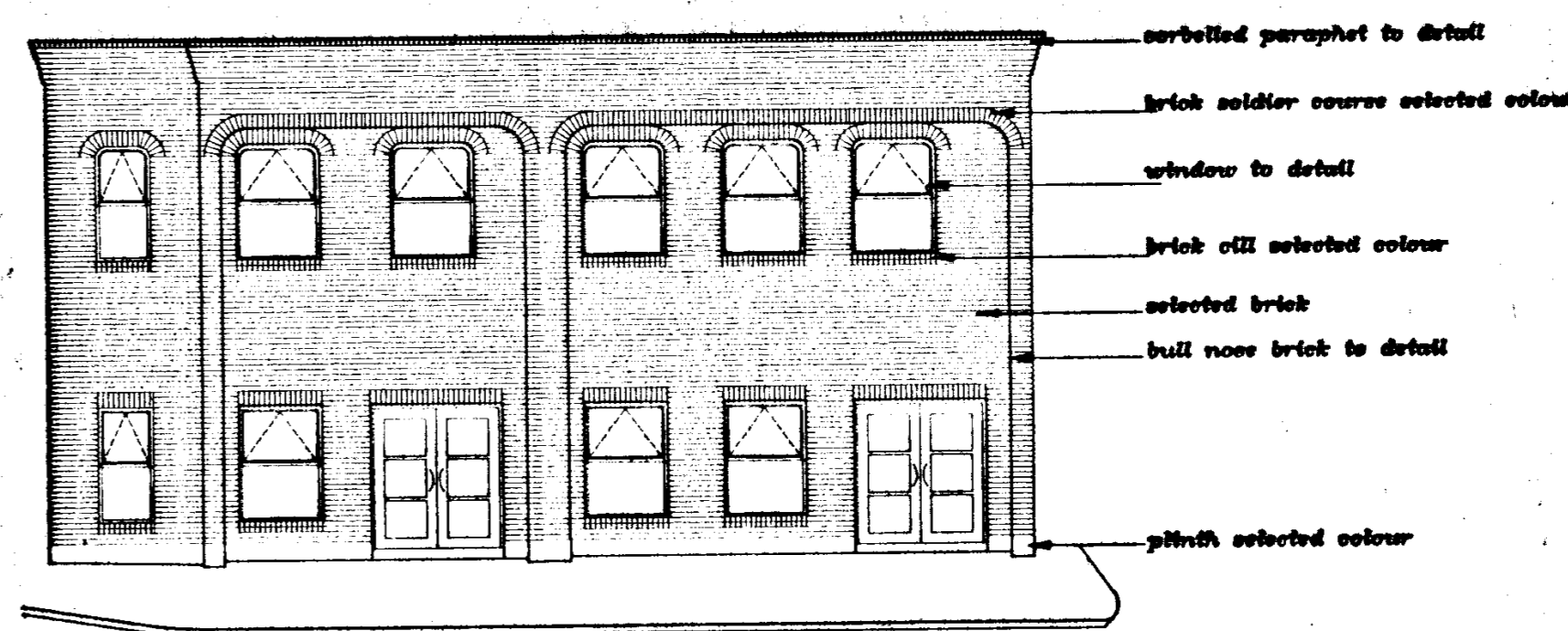


GROUND FLOOR PLAN. BLOCK A.

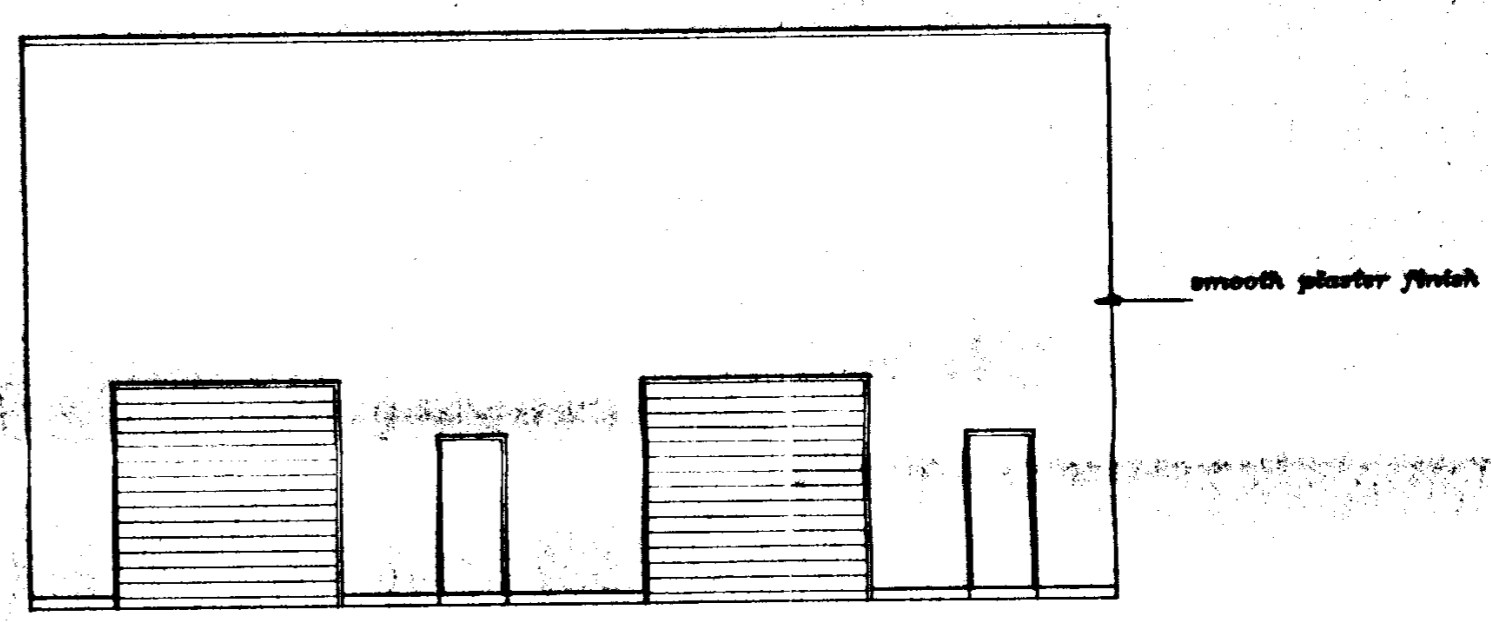
TITLE FLOOR PLAN BLOCK A.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. McCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16 PHONE 984147/988244	
SCALE 1 : 50.	DATE OCT. 1991.
DRAWN BY D.C.	DRG No. S 289/2.
DUBLIN COUNTY COUNCIL Planning Dept. Reg. No. 2303 APPLICATION RECEIVED 23 OCT 1991 REG No. 912/1685	
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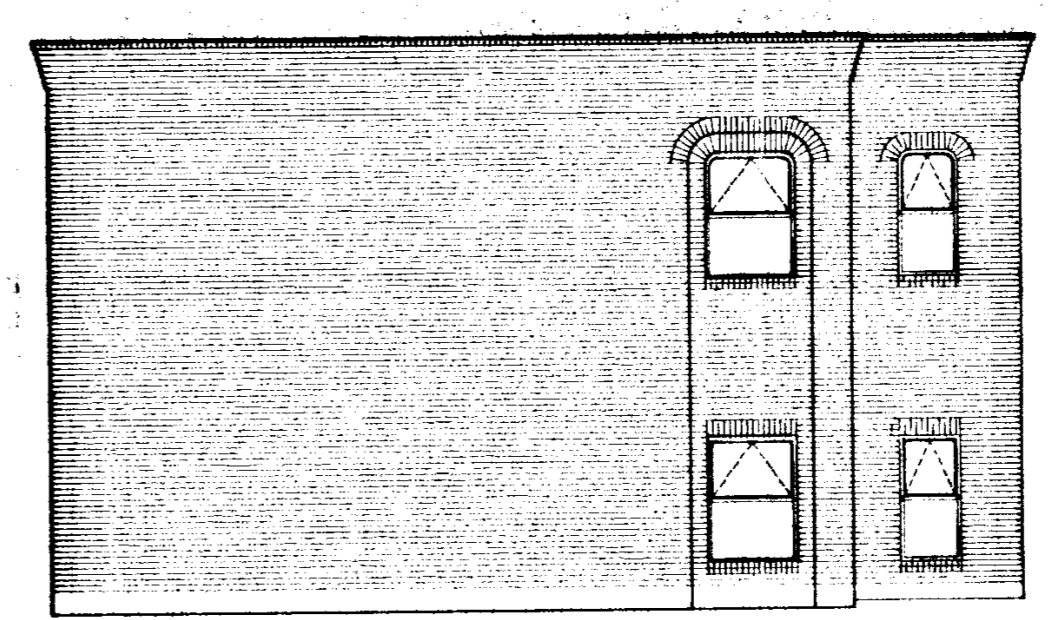
OR PLAN BLOCK B.



FRONT ELEVATION.



REAR ELEVATION.



GABLE ELEVATION.

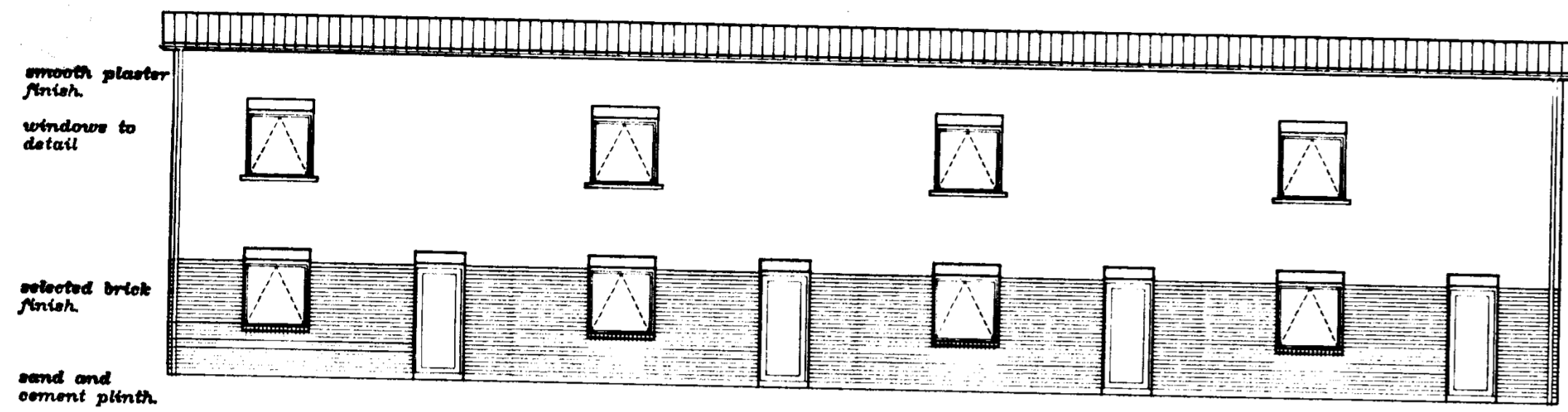
Internal W.C.'s to be provided with mechanical extract vent system with min. 3 air changes per hour linked directly to light switch with time delay on/off in accordance with LB of the proposed building regulations. brick vents to be high level.

as alternative to permanent wall vents windows to W.C.'s to be provided with permanent ventilation.

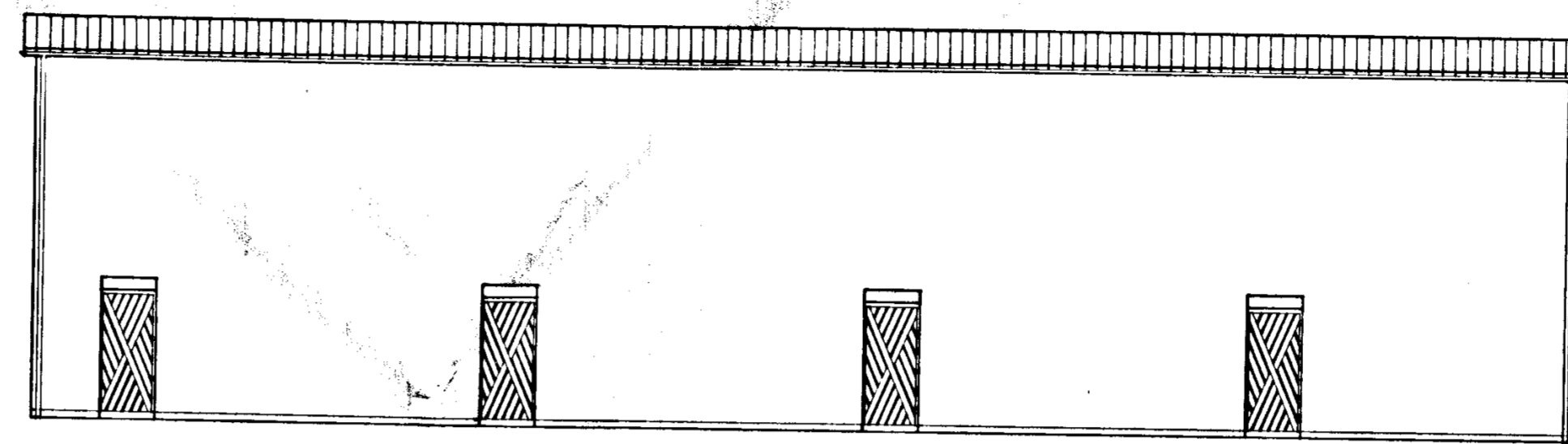
stairs shown to each unit are optional to additional first floor office space if required.

TITLE PLANS & ELEVATIONS BLOCK B.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. MCCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16 PHONE 984147/988244	
SCALE 1:50 ; 1:100.	DATE OCT. 1991.
DRAWN BY D.C.	DRG No. S 289/4.
Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be used. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.	

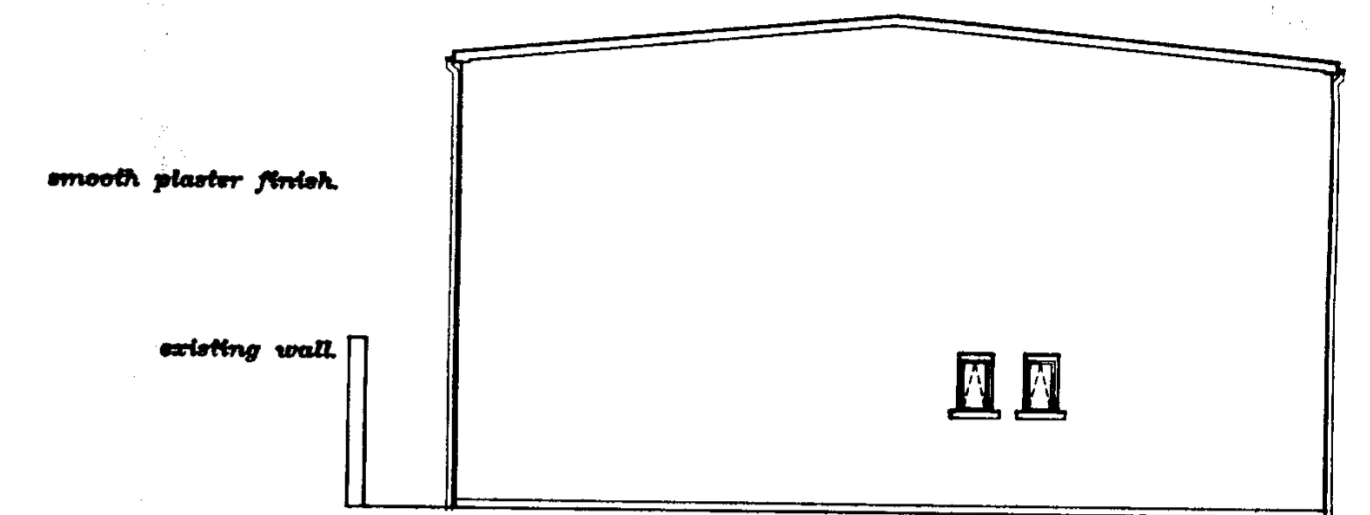
DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
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23 OCT 1991
REG No. 91A/1685



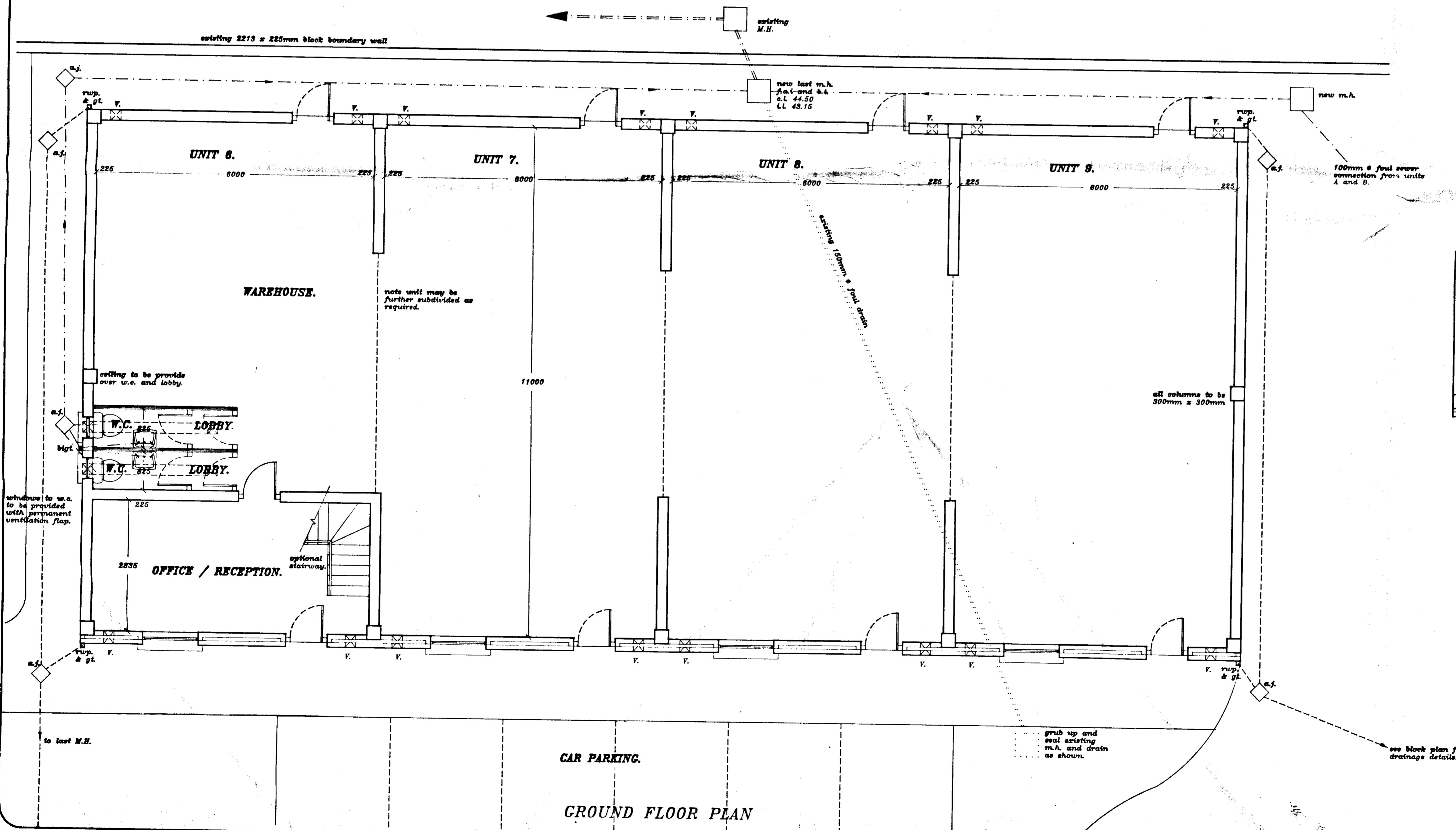
FRONT ELEVATION.



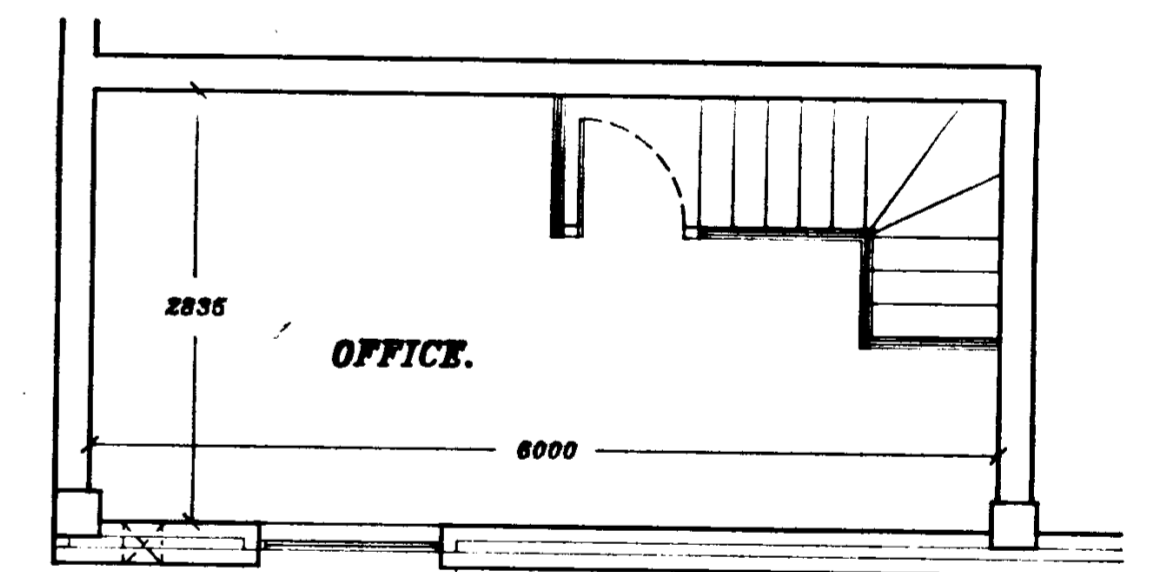
REAR ELEVATION



SIDE ELEVATION



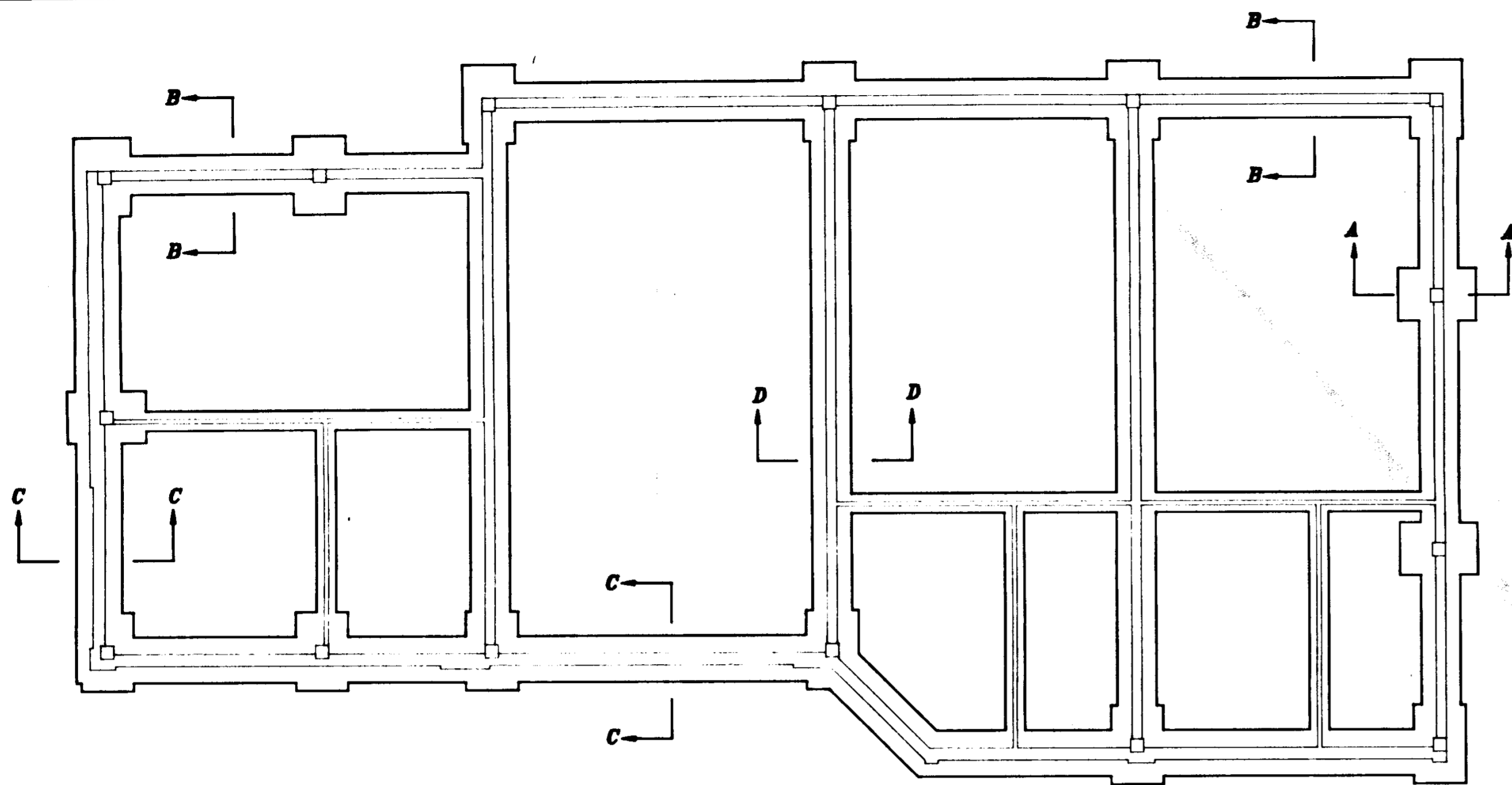
GROUND FLOOR PLAN



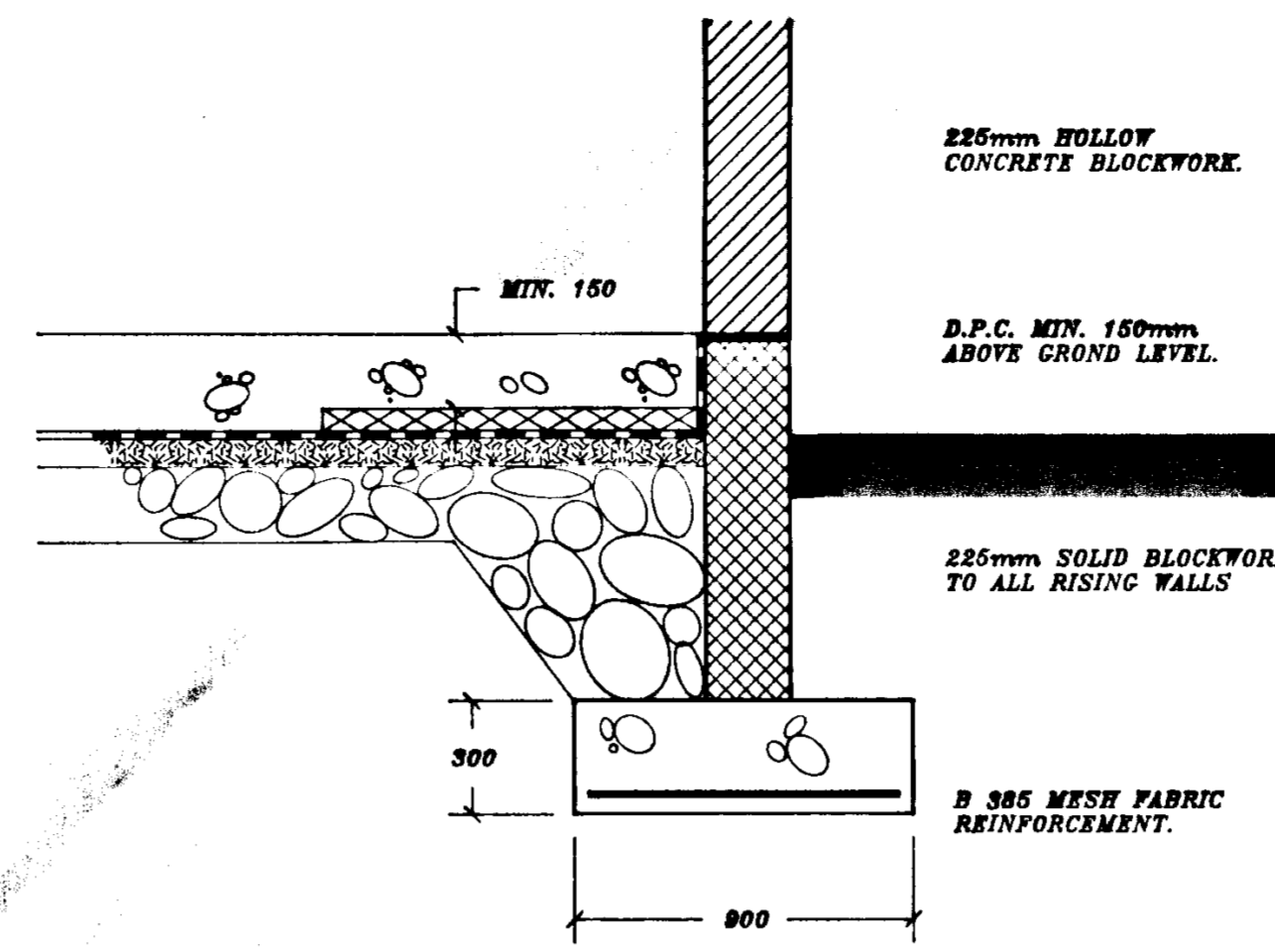
OPTIONAL FIRST FLOOR PLAN.

TITLE PLANS AND ELEVATIONS BLOCK C.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. McARTHUR & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
SCALE 1:50, 1:100	DATE OCTOBER 1991.
DRAWN BY L. Mc.	DRG No. S 289/3.
Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be used. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.	

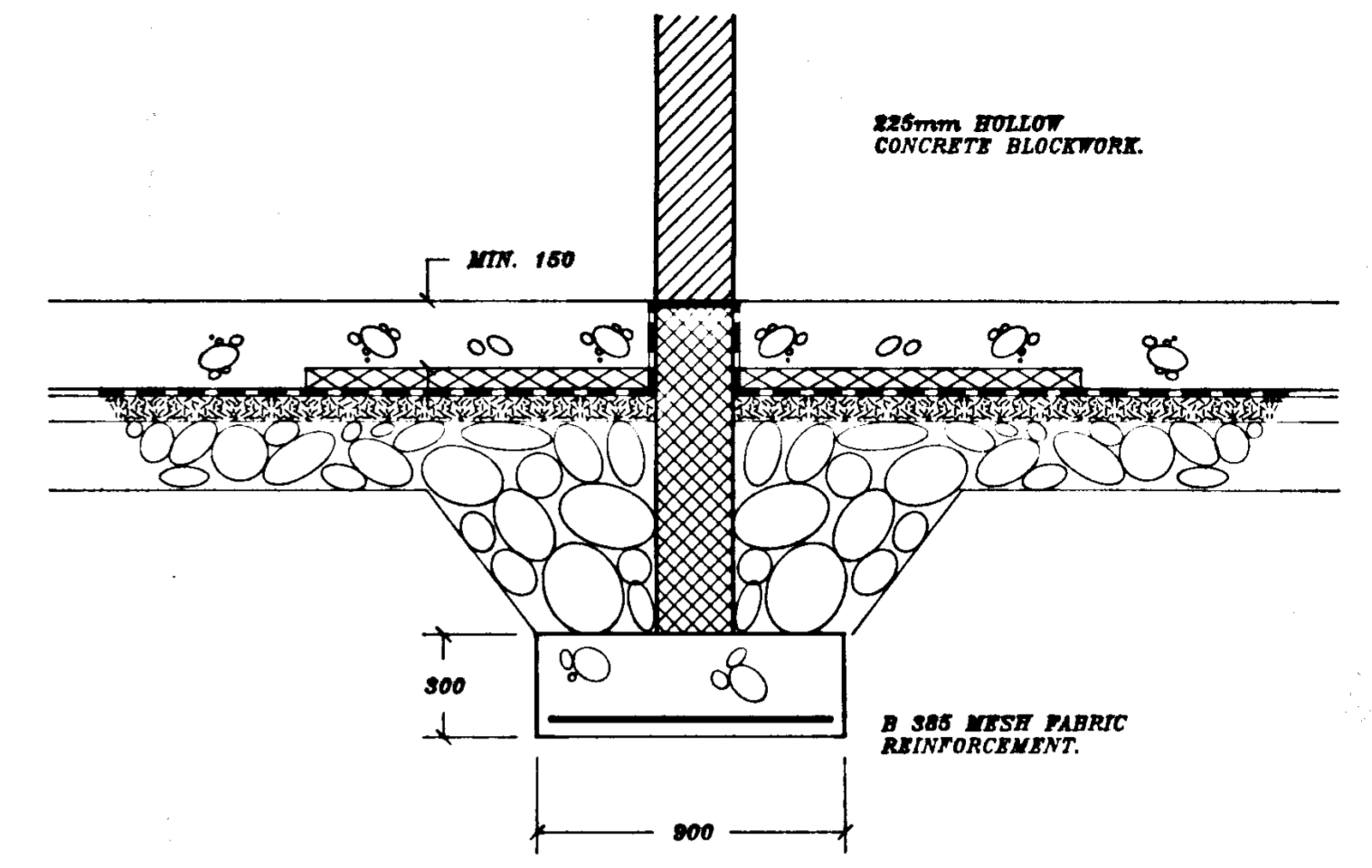
DUBLIN CITY COUNCIL
Planning Department
APPLICANT'S SIGNATURE
23 OCT 1991
REG No. 210/1185



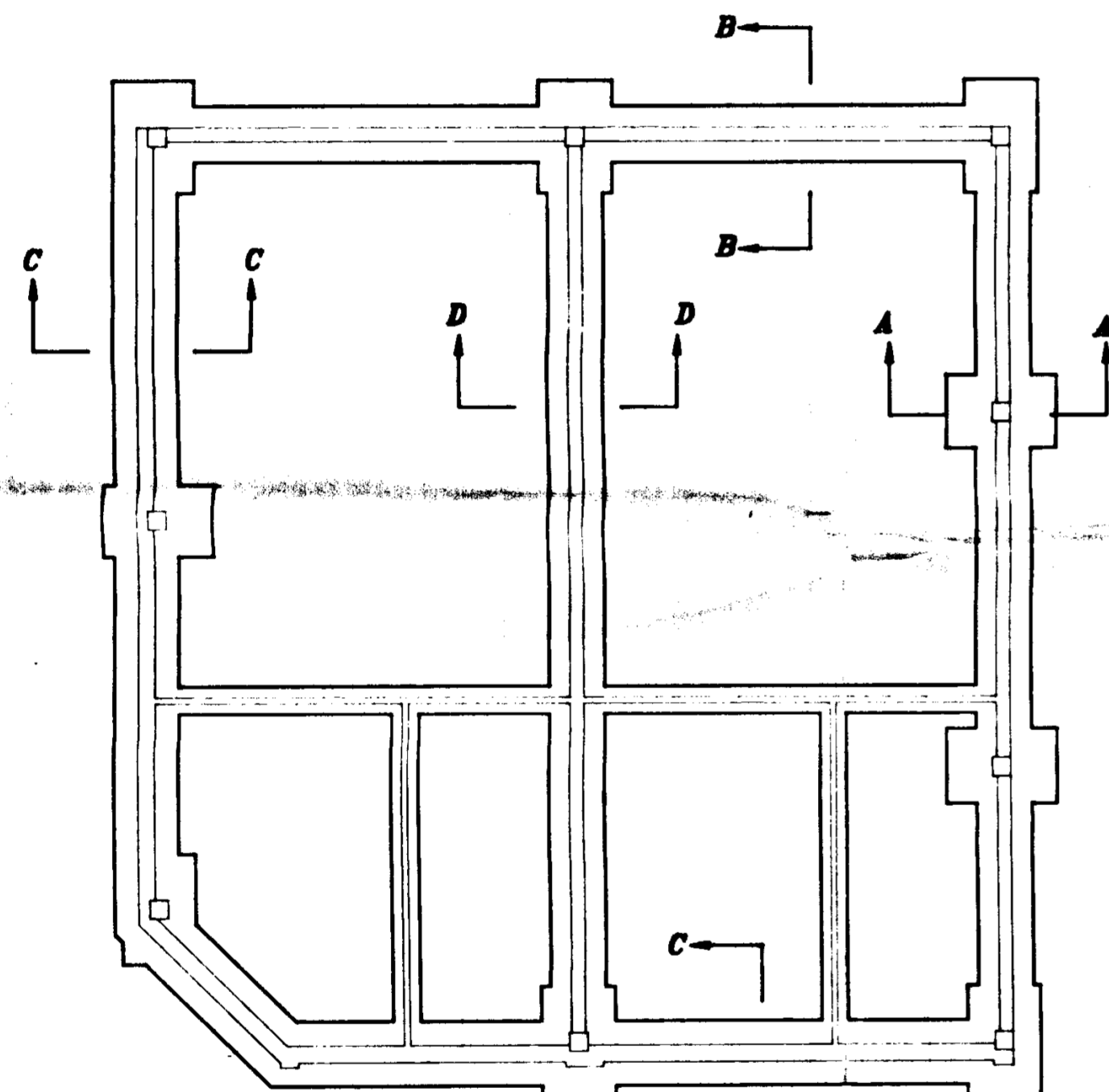
FOUNDATION PLAN BLOCK A. scale 1:100.



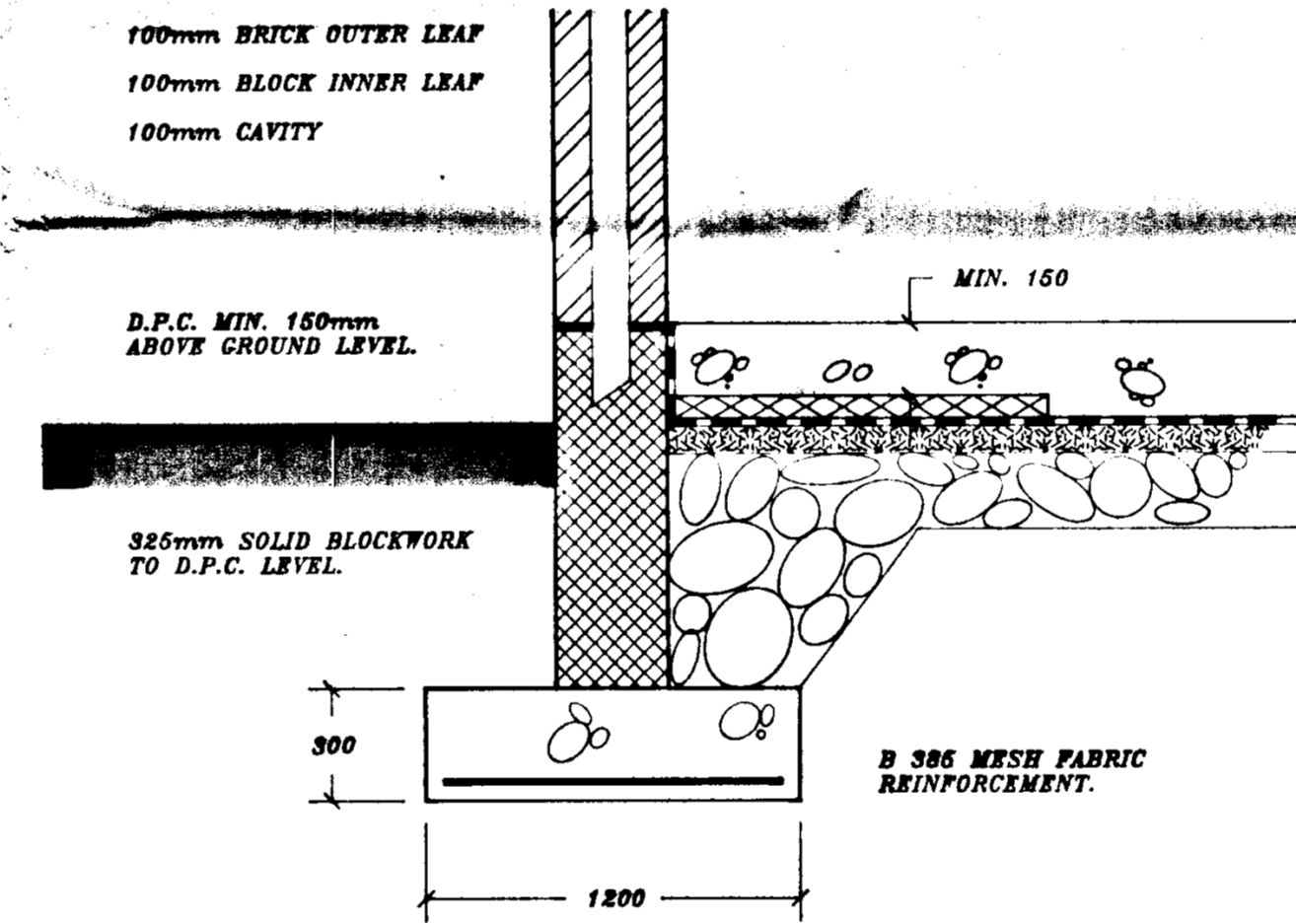
SECTION B - B. scale 1:20.



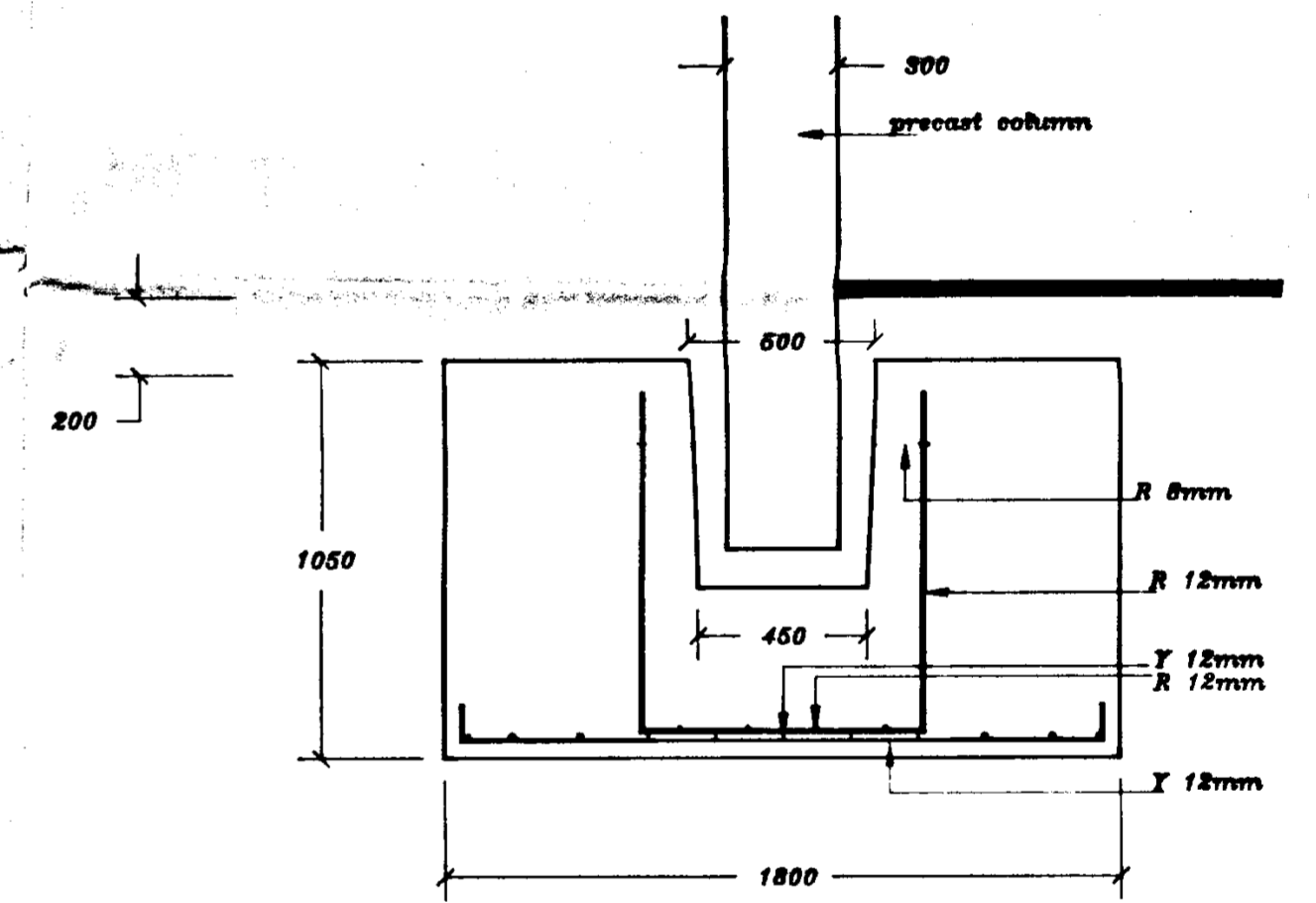
SECTION D - D. scale 1:20.



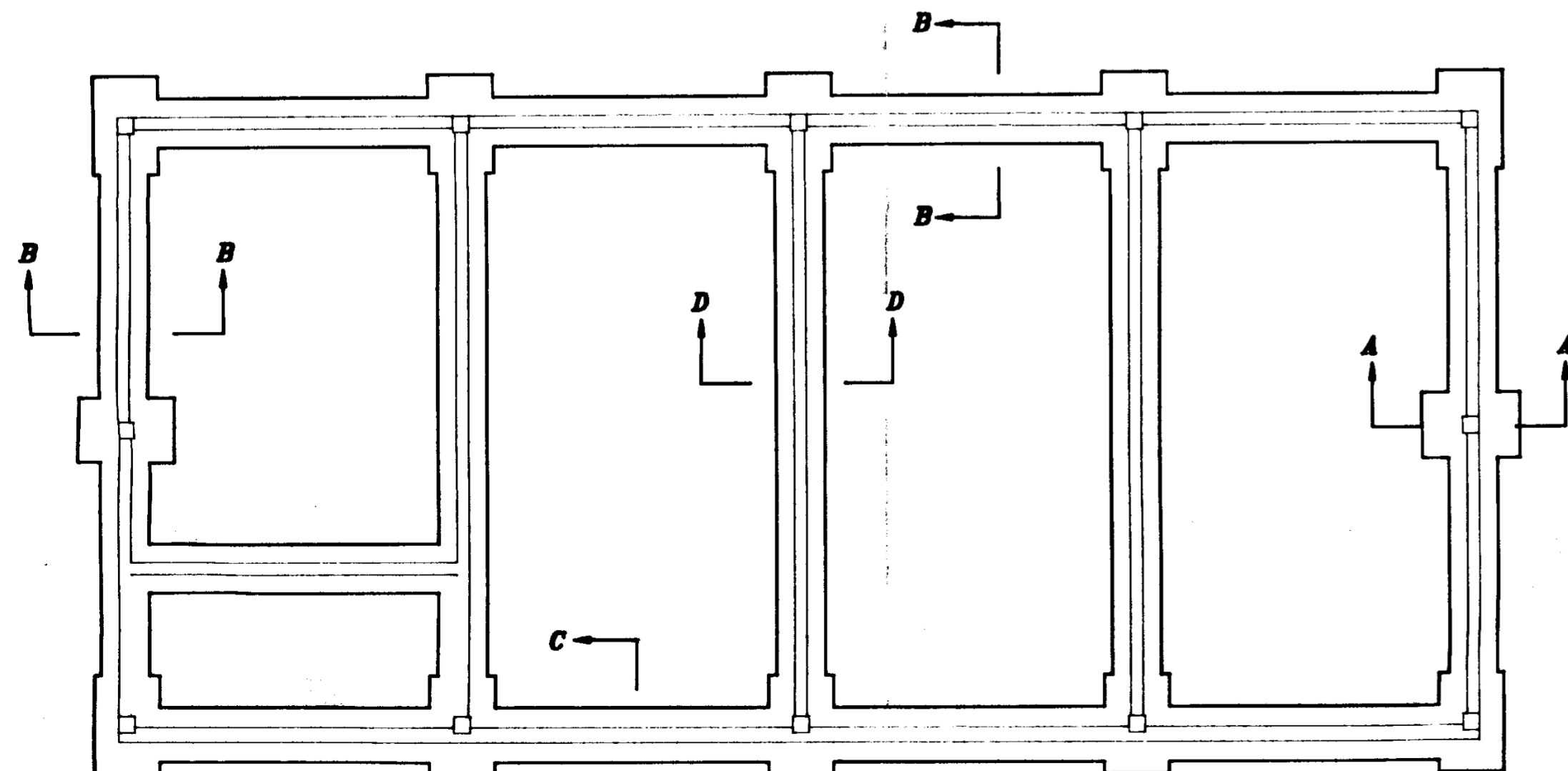
FOUNDATION PLAN BLOCK B. scale 1:100.



SECTION C - C. scale 1:20.



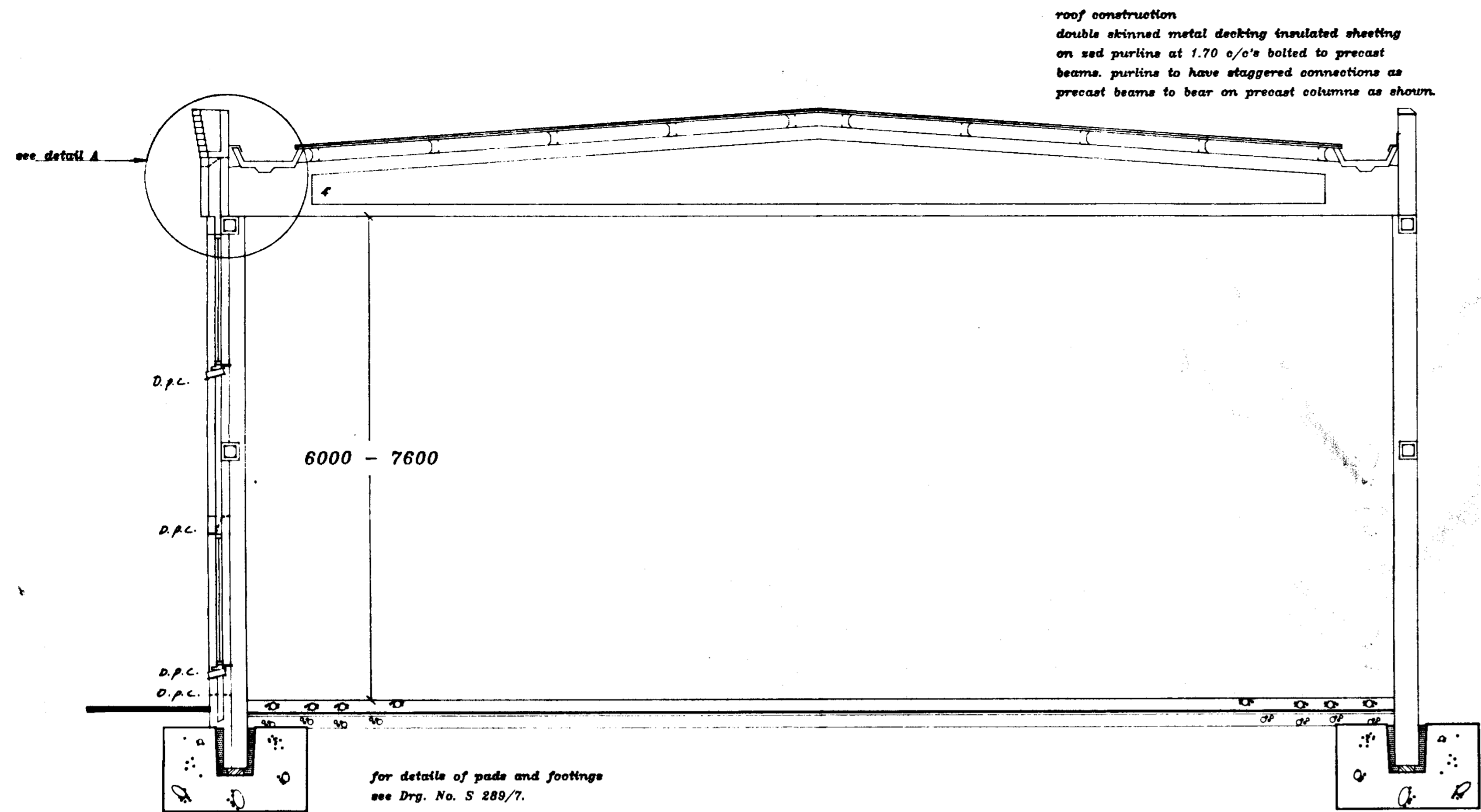
SECTION A - A. scale 1:20.



FOUNDATION PLAN BLOCK C. scale 1:100.

TITLE FOUNDATION DETAILS.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. McCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16 PHONE 984147/988244	
SCALE AS STATED.	DATE OCT. 1991.
DRAWN BY D.C.	DRG No. S 289/7.
Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be scaled. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.	

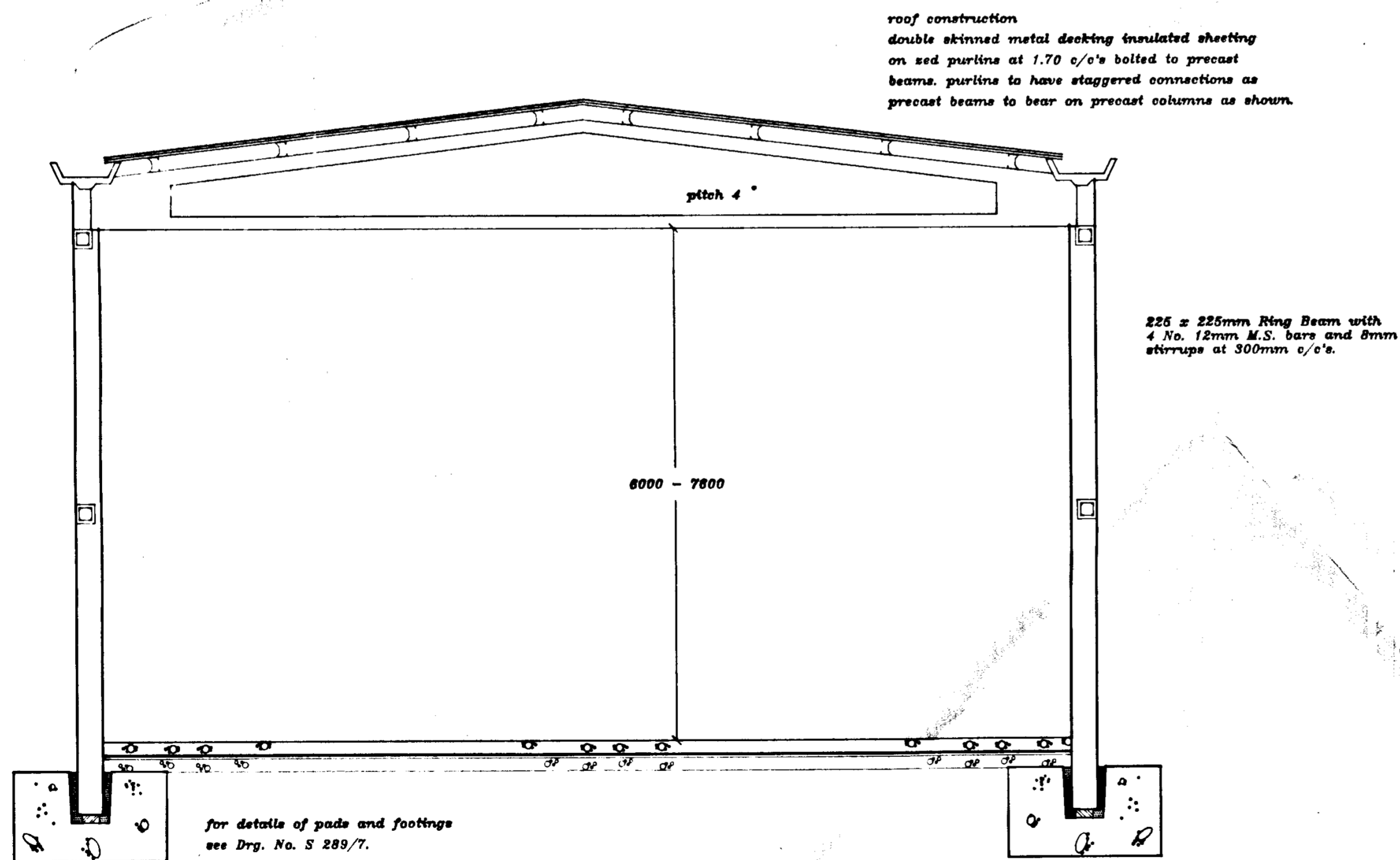
DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
23 OCT 1991
REG No. 918.1685



cavity wall construction:
100mm brick outer leaf, 50mm cavity with 25mm high density polystyrene insulation, 100mm block inner leaf, cavity wall ties every 700 horizontal and 450 vertical, solid blockwork to all rising walls.

floor construction
150mm power floated concrete floor on 1000 gauge visqueen d.p.m. on 50mm sand bedding on minimum 150mm levelled and consolidated hardcore base

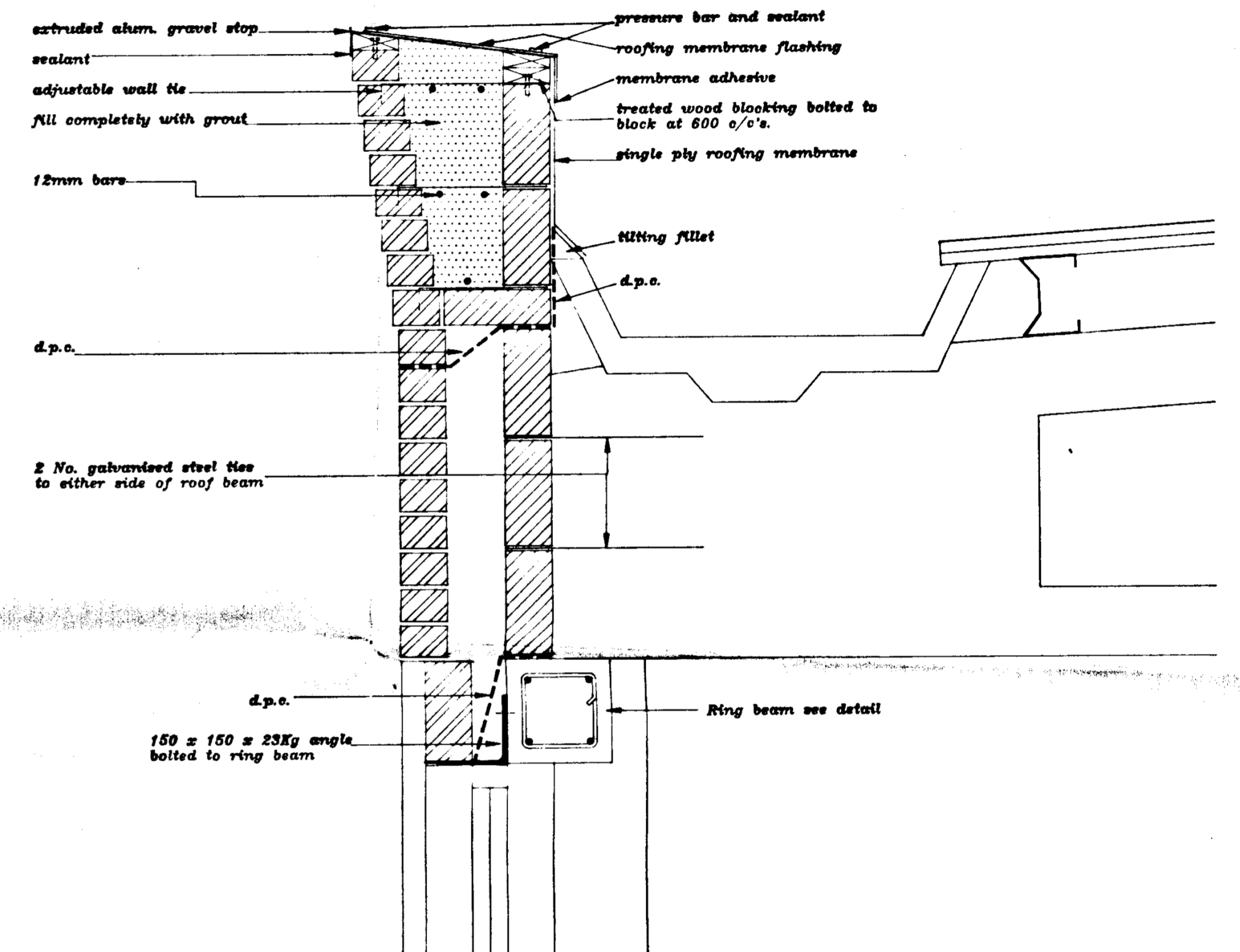
TYPICAL SECTION. BLOCK A AND B.



cavity wall construction:
100mm brick outer leaf, 50mm cavity with 25mm high density polystyrene insulation, 100mm block inner leaf, cavity wall ties every 700 horizontal and 450 vertical, solid blockwork to all rising walls.

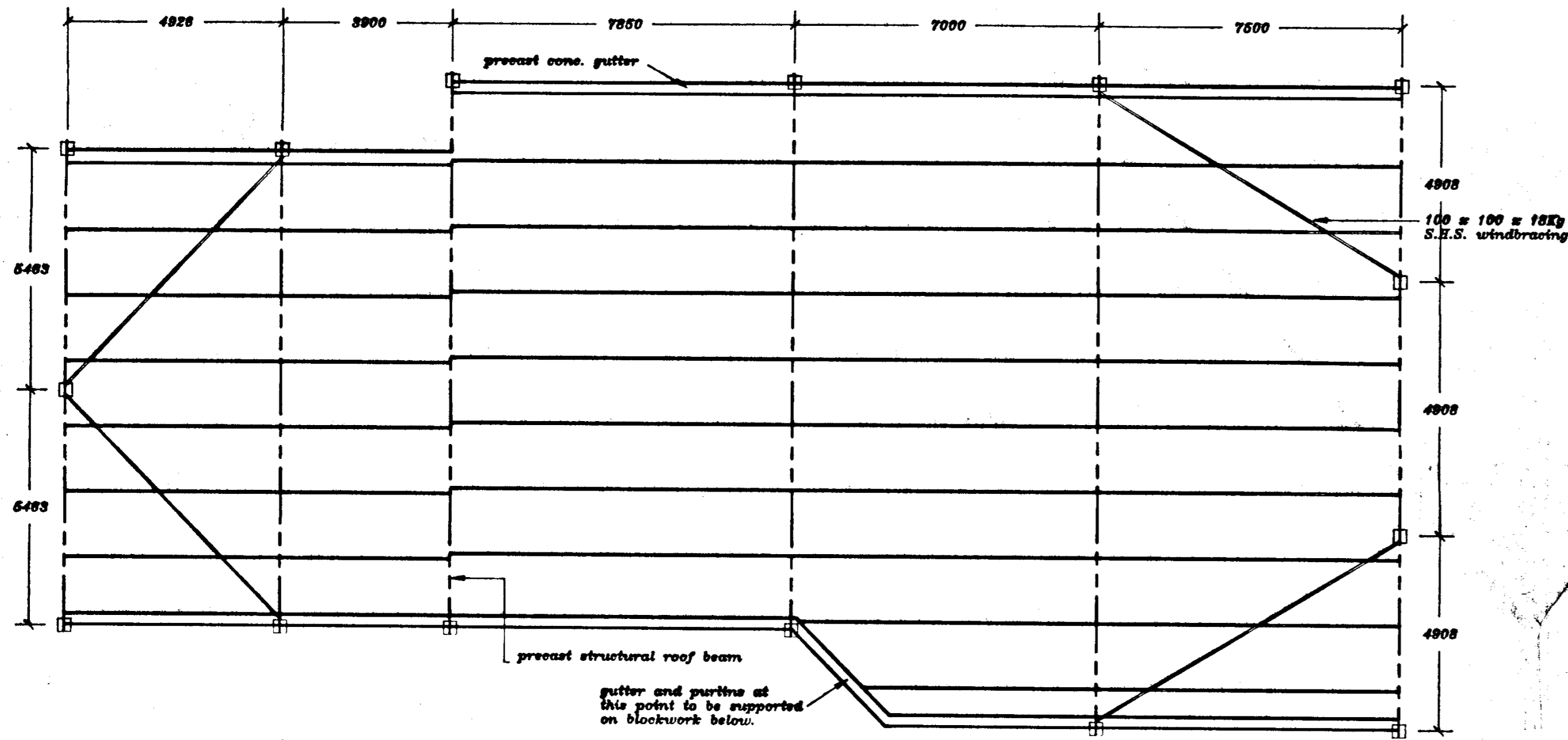
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TYPICAL SECTION. BLOCK A AND B.

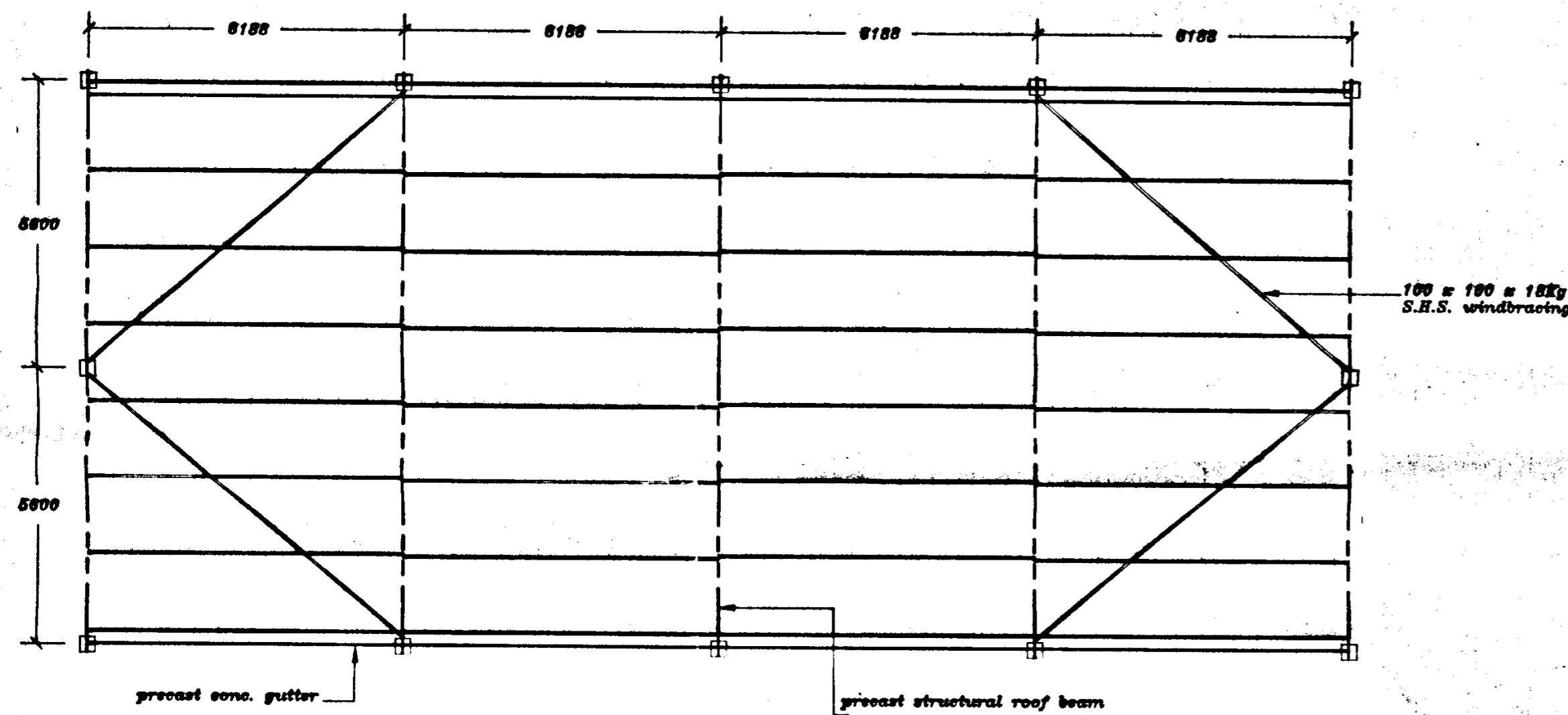


DETAIL 'A'. scale 1:10.

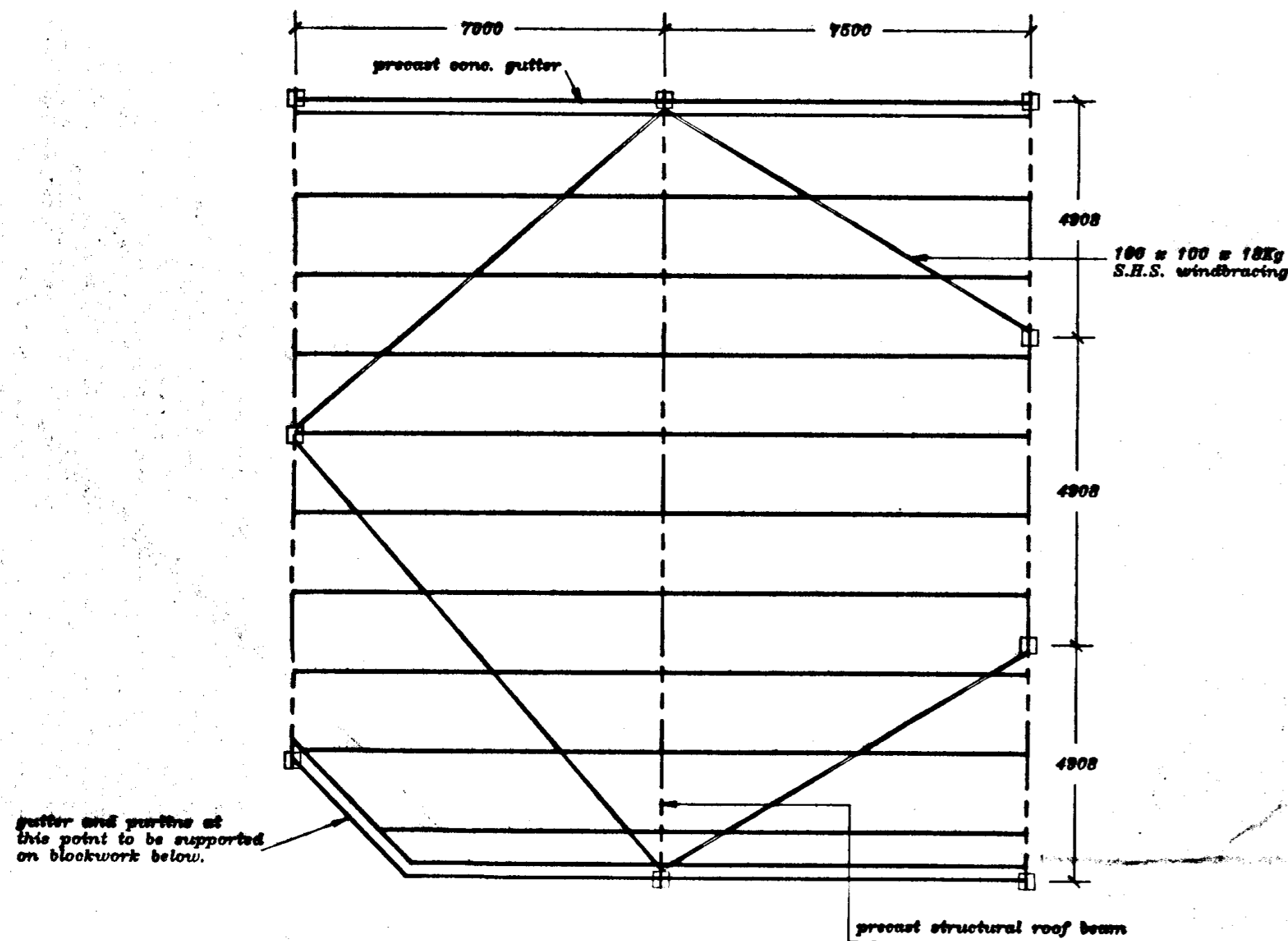
TITLE TYPICAL SECTIONS.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. McCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16 PHONE 984147/988244	
SCALE 1 : 50.	DATE OCT. 1991.
DRAWN BY D.C.	DRG No. S 289/6.
Dublin County Council Planning Dept (Registry Section) APPLICATION RECEIVED 23 OCT 1991 REG No. 21A/1685	
Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be used. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.	



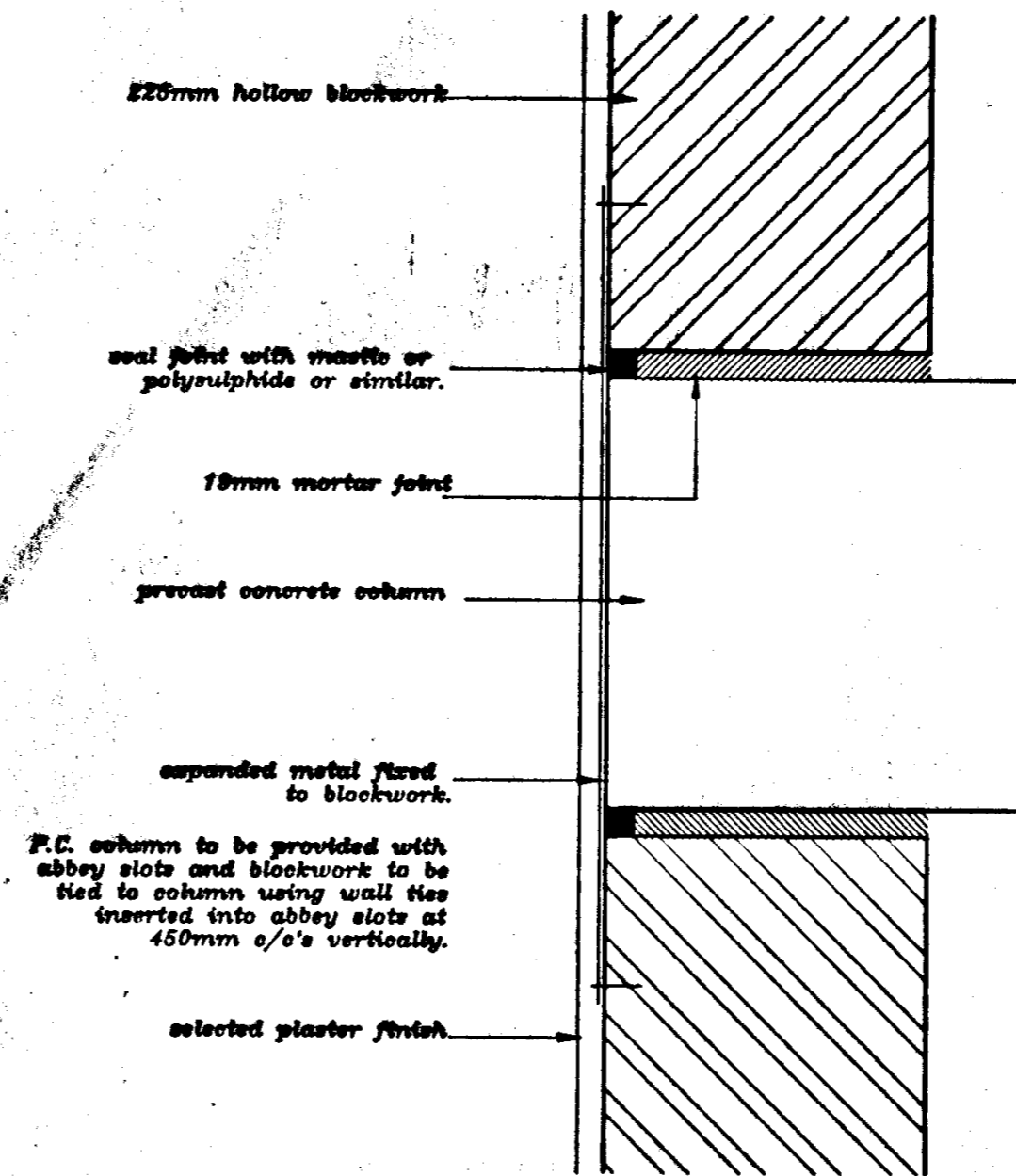
ROOF PLAN BLOCK A. scale 1:100.



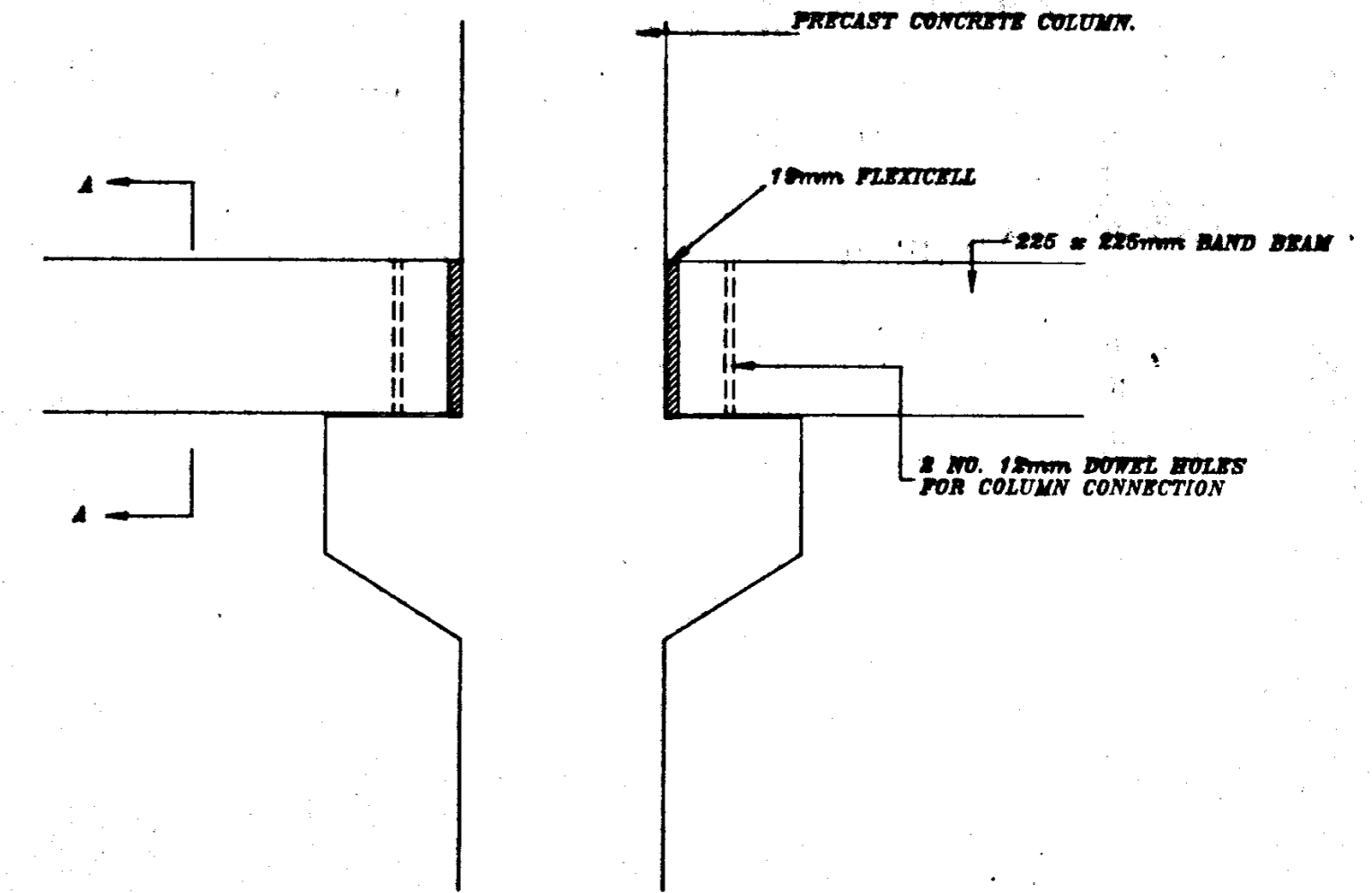
ROOF PLAN BLOCK C. scale 1:100.



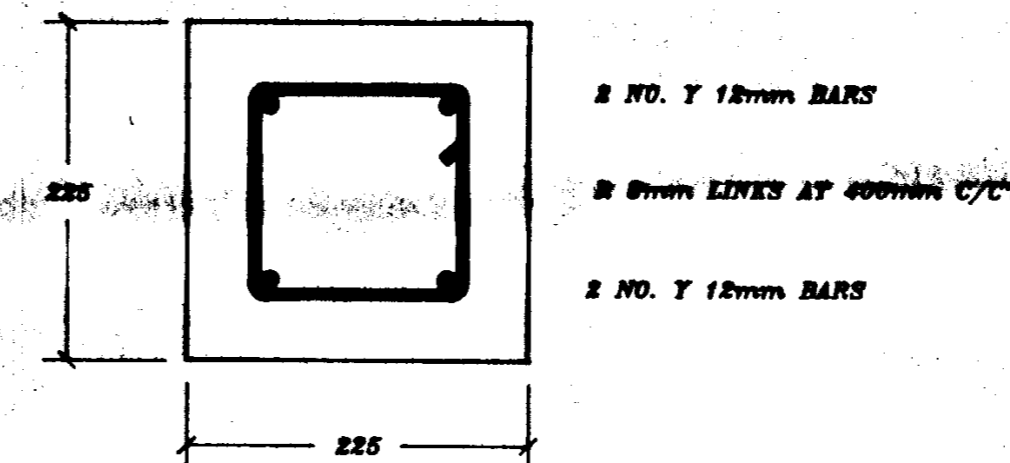
ROOF PLAN BLOCK B scale 1:100.



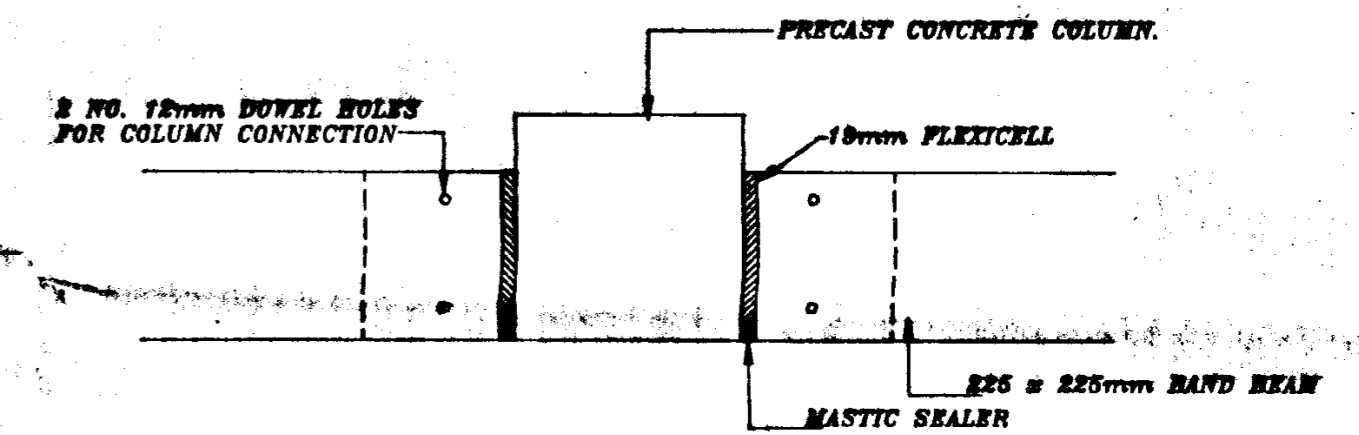
DETAIL 'A'. scale 1:5. WHERE 225mm BLOCK ABUTTS COLUMN.



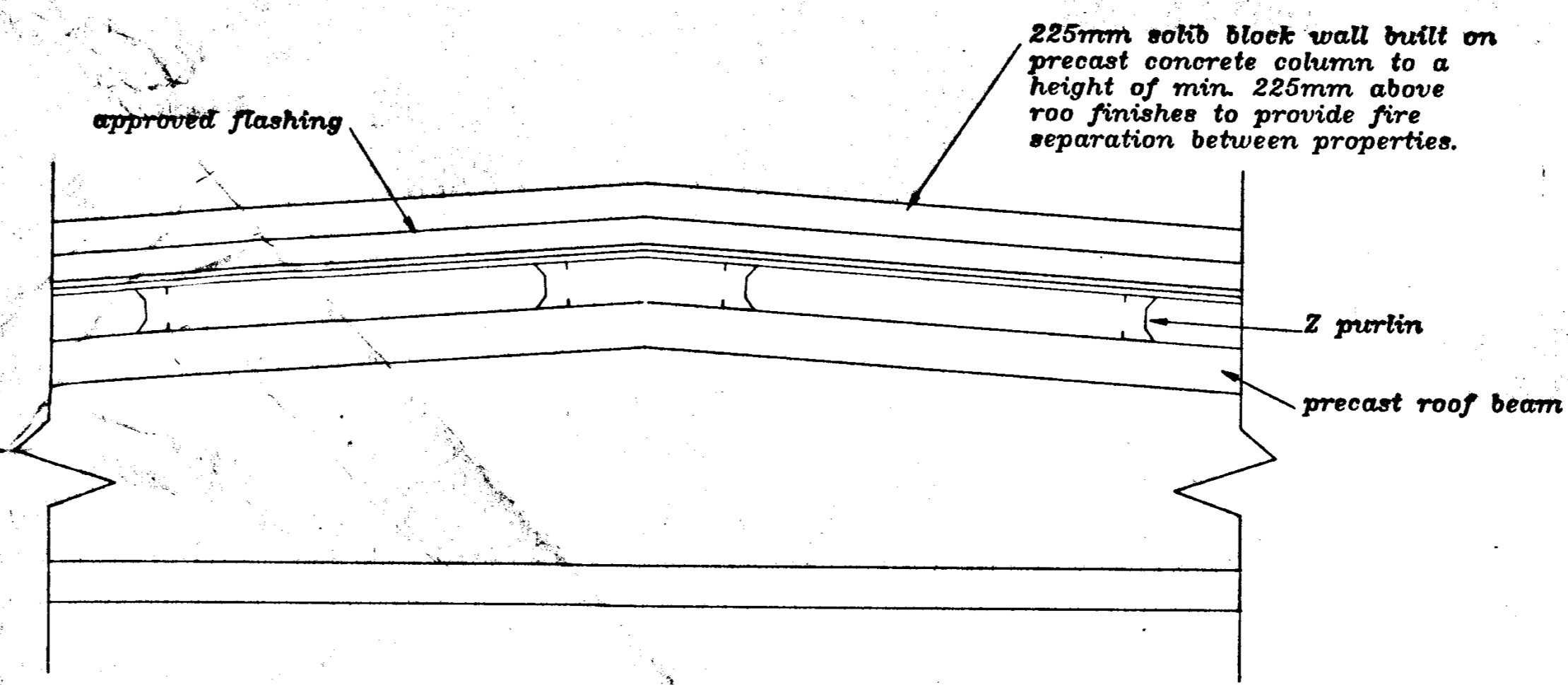
SIDE ELEVATION OF COLUMN AND BAND BEAM. scale 1:10.



SECTION A-A. scale 1:5.



PLAN OF COLUMN AND BAND BEAM. scale 1:10.

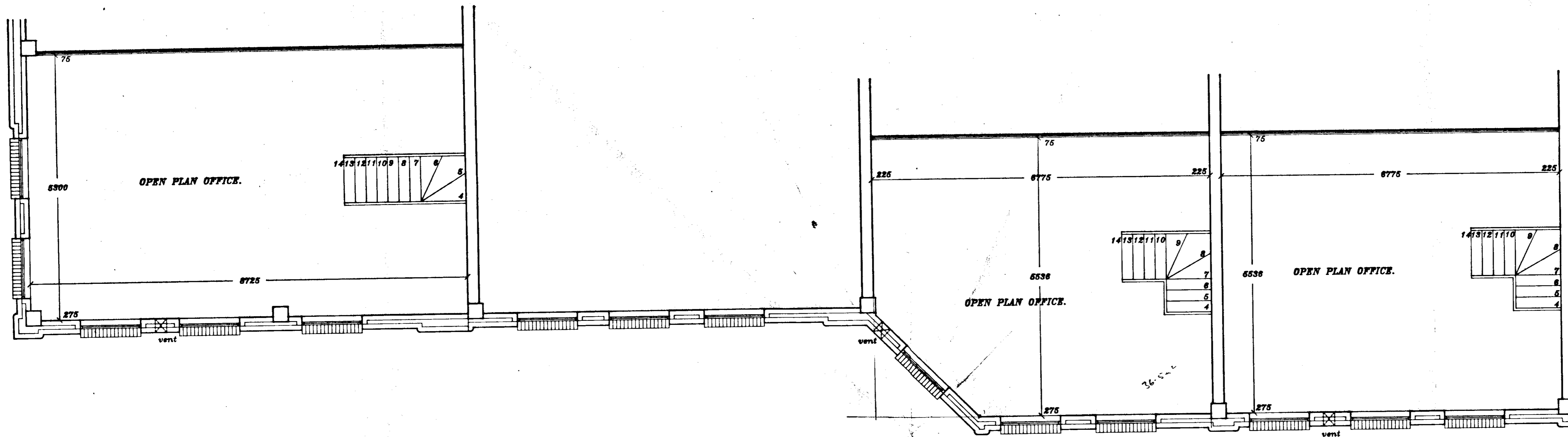


DETAIL ROOF/INTERSECTION PARTY WALL. scale 1:20.

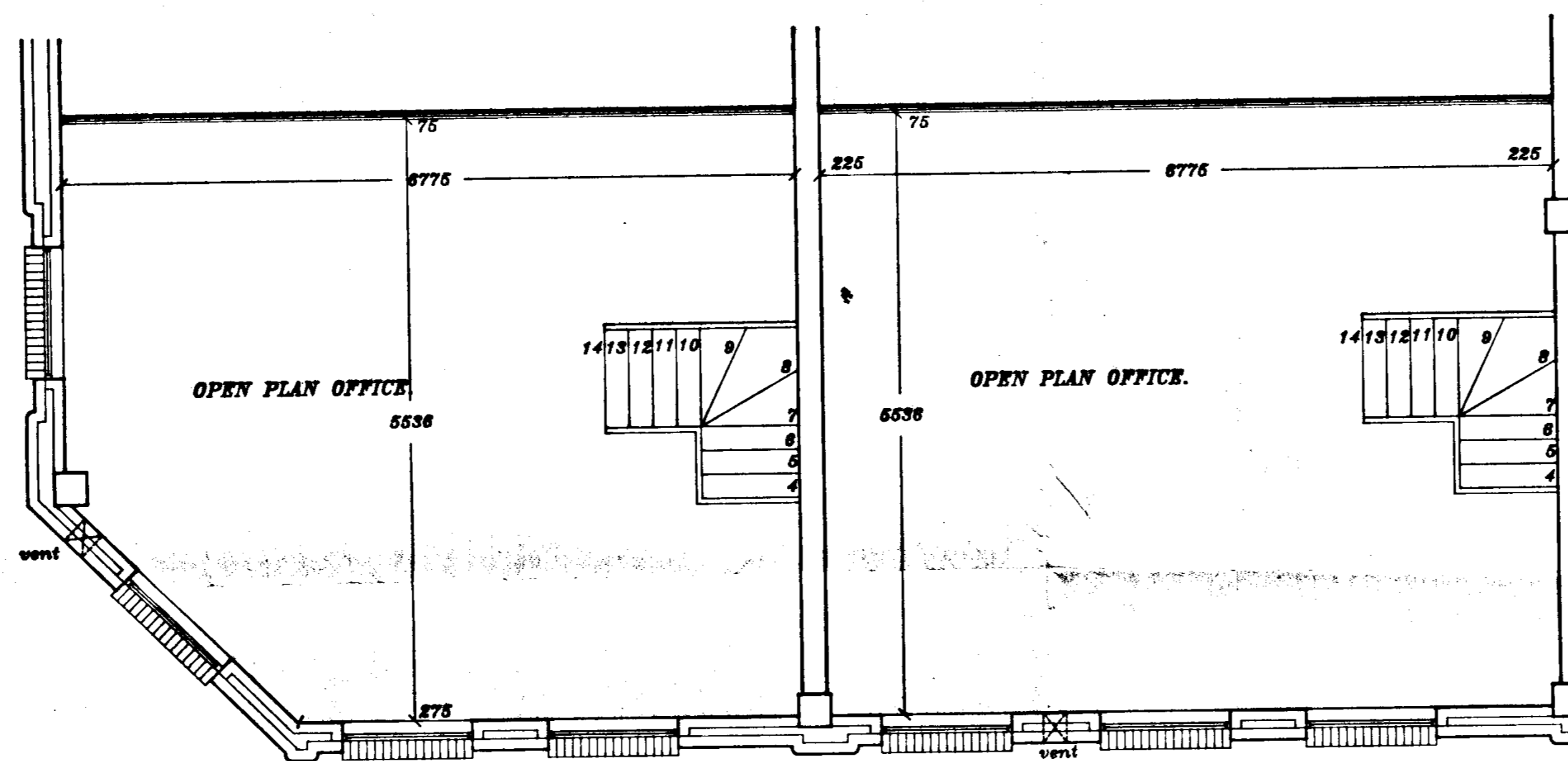
TITLE DETAIL SHEET.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. MCCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
SCALE AS STATED.	PHONE 984147/988244
DATE OCT. 1991.	DRG No. S 289/B.

DUBLIN COUNTY COUNCIL
Planning Dept. Registry Section
APPLICATION RECEIVED
23 OCT 1991
REG No. 9111625

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FIRST FLOOR PLAN. BLOCK A.



FIRST FLOOR PLAN. BLOCK B.

91A/1685
RECEIVED
13 DEC 1991
Reg. Sec.

TITLE FIRST FLOOR PLANS BLOCKS A & B.	
PROJECT LIGHT INDUSTRIAL/STARTER UNITS TO SITE AT LONG MILE ROAD WITH ACCESS OFF ROBINHOOD ROAD, WALKINSTOWN, DUBLIN 12.	
CLIENT GILT CONSTRUCTION LTD.	
D. MCCARTHY & Co. CONSULTING ENGINEERS LYNWOOD HOUSE BALLINTEER ROAD DUBLIN 16	
SCALE 1 : 50.	PHONE 984147/988244
DRAWN BY D.C.	DATE DEC. 1991.
DRG No. S 289/9.	
<small>Contractors must verify all dimensions at the job before commencing any work. No working dimensions to be used. This drawing is for the purpose of planning and bye laws only. Dimensions to blockwork only.</small>	