

APPEALS DECISIONS

APPEALS CHECK LIST

REG. REF. NO. 91A 1661

1	ENTERED IN OBJECTORS BOOK	✓
2	ENTERED IN BLUE FOLDER	✓
3	ENTERED IN APPEALS BOOK	✓
4	<u>ENTERED IN PLANAPS</u> APPEALS DECISION: CHANGE STATUS (see below) APPEALS DATE	✓
5	COPY OF DECISION FOR WEEKLY LIST (MARY/LAURA)	✓
6	DECISION CIRCULATED TO LISTED PERSONS	✓
7	TO BONDS & CONTRIBUTIONS FOR FINANCIAL ASSESSMENT	
8	UPDATED IN DATABASE	✓
9	TO L. DOYLE FOR NOTING	
10		
11		

CHANGE STATUS IN PLANAPS:

REFUSAL.....55
GRANT.....62
WITHDRAWN.....54
CONDITIONS.....53

Mayorie @ Shea

EASTERN HEALTH BOARD

PLANNING DEPT.
DEVELOPMENT CONTROL SECT

Date 12.06.92
Time P.C. 2.30

Reg. Ref: 91A/1661

Proposed: Dwellhouse and septic tank A.I.

At: Miltam Rd, Kilakee North Parkland

For: Ian & Linda Anne

Plans lodged: 27.3.92

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

Date of inspection 5th June 92
The above proposal is unacceptable to this office for the following reasons
A trial hole inspected on the 3rd March '92 showed that the subsoil consisted of shale and jointed rock which would result in excessive percolation i.e. a 'T' value < 5. Therefore in its present state the soil is unsuitable for treatment of septic tank effluent.

Note as far as I'm aware there has been no communication from this office to the holder of the above trial hole test as stated in the attached correspondence dated 23.3.92 from Coll + Mc Carthy Architects.

John Healy
9/6/92

Mayorie @ Shea
5th June 92

SP + cmo

Register Reference : 91A/1661

Date :

2

Development : Dwellinghouse and septic tank.

LOCATION : Military Road, Killakee, Rathfarnham.

Applicant : Ian + Linda Dunne

App. Type : A.I.

Planning officer :

Date Recd. : 27-3-92

PLANNING DEPT.	
DEVELOPMENT CONTROL SECT	
Date	29.5.92
Time	2.30

Attached is a copy of the application for the above development. Your report would be appreciated within the next 28 days.

Yours faithfully,

DUBLIN Co. COUNCIL

12 MAY 1992

SAN SERVICES

DUBLIN CO. COUNCIL
SANITARY SERVICES

27 MAY 1992

PRINCIPAL OFFICER

Returned *[Signature]*

Date received in Sanitary Services

FOUL SEWER

Inufficient information (See previous report on file)

Due to the contours of the site and the location of the Septic tank and percolation Area it is likely that the 'percolating' pipes of the distribution Area would be in the region of 25 m below ground level. The depth of rock should be ascertained in the region of the septic tank and percolation Area before any permission is granted.

See previous report on file.

SENIOR ENGINEER,
SANITARY SERVICES DEPARTMENT,
46/49 UPPER O'CONNELL STREET,
DUBLIN 1

[Signature]
19.5.92

[Signature]
20/5/92

Register Reference : 910/1667.

Date :

PLANNING DEPT.
 DEVELOPMENT CONTROL SECT
 Date 29/5/92
 Time 2.30

ENDORSED _____ DATE _____

WATER SUPPLY.....

available

W Sullivan

15/5/92

[Signature]
15/5/92

ENDORSED

[Signature]

DATE

21/5/92

EASTERN HEALTH BOARD

P.C. _____ Reg. Ref: 91A/1661

Proposed: Duelha and septic tank

At: Military Rd. Kilakee, Rathfarnham

For: Jan e Linda Dunne

Plans lodged: _____

Architect: _____

Observations and recommendations of Env. Health Officers and/or Supervising Env. Health Officer.

Date of inspection of Trial Hole: 3.3.92

Result: The nature of the soil is such that it would allow rapid movement of effluent into the groundwater without adequate purification and therefore in its present state the soil is unsuitable for treatment of septic tank effluent

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 01.06.92
Time 2.30

Norman Bauer

26.5.92

John Healy

27/5/92

Mayorie O'Shea

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1661.
DEVELOPMENT: House.
LOCATION: Military Road, Killakee, Rathfarnham.
APPLICANT: Ian and Linda Dunn.
DATE LODGED: 27.3.92.

This submission is additional information. The applicant was requested to relocate the access 30 metres southwards. This is shown on the lodged plans.

1. All stormwater shall be disposed of to soakpits or natural watercourse within the site and shall not discharge onto the public road.
2. The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
3. Entrance gate to be recessed 1.5 metres from the new boundary with wing walls splayed at 45°.
4. Parking for two cars to be provided within the curtilage of the site with an adequate turning area.
5. All of the above works to be carried out at the developer's expense and to the satisfaction of Dublin County Council prior to the house being occupied.
6. A financial contribution, in the sum of money equivalent to the value of £800 as on 1st January, 1991, updated in accordance with the Wholesale Price Index-Building and Construction (Capital Goods) as published by the Central Statistics Office to the value pertaining at the time of payment shall be paid by the developer to Dublin County Council towards the cost of road improvements and Traffic Management proposals in the area serving this site.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 14.05.92
Time 10.30

GC/BMCC
11.5.92.

SIGNED: Garrett Curran
DATE: 12/5/92

ENDORSED: E. Madden
DATE: 12th May '92

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1661.
DEVELOPMENT: House.
LOCATION: Military Road, Kilakee, Rathfarnham.
APPLICANT: I & L Dunne.
DATE LODGED: 27.3.92.

Supplementary Report.

The Roads Report dated 11.5.92 was based on a misinterpretation of the lodgement of additional information and should be ignored.

The applicant stated that he was not in a position to relocate the access (even though he shows control of the land in subsequent application Reg. Ref: 92A/757).

Original Roads Report dated 20.11.91 applies.

GC/BMcC
22.5.92.

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 01.06.92
Time 2.00

SIGNED: Garnett Curran
DATE: 26/5/92

ENDORSED: _____
DATE: _____

P / 5135 / 92

PL 6/5/89026

SOUTH DUBLIN

FINANCIAL CONTRIBUTION :-
AMOUNT & NIL
F/Refusal

AN BORD PLEANALA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1992

County Dublin

Planning Register Reference Number: 91A/1661

APPEAL by Ian and Lynda Dunne care of Coll and McCarthy of 137 Lower Rathmines Road, Dublin against the decision made on the 26th day of May, 1992 by the Council of the County of Dublin to refuse permission for development comprising the erection of a house and provision of septic tank at Military Road, Killakee, Rathfarnham, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1992, permission is hereby refused for the said development for the reasons set out in the Schedule hereto.

SCHEDULE

1. The proposed development would endanger public safety by reason of traffic hazard because of the additional vehicular turning movements generated at an access point onto a busy county road where sightlines are restricted in a northern direction and where the maximum speed limit applies.
2. The proposed development would be prejudicial to public health because a soil test carried out on the site has indicated that the ground is not suitable for the disposal of septic tank effluent due to the rapid percolation it permits.

Member of An Bord Pleanála duly authorised to authenticate the seal of the Board.

Dated this 21st day of October 1992.

Order Noted: <i>LD</i>
Dated: <i>21</i> NOV 1992
<i>[Signature]</i> ASSISTANT COUNTY MANAGER
to whom the appropriate powers have been delegated by order of the Dublin City and County Manager.
Dated: <i>25th</i> day of <i>SEP.</i> 1992



**EASTERN
HEALTH
BOARD**

BORD
SLAINTE
AN OIRTHIR

**ENVIRONMENTAL HEALTH OFFICERS'
SERVICE**

33 Gardiner Place
Dublin 1
Tel 727777

16 October 1992

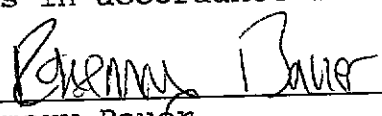
Principal Officer
Planning Department

F.A.O. Mr. L. Doyle

Re: Dwelling House and Septic Tank on lands at Military Road,
Kilakee, Rathfarnham, Co. Dublin - PL65/89026

Decision Order No: P/2375/92
Dated: 26 May 1992
Reg. Ref. No: 91A/1661

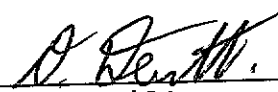
With reference to letter of appeal to The Secretary, An Bord Pleanala, dated 23 June 1992 from Coll & McCarthy, Architects, I wish to refer to the grounds for appeal, specifically (b). At no time was this office contacted by either the applicants Ian and Linda Dunne or Coll & McCarthy, Architects, to supervise percolation testing. Determination of the percolation rate of the soil would be necessary before submission of any remedial works in accordance with Appendix C.SR6 1991.



Rosemary Bauer,
Environmental Health Officer.

Endorsed:

Please note that while letter dated 1 September 1992 from An Bord Pleanala requested a reply within fourteen days from that date we did not receive the correspondence until 1 October 1992.



P.P. John O'Reilly,
Principal Environmental Health Officer.

MR. CHRISTY CORRIGAN,
ASSISTANT STAFF OFFICER,
ENVIRONMENTAL HEALTH OFFICE,
33 GARDINER PLACE,
DUBLIN 1.

DATE: 24/09/92

REG. REF. NO. 91A/1661
PROPOSAL: DWELLING & SEPTIC TANK
LOCATION: MILITARY ROAD
KILAKEE
RATHFARNHAM


Dear Sir,

I attach copy of correspondence from An Bord Pleanala and
in regard to the above.

I should be obliged to receive your comments on same before
08/10/92

PLEASE MARK YOUR REPLY FOR THE ATTENTION OF MR. L. DOYLE.

Yours faithfully,


for Principal Officer

DUBLIN COUNTY COUNCIL

PLANNING OFFICER: M. O'SHEE

REG. REF. 91A/1661

PROPOSAL: DWELLING & SEPTIC TANK

LOCATION: MILITARY ROAD
KILAKEE
RATHFARNHAM

I attach for your observations memo/letter dated 11/9
from An Bord Pleanala.

PLEASE REPLY BEFORE: 22/09/92

5
for Principal Officer.

DATE: 08/09/92

OBSERVATIONS:

The Board should be informed
that the reason for the decision
P/2375/92 dated 17.6.92 (Reg Ref 92A 0757)
should have read as follows.

"The proposed development provides for a substandard
sight line to the NORTH of the vehicular
entrance". A copy of the original
Manager's order (P/2375/92) in which
~~it is~~ this is commented should
be sent to A.B.P. to clarify this point.

In the copy of the decision, due
to a typing error the ^{word} 'North' was
replaced by 'South'. The Board should be
advised accordingly.

The grounds of appeal should be sent
to the Roads Dept. & the S.E.H.O. for their ^{respective} comments.

M. O'SHEE 10/9/92 Richard Cremino 11/9/92
PLANNING OFFICER S.E.D.C. DATE

Requests for "obs" issued to
Roads + E.H.O. 24/9/92.

10/2375/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

SOUTH COUNTY

Register Reference : 92A/0757

Date Received : 12th May 1992

Correspondence : Coll & McCarthy, Architects,
Name and : 137, Lower Rathmines Road,
Address : Dublin 6.

Development : Dwelling house and septic tank

Location : Military Road, Kilakee, Rathfarnham

Applicant : Ian and Linda Dunne,

App. Type : Permission

Zoning : B

Floor Area : 1575 sq.metres

MO'S/SM

Report of the Dublin Planning Officer dated 22nd May, 92.

This application is for PERMISSION. The proposed development consists of a dwelling house a septic tank at Military Road, Kilakee, Rathfarnham. The applicant is Ian and Linda Dunne.

SITE

The site which has a stated area of ³⁰⁰⁰~~2,054~~ sq. m. is located on Military Road opposite its junction with Oldcourt Road. It is located in an area that is zoned 'B' in the 1983 county Development Plan with the objective "to protect and provide for the development of agriculture."

The site forms part of a field which slopes down in a southerly direction. The northern boundary of the site is defined by a high hedgerow which separates the site from no. 2, Woodtown Cottages. (91B/0589 refers to a current application at no. 2, Woodtown Cottage, for an extension to the rear, which has yet to be determined by the Planning Authority).

The roadside boundary is also formed by a hedgerow. There is a wide grass verge just outside the roadside boundary of the site. There are 2 no. field access gates along the front boundary which serve the site.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 92A/0757

Page No: 0002

Location: Military Road, Kilakee, Rathfarnham

PLANNING HISTORY

Reg. Ref. 89A/2025 - Dublin county Council refused outline planning permission for 2 no. houses at Military Road, Kilakee, on a site approximately 100 metres to the north of the site affected by the current application. The applicant was F. McGrath who, I understand, is an uncle of the present applicant. It was intended that the houses would be for the present applicant and her brother.

Permission was refused for a number of reasons including visual amenity, traffic hazard and public health grounds.

Other applications in the vicinity of the site which are of interest include the following:

Reg. Ref. TA 1081: Permission granted to B. Bradshaw (applicant's brother) for a bungalow at Military Road, Woodtown. Additional information submitted under Reg. Ref. 89A/2025 stated that the applicants mother is living now in the house approved under TA 1081.

Reg. Ref. 87A/0507: Permission refused by Dublin County Council for proposed bungalow at rear of no. 2, Mount Venus Cottages for zoning and public health reasons.

Reg. Ref. 91A/¹⁶¹⁶~~0757~~: refers to a current application for a house on this site which is presently being considered by the Planning Authority. The applicant is the same Ian and Linda Dunne.

In support of this application the applicant has sub. a covering letter, stating her association to the area in question.
The applicant's grandfather originally bought the farm in the early 1900's where it is now proposed to construct a house. It is stated that the applicant was raised in the original farm house with her uncle who continues now to reside there.

The applicant has recently married and is presently living at 12, Parklands, Rathfarnham Castle. She wishes to continue to live in the Kilakee Area.

DEVELOPMENT - *The family landholding has been outlined in Red on an advance map, & it is stated that the applicants wish they would be prepared to study the use of the land.*
The development as proposed in this application is very similar to that proposed under Reg. Ref. 91A/1661. The main difference being that the proposed access arrangements have been altered.

In this application it is proposed to retain and use an existing field gate access to serve the proposed house. This gateway would also still serve as a farm entrance and tractor access. This gate is located approximately 6 metres to the north of the access proposed under Reg. Ref. 91A/1661.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg. Ref: 92A/0757

Page No: 0003

Location: Military Road, Kilakee, Rathfarnham

REPORT

The Roads Department report has confirmed (by phone 21/5/92) that it is opposed to the proposed development (report dated 22/11/91 on 91A/1661 is relevant here).

The proposed development is unacceptable on traffic safety grounds.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1991, for the following (2) reasons :-

REASONS FOR REFUSAL

01 The proposed development provides for substandard sight lines to the ~~south~~ ^{NORTH} at the vehicular entrance. The proposed development would generate turning movements on a section of road where traffic speeds can be high. The proposed development would thereby endanger public safety by reason of traffic hazard.

02. a trial hole opened & inspected on the site indicated.

that the nature of the soil in its present state is unsuitable for the treatment of septic tank effluent. The applicant has not demonstrated that the site is

suitable for septic tank development. The proposed development would be prejudicial to public health.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 92A/0757

Page No: 0004

Location: Military Road, Kilakee, Rathfarnham

Richard Connors SP
for Dublin Planning officer
26/5/92

Endorsed: *[Signature]*
for Principal officer

Order: A decision pursuant to section 26(1) of the Local Government (Planning and Development) Acts, 1963-1991 to REFUSE PERMISSION for the above proposal for the (2) reasons set out above is hereby made.

Dated : 17th ~~MAY~~ ^{JUNE}, 1992.

[Signature]
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated 11th June 1992

P/2396/92

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

SOUTH COUNTY

Register Reference : 91A/1661

Date Received : 27th March 1992

Correspondence : Coll & McCarthy Architects,
Name and : 137 Lower Rathmines Road,
Address : Dublin 6.

Development : Dwellinghouse and septic tank

Location : Military Road, Killakee, Rathfarnham

Applicant : Ian & Linda Dunne

App. Type : Permission

Zoning : To protect and provide for the development of agriculture

Floor Area : 157.5 sq.mètres

N/S
(MOS/SM)

Report of the Dublin Planning Officer dated 22nd May, 92.

This application is for PERMISSION. The proposed development consists of a dwelling house and septic tank at Military Road, Killakee, Rathfarnham for Ian and Linda Dunne.

SITE

The site which has a stated area of 2,054 sq. m. is located on Military Road opposite its junction with Oldcourt Road. It is located in an area that is zoned 'B' in the 1983 County Development Plan with the objective "to protect and provide for the development of agriculture."

The site forms part of a field which slopes down in a southerly direction. The northern boundary of the site is defined by a high hedgerow which separates the site from no. 2, Woodtown Cottages. (91B-0589 refers to a current application at No. 2, Woodtown Cottage, for an extension to the rear, which has yet to be determined by the Planning Authority).

The roadside boundary is also formed by a hedgerow. There is a wide grass verge just outside the roadside boundary of the site. There are 2 no. field access gates along the front boundary which serve the site.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1661

Page No: 0002

Location: Military Road, Killakee, Rathfarnham

PLANNING HISTORY

Reg. Ref. 89A-2025 - Dublin County Council refused outline planning permission for 2 no. houses at Military Road, Killakee, on a site approximately 100 metres to the north of the site affected by the current application. The applicant was F. McGrath who, I understand, is an uncle of the present applicant. It was intended that the houses would be for the present applicant and her brother. Permission was refused for a number of reasons including visual amenity, traffic safety and public health grounds.

Other applications in the vicinity of the site which are of interest include the following:

Reg. Ref. TA 1081: Permission granted to B. Bradshaw (applicant's brother) for a bungalow at Military Road, Woodtown. Additional Information submitted under Reg. Ref. 89A-2025 stated that the applicant's mother is living now in the house approved under TA 1081.

Reg. Ref. 87A-0507: Permission refused by Dublin County Council for proposed bungalow at rear of no. 2, Mount Venus Cottages for zoning and public health reasons.

Reg. Ref. 92A/0757: refers to a current application for a house on this site which is presently being considered by the Planning Authority. The applicant is the same Ian and Linda Dunne.

In support of this application, the applicant has submitted a covering letter stating her association to the area in question.

The applicant's grandfather originally bought the farm in the early 1900's where it is now proposed to construct a house. It is stated that the applicant was raised in the original farm house with her uncle who continues now to reside there.

The applicant has recently married and is presently living at 12, Parklands, Rathfarnham Castle. She wishes to continue to live in the Killakee Area.

The applicant maintains that all the reasons for refusal under the earlier application Reg. Ref. 89A-2025 have been overcome.

The floor area of the proposed home is stated to be 157.5 sq. m. (including a garage). The house is single storey, traditional in form and simply designed. The gable end of the proposed house faces the road. ~~It is noted that~~ The proposed percolation areas serving the house ^{are} located outside the site boundaries, *in the site plan submitted as part of this application on the 18.10.91.*

No map showing the family land holding in the area was submitted, as part of

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1661

Page No: 0003

Location: Military Road, Killakee, Rathfarnham

the original application although in the covering letter it is stated that the applicants uncle (the owner of the site in question) is prepared to enter into discussions with the Planning Authority with regard to entering a Section 38 Agreement ^{to} sterilizing lands.

REPORT

The Roads report dated 22nd November, 1991, states that vision from the proposed access northwards is substandard and recommends that permission be refused on the grounds that vehicles using this access which has substandard vision splays on a section of road where speeds can be high would endanger public safety by reason of traffic hazard.

The Roads report does note, however, that if the proposed access were to be relocated 30 metres southward that adequate sight lines would be available.

The following Additional Information was requested of the applicant in a letter dated 10/12/91:

1. The applicant is requested to submit evidence demonstrating the suitability of the site for septic tank drainage. In this regard the applicant is requested to consult with the health inspector for the area with regard to the opening and testing of a trial hole.
2. The applicant is requested to submit a map showing the extent of the family landholding in the area and to indicate if the owner of these lands would be prepared to enter into a Section 38 Agreement under the Local Government (Planning and Development) Act, 1963 with Dublin County Council sterilizing the remainder of these lands from any future development in the event of a decision to grant permission being considered.
3. The applicant is requested to indicate if she is in a position to relocate the vehicular access point 30 metres to the south and if so to submit drawings showing this.
NOTE: The applicant should note that the site boundaries should be revised to include the new access and driveway.
4. It is noted that the proposed percolation area is located outside the site boundaries to include percolation and reserve percolation areas, and to submit drawings showing this.

The applicant submitted the Additional Information to this department on 27/3/92. A map showing the extent of Mr. Frank Mc ^{Cavanagh} s holding outlined in red has been submitted in response to no. 2. The agent for the applicant

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1661

Page No: 0004

Location: Military Road, Killakee, Rathfarnham

states that Mr. Mc ^{Carthy} ~~Carthy~~ would be prepared to enter into a Section 38 agreement (as described in your letter) for the duration of the current Public County Development Plan.

It is stated that a trial hole has been opened and tested on site by the health inspector.

The site has been increased in size to include the proposed percolation area.

Finally the applicant in response to item no. 3 of the request for additional information states that the applicant is not in a position to relocate the vehicular access.

REPORTS

The report of the Roads Department, (dated 12/5/92) mistakenly states that the access has been relocated 30 metres southwards and notes conditions which should be attached if permission is being considered. The Roads Engineer has confirmed (by phone 21/5/92) that the proposed development is unacceptable and that the report of 22/11/91 still stands.

There is no report available from the Environmental Health Officer at the time of writing. *the Health Inspector has informed me (phone, 26 May 92) that a trial hole inspected on site on 3.3.92 showed that the soil in its present state*
PKANNING ASSESSMENT *is unviable due to treatment of septic tank effluent*

The development as proposed is unacceptable on the grounds that sight lines to the ^{North} ~~South~~ of the proposed entrance are substandard and the proposed development would be prejudicial to traffic safety.

It is considered that a better location, *1. 2. Less visually sensitive* for a house ^{would} ~~might~~ be in the vicinity of the existing farmhouse and outbuildings on the family landholding to the south of the site, ^{where} there is some natural screening in the form of trees and hedgerows. This location would be preferable on both road safety (ie. it might be possible to use the existing access) and visual amenity grounds.

I recommend that a decision to REFUSE PERMISSION be made under the Local Government (Planning and Development) Acts, 1963 - 1991, for the following () reasons :-

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Reg.Ref: 91A/1661

Page No: 0005

Location: Military Road, Killakee, Rathfarnham

REASONS FOR REFUSAL

01 The proposed development provides for substandard sight lines to the ~~south~~ ^{NORTH} ~~to~~ the vehicular entrance. The proposed development would generate turning movements on a section of road where traffic speeds can be high. The proposed development would thereby endanger public safety by reason of traffic hazard.

02, the nature.

02. A trial hole opened and inspected on this site indicated that the nature of the soil in its present state is unsuitable for the treatment of septic tank effluent. The applicant has not demonstrated that the site is suitable for septic tank development. The proposed development would be prejudicial to public health.

Richard Cremins SEP

for Dublin Planning officer

26/5/92

Endorsed: *[Signature]*

for Principal Officer

Order: A decision pursuant to Section 26(1) of the Local Government (Planning and Development) Acts, 1963-1991 to REFUSE PERMISSION for the above proposal for the (2) reasons set out above is hereby made.

Dated : 26th MAY, 1992.

[Signature]
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated

10th July 1992

Marjorie O'Shea.

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Environmental Health Officer,
33 Gardiner Place.

Register Reference : 91A/1661

Date : 21st October 1991

Development : Dwellinghouse and septic tank

LOCATION : Military Road, Killakee, Rathfarnham

Applicant : Ian & Linda Dunne

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning Officer : —

Date Recd. : 18th October 1991

PLANNING DEPT.
DEVELOPMENT CONTROL SEC.
Date 17.12.91
Time 4.15

Attached is a copy of the application for the above development .Please ensure that your report is received within 5 weeks from 18th October 1991.

Date of inspection 10th Dec '91

Yours faithfully,

The above proposal is unacceptable for the following reasons

.....

for PRINCIPAL OFFICER

1. The percolation area was not located within the site boundary
2. There was no reserve percolation indicated
3. Evidence to prove suitability of soil for the treatment and disposal of septic tank effluent in proposed percolation area was not shown.
4. No details of design and specification of septic tank and drainage in accordance with IBCS SRS 1975 (NB. Architect was advised to open a trial hole on the 6th Dec. '91).

Kenneth Bauer
10th Dec '91

for Eileen
John O'Reilly 8816
16/12/91

P/5540/91

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Register Reference : 91A/1661

Date Received : 18th October 1991

Correspondence : Coll & McCarthy Architects,
Name and : 137 Lower Rathmines Road,
Address : Dublin 6.

Development : Dwellinghouse and septic tank

Location : Military Road, Killakee, Rathfarnham

Applicant : Ian & Linda Dunne

App. Type : Permission

Zoning 'B' : To protect and provide for the development of agriculture

Floor Area : 157.5 Sq.metres, incl. garage.

MOS
(MOS/DK)

Report of the Dublin Planning Officer dated 3rd December, 1991.

This application is for PERMISSION. The proposed development consists of a dwelling house and septic tank at Military Road, Killakee, Rathfarnham for Ian and Linda Dunne.

SITE

The site which has a stated area of 2,054 sq. m. is located on Military Road opposite its junction with Oldcourt Road. It is located in an area that is zoned 'B' in the 1983 County Development Plan with the objective "to protect and provide for the development of agriculture."

The site forms part of a field which slopes down in a southerly direction. The northern boundary of the site is defined by a high hedgerow which separates the site from no. 2, Woodtown Cottages. (91B-0589 refers to a current application at No. 2, Woodtown Cottage, for an extension to the rear, which has yet to be determined by the Planning Authority).

The roadside boundary is also formed by a hedgerow. There is a wide grass verge just outside the roadside boundary of the site. There are 2 no. field access gates along the front boundary which serve the site.

PLANNING HISTORY

Reg. Ref. 89A-2025 - Dublin County Council refused outline planning permission for 2 no. houses at Military Road, Killakee, on a site approximately 100 metres to the north of the site affected by the current application. The applicant was F. McGrath who, I understand, is an uncle of the present applicant. It was intended that the houses would be for the present applicant and her brother. Permission was refused for a number of reasons including visual amenity,

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

traffic safety and public health grounds.

Other applications in the vicinity of the site which are of interest include the following:

Reg. Ref. TA 1081: Permission granted to B. Bradshaw (applicant's brother) for a bungalow at Military Road, Woodtown. Additional information submitted under Reg. Ref. 89A-2025 stated that the applicant's mother is living now in the house approved under TA 1081.

Reg. Ref. 87A-0507: Permission refused by Dublin County Council for proposed bungalow at rear of no. 2, Mount Venus Cottages for zoning and public health reasons.

In support of this application, the applicant has submitted a covering letter stating her association to the area in question.

The applicant's grandfather originally bought the farm in the early 1900's where it is now proposed to construct a house. It is stated that the applicant was raised in the original farm house with her uncle who continues ~~not~~ ^{now} to reside there.

The applicant has recently married and is presently living at 12, Parklands, Rathfarnham Castle. She wishes to continue to live in the Kilakee Area.

The applicant maintains that all the reasons for refusal under the earlier application Reg. Ref. 89A-2025 have been overcome.

The floor area of the proposed home is stated to be 157.5 sq. m. (including a garage). The house is single storey, traditional in form and simply designed. The gable end of the proposed house faces the road. It is noted that the proposed percolation areas serving the house is located outside the site boundaries.

No map showing the family land holding in the area has been submitted, although in the covering letter it is stated that the applicant's uncle (the owner of the site in question) is prepared to enter into discussions with the Planning Authority with regard to entering a Section 38 agreement sterilizing lands.

REPORT

The Roads report dated 22nd November, 1991, states that vision from the proposed access northwards is substandard and recommends that permission be refused on the grounds that vehicles using this access which has substandard vision splays on a section of road where speeds can be high would endanger public safety by reason of traffic hazard.

The Roads report does note, however, that if the proposed access were to be relocated 30 metres southward that adequate sight lines would be available.

COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

The Supervising Environmental Health Officer has not reported at the time of writing.

Before a decision is made on this applicant,

I recommend that ADDITIONAL INFORMATION be requested from the applicant with regard to the following:-

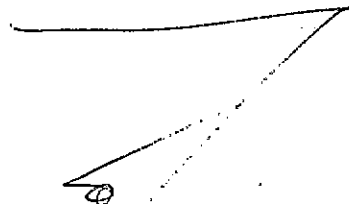
201 The applicant is requested to submit a map showing the extent of the family landholding in the area and to indicate if the owner of these lands would be prepared to enter into a Section 38 Agreement under the Local Government (Planning and Development) Act, 1963 with Dublin County Council sterilising the remainder of these lands from any future development in the event of a decision to grant permission being considered.

302 The applicant is requested to indicate if she is ^{in a position} ~~prepared and able~~ to relocate the vehicular access point 30 metres to the south and if so to submit drawings showing this.

NOTE: The applicant should note that the site boundaries should be revised to include the new access and driveway.

103 The applicant is requested to submit evidence demonstrating the suitability of the site for septic tank drainage. In this regard the applicant is requested to consult with the health inspector for the area with regard to the opening and testing of a trial hole.

404 It is noted that the proposed percolation area is located outside the site boundaries. The applicant is requested to revise the site boundaries to include percolation and reserve percolation areas, and to submit drawings showing this.



COMHAIRLE CHONTAE ÁTHA CLIATH

Record of Executive Business and Manager's Orders

Richard Cronin
for Dublin Planning Officer SEP
6/12/91

PK [Signature]
Endorsed:
for Principal Officer

Order: I direct that ADDITIONAL INFORMATION be requested from the applicant for Permission as set out in the above report and that notice thereof be served on the applicant.

Dated : 10th DECEMBER 1991

[Signature]
.....
ASSISTANT COUNTY MANAGER/APPROVED OFFICER

to whom the appropriate powers have been delegated by order of the Dublin City and County Manager dated ~~10th December~~ 1991.

10th December,

SS + CMO

(10)

DUBLIN COUNTY COUNCIL
PLANNING AND BUILDING CONTROL DEPARTMENT

Senior Engineer,
Sanitary Services Dept.

Register Reference : 91A/1661

Date : 21st October 1991

Development : Dwellinghouse and septic tank

LOCATION : Military Road, Killakee, Rathfarnham

Applicant : Ian & Linda Dunne

App. Type : PERMISSION/BUILDING BYE-LAW APPROVAL

Planning officer :

Date Recd. : 18th October 1991

Attached is a copy of the application for the above development. Your report would be appreciated within the next 14 days.

Date received in Sanitary Services

DUBLIN CO. COUNCIL
SANITARY SERVICES
25 OCT 1991
SAN SER.

28 NOV 1991
Returned: *[Signature]*

FOUL SEWER

Refusal recommended.

- ① The septic tank and Percolation area would appear to be up hill of the proposed dwelling.
- ② The percolation area is located outside the site and on a neighbours garden.
- ③ location of adjacent percolation area not indicated.
- ④ Finished floor level not indicated.

SURFACE WATER

Insufficient information.

- ① The amount of earth works required is not indicated.
- ②

Information in respect of the feasibility of pump drainage in respect of what appears to be an artificially created basin

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date 02.12.91
Time 10.00

Mr Moran
25.11.91

Register Reference : 91A/1661

Date : 21st October 1991

ENDORSED _____ DATE _____

WATER SUPPLY.....

Available.

VOS elhi
31/10/91

ENDORSED *[Signature]* DATE *26/11/91*

PLANNING DEPT.
DEVELOPMENT CONTROL SECT
Date *02.12.91*
Time *10.00*

DUBLIN COUNTY COUNCIL

REG. REF: 91A/1661.
DEVELOPMENT: Single storey residence.
LOCATION: Military Rd, Killakee, Rathfarnham.
APPLICANT: Ms. Lynda Bradshaw-Dunne.
DATE LODGED: 18.10.91.

The proposal is for a house with access onto Military road at its junction with Old Court Road. The road reservation at this point is along the near side road boundary. The applicants proposed to close two existing accesses and replace these with a single new access.

Vision from the proposed access northwards is substandard and vehicle speeds can be high on this section of road. Therefore, permission should be refused as:-

1. Vehicles using this access which has substandard vision splays on a section of road where speeds can be high would endanger public safety by reason of traffic hazard.

(However, it is noted that this site forms part of a larger field in which the applicant may have an interest. If the site access were to be relocated 30 metres southwards on the long curve in the road sufficient vision could be provided. This would entail a change of the site outlined in red and possibly also a change of house location).



GC/BMcc
20.11.91.

SIGNED: Garrett Cunningham
DATE: 21/11/91

ENDORSED: E. J. O'Connell
DATE: 22nd Nov '91

LOCATION GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1982

ASSESSMENT OF FINANCIAL CONTRIBUTION

REG. REF.:

ICONT. REG.:

SERVICES INVOLVED: WATER/FOUL SEWER, SURFACE WATER

AREA OF SITE:

FLOOR AREA OF PRESENT PROPOSAL:

MEASURED BY:

CHECKED BY:

METHOD OF ASSESSMENT:

TOTAL ASSESSMENT

MANAGER'S ORDERED NO: PA / /
DATED

ENTERED IN CONTRIBUTIONS REGISTER:

DEVELOPMENT CONTROL ASSISTANT GRADE

FOI



Bosca 174,
P.O. Box 174,
46/49 Sraid O'Connell Uacht,
46/49 Upper O'Connell Street,
Baile Atha Cliath 1,
Dublin 1.
Telephone (01) 727777
Fax (01) 725782

Attention: L. Doyle.

Decision

Mr. A. Smith,
Principal Officer,
Planning Department.

Our Ref.

Your Ref. 91A/1661.

Date 19.10.92.

Appeal:

RE: Dwelling - Military Road, Kilakee, Rathfarnham

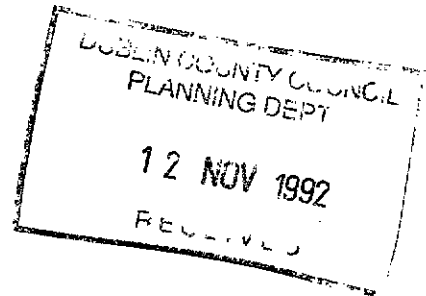
As stated in the Roads Report dated 20.11.91 vision from the proposed access northwards is substandard and vehicle speeds can be high on this section of road. Therefore permission should be refused on the grounds of traffic hazard.

The applicants discussion with the Roads Department does not prejudice the examination of sight distance on site. The lodged drawing no. 910028-12 only shows sight distance diagrammatically. It is clear even from this drawing that sight distance northwards is substandard.

It is noted that sight distance southwards is referred to in the reason for refusal. This was incorrect. Sight distance northwards is clearly referred to in the Roads Report.

Garrett Curran

G. Curran,
Executive Engineer,
Roads Planning Division.

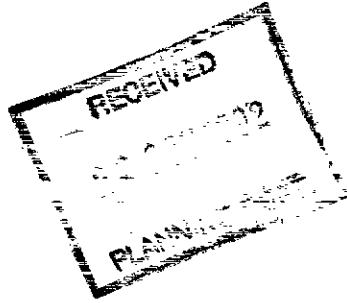


GC/BMCC

~~A. Scully~~

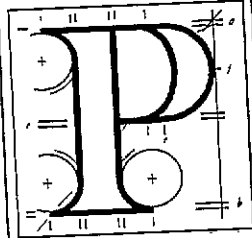
14

Our Ref: PL 6/5/89026
P.A. Ref: 91A/1661



County Council
Dublin Corporation,
Planning Department,
Block 2,
Irish Life Centre.

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

Date: 21 OCT 1992

Appeal Re: Erection of a house and provision of a septic tank at Military Road, Killakee, Rathfarnham, County Dublin.

Dear Sir,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Local Government (Planning and Development) Acts, 1963 to 1992. A copy of the order is enclosed.

Yours faithfully,

Miriam Baxter
Miriam Baxter.



Encl.



BP 352

AN BORD PLEANALA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1992

County Dublin

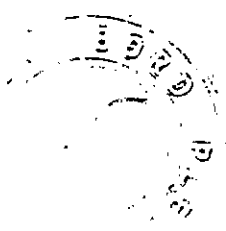
Planning Register Reference Number: 91A/1661

APPEAL by Ian and Lynda Dunne care of Coll and McCarthy of 137 Lower Rathmines Road, Dublin against the decision made on the 26th day of May, 1992 by the Council of the County of Dublin to refuse permission for development comprising the erection of a house and provision of septic tank at Military Road, Killakee, Rathfarnham, County Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1992, permission is hereby refused for the said development for the reasons set out in the Schedule hereto.

SCHEDULE

1. The proposed development would endanger public safety by reason of traffic hazard because of the additional vehicular turning movements generated at an access point onto a busy county road where sightlines are restricted in a northern direction and where the maximum speed limit applies.
2. The proposed development would be prejudicial to public health because a soil test carried out on the site has indicated that the ground is not suitable for the disposal of septic tank effluent due to the rapid percolation it permits.



[Handwritten signature]

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this *21st* day of *October* 1992.

An Bord Pleanála,
Floor 3,
Blocks 6 & 7,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.

Our Ref: 91A/1661

Your Ref.: PL6/5/89026

28 September 1992

Re: Dwelling house and septic tank at Military Road, Kilakee,
Rathfarnham for Ian and Linda Dunne.

Dear Sir/Madam,

I refer to your letter dated 1st September, 1992, enclosing correspondence with regard to the above appeal.

The Planning Authority's comments are as follows:-

Reason 1 of Decision Order P/2275/92 dated 17th June, 1992 (Reg. Ref. 92A/0757) should have read as follows "The proposed development provides for a substandard sight line to the north of the vehicular entrance..." A copy of the original Manager's Order (P/2375/92) in which this is confirmed is attached to clarify this point. In the copy of the decision due to a typing error the road north was replaced by "south".

Yours faithfully,

↳

for Principal Officer.

Our Ref: PL 6/5/89026
P.A. Reg. Ref: 91A/1661

The Secretary,
Planning Department,
Dublin County Council,
Block 2,
Irish Life Centre.

Date: 1st September 1992



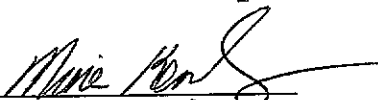
Appeal re: Dwellinghouse and septic tank at Military Road, Kilakee, Rathfarnham, Co Dublin.

Dear Sir/Madam,

Enclosed for your information is a copy of correspondence received in relation to the above-mentioned appeal. While it is not necessary for you to furnish any comments on the correspondence, you may do so if you wish. Any such comments should be forwarded within fourteen days from the date of this letter to ensure that they will be taken into consideration in the determination of the appeal.

Please quote the above appeal reference number in any further correspondence.

Yours sincerely,

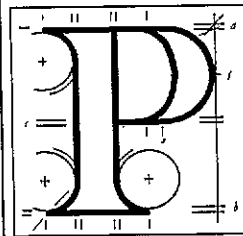

Marie Kennedy

BP 553A



EOH

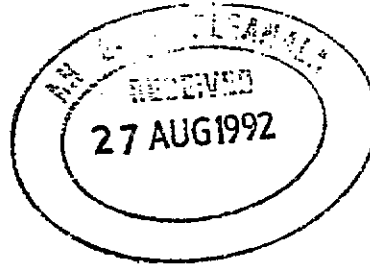
An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

OBZ

An Bord Pleanála,
Floor 3,
Blocks 6 and 7,
Irish Life Centre,
Lower Abbey Street,
Dublin 1.



16.8.'92.

Re: Dwelling house and septic tank at Military Road,
Killakee, Rathfarnham, Co. Dublin.
ABP Ref : PL 6/5/89026
P.A. Ref : 91A/1661.
Applicants : Ian and Lynda Dunne.

Dear Sirs,

We refer to the above Appeal and earlier correspondence in the matter and set out below some detailed points for your consideration.

The Planning Authority decision to refuse permission cites two reasons for refusal namely (1) traffic hazard associated with the proposed vehicular entrance and (2) unsuitability of the site for septic tank drainage.

In the matter of traffic hazard, as stated in our letter of 23.6.1992 we consulted with Dublin County Council Roads Department prior to finalising our Planning Application. In the course of that consultation we were informed that the desirable configuration for an entrance of the type in question should incorporate clear sightlines of 90m in both directions from a point 4m behind the road line. In our drawing number 91002S-12 we clearly and explicitly indicated an entrance that complies with these recommendations. The site plan has been clearly designed to ensure compliance with these recommendations. We consider it unreasonable for the Planning Authority to disregard their own recommendations in their consideration of the application and to apply what appear to be more onerous and unspecified standards.

Indeed, the site plan originally proposed significantly detracts from the working agricultural access to the larger field of which the site forms part and we have subsequently on

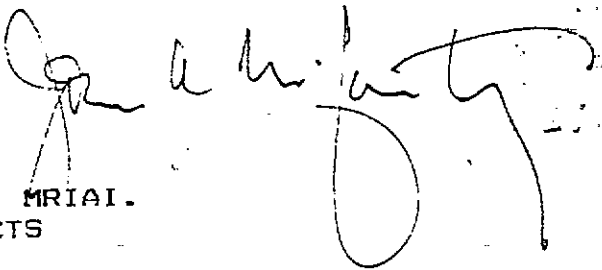
our clients' behalf made a planning application for a revised site plan in which the existing field gate is retained and serves a dual role of field and dwelling access. We enclose a copy of this proposal - drawing no. 910028-14; for your information. This application was refused Permission by the Planning Authority for substantially the same reasons as the application currently under appeal with the notable exception that the proposed development provided "substandard sight lines to the south of the vehicular access". A copy of the refusal is enclosed for your information.

In all the circumstances we would submit that the Planning Authority's treatment of the applications has been inconsistent and unreasonable and that the vehicular access as proposed or indeed in its subsequently modified form are consistent with proper planning and development. We would further submit that in its determination of this Appeal that the Board might deal with this issue by way of approving the site layout as proposed or by condition allowing the modified proposal set out in drawing no. 910028-14.

In the matter of the suitability of the site for septic tank effluent, we understand that the local authority's inspection of a trial hole on the site indicated excessively high percolation characteristics rendering it unsuitable in its present state for septic tank drainage. While SR6 of 1975 does not per se reject the suitability of excessively porous subsoil we acknowledge the fact that ground water quality may be put at risk by excessively rapid percolation of effluent. This is acknowledged in the 1991 edition of SR6. However SR6 of 1991 makes provision in Appendix C for remedial works to sites to overcome such difficulties. In the case of this particular site the provisions of Clause C3 or C7 of Appendix C would apply. Clause C3 deals with the modification of soil percolation characteristics by the introduction of suitable material to the percolation area. Clause 7 deals with peat-based filtration of the effluent. We hereby state that the applicants are willing to apply either of these provisions to the site in question to render its percolation characteristics consistent with SR6 of 1991 and would respectfully suggest that the Board might deal with this issue by the appending of a condition relating to this matter to their decision.

We trust that you find this submission in order and of assistance to you in determining this appeal. We look forward to receiving your decision in due course.

Yours faithfully,


JOHN A. MC CARTHY B.Arch. MR.IAI.
COLL + MC CARTHY ARCHITECTS

COLL + MC CARTHY 137 Lower Rathmines Road, Dublin, 6.		
22 JUN 1992 RECEIVED		
INLS.		
2		



Bloc 2, Ionad Bheatha na hEireann,
 Bloc 2, Irish Life Centre,
 Sraid na Mainistreach Iacht,
 Lower Abbey Street,
 Baile Atha Cliath 1.
 Dublin 1.
 Telephone (01) 724755
 Fax (01) 724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
 LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1991.

Decision Order Number : P/ 2375 /92 Date of Decision : 17th June 1992

Register Reference : 92A/0757 Date Received : 12th May 1992

Applicant : Ian and Linda Dunne,

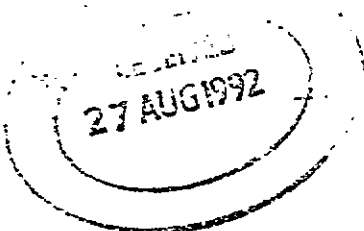
Development : Dwelling house and septic tank

Location : Military Road, Kilakee, Rathfarnham

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : //



In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- ... 2 ... ATTACHED.

Signed on behalf of the Dublin County Council.....
 for Principal Officer

Date: ... 18/6/92

Coll & McCarthy, Architects,
 137, Lower Rathmines Road,
 Dublin 6.

Reg.Ref. 92A/0757
Decision Order No. P/ 2375 /92
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

REASONS FOR REFUSAL

- 01 The proposed development provides for substandard sight lines to the south at the vehicular entrance. The proposed development would generate turning movements on a section of road where traffic speeds can be high. The proposed development would thereby endanger public safety by reason of traffic hazard.

- 02 A trial hole opened and inspected on theis site indicated that the nature of the soil in its present state is unsuitable for the treatment of septic tank effluent. The applicant has not demonstrated that the site is suitable for septic tank development. The proposed development would accordingly be prejudicial to public health.

COMHAIRLE CHONTAE ATHA CLIATH

Tel.: 724755
E. 268/269

Planning Department,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

Your Ref.: PL6/5/ _____

Our Ref.: 91A.1001 _____

An Bord Pleanála,
Blocks 6 and 7,
Irish Life Centre,
Lr. Abbey Street,
Dublin 1.

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983

Proposal: Buildings and site tent at Mounting Road,
Water Retention.

Applicant: G. & R. Dwyer

Dear Sir,

With reference to your letter dated 29/10/82 I enclose
herewith:-

- (1) & (2) A copy of the application which indicated the applicant's interest in the land or structure.
- (3) A copy of the public notice given, i.e.
Water Retention 29/10/82
- (4) The plan(s) received from the applicant on 29/10/82.
- (6) & (7) A certified copy of Manager's Order PL6/5/82,
DATED, 29/10/82 together with technical reports in connection with the application.
- (8) History to follow.

Yours faithfully,

T. Hall
For Principal Officer.
Encls.

Our Ref: PL 6/5/89026
Your Ref: 91A/1661

The Secretary,
Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre.

Date: 25th June 1992.

Planning authority decision re: Dwellinghouse and
septic tank at Military Road, Killakee, Rathfarnham,
County Dublin.

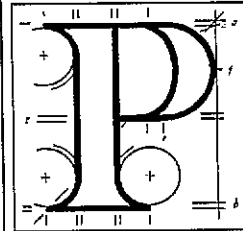
Dear Sir/Madam,

Enclosed is a copy of an appeal under the Local Government (Planning and Development) Acts, 1963 to 1990, in relation to the above-mentioned decision. So that consideration of the appeal may proceed, you are requested to forward to the Board within two weeks:

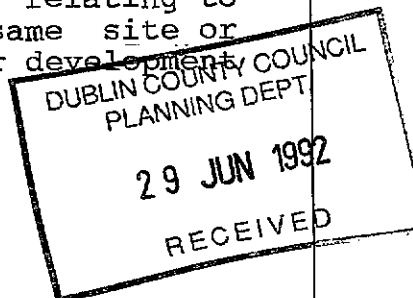
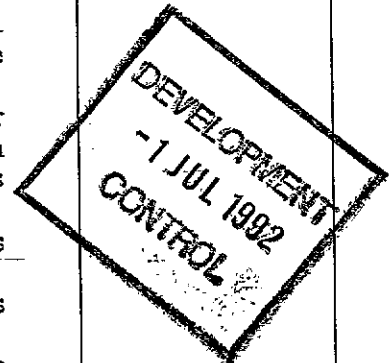
- (1) The application made to the planning authority.
- (2) Particulars of the applicant's interest in the land or structure, as supplied to the planning authority.
- (3) A copy of the public notice, whether published in a newspaper or on the site.
- (4) Any drawings, maps, particulars, information, evidence or written study received or obtained from the applicant, including the ordnance survey number.
- (5) Copies of requests (if any) to the applicant for further information relating to the application under appeal and copies of reply and documents (if any) submitted in response to such requests.
- (6) A certified copy of the relevant Manager's Order.
- (7) Copies of any technical or other reports relevant to the decision on the application.
- (8) Particulars and relevant documents relating to previous decisions affecting the same site or relating to applications for similar developments close by.

20/6

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
Tel (01) 728011



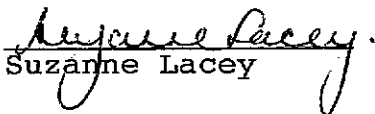
Please note that the other party to the appeal are being notified that copies of the planning authority documents relevant to the decision which gave rise to the above-mentioned appeal will be available for inspection at your offices after the expiration of a period of fourteen days from the date of this letter. It would be appreciated if parties could be facilitated in this regard.

Copies of the representations or observations made to the planning authority in relation to the application should not be sent to the Board. It is assumed that the planning authority has notified observers of the decision made and of the right of appeal.

The planning authority may make to the Board, in writing, such observations on the appeal as it thinks fit. Where practicable, any such observations should be submitted with the documents listed above but the furnishing of the documents should not be held up until observations are available. In any event, to ensure that they will be taken into account in the determination of the appeal, any such observations should be furnished within one month of the date of this letter.

Please quote the above appeal reference number in any further correspondence.

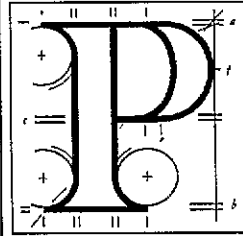
Yours faithfully,


Suzanne Lacey

Encl.

BP 005

An Bord Pleanála



Floor 3 Blocks 6 & 7
Irish Life Centre
Lower Abbey Street
Dublin 1
tel (01) 728011

The Secretary,
An Bord Pleanála,
Floor 3,
Block 6 & 7,
Irish Life Centre,
Lr. Abbey St.,
Dublin 1.

23rd June, 1992.

RE: DWELLING HOUSE AND SEPTIC TANK ON LANDS AT MILITARY ROAD, KILAKEE,
RATHFARNHAM, CO. DUBLIN.
DECISION ORDER NO. : P/2396/92.
DATED : 26th MAY 1992.

Dear Sirs,

We are in receipt of the above Notification of Decision to Refuse permission and on behalf of our clients, Ian and Lynda Dunne we wish to appeal the said decision.

We enclose fee cheque in the amount of £100 also copy of the Decision Notice.

Our grounds of appeal are as follows:

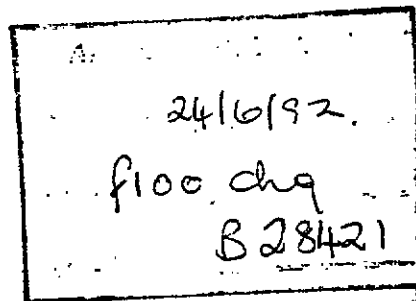
- (a) Prior to lodging our Application this office had consultations with the Roads Department of Dublin County Council who gave us their requirements in relation to access to the site. These have been fully complied with in our proposal.
- (b) We understand from conversations with the Eastern Health Board, Health Inspector, and Building Control Department that the Eastern Health Board did not in fact carry out a percolation test on the holes opened on the site as we understood they would. We believe that we can demonstrate the suitability of the site for a septic tank consistent with proper Planning and Development.

We are finalising our proposals in this matter and will submit them when completed.

Yours faithfully,

Phil Coll

JOHN A. MC CARTHY B.Arch. MR.IAI.
COLL + MC CARTHY ARCHITECTS.



P.P.

Phil Coll B.Arch. MR.IAI

Kevin Mc Carthy B.Arch.

John A. Mc Carthy B.Arch. MR.IAI



Bloc 2. Ionad Bheatha na hEireann
Bloc 2. Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1991.

Decision Order Number : P/ 2396 /92 Date of Decision : 26th May 1992

Register Reference : 91A/1661 Date Received : 27th March 1992

Applicant : Ian & Linda Dunne

Development : Dwellinghouse and septic tank

Location : Military Road, Killakee, Rathfarnham

Floor Area : Sq.Metres

Time Extension(s) up to and including :

Additional Information Requested/Received : 101291//270392

COLL + I C ARTHY		
137 Lower Rathmines Road, Dublin, 6.		
26 MAY 1992		
RECEIVED		
INLS.		

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

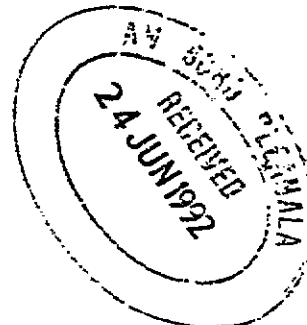
For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:- ...?... ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 26/5/92

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.





Bloc 2, Ionad Bheatha na hEireann.
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.

91A/1661

26 May 1992

Re: Dwellinghouse and septic tank at Military Road,
Killakee, Rathfarnham for Ian and Linda Dunne.

I, the undersigned, hereby acknowledge receipt of Notification
of Decision, dated 26 May 1992, in connection with the above.

Signed:

Paul Coll

On behalf of:

(Name)

(Address)

I hereby certify that the above Notification, dated 26 May 1992,
was handed by me to the above signed today.

SIGNED:

May Murphy

DATED:

26.5.92



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach lacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

NOTIFICATION OF DECISION TO REFUSE PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1991.

Decision Order Number : P/ 2396 /92 Date of Decision : 26th May 1992
Register Reference : 91A/1661 Date Received : 27th March 1992
Applicant : Ian & Linda Dunne
Development : Dwellinghouse and septic tank
Location : Military Road, Killakee, Rathfarnham
Floor Area : Sq.Metres

Time Extension(s) up to and including :
Additional Information Requested/Received : 101291//270392

In pursuance of its functions under the above mentioned Acts, the Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by order dated as above make a decision to REFUSE PERMISSION in respect of the above proposal.

For the Reasons set out on the attached Numbered Pages.

NUMBER OF REASONS:-ATTACHED.

Signed on behalf of the Dublin County Council.....
for Principal Officer

Date: 26/5/92.....

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.

Reg.Ref. 91A/1661
Decision Order No. P/ 2396 /92
Page No: 0002



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

REASONS FOR REFUSAL

- 01 The proposed development provides for substandard sight lines to the north of the vehicular entrance. The proposed development would generate turning movements on a section of road where traffic speeds can be high. The proposed development would thereby endanger public safety by reason of traffic hazard.

- 02 A trial hole opened and inspected on this site indicated that the nature of the soil in its present state is unsuitable for the treatment of septic tank effluent. The applicant has not demonstrated that the site is suitable for septic tank development. The proposed ^{development} would be prejudicial to public health.

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Bloc 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone (01) 724755
Fax (01) 724896

Register Reference : 91A/1661

Date : 30th March 1992

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Dwellinghouse and septic tank
LOCATION : Military Road, Killakee, Rathfarnham
APPLICANT : Ian & Linda Dunne
APP. TYPE : Additional Information

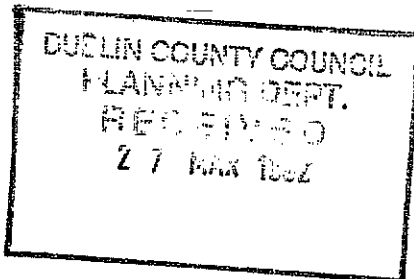
With reference to the above, I acknowledge receipt of additional information received on 27th March 1992.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.



Dublin County Council,
Planning Department,
Block 2,
Irish Life Centre,
Lower Abbey St.,
Dublin 1.

23.3.'92.

RE : PROPOSED DWELLING HOUSE AND SEPTIC TANK ON SITE AT MILITARY RD.,
KILLAKEE, RATHFARNHAM FOR IAN AND LINDA DUNN.
REG. REF.: 91A/1661.

Dear Sirs,

We refer to your letter dated 10.12.1991 requesting Additional Information in the above matter under four headings. We set out below our response to each of those items.

1. A trial hole has been opened and tested in respect of suitability for septic tank drainage, to the satisfaction of the health inspector for the area, Ms. Rosemary Bower. She can be contacted directly for confirmation of this fact.
2. We enclose a map indicating the extent of Mr. Frank Mc Grath's landholding, of which the site in question forms part. We are instructed by Mr. Mc Grath that he would be prepared to enter into a section 38 agreement (as described in your letter) for the duration of the current Dublin County Council Development Plan.
3. The applicant is not in a position to relocate the vehicular access as indicated in your letter.
4. We enclose a revised site plan in compliance with this request.

We trust that you find this in order and sufficient to allow you to finalise processing of the application. We look forward to receiving your decision in due course.

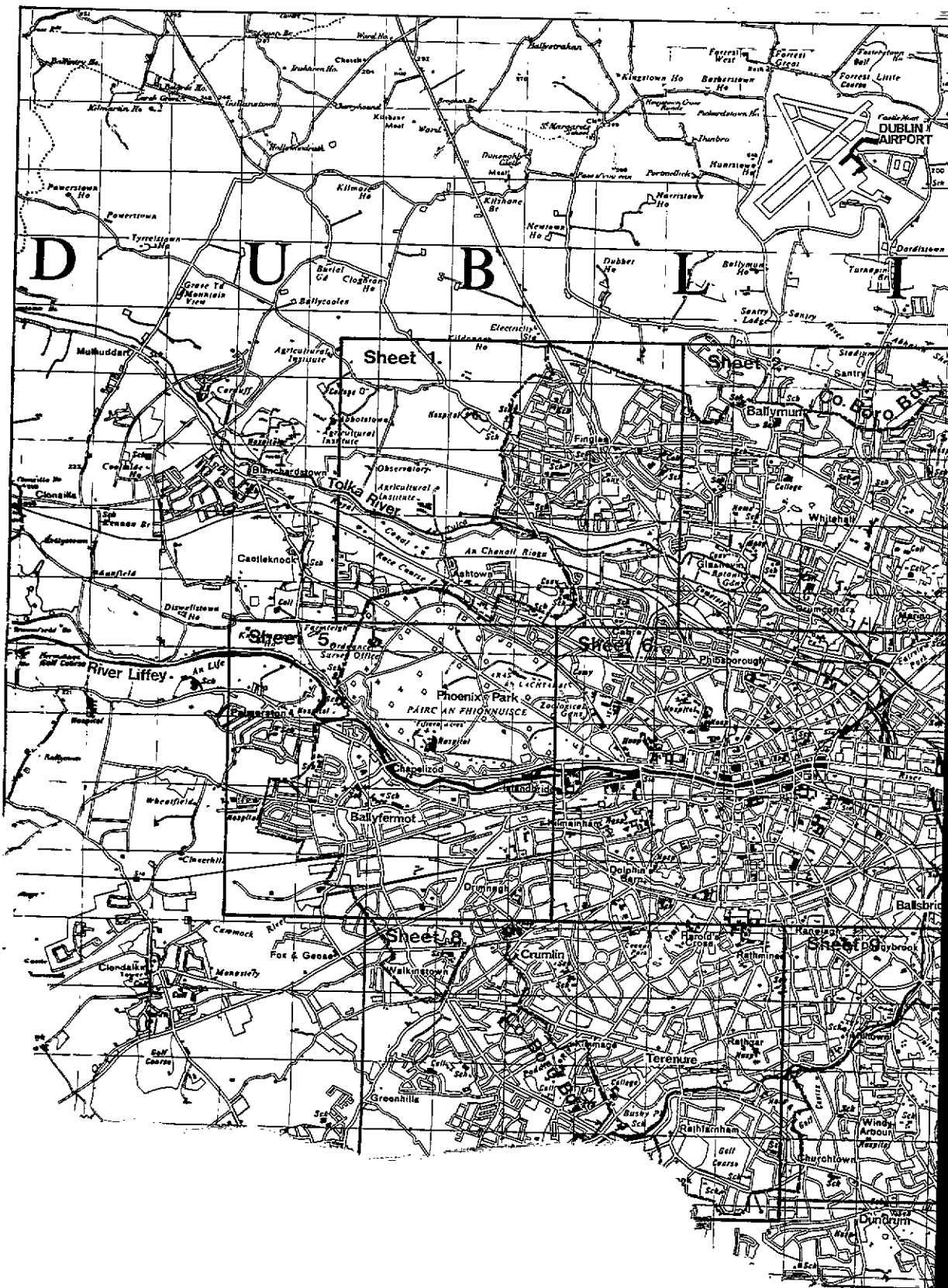
Yours faithfully,

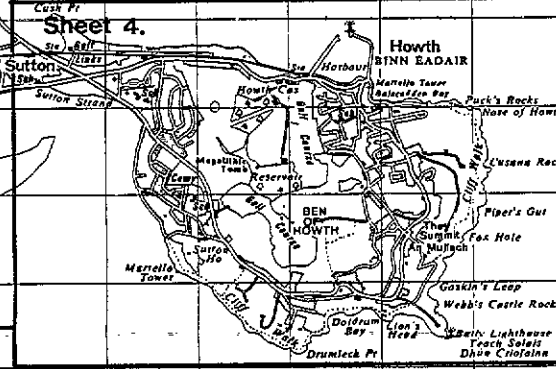
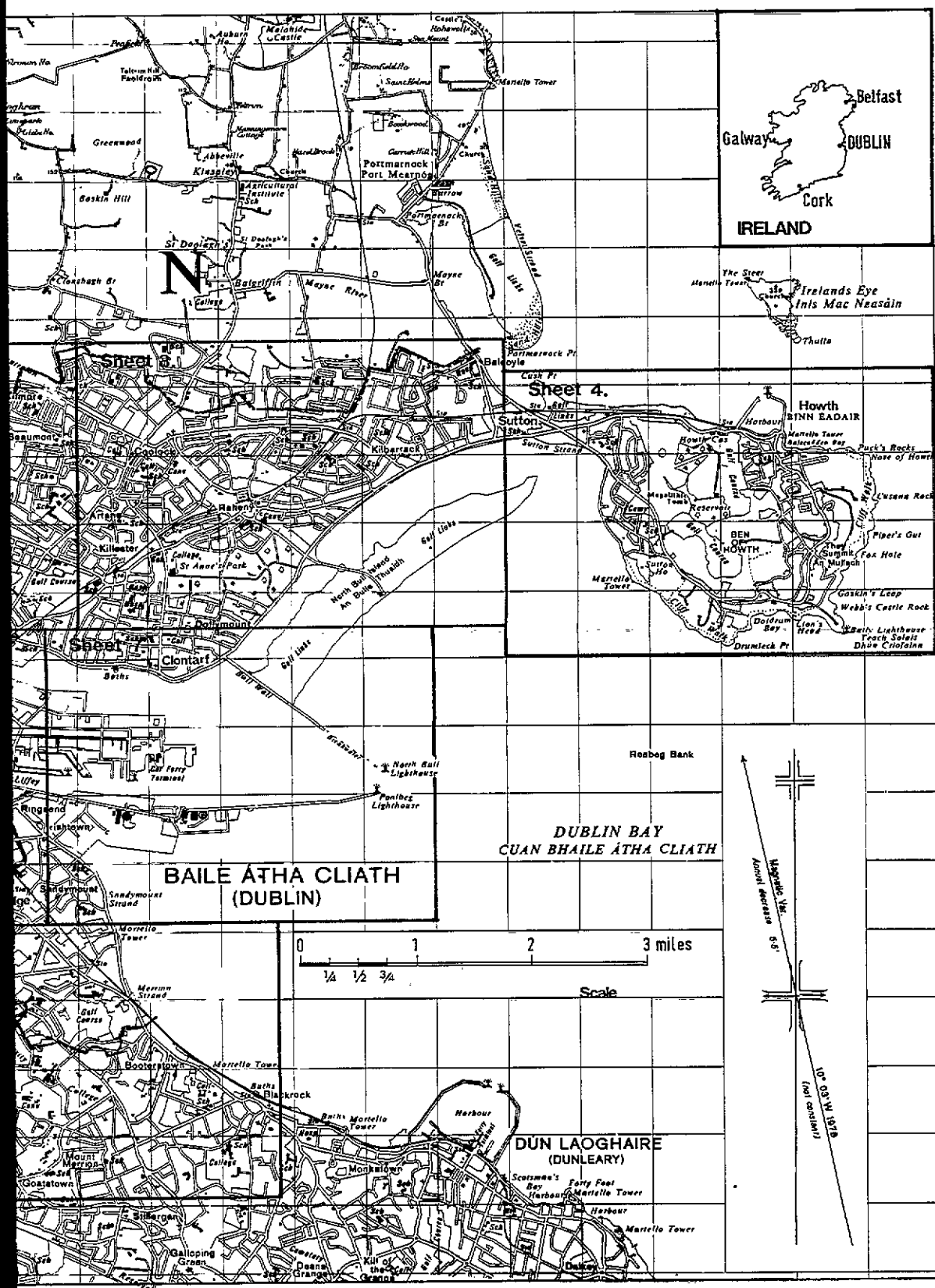
JOHN A. MC CARTHY B.ARCH. MRIAI.
COLL + MC CARTHY ARCHITECTS.

P.P.

AI
1.5.0.

91A/1661
John A. Mc Carthy B. Arch. MRIAI

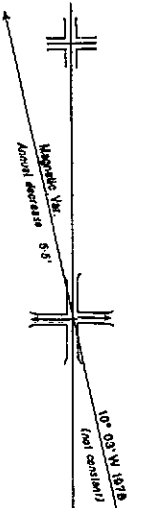
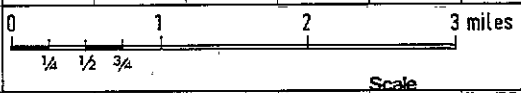




BAILE ÁTHA CLIATH
(DUBLIN)

DUBLIN BAY
CUAN BHAILE ÁTHA CLIATH

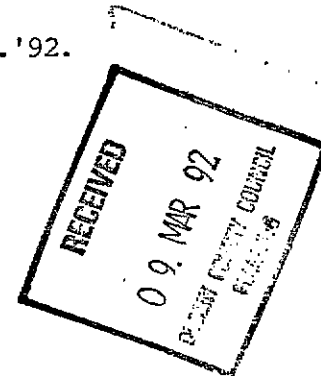
DÚN LAOGHAIRE
(DUNLEARY)



Dublin County Council,
Building Control Section,
Block 2,
Irish Life Centre,
Ir. Abbey Street,
Dublin 1.

91A/1661
1.6.2
A.I. for BBL

6.3.'92.



ATTN. : MR. JOHN CARNEY.

RE : TIME EXTENSION / ADDITIONAL INFORMATION FOR B.BL.
REG. REF. NO. 91A/1661.

Dear Sirs,

Further to your letter dated 29.1.'92 we enclose in duplicate as requested , the following:

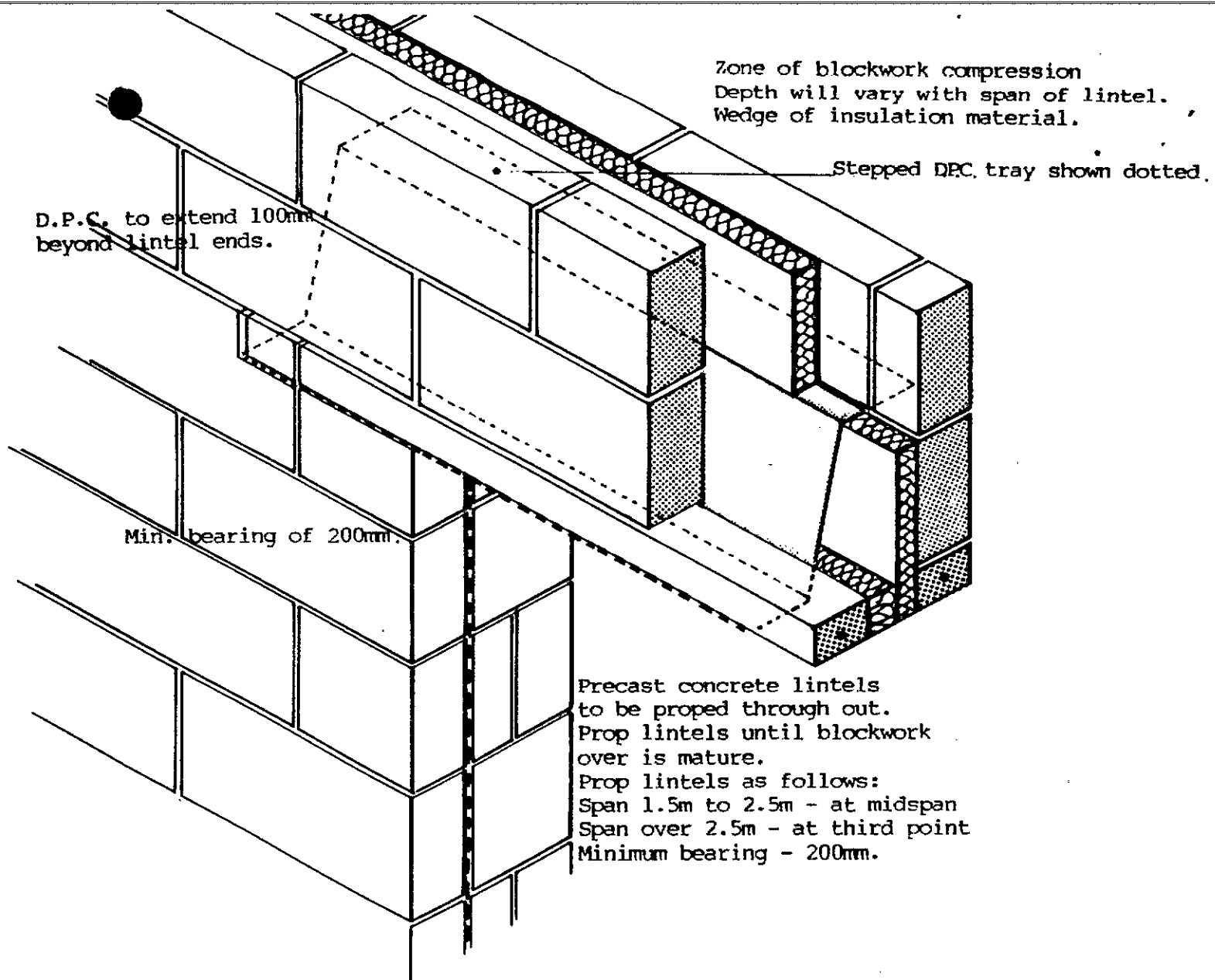
- 1.0 : Details and specification on septic tank.
- 2.0 : Lintel detail.
- 3.0 : Specification.

We trust all is in order and look forward to receiving your decision in due course. If you have any queries please contact the undersigned.

Yours faithfully,

[Handwritten signature]

P.P. JOHN A. MC CARTHY B.ARCH MRIAI.
COLL + MC CARTHY ARCHITECTS.



Zone of blockwork compression
 Depth will vary with span of lintel.
 Wedge of insulation material.

Stepped DPC tray shown dotted.

D.P.C. to extend 100mm
 beyond lintel ends.

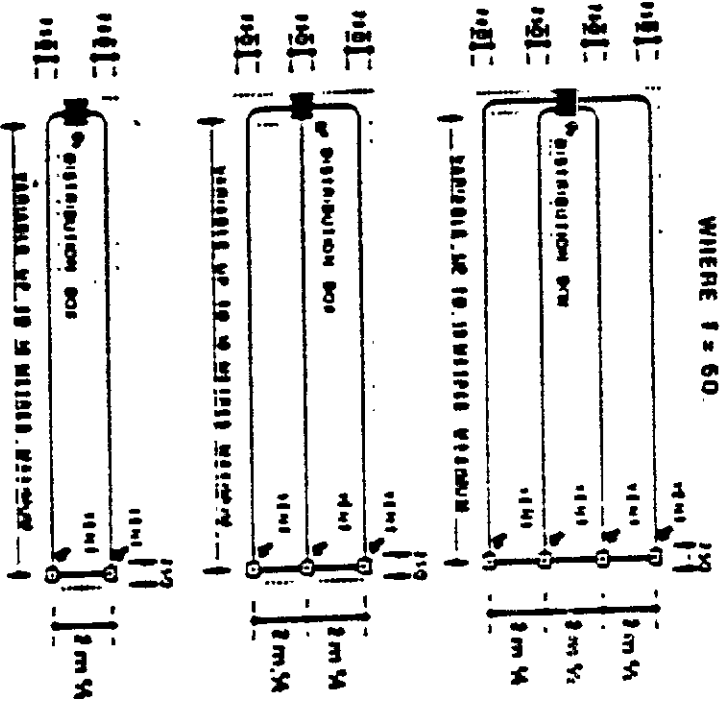
Min. bearing of 200mm.

Precast concrete lintels
 to be propped through out.
 Prop lintels until blockwork
 over is mature.
 Prop lintels as follows:
 Span 1.5m to 2.5m - at midspan
 Span over 2.5m - at third point
 Minimum bearing - 200mm.

9 MA 1992
 RES No 91A/1661
 APPLICATION TYPE
 NO L D S

COLL + MC CARTHY		ARCHITECTS	
137 Lower Rathmines Road, Dublin 6		Phone 973099 Fax 973870	
PROJECT Proposed house at Military rd, Kilakee, Rathfarnham, Co Dublin.			
DRAWING Lintel- Detail			
SCALE 1:1	DATE March 92	DRAWN DJW.	CHECKED
DRG NO. 910028 = 16			

GENERAL LAYOUT OF PERCOLATION AREA
WHERE 1 = 60



Notes: Length of Percolation Areas to suit the β value of the Site.
Dimensions in (mm) or as indicated
Septic Tank Detail

COLL + MC CARTHY

ARCHITECT

137 Lower Rathmines Road, Dublin 6

Phone 973099 Fax 973877

PROJECT: Proposed house at Military rd, Kildakee.

DRAWING: Septic Tank Detail.

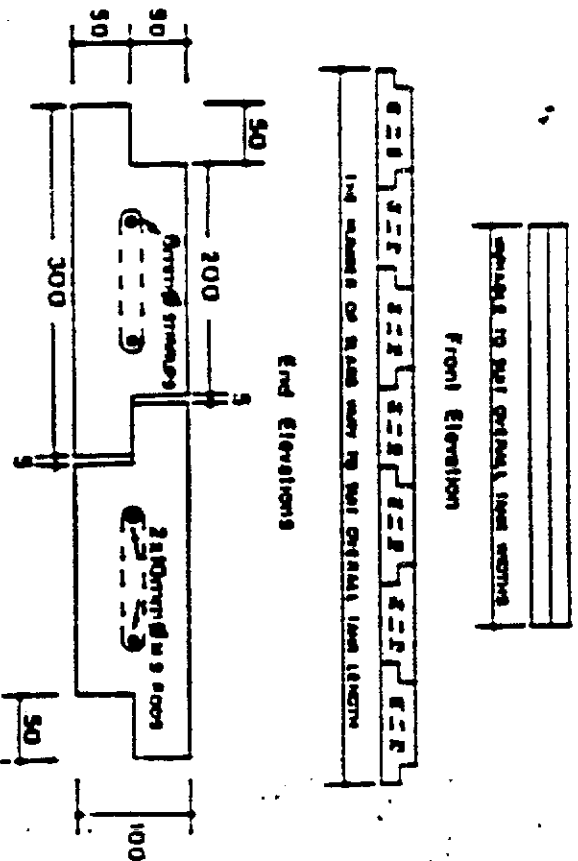
SCALE: NTS

DATE: Feb. '92

DRAWN: DJW

CHECKED:

DRG. NO. 910028 - 15



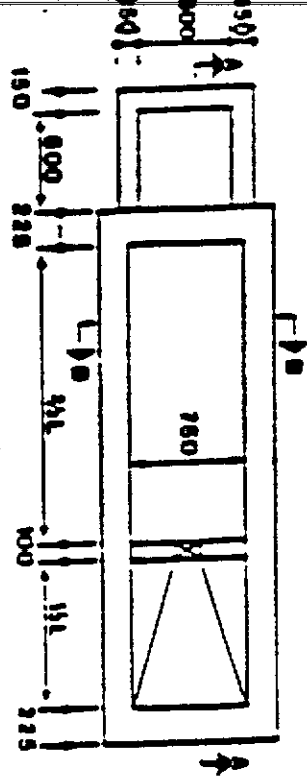
DETAILS OF REINFORCED CONCRETE ROOF SLABS

Reinforced Concrete Roof Slabs as shown are intended only for Pedestrian traffic. If heavier traffic or longer spans are likely these Slabs should be redesigned. Dimensions are in (mm)

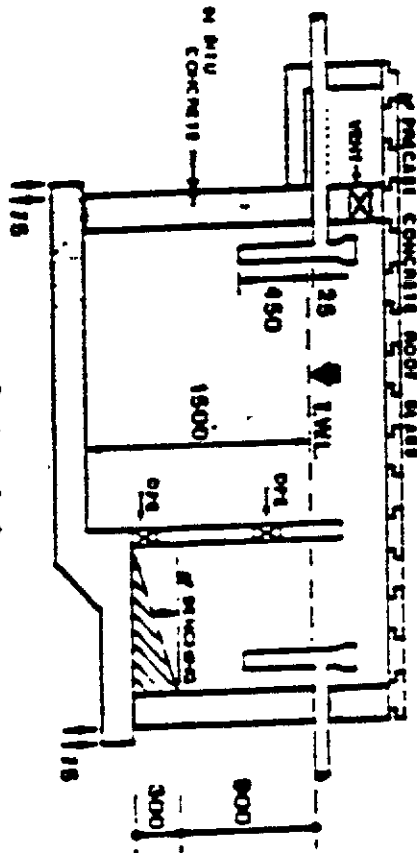
REG. NO. 1661
DUBLIN COUNTY COUNCIL
PLANNING DEPT. REGISTRY STREET
DUBLIN 1
APPLICATION REF. 92/1661

9 MAR 1992

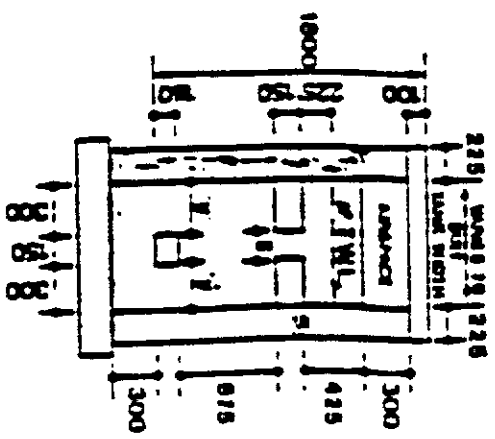
REG. NO. 1661
APPLICATION TYPE: OHP, AVE.
NO. L.D.S.



Plan



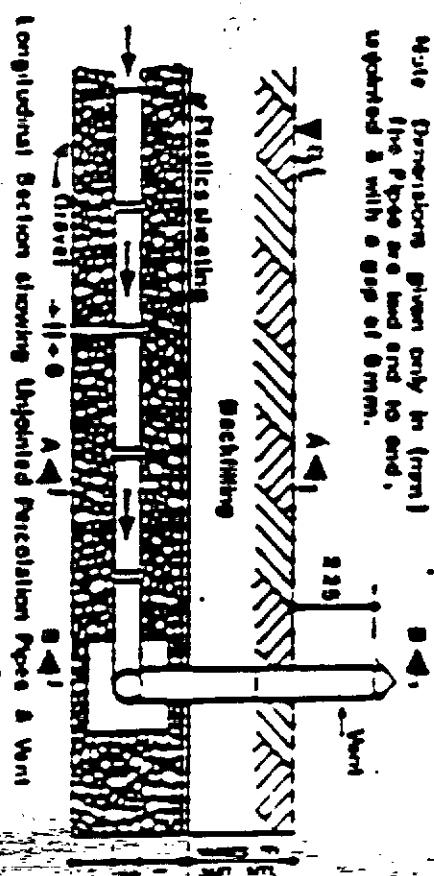
Section A-A



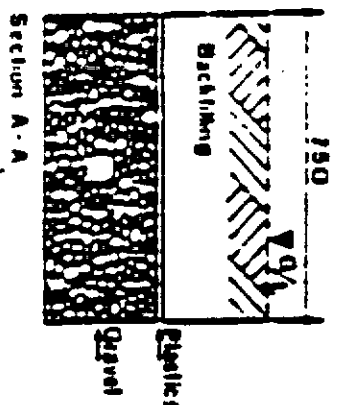
Section B-B

Take A & B vent to full lava width
All dimensions are in (mm)

Note: Dimensions given only in (mm) the pipe are laid end to end, overlapped with a gap of 5mm.

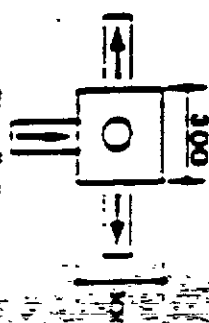


Longitudinal Section showing Hydraulic Percolation Pipe & Vent

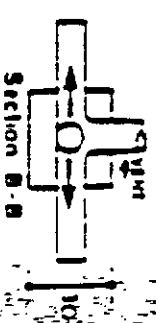


Section A-A

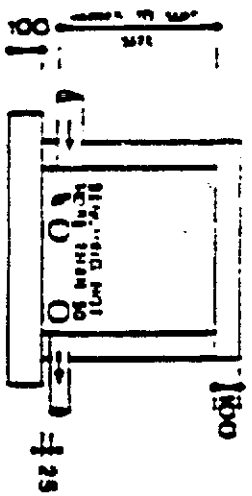
CONSTRUCTION DETAILS OF PERCOLATION



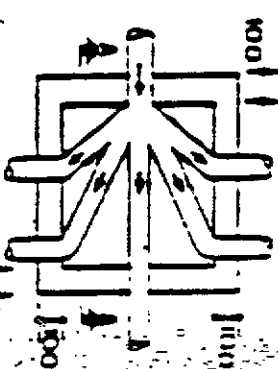
Plan B-B



Section B-B



Section A-A



Plan

INDEX

SECTION 1	General Conditions
SECTION 2	Excavator
SECTION 3	Concretor
SECTION 4	Blocklayer
SECTION 5	Drainlayer
SECTION 6	Carpenter and Joiner
SECTION 7	Founder and Smith
SECTION 9	Painter and Decorator

WISCONSIN COUNTY COJ.
Planning Dept Registry Sec
APPLICATION RECEIVED
9 MAR 1992
REG N-
APPLICATIO- 9A 1661

SECTION 1

GENERAL CONDITIONS

CONTRACT, GENERAL

THE PROJECT

The works comprise a dwellinghouse and associated siteworks at Military rd., Kilakee, Rathfarnham, Co. Dublin.

PARTIES

The Employers are Ian and Lynda Dunne.

The Architect is Coll McCarthy Architects!

DEFINITIONS AND EXPLANATIONS

The terms used in the Contract Documents shall be as defined in BS 3589.

The clause headings in the Specification shall not be deemed to be part of the text.

"Approved" shall mean approved in writing by the Architect.

"Instructed" shall mean instructed in writing by the Architect.

"Nominated" shall mean nominated in writing by the Architect.

Where "Manufacturer" is used in the specification of materials, it shall mean the firm under whose name the particular product is marketed. Where "type" is used, it shall mean the proprietary brand name reference or other quality by which the product is identified.

Where the phrase "or other approved" is used, the rates or prices shall be held to be based on the particular commodity specified.

The phrase "or other approved shall be deemed included whenever materials are specified by proprietary name.

Any sum quoted in the Contract Documents as a Prime Cost Sum or PC Sum shall include all duties, freight and delivery charges relating to the goods and services supplied. Submit to the Architect original invoices and statements from Nominated Sub-Contractors relating to such Prime Cost Sums.

Where materials and components are to be supplied by Nominated Suppliers under Prime Cost or Provisional Sums, whether specified to be fixed only or otherwise used or incorporated in the works, they shall include taking

GENERAL CONDITIONS

delivery, unloading, handling on site, providing adequate storage and being responsible for safekeeping, assembly, hoisting, placing in position and fixing, providing all necessary materials for fixing, returning packing materials carriage paid to the Nominated Supplier in good condition and obtaining credits for them.

A variation shall be deemed to be an alternative arising from the Architect's instructions to the extent or quality of the Works as expressed or implied in the Contract Documents.

The term "formwork" shall be deemed to include falsework.

CONTRACT

The form of Contract shall be Standard Form of Building (without Quantities) issued by the RIAI.

The Defects Liability Period shall be 12 months.

GENERAL CONDITIONS

PROJECT DOCUMENTATION

The Tender Drawings are as follows:

Drawing Nos. 910028 - 5A, 8, 11, 14, 15, and 16.

Copies of the drawings, additional to those provided for in the Conditions of Contract, shall be provided at the Contractor's expense. Keep one copy of all Contract Drawings on the works for inspection by the Architect. Return all copies of drawings to the Architect on completion of the Works.

A full set of drawings and other documents relating to the Contract may be seen by appointment at 137 Lower Rathmines Road, Dublin 6. Dublin 6, 9.30 - 5.30, Mon - Fri.

Costs for items which are not priced shall be deemed to be included in priced items in the Tender.

Provide for all customs and excise duties and import licence fees.

The Employer will not remunerate contractors for any expenses incurred in the preparation of tenders.

Provide the Architects with a detailed Schedule of Rates upon which the Contractor's tender is based.

STANDARDS, CODES OF PRACTICE

Reference herein to Irish, British or other National Standards or codes of Practice do not give the year of issue or dates of amendments. The latest relevant published version including any relevant amendments at date of invitation to tender shall apply. Where a Standard or Code of Practice has been superseded the latest edition of the superseding publication shall apply.

STATUTORY OBLIGATIONS

Obtain approval from the Local Authority for the location of temporary entrances, hardstandings and crossings required for the Works. Comply with the requirements of the Local Authority regarding their maintenance and reinstatement. Pay all necessary Local Authority charges.

Ascertain and comply with the police regulations affecting the execution of the Works.

Comply with all statutory safety, health and welfare regulations regarding work people, including those employed by Sub-Contractors, employed on the site.

GENERAL CONDITIONS

INSURANCE AND BOND

Accept liability for and indemnify the Employer against liability for damage to persons and to property and insure against these liabilities by effecting and maintaining Public Liability Insurance and Employers Liability Insurance. The limit for Public Liability Insurance for any one accident shall be £500,000.

Effect and maintain All Risks Insurance for the Works and Ancillary Items.

Obtain a guarantee bond for 25% of the Contract Sum from an approved insurance company for the due and proper performance and completion of the Contract. Deposit the Bond with the Architect before commencing the Works.

SCOPE OF CONTRACT

GENERAL

The Contractor shall complete the Works in accordance with the directions and to the satisfaction of the Architect. If compliance with the Architect's instructions involves the Contractor in loss or expense beyond that provided for or reasonably contemplated by the Contract, the Contractor shall so inform the Architect. The amount of such loss or expense shall be ascertained by the Architect and shall be added to the Contract Sum.

PLANT

Provide all plant, tools and equipment required for the execution of the Works.

Provide the Architect, if requested, each week with a daily return of the number, type and capacity of all plant, excluding hand tools and scaffolding, currently operating on the Works.

LABOUR

Provide for all costs in respect of labour including costs of, for example:

- Social Welfare Acts.
- Conditions of Employment Acts.
- Insurance (Intermittent Employment) Act.
- Holiday (Employees) Act.
- Redundancy Payments Acts.
- Industrial Training Acts.
- Factories Act, Building (Safety, Health and Welfare) Regulations.
- Travelling time, Expenses, Fares, Transport.
- Guaranteed time.
- Non-productive overtime and other expenses in connection with overtime.
- Incentive and bonus payments.
- Sick Pay Disbursements.
- Country Money.
- Pensions.

GENERAL CONDITIONS

Provide the Architect, if requested, each week with a daily return of the number and description of tradesmen and general labourers employed on the Works, including those employed by sub-contractors listed separately.

MATERIALS

All materials used in the works shall be new unless otherwise described.

Where materials or components are specified to comply with a National Standard Specification the relevant Standard number shall be marked on the commodity itself or on the delivery note accompanying the commodity.

Provide in respect of materials or components manufacturers' Certificates of Compliance with Standards when requested by the Architect.

CONTINGENCY SUM

The contingency sum of £1000.00 shall be expended in whole or in part in accordance with the Architect's instructions. The balance unspent shall be credited to the Employer.

PLANNING AND PROCEDURES

STAFF, SUPERVISION

Assessment of the quality of materials and workmanship shall be made in the presence of the Architect or his representative, unless otherwise instructed.

PROGRAMMING, PROGRESS

Prepare a detailed programme for the completion of the Works within the Contract period.

Provide two copies of the programme for the Architect within 14 days of the date of acceptance of the tender. Keep one further copy available for inspection in the site office.

Maintain an up-to-date record of progress at fortnightly intervals
Display progress on the site office copy of the progress chart.

The Contractor, or a responsible official from his organisation, shall attend progress meetings which will be held at fortnightly intervals. Inform such sub-contractors and suppliers as are necessary that their attendance at progress meetings shall be required.

The Architect will take minutes of progress meetings and distribute them to those concerned.

Give notice to the Architect of the commencement and completion of any work for which the Contractor intends to submit daywork vouchers in accordance with the Conditions of Contract.

Daywork will be accepted as a basis for valuing work only when the Architect has issued written instructions to the Contractor to that effect. The Contractor shall submit to the Architect at the end of each month an application for payment for all daywork done in the preceding month. Applications for payment for daywork shall be supported by vouchers for the work certified by the Architect or his representative. Such endorsement shall be deemed to certify that the labour, materials and plant used are correct.

During the execution of daywork, give to the Architect or his representative, at or before the end of the week following that in which the work has been executed, vouchers in support of applications for payment. These vouchers shall give:

Description of the work done.

Operatives' names and trade.

Rates of wages and hours worked, segregated into normal time, productive overtime and non-productive overtime for each operative.

GENERAL CONDITIONS

Insurance in accordance with the current Schedule of Daywork.

Charges issued by the Construction Industry Federations and the Royal Institution of Chartered Surveyors.

Quantities of materials used.

Details of plant used in accordance with the current Schedule of Basic Plant.

Charges issued by the Construction Industry Federations and Royal Institution of Chartered Surveyors.

Notify the Architect in writing the date on which he considers practical completion has been achieved and have a date agreed and certified in writing by the Architect.

Give to the Architect at Practical Completion two copies of all manufacturer's, suppliers', or sub-contractors' maintenance instructions.

Provide the Architect with two copies of drawings on completion showing the Works as constructed, including the locations of underground drainage services and mechanical and electrical services.

GENERAL CONDITIONS

THE SITE - PRECAUTIONS, RESTRICTIONS

The location of the site is Malahide Road, Yellow Walls, Malahide, Co Dublin

The access to the site shall be from the road along the southern side of the site.

Access to the site for inspection purposes shall be by arrangement with the Architects.

Do not use the site for any purpose other than carrying out the works.

The Contractor is advised to visit the site and ascertain all local conditions and restrictions likely to affect the execution of the Works. No claims arising from failure to do so will be considered.

PRECAUTIONS, RESTRICTIONS

Take adequate precautions to prevent trespass on adjoining property by employees of by sub-contractors' employees.

Obtain permission from the owner of adjoining property if it is necessary to use that property for any purpose in connection with the Works. Indemnify the Employer against all charges arising therefrom.

Take all reasonable precautions to prevent damage to adjoining property and to avoid causing a nuisance to adjoining occupants and to the public. Make good any damage caused to adjoining property.

Do not store inflammable liquids or compressed gases within the buildings.

The Contractor shall be responsible for all damage to existing roads caused by his own or sub-contractors' or suppliers' operations.

The Employer intends to permit the ESB and P&T to install underground services during the process of the Works. Provide reasonable facilities and give at least 7 days notice to the Architect of when works may proceed.

Take adequate precautions to protect persons and property from damage or nuisance caused by water, smoke, dust, rubbish and otherwise.

Do not display or permit advertisements to be displayed on site without approval.

TEMPORARY WORKS AND SERVICES

TEMPORARY WORKS

Maintain, adapt, remove, and make good after removal temporary works and temporary services.

Provide temporary roads, tracks, entrances, hardstandings and crossings.

GENERAL CONDITIONS

Provide temporary sheds, offices, mess rooms and sanitary accommodation required for own use and for use by sub-contractors. Comply with the requirements of the Factories Act.

Provide temporary fencing, hoardings, fans, planked footways, guard rails, as may be necessary to protect the public and others, for the proper execution of the works and to prevent unauthorised entry to or trespass beyond the boundaries of the site. The hoardings shall meet the requirements of the Local Authority.

Provide name board for the Employer's display requirements.

TEMPORARY SERVICES

Provide an adequate supply of clean water for the Works and pay all charges.

Provide all necessary power and light for the Works and pay all charges.

Provide temporary telephone facilities as required for own use and pay all charges.

GENERAL CONDITIONS

GENERAL WORKS AND SERVICES

ATTENDANCE ON OTHER PARTIES

Provide, for the duration of the Contract, general attendance on nominated sub-contractors and public authorities engaged on the Works concurrent with Contract as follows:

- Chasing and all other building work.
- Use of the Contractor's scaffold.
- Use of mess rooms, sanitary accommodation and welfare facilities.
- Space for office accommodation and storage of plant and materials.
- Light and Water.
- Clearing away rubbish.

Provide unloading, storing, hoisting for all nominated sub-contractors and suppliers.

Provide use of a 30m steel tape, dumpy level, theodolite, tripod and metric staff for the Architect or his representative as required. The equipment shall be maintained in proper adjustment. Provide the necessary attendance for the Architect or his representative.

SCAFFOLDING

Provide as necessary all general scaffolding required for the execution of the works.

SETTING OUT

Establish a master bench mark on the site for the duration of the Contract.

Set out the Works in accordance with the drawings. Establishing in an approved manner, base reference lines for setting out the Works.

The permissible deviation in the horizontal distance between two adjacent reference lines shall be $\pm 2\text{mm}$. The cumulative permissible deviation in the horizontal distance between reference lines shall not exceed 1:1000 or 30mm, whichever is the smaller.

Do not scale the drawings. Use dimensions figured on the drawings for setting out the Works.

GENERAL CONDITIONS

PROTECTING

Safeguard the site, the Works, materials and plant against unauthorised entry, damage and theft. Make good any damage caused by ineffective protection. Provide watching and lighting necessary for the security of the Works.

Provide watching and lighting necessary for the protection of the public and to the satisfaction of the Local Authority.

Protect the Works, materials and plant from the weather and make good any damage caused.

Keep finished surfaces clean as work proceeds and protect from dirt, staining and physical damage.

Obtain approval for cutting holes or chases in the structure.

Protect existing fences, gates, power lines and other site features which are to remain in position during the execution of the Works, from damage by site operations. Make good any damage to existing features resulting from the Works.

Prevent the growth of noxious weeds on the site during the contract period. Noxious weeds include thistle, dock, ragwort, common barberry and wild hop.

Do not deposit deleterious material into surface water channels. Comply with the requirements of the Rivers Pollution Protection Act, The Public Health (Ireland) Acts and the Fisheries Acts.

Store materials in a tidy manner. Separate different materials and protect them from dirt, physical damage, reaction with other materials, marking or staining, micro-organisms, mildew, fungus and vermin.

Do not store materials in ways which may cause damage to the Works or to the materials or endanger the safety of people or property.

Handle and store materials in accordance with the manufacturer's recommendations. Do not use materials which have been stored for a period in excess of the manufacturer's recommended shelf life.

CLEANING

Remove all rubbish from the Works as it accumulates and maintain the Works in a clean and tidy condition for the duration of the Contract.

Clean the Works internally and externally, remove all rubbish and leave the entire works in a tidy condition ready for occupation or use.

DRYING THE WORKS

Dry out the Works as required to facilitate progress and to prevent damage to or deterioration of the work.

GENERAL CONDITIONS

Control humidity as required to facilitate progress and to prevent damage to or deterioration of the Works.

Do not use the permanent heating installation for drying out the Works or for any other purpose other than testing.

Provide all temporary equipment, fuel and attendance for drying out and controlling the humidity of the Works.

SECTION 3

EXCAVATOR

1. SURFACE SOIL

Clean the area of the new works of surface concrete, hardcore, turf and vegetable soil to minimum depth of 225mm. On completion of building works the spoil shall be spread, levelled and graded on site where directed. Sub soil shall be carted away. Top soil necessary for grass and vegetation, shall be imported to the site if necessary.

2. EXCAVATE

Excavate for footings to depths, widths and lengths as indicated on drawings, or to such greater depths as may be necessary to provide solid bottoms. The bottom of trenches shall be not less than 900mm below the finished ground level and kept clear of water before concreting. Excavate for drains to required widths, lengths, depths and falls. Part return fill and ram excavations and cart away surplus soil from site.

3. PLANKING AND STRUTTING

Provide all necessary planking and strutting to sides of excavations and keep trenches free of all surplus water by pumping or other means.

4. GRUB UP

Grub up any old foundations, drains, roots, boulders, loose rock, freestone or other obstructions met with during the course of the work.

5. ROCK

No extra on the Contract Sum will be allowed for cutting back out-crops of rock which protrude into the trenches. The Contractor shall on his 'Schedule of Rates' quote a rate per meter cube for cutting through rock and this will be allowable as an extra provided always that no cutting out is proceeded with until the quantity to be cut out has been agreed by the Architect and sanctioned by him in writing.

6. INSPECTION

The Contractor shall notify the Architect when all trenches are ready for inspection and under no circumstances shall any concrete be placed until so sanctioned by the Architect.

7. VARIATIONS

Variations from the drawing in respect of the excavations shall be measured and agreed before any concrete is placed and no variations will be allowed unless sanctioned by the Architect in writing.

8. DRY FILLING

Provide all necessary broken stone or brick hard filling to make up under surface concrete, storage tank, concrete floors, concrete paving, concrete steps, paving slabs, etc., all levelled and graded as required, all wetted and consolidated by ramming. Filling shall be blinded with sand.

9. RUBBLE

All debris shall be carted away as work proceeds and shall not be allowed to accumulate on the site.

10. FLOOR LEVEL

The height of the finished floor over the highest point of the finished ground level shall be not less than 150mm.

SECTION 3

EXCAVATOR

1. CEMENT

Cement shall be best normal setting Portland Cement complying with I.S. 1. Cement shall be stored in perfectly dry place on the site, and no damp cement which shows signs of becoming lumpy shall be used without the Architect's permission.

2. FROST

No mortar or concrete shall be used when air temperature is below 30°F. New work shall be protected from winds and at night with adequate canvas, straw, etc., when frost is anticipated.

3. SAND

Sand shall be clean, sharp, pit or fresh water sand, free from clay, dirt, organic matter, and all other impurities, evenly graded up to 6mm and washed if so ordered by the Architect.

4. WATER

Clean fresh water shall be used for all purposes.

5. AGGREGATE

Aggregate shall be approved clean broken stone or pit gravel free from all earthy, loamy and vegetable matter and washed if necessary.

Note: Ready mixed aggregate, graded as hereunder may be used.

6. CONCRETE MIXES

See concrete grades specified below.

7. TEMPORARY FRAMEWORK

All casings shall be of sound and properly seasoned timbers of sufficient thickness to resist the pressure of moist concrete without appreciable distortion. They shall be substantially and accurately constructed, true to level surface and line and shall be well strutted as required. All casings shall be carefully cleaned out and oiled before any concrete is placed and shall be wrot inside.

Concrete Mixes

Concretes	Aggregates	Nominal Mix			28 day Strength (Newtons) Per mm ²
		Cement	Fine Aggregate	Graded Coarse Aggregate	
Mix	Maximum Size				
A	40 mm	1	3	6	14
B	20 mm	1	2	4	21
C	14 mm	1	3	6	—

The water cement ratio shall be kept to the minimum needed to ensure reasonable workability, but should not exceed 35 litres per 50 Kg of cement

SECTION 3

EXCAVATOR

8. POURING ETC.

The concrete shall be deposited in the forms as quickly as possible after mixing. Immediately it has been placed in the forms, the concrete shall be compacted by vibrating, care being taken to work the concrete well into corners and around reinforcement.

9. RE-USE OF SET MORTAR

No concrete or mortar which has commenced to set shall be used or mixed with any concrete.

10. JOINTING OF CONCRETE

When work is resumed or before floating is laid, surface shall be thoroughly brushed clean, wetted and grouted with cement slurry.

11. STRIKING FORMS

Under no circumstances shall any temporary centrings, casings, or shutterings be removed before concrete has set. Two to three days should be allowed for vertical walling and three to four weeks for propping beams, suspended floors, etc. The latter time may be reduced to from 7 to 10 days where rapid hardening cement is used.

12. BOLT HOLES

All bolt holes shall be carefully plugged up solid in cement mortar as soon as shuttering or casings have been removed.

13. CURING

Surfaces of all concrete should be kept moist for at least seven days after laying.

14. FOOTINGS

Form under all new walls, etc. concrete footings (Mix A) widths and lengths indicated on drawings, the footings to be filled neat to sides of trenches, stepped as necessary and levelled off for rising walls.

SECTION 4

BLOCKLAYER

1. BLOCKWORK

Concrete Blocks - These shall be solid approved factory manufactured concrete blocks to I.S. 20 and shall be free from cracks or other defects. Blocks shall be properly bonded and set with full squeezed out joints in gauged cement mortar and the joints shall be struck off smooth externally and recessed internally with jointing tool.

2. SAND

Sand for mortar shall be clean, sharp and fine fresh water sand and shall be approved by Architect before use.

3. CEMENT

See under 'Concretor'.

4. MORTAR

Mortar shall be composed of 3 parts sand to one part cement, gauged with approved mortar plasticiser in proportions as recommended by the Manufacturer.

5. PLUMBING OF WALLS

All walls, piers, quoins jambs of openings, etc. shall be carefully plumbed as work proceeds. All block courses, tops of openings, lintols, beams, cill, cappings, etc. shall be carefully levelled using a metal straight edge or line and spirit level.

6. EXTERNAL WALLS

All new external walls shall be as indicated on drawings and both leafs of cavity walls shall be bonded together by approved stainless steel ties. Insulation shall be 50mm 'Aeroboard' or similar system laid in strict accordance with manufacturer's instructions. Ties shall be kept free from mortar droppings as work proceeds. Internal ground floor partitions shall be solid block walls where indicated on drawings.

SECTION 4

BLOCKLAYER

7. DAMP PROOF COURSE

Provide and lay untearable polythene D.P.C.'s to all rising walls, full thickness of walls over; under both leaves of cavity walls under all window cills and turned up at backs to level of underside of window boards; under at all openings in cavity walls; under all wall plates, etc. All D.P.C.'s shall be lapped 225mm at joints. Provide and lay Visqueen 1000 D.P.M.'s under all floors as previously specified.

8. BUILD IN CILLS, ETC.

Carefully build in and set in cement mortar all cills, lintols, etc. as work proceeds.

9. OPES FOR DRAINS

Level all necessary opes for connection to drains, heating pipes, water pipes, electric conduct etc. and make good as required.

10. LEAD FLASHING

All lead flashing to blockwork and roofs to be 5lb lead.

SECTION 5

DRAINLAYER

1. GENERAL

Drains shall be laid in accurately aligned lengths to even fall from point to point, starting at the lowest point inserting all branch connections as work proceeds. Foul water pipes shall be laid to fall of 1 in 40, surface water pipes shall be laid to fall of 1 in 80. Drains shall have minimum cover over pipes of 200mm of soil or 150mm of concrete.

2. EXCAVATION

Excavate drain trenches to necessary depths and widths. Grade and consolidate bottoms and on completion of pipework, carefully fill in and ram around pipes with selected excavated material. Plank and strut as necessary to sides of trenches.

3. DRAIN BEDS

Lay beds of concrete in bottoms of trenches to take pipes, beds under gulleys and A.J.'s as required.

4. PIPE CASINGS

Any existing soil drain which passes under the building shall be completely encased with 150mm thickness of concrete all around.

5. GULLEYS

Provide as shown on drawings all necessary Armstrong Junctions and manholes to depths indicated on drawings and side inlet gulleys, all with upstands as required and set in concrete and jointed to drains as before. Provide and set in grease, medium weight galvanised iron covers and gratings and form neat dished concrete surround to gulleys.

6. TESTING

Test plumbing and drainage on completion to ensure water tightness and efficient working of the system.

SECTION 6

CARPENTER AND JOINER

1. TIMBER

The whole of the timber used throughout shall be the best of its respective kind available, free from sap, large loose or dead knots, shakes or waney edges and all other defects and shall be thoroughly seasoned of good colour and cut die square. The Contractor's special attention is drawn to the fact that heating is being installed in the building and the absolute necessity of ensuring that all the timber used is properly seasoned and thoroughly dry. Timber shall be of full dimensions specified a maximum of 1/32 nominal sized being allowed for each wrot face unless specified in full. Except where otherwise specified, timber for structural work shall be 'Scotch Fir' and timber for joinery work 'Red Deal'. Timber is to have a moisture content as set out in I.S. 96.

2. JOINERY

All joinery work shall be wrot and finished according to details, with a clean even smooth face. Work shall be prepared and framed up as soon as possible, but no work which may split, fracture, shrink, part in the joint or show flaws or any defects of unsoundness, want of seasoning or bad workmanship shall be removed and replaced.

3. FRAMING

The work 'framed' shall mean all the best methods of jointing woodwork by mortice and tenon, dovetail, wedging, etc. All mouldings shall be mitred or scribed as required at joints.

4. Preservative

All built in timbers and exposed beams or lintols shall be thoroughly treated with 'Tanolith' or other approved pressure impregnated preservative.

5. PRIMING

All joinery, including door frames, etc. shall be thoroughly primed before delivery on the site and under no circumstances shall any unprimed joinery be fixed in position. Particular care shall be taken to see the backs of frames, skirtings, architraves, etc. are primed.

SECTION 6

CARPENTER AND JOINER

6. TEMPORARY CARPENTRY

Provide, erect and remove all necessary form work, props, casings, etc. to lintols, beams, cills, capping, etc. All casings shall be made of sound and properly seasoned timbers of sufficient thickness to resist the pressure of moist concrete without appreciable distortion. They shall be substantially and accurately constructed, through to level surface and line and shall be well braced and strutted as required. All casings shall be carefully cleaned, cut and oiled before any concrete is placed and shall be wrot inside.

7. ROUGH T GROUNDS

Provide and build in all necessary grounds or fixing blocks for securing frames etc.

8. SKIRTINGS/ARCHITRAVES

Provide and fix to grounds as required around entire floors timber skirtings. Skirtings to lounge, dining room, study and hall and dining room to be 25 x 175 hardwood ogee moulded skirting. Skirtings to remainder of house to be 19 x 100 deal. Architraves to all doors to be 100mm selected moulded architrave, hardwood to ground floor, softwood to first floor.

9. WINDOW BOARDS

Provide and fix 25mm x 175 thick hardwood window boards to insides of all windows. Window boards shall project 25mm beyond finished wall face.

10. INTERNAL DOORS/JOINERY

Internal doors and joinery shall be supplied and fitted by a Nominated Sub-Contractor in accordance with details to be prepared by the Architect.

11. SADDLES

Provide and fix under all new internal door opes 175 x 225mm double splayed selected clear Oregon or Columbian Pine saddles neatly fitted and checked to bottoms of door frames.

12. ROOF TIMBERS

Wall plates 75mm x 100mm fully treated with preservative, halved and spiked at headings and angles, set level and bolted down at 1m intervals.

SECTION 6

CARPENTER AND JOINER

Trimming rafters 44mm thick around roof light and dormer opes and around chimney shafts and 50mm clear of shaft.

Valley and gutter boards 22mm x 225mm wrot, to take gutter, treated with preservative and secured to rafters.

Supply and fix roof timbers at cts. of 400mm and fix all bracing as per drawings.

Soffit bearers 35mm x 75mm to every rafter, treated with preservative.

Soffit at least 200mm wide 12mm marine ply.

Fascia 19mm x 200mm marine ply, well secured to roof timbers.

13. GROUNDS

Pretreated timber grounds shall be securely built in, to provide means of fixing frames and trimmings.

14. TRAP DOOR

Form 600 x 800 trap door as indicated on drawings.

15. HOT PRESS

Hot press to have 22mm x 44mm softwood PAO at 75mm centres supported on 50mm x 50mm battens. S/W supporting frame. The cylinder shall be carried on 22mm T & G on 35mm x 75mm framed bearers.

SECTION 7

1. REINFORCEMENT

Provide reinforcement to foundations as indicated on drawings.

2. HOLDERBATS, GUTTER BRACKETS, ETC

Provide all necessary bolted holderbats and gutter brackets as required for fixing rainwater goods.

3. RAINWATER GOODS, GUTTERS, ETC

Provide, erect and fit "Alumasc" or similar extruded aluminium seamless gutter in selected colour. All gutters to be laid to nominal falls. Rainwater pipes to discharge approximately 50mm above gulley grid.

SECTION 9

Painter and Decorator

1. GENERALLY

No painting shall be done in wet or foggy weather or on damp surfaces. All coats shall be thoroughly dry before next is applied and well rubbed down with glass paper, each successive coat being different from preceding. Finished colours shall be as selected by Architect.

All locks, bolts, etc, shall be removed before the preparatory processes are commenced.

2. STOPPING

Any large or loose knots shall be cut out and filled with timber. All nails shall be well punched home and screw heads countersunk and filled together with all crevices, cracks, indentations, etc with approved wood filler well rubbed down to level surface.

3. KNOTTING

A thin coating of knotting, consisting of shellac dissolved in methylated spirit or similar shall be applied to all knots and resinous parts of timber.

4. PRIMING

External priming shall be proprietary aluminium primer. Internal priming shall be proprietary wood primer. All joinery work shall be thoroughly primed or sized before delivery to the site and the Contractor's particular attention is drawn to the necessity of priming door frames, Fascia, Soffit, Architraves, window boards, linings, skirtings, etc before fixing.

5. FILLING

All timber surfaces to be painted shall be thoroughly filled with appropriate wood filler, well rubbed in and sanded down to provide perfectly smooth surfaces for painting.

6. INTERNAL WALLS AND CEILINGS

All plaster surfaces shall be perfectly dry, free from grease and other foreign matter prior to decorating and shall receive 2 coats of selected colour Silk Vinyl Emulsion Paint.

SECTION 9

7. WOODWORK - INTERIOR

All interior woodwork shall be rubbed to a smooth surface, sharp edges shall be rounded, apply 2 coats of patent knotting to all knots, apply one no. coat of selected Wood Primer, fill surface imperfections with approved filler and rub to a smooth finish, thoroughly dust off, apply 2 coats of selected colour undercoat and one no. coat of selected gloss finish.

All faces and edges of woodwork which shall be inaccessible after fixing shall receive one coat of wood preservative and one coat of Wood Primer.

8. WOODWORK - EXTERIOR

All exterior softwood woodwork shall be prepared and knotted as for interior woodwork. Resinous knots shall be removed, plugged and primed. Surface imperfections are to be treated with an exterior grade wood filler and rubbed to a smooth surface. Thoroughly dust off and finish as for interior work.

All exterior hardwood surfaces shall be rubbed down to a smooth surface and sharp edges rounded; resinous woods, e.g., teak, pine, should be washed with clean rags and white spirit and apply 3 no. coats of selected varnish stain, thinning the first coat with 5% white spirit.

9. EXTERIOR MASONRY/CONCRETE/PLASTER

All plaster surfaces shall be perfectly dry, free from grease, loosely adhering particles and other matter and shall receive 2 coats of Dulux Weathershield or other approved exterior quality emulsion paint.

10. GALVANISED STEEL

The surfaces shall first be washed with white spirit, allowed to dry, and then coated with one coat of Stop-Rust Calcium Plumbate primer, 2 coats of undercoat and one coat of gloss paint.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Decision Order Number : P/ 5540 /91 Date of Decision : 10th December 1991

Register Reference : 91A/1661 Date Received : 18th October 1991

Applicant : Ian & Linda Dunne

Development : Dwellinghouse and septic tank

Location : Military Road, Killakee, Rathfarnham

Dear Sir/Madam,

With reference to your planning application, received here on 18.10.91 in connection with the above, I wish to inform you, that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1990, the following additional information must be submitted in quadruplicate:-

- 01 The applicant is requested to submit evidence demonstrating the suitability of the site for septic tank drainage. In this regard the applicant is requested to consult with the health inspector for the area with regard to the opening and testing of a trial hole.

- 02 The applicant is requested to submit a map showing the extent of the family landholding in the area and to indicate if the owner of these lands would be prepared to enter into a Section 38 Agreement under the Local Government (Planning and Development) Act, 1963 with Dublin County Council sterilising the remainder of these lands from any future development in the event of a decision to grant permission being considered.

- 03 The applicant is requested to indicate if she is in a position to relocate the vehicular access point 30 metres to the south and if so to submit drawings showing this.

NOTE: The applicant should note that the site boundaries should be

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
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Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Reg.Ref. 91A/1661
Decision Order No. P/ 5540 /91
Page No: 0002

revised to include the new access and driveway.

04 It is noted that the proposed percolation area is located outside the site boundaries. The applicant is requested to revise the site boundaries to include percolation and reserve percolation areas, and to submit drawings showing this.

Please mark your reply "ADDITIONAL INFORMATION" and quote the Reg. Ref. No. given above.

Yours faithfully,


PRINCIPAL OFFICER

Date : 12/12/91

Building Control Department,
Liffey House,
Tara Street,
Dublin 1.
Telephone:773066



Bloc 2, Ionad Bheatha na hEireann,
Block 2, Irish Life Centre,
Sraid na Mainistreach Iacht,
Lower Abbey Street,
Baile Atha Cliath 1.
Dublin 1.
Telephone. (01)724755
Fax. (01)724896

Register Reference : 91A/1661

Date : 21st October 1991

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1990

Dear Sir/Madam,

DEVELOPMENT : Dwellinghouse and septic tank
LOCATION : Military Road, Killakee, Rathfarnham
APPLICANT : Ian & Linda Dunne
APP. TYPE : PERMISSION/BUILDING BYE-LAW APPROVAL

With reference to the above, I acknowledge receipt of your application received on 18th October 1991.

Yours faithfully,

.....

for PRINCIPAL OFFICER

Coll & McCarthy Architects,
137 Lower Rathmines Road,
Dublin 6.



PLEASE READ INSTRUCTIONS AT BACK BEFORE COMPLETING FORM. ALL QUESTIONS MUST BE ANSWERED.

1. Application for Permission Outline Permission Approval Place in appropriate box.
Approval should be sought only where an outline permission was previously granted. Outline permission may not be sought for the retention of structures or continuances of uses.

2. Postal address of site or building Military Road, Kilakee, Rathfarnham, Co. Dublin.
(If none, give description sufficient to identify).....

3. Name of applicant (Principal not Agent) Ms Lynda Bradshaw-Dunn and Mr. Ian Dunn.
Address..... 12 Parklands, Rathfarnham Castle, Dublin 14. Tel. No. ---

4. Name and address of Coll + McCarthy Architects, 137 Lower Rathmines Road, Dublin 6.
person or firm responsible for preparation of drawings Tel. No. 973099

5. Name and address to which notifications should be sent Coll + McCarthy Architects,
137 Lower Rathmines Road, Dublin 6. **432 18/10**

6. Brief description of Single Storey residence. **N 50934**
proposed development

7. Method of drainage Septic tank 8. Source of Water Supply Mains Water Supply

9. In the case of any building or buildings to be retained on site, please state:-
(a) Present use of each floor
or use when last used.

(b) Proposed use of each floor **450N 50402**

10 Does the proposal involve demolition, partial demolition or change of use of any habitable house or part thereof? No.

11.(a) Area of Site 2054 Sq. m.

(b) Floor area of proposed development house: 126.5 sq.m . Garage: 31.00 Sq. m.

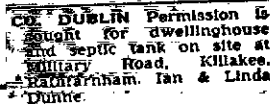
(c) Floor area of buildings proposed to be retained within site N.A. Sq. m.

12.State applicant's legal interest or estate in site Niece of freehold owner - title to be transferred on receipt of Planning Permission.
(i.e. freehold, leasehold, etc.)

13.Are you now applying also for an approval under the Building Bye Laws?
Yes No Place in appropriate box.

14.Please state the extent to which the Draft Building Regulations have been taken in account in your proposal:
Insofar as they apply.

15.List of documents enclosed with application. Covering Letter, Newspaper Notice, Fee Cheque,



4 No. copies of Drawings Nos 910028-05a, 08a, 11a, 12 and 13.

16.Gross floor space of proposed development (See back) Sq. m.

No of dwellings proposed (if any) One Class(es) of Development Class 1.

Fee Payable £. 87.00 Basis of Calculation Planning: £32.00 + B.B.Law Fee £55.00

If a reduced fee is tendered details of previous relevant payment should be given

Signature of Applicant (or his Agent) Date 17.10.91.

Application Type P/B FOR OFFICE USE ONLY

Register Reference 91A/1661

Amount Received £. 2,20.00

Receipt No 25-2

Date

Irish Press 5/10/91

LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) REGULATIONS 1977 to 1984.

Outline of requirements for applications for permission or Approval under the Local Government (Planning & Development) Act 1963 to 1983. The Planning Acts and Regulations made thereunder may be purchased from the Government Publications Sales Office, Sun Alliance House, Molesworth Street, Dublin 2.

1. Name and Address of applicant.
 2. Particulars of the interest held in the land or structure, i.e. whether freehold, leasehold, etc.
 3. The page of a newspaper, circulating in the area in which the land or structure is situate, containing the required statutory notice. The newspaper advertisement should state after the heading Co. Dublin.
 - (a) The address of the structure or the location of the land.
 - (b) The nature and extent of the development proposed. If retention of development is involved, the notice should be worded accordingly. Any demolition of habitable accommodation should be indicated.
 - (c) The name of the applicant.
- NB. Applications must be received within 2 weeks from date of publication of the notice.**
4. Four (4) sets of drawings to a stated scale must be submitted. Each set to include a layout or block plan, proposed and existing services to be shown on this drawing, location map, and drawings of relevant floor plans, elevations, sections, details of type and location of septic tank (if applicable) and such other particulars as are necessary to identify the land and to describe the works or structure to which the application relates (new work to be coloured or otherwise distinguished from any retained structures). Buildings, roads, boundaries and other features bounding the structure or other land to which the application relates shall be shown on site plans or layout plans. The location map should be of scale not less than 1: 2500 and should indicate the north point. The site of the proposed development must be outlined in red. Plans and drawings should indicate the name and address of the person by whom they were prepared. Any adjoining lands in which the applicant has an interest must be outlined in blue.
 5. In the case of a proposed change of use of any structure or land, requirements in addition to 1, 2, & 3 are:
 - (a) a statement of the existing use and the proposed use, or, where appropriate, the former use and the use proposed.
 - (b) (i) Four (4) sets of the drawings to a stated scale must be submitted. Each set to consist of a plan or location map (marked or coloured in red so as to identify the structure or land to which the application relates) to a scale of not less than 1:2500 and to indicate the North point. Any adjoining lands in which the application has an interest must be outlined in blue.
 - (ii) A layout and a survey plan of each floor of any structure to which the application relates.
 - (c) Plans and drawings should indicate the name and address of the person by whom they were prepared.
 6. Applications should be addressed to: Dublin County Council, Planning Department, Irish Life Centre, Lr. Abbey Street, Dublin 1, Tel. 724755.

SEPTIC TANK DRAINAGE: Where drainage by means of a septic tank is proposed, before a planning application is considered, the applicant may be required to arrange for a trial hole to be inspected and declared suitable for the satisfactory percolation of septic tank effluent. The trial hole to be dug seven feet deep at or about the site of the septic tank. Septic tanks are to be in accordance with I.I.R.S. S.R. 6:75.

INDUSTRIAL DEVELOPMENT:

The proposed use of an industrial premises should, where possible, be stated together with the estimated number of employees, (male and female). Details of trade effluents, if any, should be submitted.

Applicants to comply in full with the requirements of the Local Government (Water Pollution) Act, 1977 in particular the licencing provisions of Sections 4 and 16.

PLANNING APPLICATIONS

BUILDING BYE-LAW APPLICATIONS

CLASS NO.	DESCRIPTION	FEE	CLASS NO.	DESCRIPTION	FEE
1.	Provision of dwelling — House/Flat.	£32.00 each	A	Dwelling (House/Flat)	£55.00 each
2.	Domestic extensions/other improvements.	£16.00	B	Domestic Extension (improvement/alteration)	£30.00 each
3.	Provision of agricultural buildings (See Regs.)	£40.00 minimum	C	Building — Office/Commercial Purposes	£3.50 per m ² (min. £70.00)
4.	Other buildings (i.e. offices, commercial, etc.)	£1.75 per sq. metre (Min. £40.00)	D	Agricultural Buildings/Structures	£1.00 per m ² in excess of 300 sq. metres (min. - £70.00) (Max. - £300.00)
5.	Use of land (Mining, deposit or waste)	£25.00 per 0.1 ha (Min. £250.00)	E	Petrol Filling Station	£200.00
6.	Use of land (Camping, parking, storage)	£25.00 per 0.1 ha (Min. £40.00)	F	Development or Proposals not coming within any of the foregoing classes.	£9.00 per 0.1 ha (£70.00 min.)
7.	Provision of plant/machinery/tank or other structure for storage purposes.	£25.00 per 0.1 ha (Min. £100.00)			Min. Fee £30.00
8.	Petrol Filling Station.	£100.00			Max. Fee £20,000
9.	Advertising Structures.	£10.00 per m ² (min £40.00)			
10.	Electricity transmission lines.	£25.00 per 1,000m (Min. £40.00)			
11.	Any other development.	£5.00 per 0.1 ha (Min. £40.00)			

Cheques etc. should be made payable to: Dublin County Council.

Gross Floor space is to be taken as the total floor space on each floor measured from the inside of the external walls.

For full details of Fees and Exemptions see Local Government (Planning and Development) (Fees) Regulations 1984.

COMHAIRLE CHONTAE ATHA CLIATH

DUBLIN COUNTY COUNCIL

46/49 UPPER O'CONNELL STREET,
DUBLIN 1.

BYE LAW APPLICATION.

REC. No. N 50407

Received this 15th day of October 1951
from Mr. J. J. McCarthy, architects
15 St. Katharine's road, Dublin 6

The sum of £100/- Pounds
being £100/-

for the purchase of a plot of land
situated at Military road, Kiltero, Rathbarney

J. J. McCarthy Cashier
J. J. O'Keefe Principal Officer

DUHAIRLE CHONTAE ATHA CLIATH

PAID BY DUBLIN COUNTY COUNCIL
46/49 UPPER O'CONNELL STREET,
DUBLIN 7.

Issue of this receipt is not a
acknowledgement that the fee
incurred is the price of application
N. 50934

Received this 15th day of October 19 19 11

from Mr. Carthy architects
Rathmises road, D. 11. 6

the sum of thirty two Pounds

Pence being 00

planning application at Millar road, Kildare, Rathfarnham
Co. DU

J. J. O'Leary
Cashier

CAREY
Principal Officer 14/10/11

Dublin County Council,
 Planning Department,
 Irish Life Centre,
 Lower Abbey St.,
 Dublin 1.

October 18th 1991.

Re: Proposed house on site at Military Rd., Killakee, Rathfarnham
 for Ian and Lynda Dunn .

Dear Sirs,

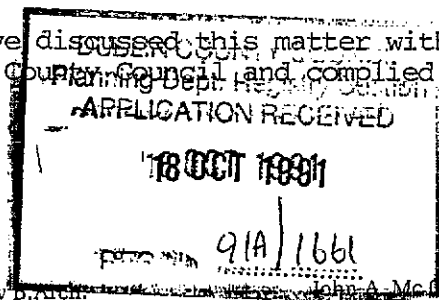
Please find enclosed our planning application for the above development. We set out below a number of points which we would be obliged if you would take into account in your consideration of the application.

1. The applicants are a married couple, the wife of the couple being Lynda Dunn née Bradshaw. Her relationship with the site and its current owner are set out below:

Ownership of farm/lands date back to early 1900's by Patrick McGrath (Grand Father of Lynda Bradshaw-Dunn, the applicant). Patrick McGrath had three children, Francis, Joseph and Sadie. Francis and Joseph took over the responsibility of running the farm in approximately 1960. The only daughter, Sadie, married James Bradshaw and moved to England for career reasons, in the early 1950's. After the death of the Grandparents, Sadie and family returned to Killakee to live and raise family (1970). Of the two sons only Joseph married. Both Joseph and Frank live on the family farm, which has been divided between them. Sadie's three children, two sons and one daughter were raised from their early childhood in the original Grandparents farm house in Killakee, which they shared with Sadie's brother Francis, who still resides there. Over the years Sadie's eldest son Bernard, applied for and received planning permission for a house on his uncle's farm. Since the completion of the house both Bernard and Sadie's other son have had to emigrate to England for career reasons. Sadie, her husband and daughter Lynda moved into the son's house so as to maintain the close family ties with the land and locality. Since the marriage of Sadie's daughter, Lynda, who is now applying for planning permission, it is Lynda's wish to carry on the close personal connection both to family and location in Killakee since growing up on the lands which have been in the family since the early 1900's.

We enclose in support of Ms. Dunn 's bona-fide in this matter a letter from Mr. Liam Cosgrave (senior), retired public representative confirming the facts set out above.

2. In the matter of access to the site we have discussed this matter with Mr. Madden of the Roads Department of Dublin County Council and complied with his requirements in our proposals.



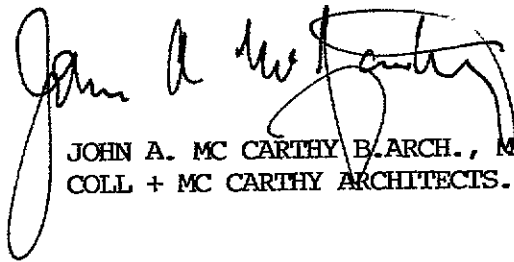
3. As regards the house design, it comprises a modestly-scaled bungalow designed in the traditional idiom using a selection of traditional materials. May we respectfully subject that the design proposed is sensitive to and entirely appropriate to the location.

4. In the matter of soil suitability for a septic tank installation, we are prepared to carry out a standard percolation test and submit our results to you, or if required the relevant authority is quite welcome to attend at the time of the carrying out of the test.

5. Finally, I am instructed to indicate to you that Mr. Frank McGrath (the owner of the lands on which the site in question is located) is prepared to enter into discussions with the Planning Authority with regard to a Section 38 Agreement under the Planning Act.

We trust that you find this in order and look forward to receiving your decision in due course. If you wish to pursue any matters raised in this letter and in particular item (5) above, please contact the writer at the above address or telephone number.

Yours faithfully,



JOHN A. MC CARTHY B.A.RCH., M.R.I.A.I.
COLL + MC CARTHY ARCHITECTS.

*Beechpark,
Templeogue,
Dublin 16.*

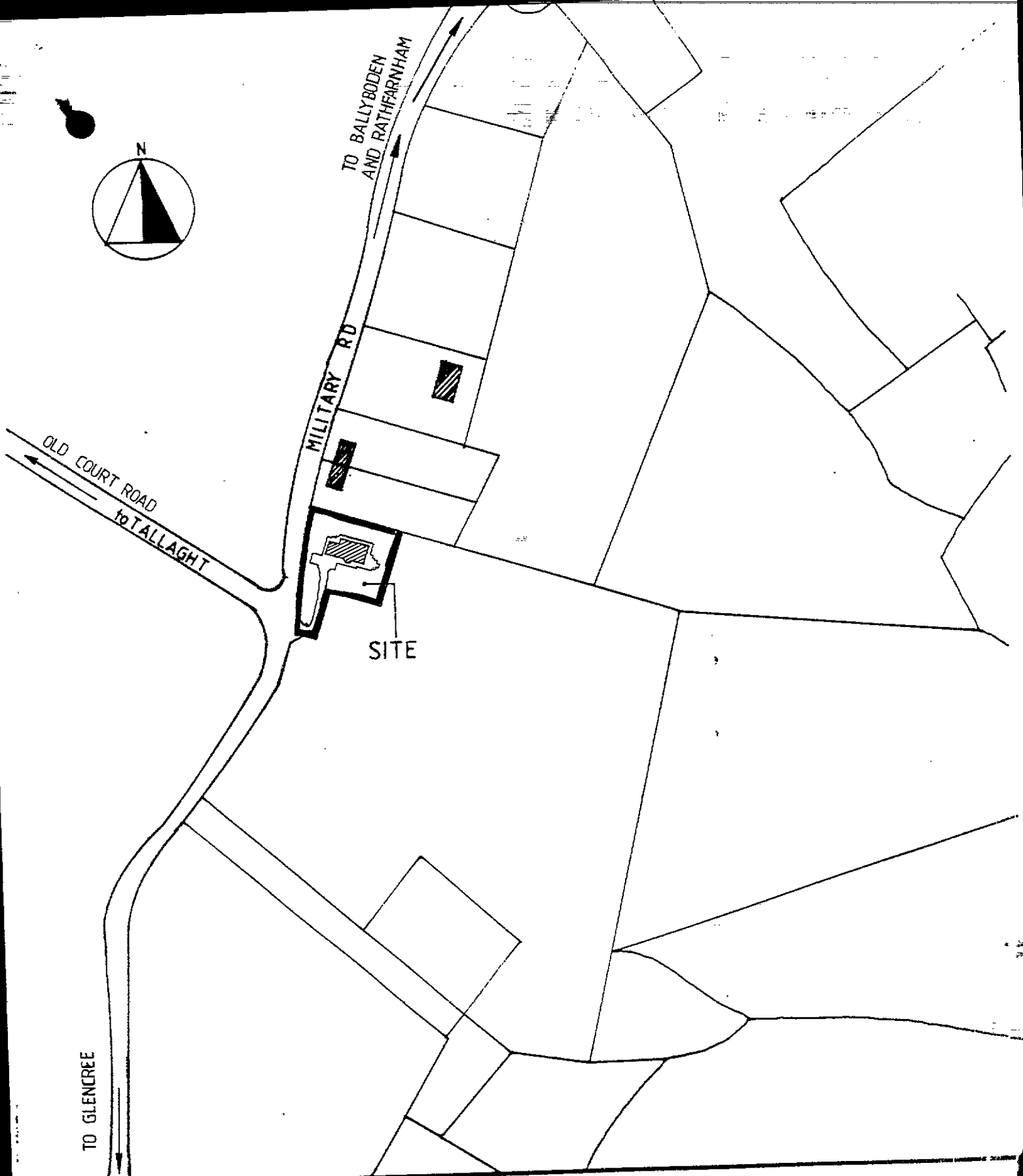
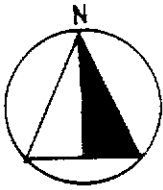
TO WHOM IT MAY CONCERN

I wish to state that I am personally aware that Lynda Bradshaw-Dunn is a niece of Francis McGrath Killakee, Rathfarnham, and that the McGrath family are long established in the farming community in Killakee.

Lynda Bradshaw-Dunn is a grand-daughter of Patrick McGrath who lived at Killakee and that she was brought up at the McGrath farm at Killakee since the age of seven.

Liam Cosgrave, 17/6/1991.

LIAM COSGRAVE



COLL + MC CARTHY

Architects

137 Lr Rathmines Rd Dublin 6

Ph 973099

Fax 973870

PROJECT Proposed house at Military Rd, Kilakee

DRAWING Location map

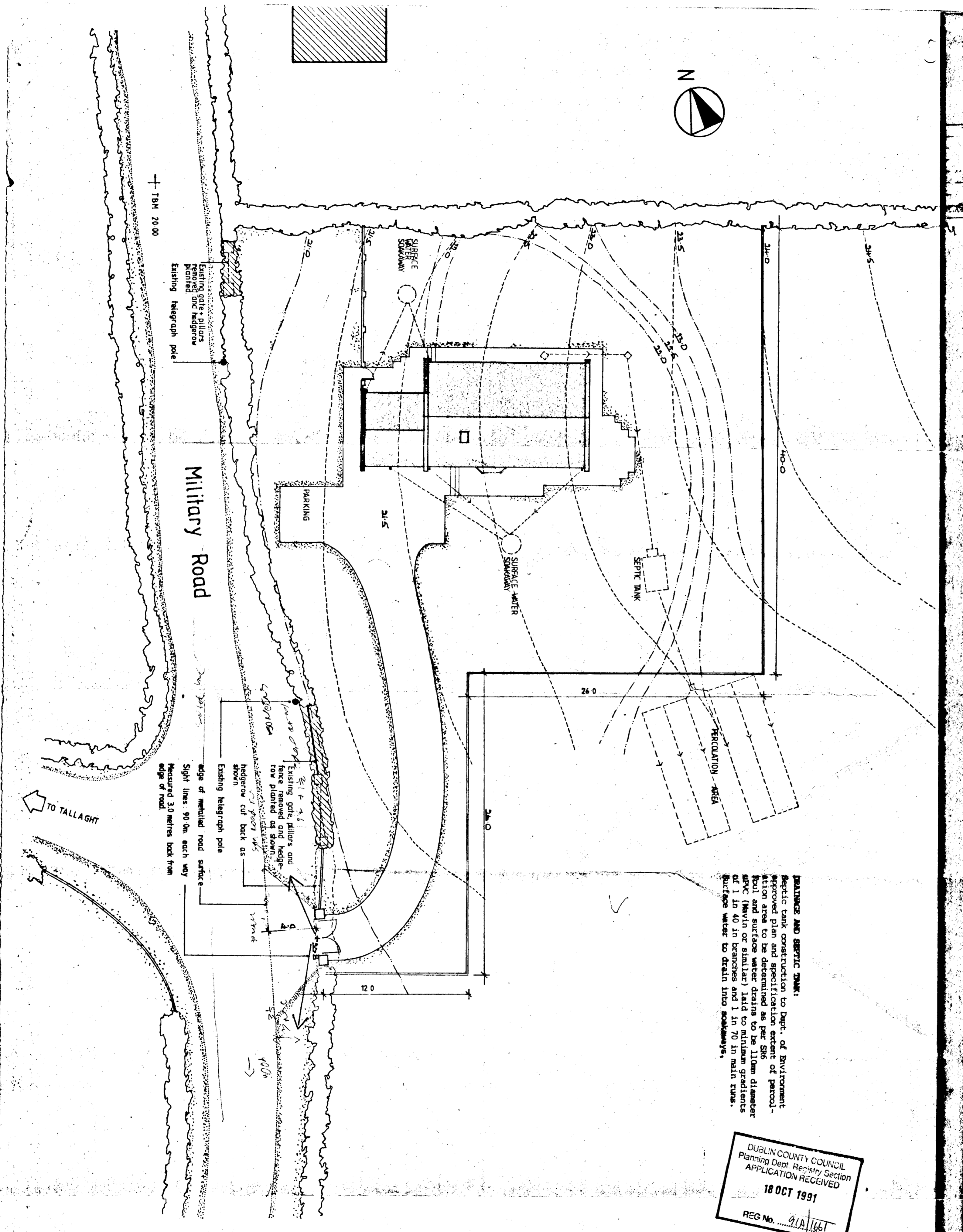
SCALE 1:2500

DATE July 91

DRAWN HOS

CHECKED

DRG. NO. 910028 - 13

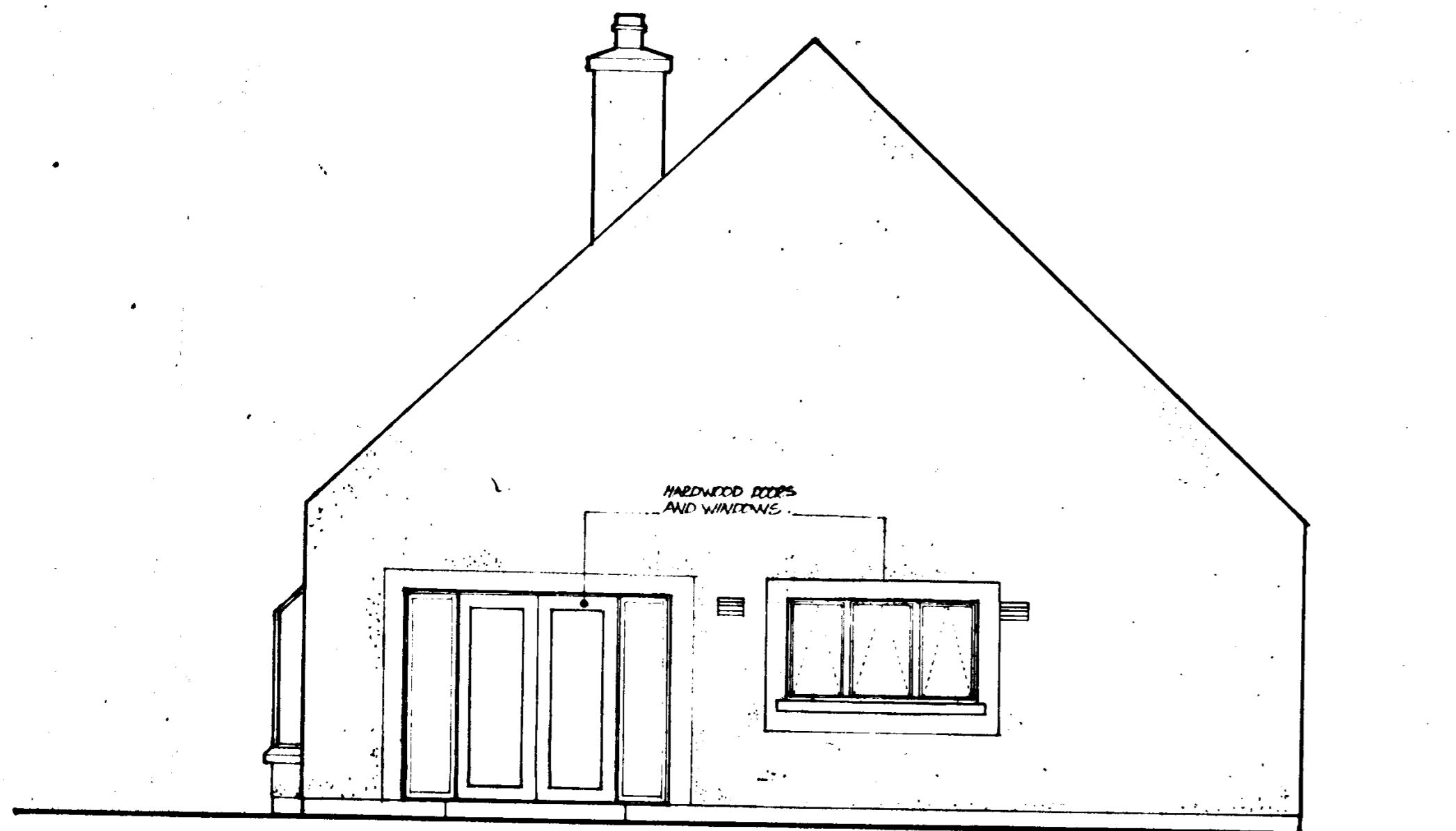


PERCOLATION AND SEPTIC TANK:
 Septic tank construction to Dept. of Environment approved plan and specification extent of percolation area to be determined as per S86. Soil and surface water drains to be 110mm diameter PVC (Hevin or similar) laid to minimum gradients of 1 in 40 in trenches and 1 in 70 in main runs. Surfaces water to drain into soakaways.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 18 OCT 1991
 REG No. 91A1661

1	10/01/91	Entrance revised to D. Co. Co. requirements.
2		
3		
4		
5		
6		

COLL + MC CARTHY ARCHITECTS
 137 Lower Rathmines Road, Dublin 6 Phone 973099 Fax 973670
 PROJECT: Proposed house at Military rd, Kilakee.
 DRAWING: Site Plan Revised entrance
 SCALE: 1:200 DATE: Oct '91 DRAWN: CHECKED:
 DRG. NO.: 910028 12



Side Elevation (South East)

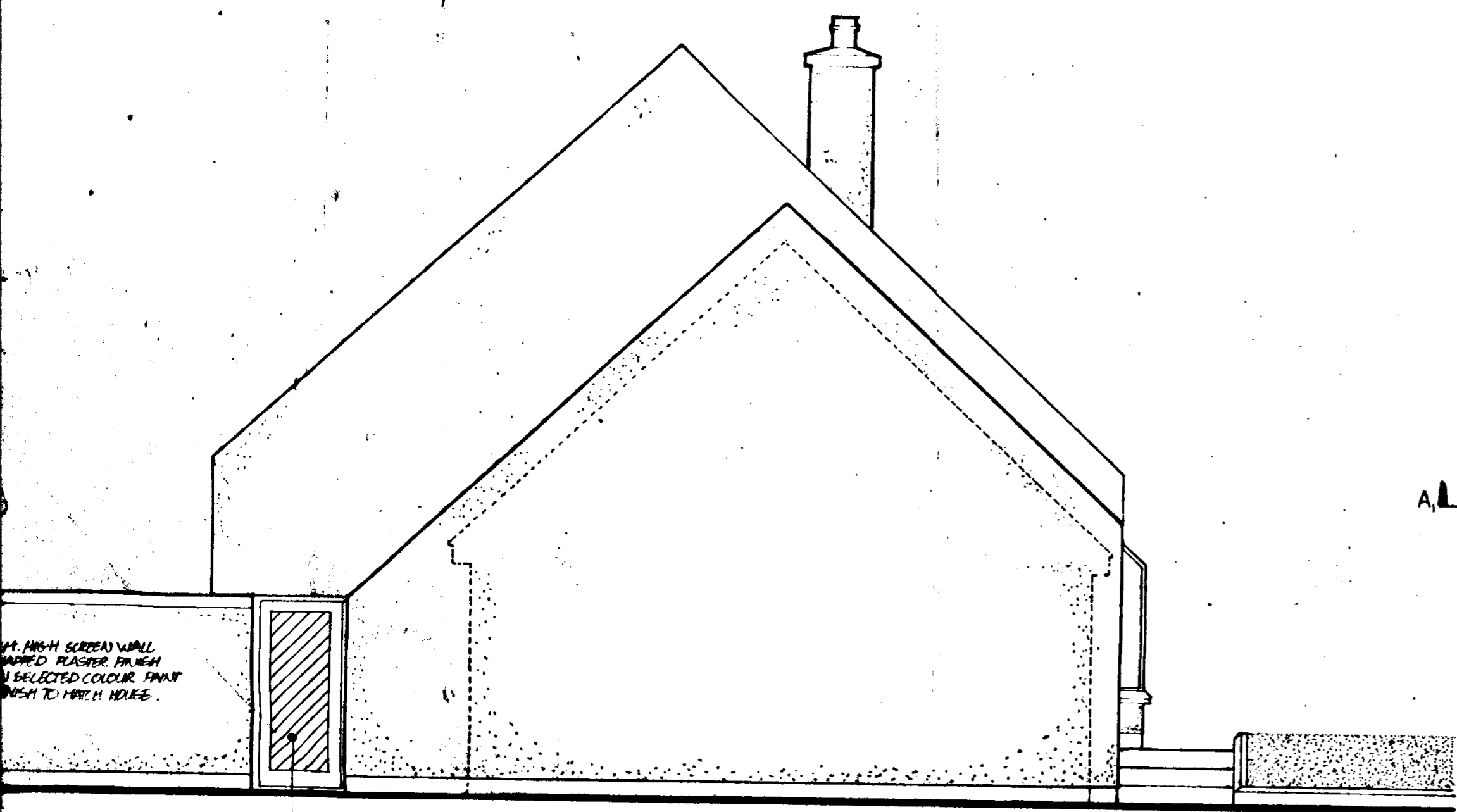


Front Elevation

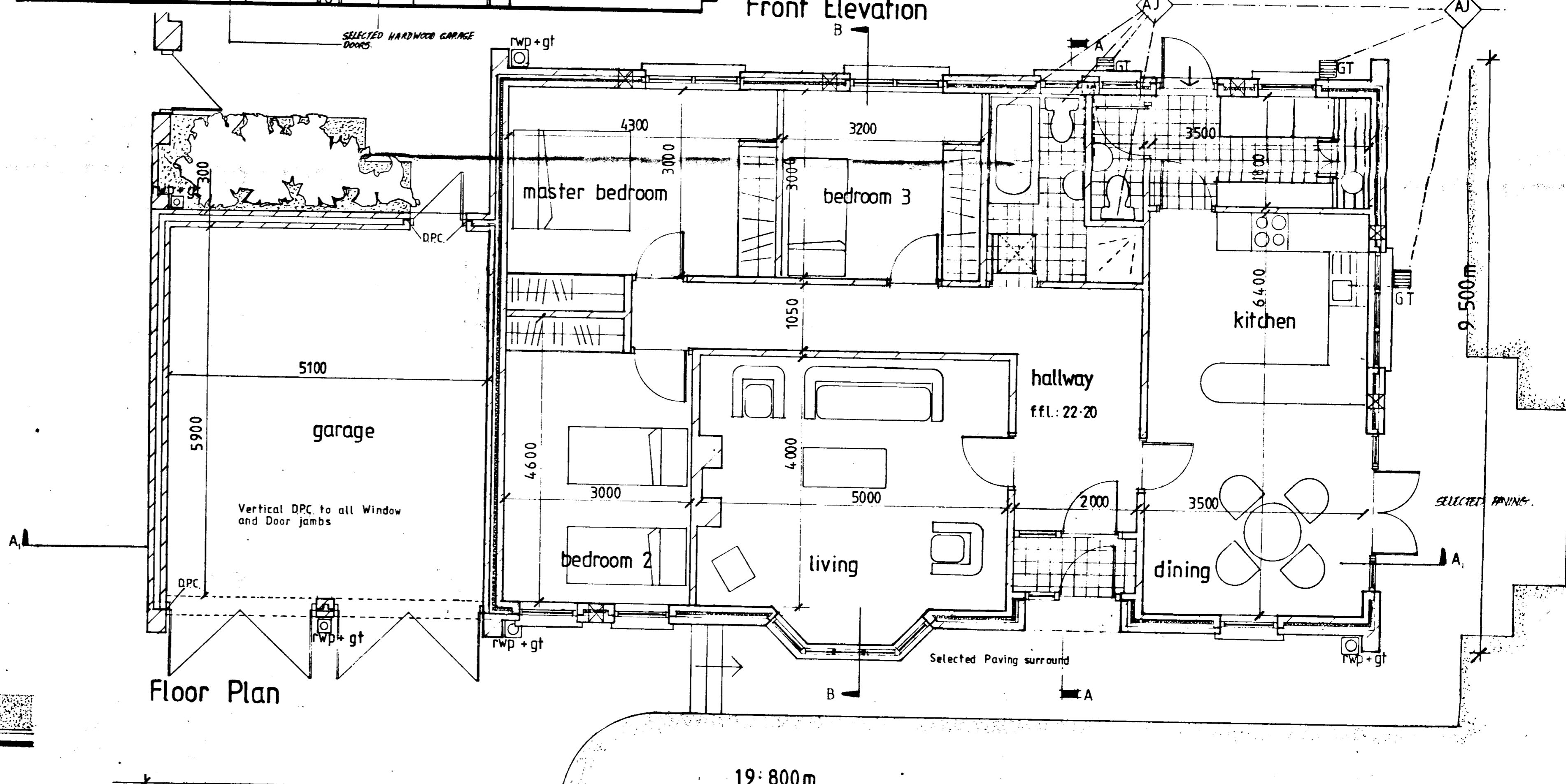
SELECTED BLUE-GRAY
ASBESTOS ROOF SLATES

Stepped Lead flashing

MAPLED PINE-FER FINISH
THROUGHOUT WITH SELECTED COLOUR
PAINT FINISH



Side Elevation (North West)



Floor Plan

DUBLIN COUNTY COUNCIL
Planning Unit, Rathfarnham
APPLICATION RECEIVED
18 OCT 1991
REG No. 91/11/11

COLL + MC CARTHY

Architects

137 Lr Rathmines Rd Dublin 6

Ph 973099

Fax 973870

PROJECT Proposed house at Military Rd, Kilakee.

DRAWING Plan, elevations.

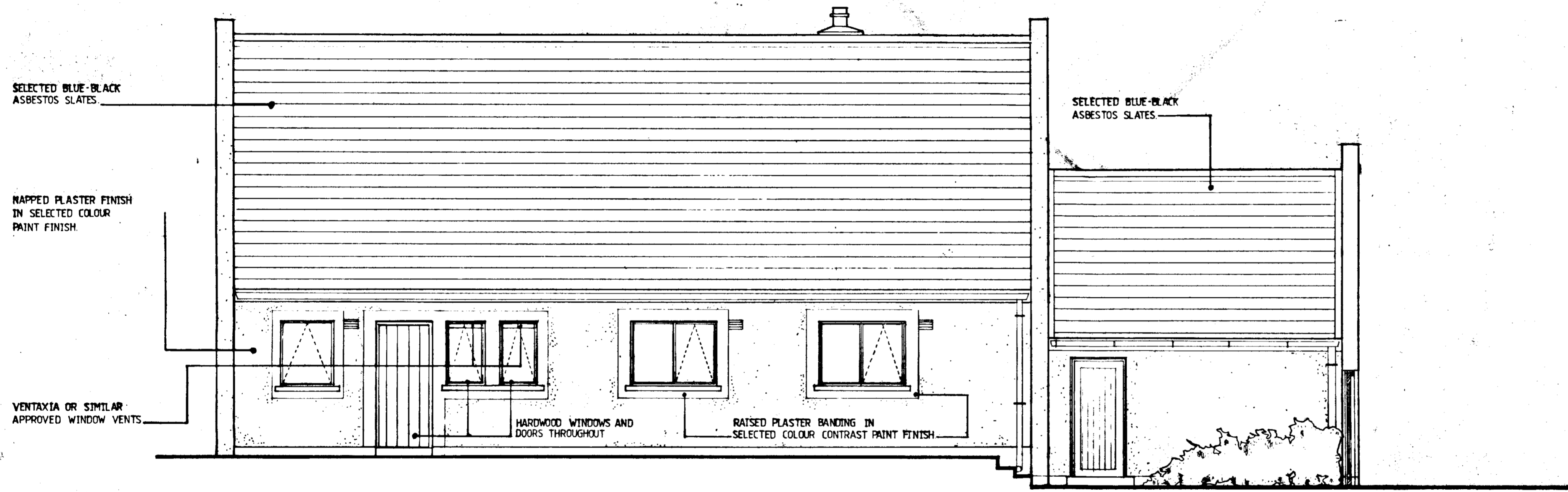
SCALE 1:50

DATE July '91

DRAWN HOS

CHECKED

DRG. NO. 910028-05 A



Rear Elevation

DUBLIN COUNTY COUNCIL
 Planning Dept. Registrar, Clontarf
 APPLICATION RECEIVED
 18 OCT 1991
 REG No. 410/1061

COLL + MC CARTHY ARCHITECTS
 137 Lr Rathmines Rd Dublin 6 Ph 973099 Fax 973870
 PROJECT Proposed house at Military Rd, Kilakee
 DRAWING Rear elevation
 SCALE 1:50 DATE July 91 DRAWN HOS CHECKED
 DRG NO. 910028 - 08

FLOORS:

50mm sand/cement screed on 150mm concrete floor slab on DPM on 50mm sand blinding on well compacted hardcore laid in layers 225mm thick max.

WALLS:

External wall 300mm thick external walls 100mm blockwork external leaf, 100mm cavity including 50mm rigid insulation tied to 100mm blockwork inner leaf. Butterfly wall ties at 750mm horizontal centres, 450mm vertical centres to BS 1243. Walls to have sand/cement napp plaster finish externally, plastered internally.

Internal wall 100mm thick solid blockwork.

Rising wall all rising walls to be of solid blockwork 300mm thick to external walls to within 225 of DPC level. 100mm thick to internal walls.

ROOF:

Selected blue black asbestos cement slates to be laid on treated battens 36x22 on felt on prefabricated roof trusses at 600 centres, holes drilled (25 Ø) in soffite at 600 centres to ventilate roof.

All prefabricated trusses to be fixed to wall plate using metal truss clips.

Wallplate to be secured using 30x50mm galvanised steel holding down straps at 2m centres max.

FOUNDATIONS:

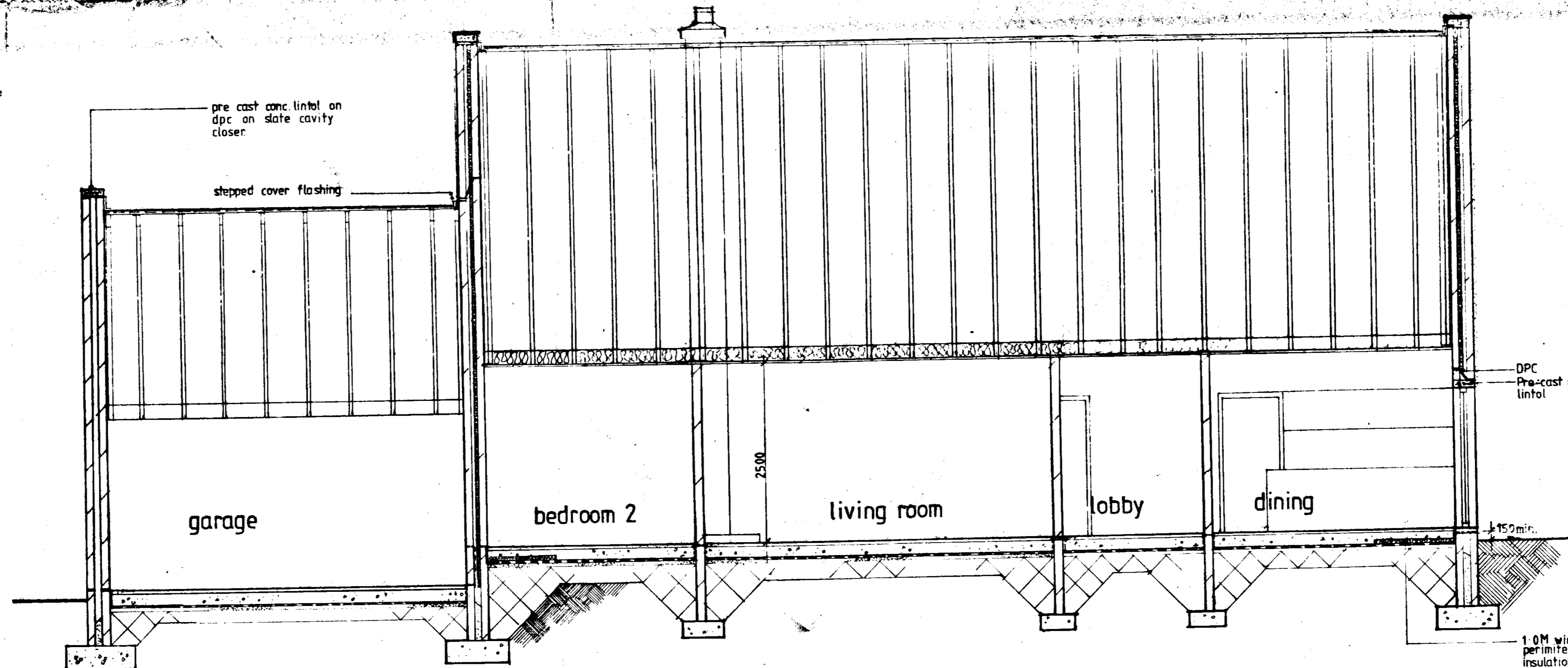
To all external walls to be concrete strip foundation subject to ground conditions and reinforced as necessary.

Dimensions as follows:

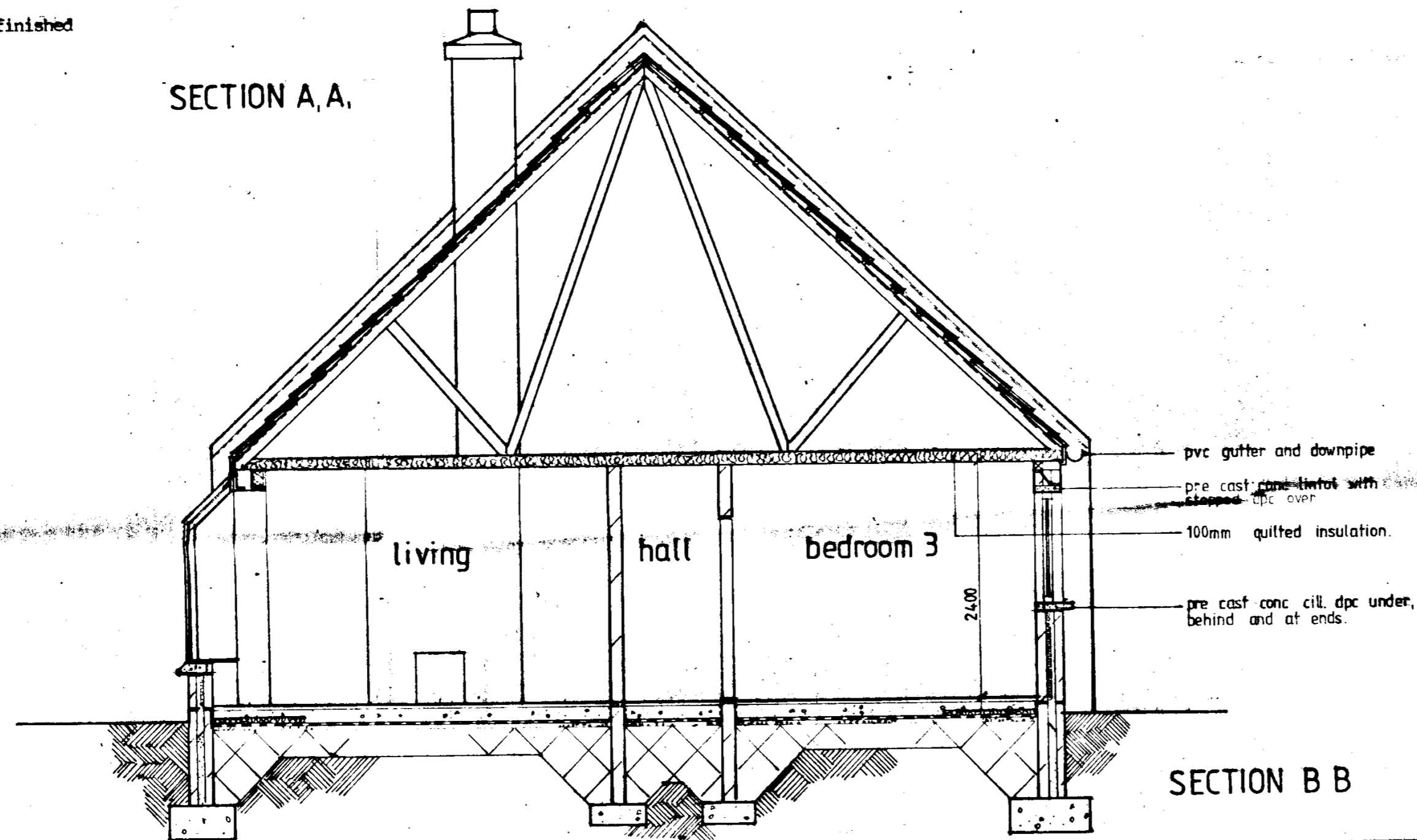
Cavity walls : 900x300

Internal walls: 300x100

foundation level to be at least 900mm below finished ground level.



SECTION A, A.



SECTION B B

DUBLIN COUNTY COUNCIL
 Planning Department
 APPLICATION RECEIVED
 18 OCT 1991
 REG No. 11661

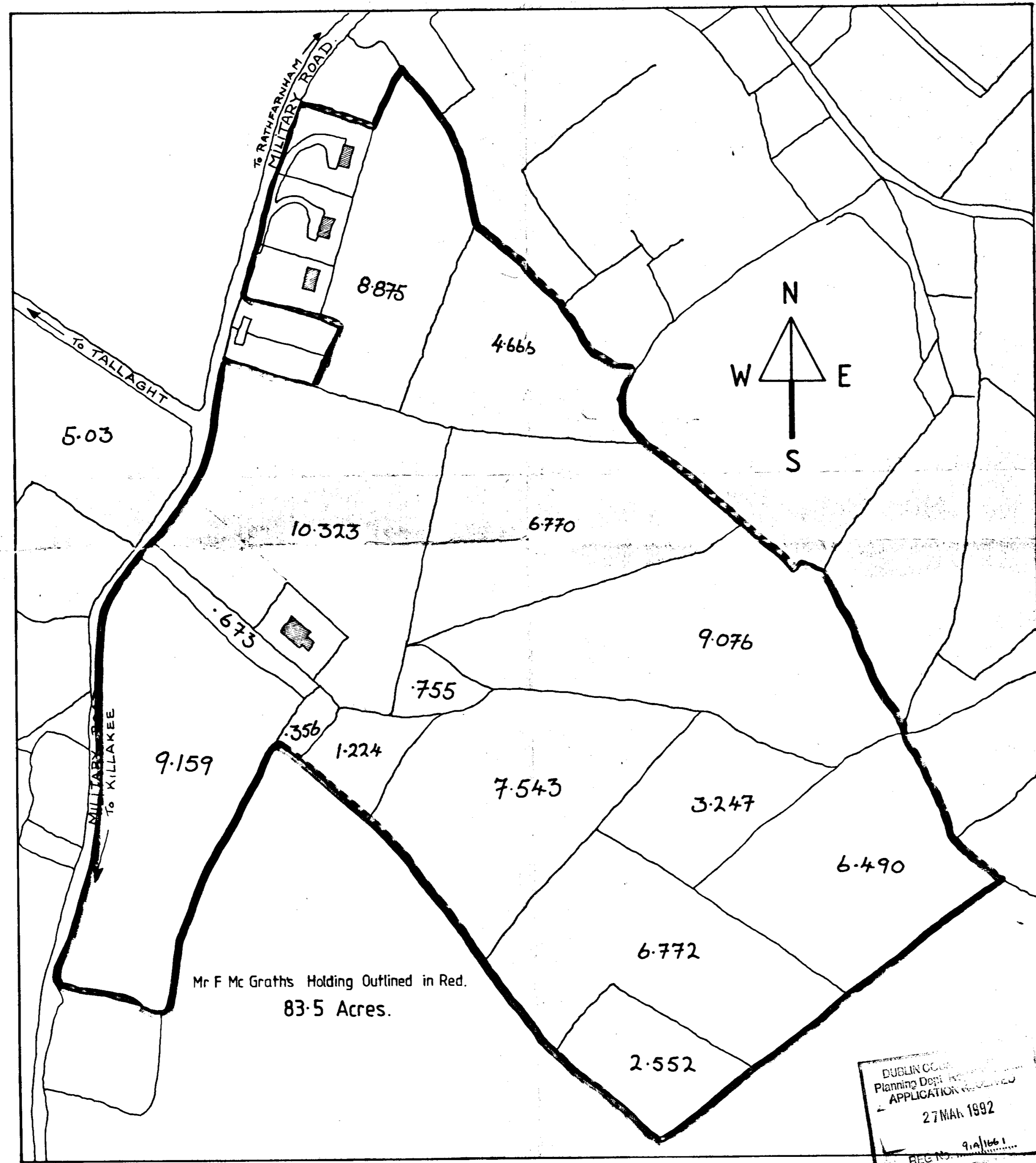
A 10.10.91 GARAGE REVISED

201

Coll + Mc Carthy
 137 Lr Rathmines Rd Dublin 6

Architects
 Ph 973099 Fax 973870

PROJECT MILITARY RD. KILAKEE
 DRAWING SECTIONS
 SCALE 1:50 DATE AUG 91 DRAWN HOS CHECKED
 DRG. NO. 910028-11 A



Coll + Mc Carthy Architects.
137 Lower Rathmines Road Dublin 6

Phone 973099 Fax 97388

PROJECT: Land Holding of Mr F Mc Grath at Military Road Killakee, Rathfarrham

DRAWING: Site Map

SCALE: 1:2500

DATE: March 92

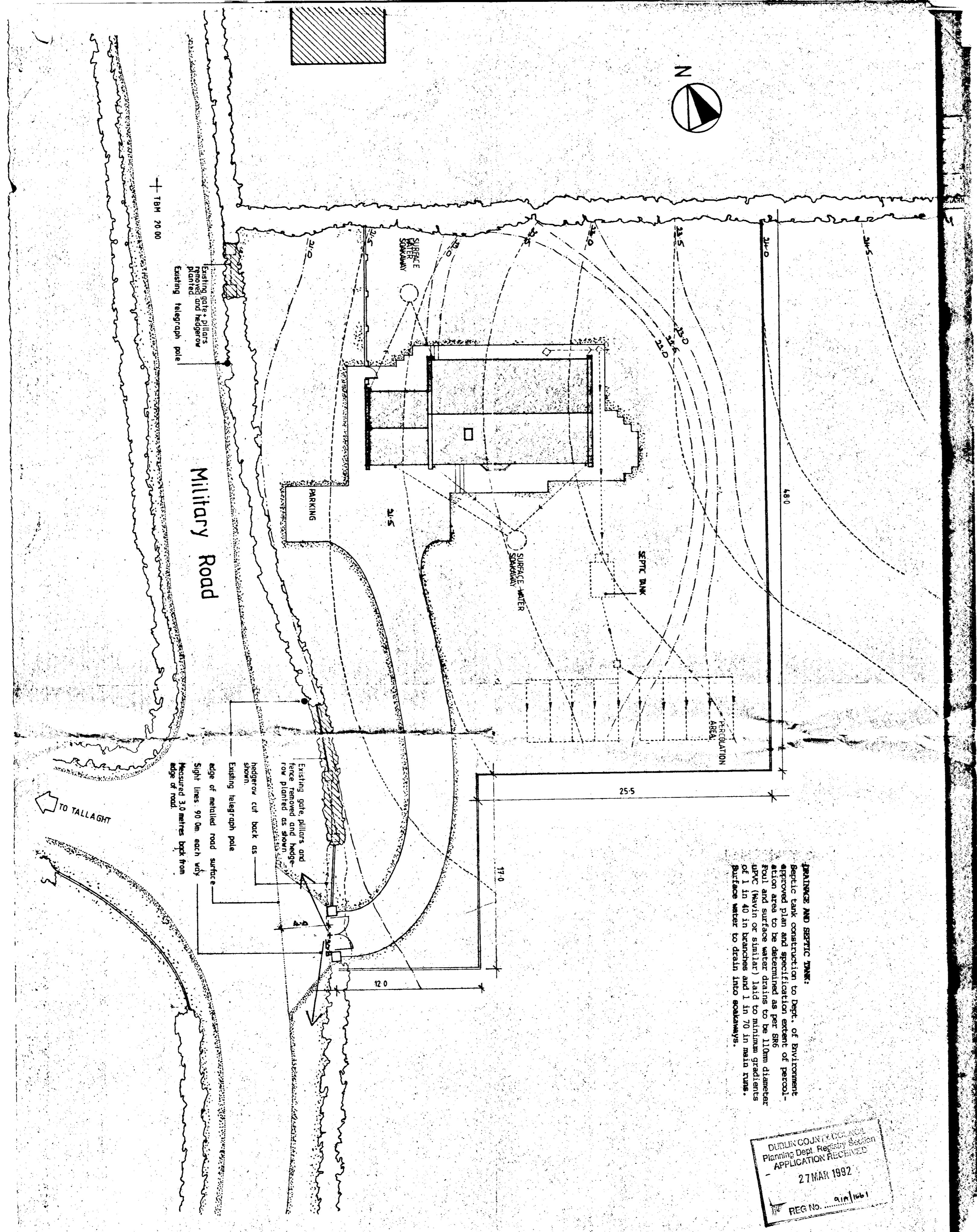
DRAWN: DJW

DRG. NO.: 910028 - 17

ON SITE, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

HT

ED DIMENSIONS ONLY



SEPTIC TANK AND SEPTIC TANK:
 Septic tank construction to Dept. of Environment approved plan and specification extent of percolation area to be determined as per SRS. Pool and surface water drains to be 110mm diameter PVC (Wavin or similar) laid to minimum gradients of 1 in 40 in branches and 1 in 70 in main runs. Surface water to drain into soakaways.

DUBLIN COUNTY COUNCIL
 Planning Dept. Registry Section
 APPLICATION RECEIVED
 27 MAR 1992
 REG No. 91A/1661

1	PROVISIONS	
2	Oct '91 Entrance revised to D. Co. Co. requirements.	
3		
4		
5		
6		

COLL + MC CARTHY ARCHITECTS
 137 Lower Rathmines Road, Dublin 6 Phone 973099 Fax 973
 PROJECT: Proposed house at Military rd., Kilakee.
 DRAWING: Site Plan Revised entrance.
 SCALE: 1:200 DATE: Oct. '91 DRAWN: CHECKED:
 DRG. NO.: 910028 12 5